



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

July 30, 2025 <i>Decision Date</i>	3325 Mills Avenue, Glendale, CA 91214 <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5607-015-021 <i>APN</i>
PADR 004911-2025 <i>Case Number</i>	Narek Zakaryan <i>Applicant</i>
Paulina Safarian, Associate Planner <i>Case Planner</i>	Cynthia Dely <i>Owner</i>

Project Summary

The applicant is proposing a 495 square-foot addition to the front street-facing façade on the ground level and the relocation and restoration of the 145 square-foot front porch of an existing one-story, 1,000 square-foot single-family residence (originally constructed in 1944) located on a 7,300 square-foot interior lot in the R1-II (Low Density Residential, Floor Area Ratio District II) Zone. The overall height and roofline of the house will remain unchanged.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area.

Existing Property/Background

Originally developed in 1944, the project site is a 7,300 square-foot, rectangular, interior lot with gently slope terrain at the front, but the house is situated on a flatter portion of the lot with frontage on Mills Avenue. The site is currently developed with a 1,000 square-foot single-family residence with a detached 360 square-foot two-car garage located at the rear of the house and directly facing the street. Access to the existing garage is from a driveway located on Mills Avenue that will remain in its current form.

Currently, there is one privately owned *Quercus agrifolia* (coast live oak) noted on the site plan. Indigenous Protected Trees on abutting properties within 20 feet of a boundary line have not been represented on plans. There are no City trees in the public right-of-way, and a condition for new City parkway trees will not be required by the City’s Urban Forestry Division at this time. The City’s Urban Forestry Department has reviewed the application and did not cite any major concerns with the proposal.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	7,307 sq. ft.	5,870 sq. ft. – 8,797 sq. ft.	7,300 sq. ft.
Setback	41 ft.	20 ft. - 90 ft.	49 ft., 7-inches
House size	1,560 sq. ft.	720 sq. ft. – 2,520 sq. ft.	1,495 sq. ft.
Floor Area Ratio	0.21	0.8 – 0.36	0.21
Number of stories	22 homes are 1 story & 6 homes are 2-stories	1 - 2 stories	1 story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

Garage Location and Driveway

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Predominant pattern on block

- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Complementary to building design
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

The existing landscaping is proposed to remain.

Walls and Fences

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The existing footprint will not significantly change with the exception of the enlarged footprint. The proposed 495 square-foot addition on the west side (facing the street) and the relocation and restoration of the 145 square-foot front porch will essentially expand and increase the length of a portion of the house at the front northwest side. The proposed addition at the front appropriately integrates with the site and the existing building footprint. Although a portion of the new first floor addition will bring the house closer to the street, the proposed street front setback of 49 ft., 7-inches from the street front property line is significantly greater than and complies with the 25 ft. minimum setback requirement for this zone. The proposed street front setback is appropriate to the site and consistent with the predominant neighborhood pattern.
- The existing landscaped areas will remain in its current form and appropriately maintained. A staff recommended condition of approval requires the applicant to comply with the Urban Forestry Department Comments, dated June 16, 2025, which required the applicant to add the note, “Protected oak, sycamore, bay trees or City Street trees on the property and within 20’ of the property are inaccessible to the proposed construction activity and will experience NO impact. No protective fencing is required” to the plans. An additional comment states to “Accurately represent Indigenous Protected Trees on site and within 20’ of property, to scale and accurate location. Diameter at breast height (DBH) and proper name shall be included on plans”.

- The existing garage and driveway will remain in its current form, which is appropriate to the site and the neighborhood.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions and architectural concept of the proposal are consistent with the existing residence and complementary to the neighborhood.
- The surrounding neighborhood features primarily one-story houses, with some two-story residences in the immediate area. The addition to the existing house is and will remain a single story, appropriate to the site and the neighborhood.
- The addition is appropriately articulated through the use of recesses, changes in façade planes, varying roof heights, cladding material and fenestration.
- The proposed roof forms are compatible with the style of development with the existing 2:12 and 4:12 roof pitch being continued throughout the addition, appropriate to the site and the neighborhood.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

Paving Materials

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☐ **yes** ☐ **n/a** ☒ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☒ Trash storage out of public view
- ☒ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Trash storage location is not identified on plans. A condition is included to identify an appropriate trash area on the plans (e.g., at the northern backyard behind home, not encroaching into the setback area and not visible from public street view). Additionally, a condition is included requiring the applicant to clearly depict downspouts on the building elevations for staff review and approval.

Ancillary Structures

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The exterior remodel including the new addition and the front porch integrates with and complements the existing house and its design and detailing are appropriate and consistent with the style of the residence through the use of materials proposed to match existing (including windows and colors).
- The existing entryway along the east side of the house will remain in its current form and location. The new front porch facing the street, wrapping around the home's east side, appropriately integrates with the existing home and entry along the east side of the house. The design of the entry door is compatible with the traditional style of the residence.
- The new windows are vinyl, nail-in frame, and an appropriate combination of casement, hung, and sliding operation. New windows on the addition and replacement of existing windows on the house will be recessed within the opening with a wood frame sill underneath appropriate to the traditional style of the residence. Overall, the proposed windows are appropriate to the house in terms of its style, material, operation and installation.
- The proposed combination of materials including river rock stone cladding on the base of the front porch, stucco walls to match existing color and finish, and composition shingle roof material are appropriate to and compatible with the style of the residence and the neighborhood.
- Trash storage location is not identified on plans. A condition is included to identify an appropriate trash area on the plans (e.g., at the northern backyard behind home, not encroaching into the setback area and not visible from public street view). Additionally, a condition is included requiring the applicant to clearly depict downspouts on the building elevations for staff review and approval.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. The applicant shall comply with all of the recommendations identified in the Urban Forestry Department Comments dated June 16, 2025.
2. That trash area location be identified and appropriately located on the site plan, and show downspouts on the elevation drawings for staff review and approval.

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Comments from other City Departments

MILLS ADDITION

3325 MILLS AVE GLENDALE CA 91214

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A-1.3	GREEN BUILDING NOTES
A-2.0	EXIST./DEMO FLOOR PLAN
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A-7.0	PERMEABLE-AREA DIAGRAM
A-8.0	ARCHITECTURAL DETAILS
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TITLE 24

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T-3	TITLE 24 REPORT UNITS

SURVEY

S	TOPO SURVEY
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LEGAL DESCRIPTION

APN:	5607-015-021
ADDRESS:	3325 MILLS AVE GLENDALE CA 91214
LOT:	170
TRACT:	5547
ZONING:	R1 II
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3
FIRE ZONE:(HFHA)	NO
FIRE SPRINKLER:	NO
NUMBER OF STORIES:	1 (ONE)
BUILDING HEIGHT:	14.5' (NO-CHANGE)
CLIMATE ZONE :	9
YEAR(E)SFD & GARAGE BUILT	1944

CONSULTANTS

PROJECT DESIGNER:	Zak Design+Build 535 Fischer St, Glendale, CA 91205 Tel: (818) 261-5494 Email: zaknarek@gmail.com Web: zakdesignbuild.com
STRUCTURAL ENGINEER	ATS ENGINEERING Structural Consulting and Design 314 E. Broadway, Suite A Glendale, CA 91205 Tel:(818) 543-1825, Email: atsengineeringl4@gmail.com Licensed "Design Professional in Responsible Charge"
TITLE-24 REPORT:	Roben Mardirosian, P.E. 10540 Jardine Ave. Sunland, CA 91040 Tel: (818) 484-0495 Email: roben@armenengineers.com

SCOPE OF WORK

495 SQ.FT ADDITION TO THE FRONT OF EXISTING 1 STORY SFD, SCOPE TO INCLUDE REMOVING AND RE-BUILDING 145 SQ.FT COVERED FRONT DECK, REPLACING DAMAGED WOOD SIDINGS WITH STUCCO AND INTERIOR REMODELING.

FLOOR-AREA ANALYSIS:

LOT SIZE: 7,300 SF
F.A.R.: 40% FOR THE 1ST 10,000 SQ. FT. OF LOT AREA AND 0.10 FOR THE PORTION OF LOT AREA THEREAFTER

7,300 X 0.4 = 2,920 SF

MAX. ALLOWABLE: 2,920 SF

EXISTING 1-STORY RESIDENCE: 1,000 SF
EXISTING 2 CAR GARAGE: 360 SF (500 SF NOT INCLUDED)
PROPOSED ADDITION : 495 SF

GRAND TOTAL FLOOR AREA: 1,000 SF + 495 SF = 1,495 SF(20.5%) < 2,920 SF (40%) MAX

LOT COVERAGE ANALYSIS:

LOT SIZE: 7,300 SF
LOT COVERAGE: 40%
7,300 X 0.4 = 2,920 SF

MAX. ALLOWABLE: 2,920 SF

EXISTING 1-STORY RESIDENCE: 1,000 SF
EXISTING 2-CAR GARAGE: 360 SF
PROPOSED ADDITION 495 SF
PROPOSED FRONT COVERED DECK 145 SF

GRAND TOTAL LOT COVERAGE: 1,000 SF+360 SF + 495 SF+145 SF = 2,000 (27.4%) < 2,920 SF(40%) MAX

LANDSCAPE AREA AND RATIO ANALYSIS:

LOT SIZE: 50' x 146' = 7,300 SQ. FT.

REQUIRED: MIN. 40% OF LOT AREA (2,920 SQ.FT.)
PROVIDED = 3,125 SQ. FT.
(3,125 SQ.FT. DIVIDED BY 7,300 SQ.F.T. = 42.8%)

TOTAL PROVIDED 3,125 SF
3,125 SF / 7,300 SF = 0.428 X 100 =42.8%

42.8% > 40% REQUIRED

EXISTING LANDSCAPED AREA 3,770 SF OR 51.6 %

PROPOSED LANDSCAPED AREA 3,125 SF OR 42.8 %

CODE REFERENCES:

- 2022 California Building Standards Code
- 2022 California Residential Code
- 2022 California, Electrical, Mechanical, Plumbing Code
- 2022 CA Green Building Standards Code
- 2022 California Fire Code
- 2022 California Energy Code
- 2023 Glendale Building and Safety Code
- 2023 Glendale Building and Safety Reach Code

NOTES:

1. RETAINING WALLS/POOLS/SPAS/JACUZZIS/BOUNDARY WALLS/ FENCES/TRELLIS/PATIO COVERS REQUIRED SEPARATE PERMIT.
- 2.NO NEW ROOFTOP EQUIPMENT IS ALLOWED
3. ALL INFORMATION REGARDING THE EXISTING CONDITIONS OF THE LOT, INCLUDING SLOPES, CONTOURS, PROPERTY LINES AND SIZES, TREES, SIDEWALK/STREET, LOCATION OF POWER POLES AND ITS RESTRICTED SPACE, EASEMENTS, DEDICATIONS AND OTHER INFORMATION ARE PREPARED BY THE SURVEYOR. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ACCURACY.

NOTES:

- a. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).
- b. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
- c. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- d. Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- e. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)
- f. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
- g. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- h. A copy of the evaluation report and/or conditions of listing shall be made available at the job site

The approval of plans and specifications does not permit the violation of any section of the building code or other city ordinance or State Law.

The contractor must provide public protection in accordance with CBC Section 3306.1 for work on any building and structure adjacent to the public way

CALL "DIG ALERT" PRIOR TO ANY GROUND WORK OR EXCAVATION

"HERS TESTING REQUIRED"

NOTE:

- SITE GRADING AS A RESULT OF REMOVAL AND RECOMPACTION EQUAL OR GREATER THAN 50 CUBIC YARD WILL REQUIRE SUBMITTAL OF GRADING APPLICATION AND GRADING PLANS.

-NO CHANGES IN GRADES OR SITE ELEVATIONS ALLOWED EXCEPT FOR FINE GRADING FOR DRAINAGE ONLY NOT TO EXCEED 4-INCHES AT ANY LOCATION.

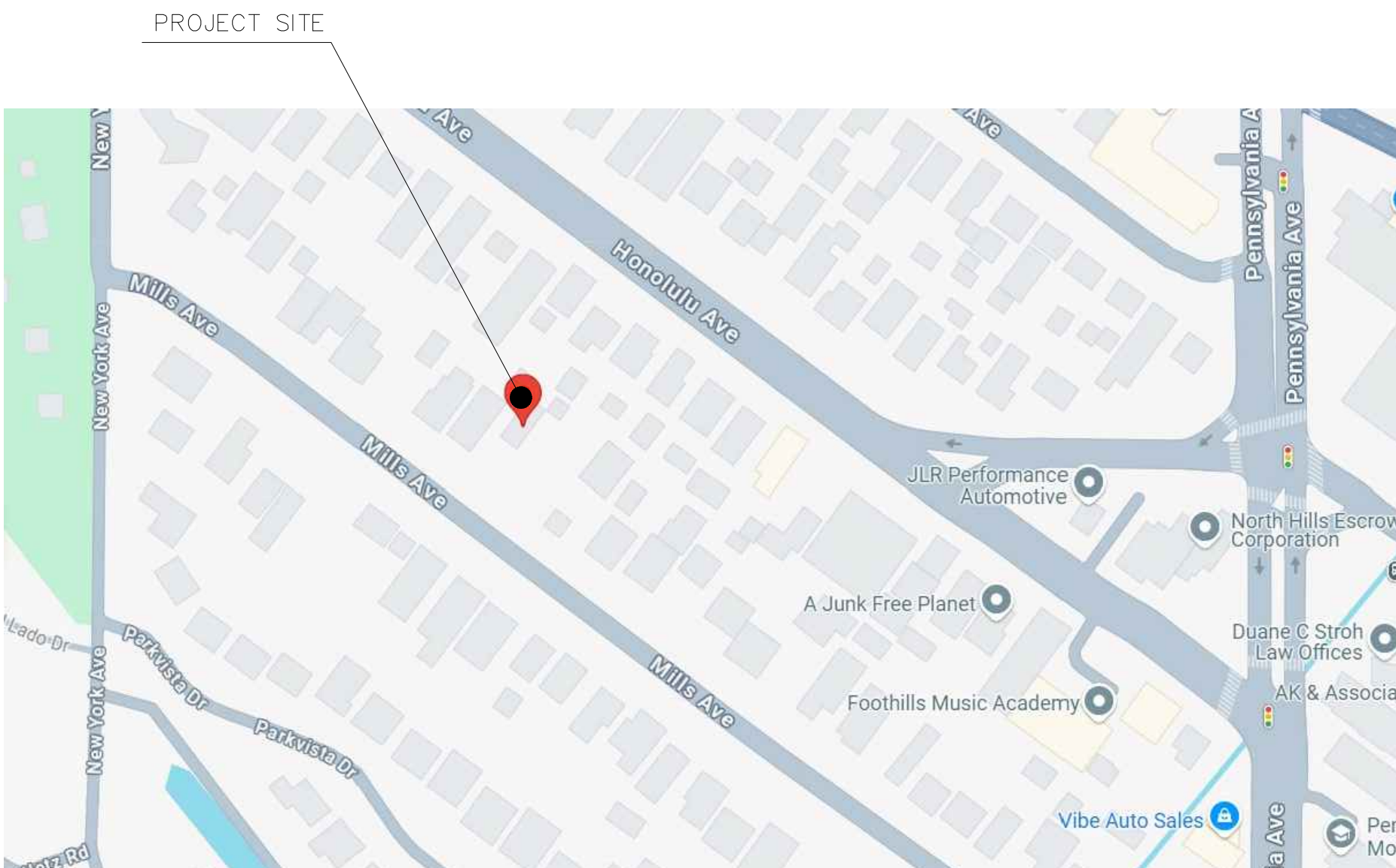
NOTE:

THE CONTRACTOR MUST PROVIDE PUBLIC PROTECTION IN ACCORDANCE WITH CBC SECTION 3306.1 FOR WORK ON ANY BUILDING AND STRUCTURE ADJACENT TO THE PUBLIC WAY.

HERS FEATURE SUMMARY

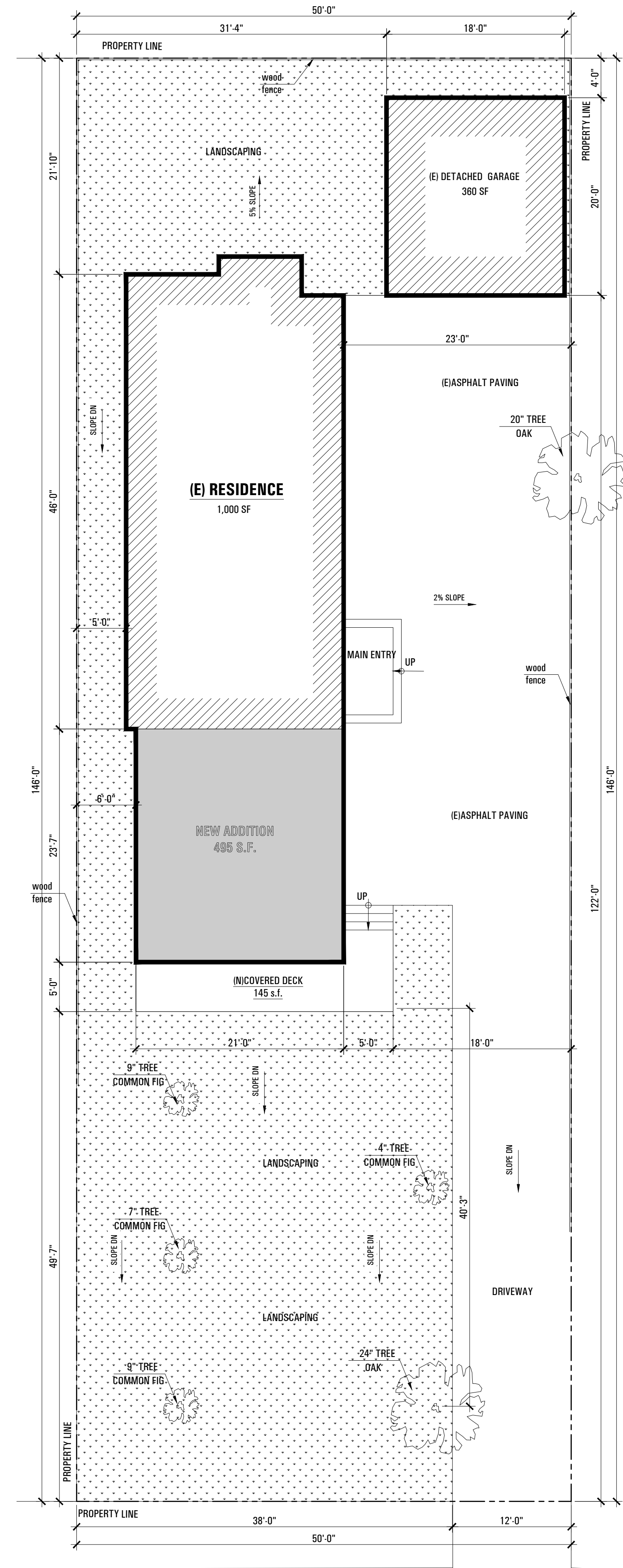
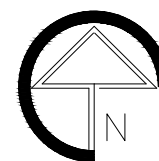
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

- Minimum Airflow
- Verified Refrigerant Charge
- Fan Efficacy Watts/CFM
- Verified heat pump rated heating capacity
- Duct leakage testing
- Ducts located entirely in conditioned space confirmed by duct leakage testing



B VICINITY MAP

N.T.S.



A PROP. SITE PLAN

1/8"=1'-0"



ZAK
design+build
Envision. Create. Construct.

NOTICE:
THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE DESIGNER AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS "INSTRUMENTS OF SERVICE" BY THE CLIENT. CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED COPYRIGHT.

Owner:

Cynthia Michelle Dely

Address:

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la crescenta, ca 91214

Email:

cynthiadely@gmail.com

SCOPE OF WORK

495 sq ft addition to front of existing 1 story sfd, scope to include removing and re-building 145 sq ft covered front deck, replacing damaged wood sidings with stucco and interior remodeling.

Project Address:

3325 mills ave
la crescenta, ca 91214

Contents:

COVER SHEET
SITE PLAN

Scale:

Drawn by:

NZ

Phone:

818.261.5494

Email:

narek@zakdesignbuild.com

Web:

www.zakdesignbuild.com

APPROVED

APPROVED

REVISION XX-XX-XX

REVISION XX-XX-XX

REVISION XX-XX-XX

DRAWN BY

PRINT DATE XX-XX-XX

JOB NO

SHEET NO

A-1.0

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495 sq ft addition to front of
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◀ EXIST. SITE PLAN

Scale:

Drawn by:
NZ

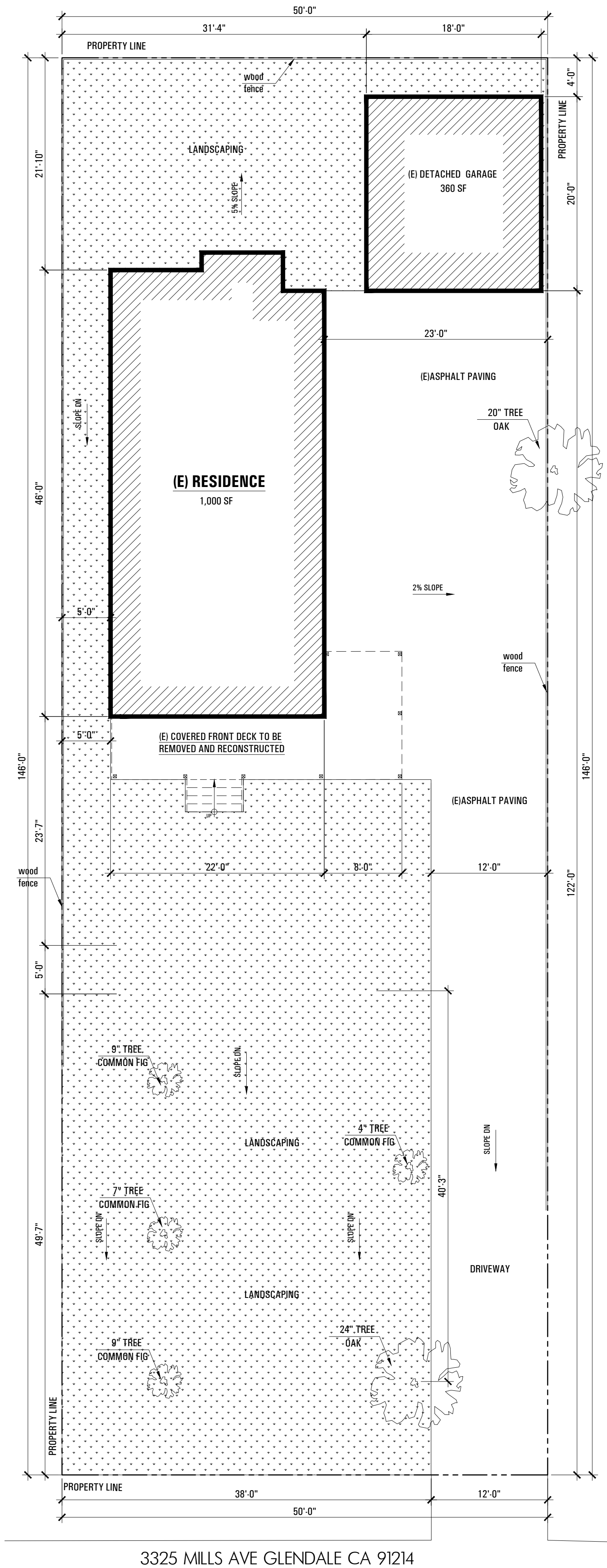
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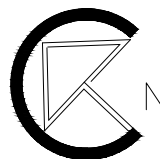
A-1.1



A

EXIST. SITE PLAN

1/8"=1'-0"



GENERAL
1.THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES -WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48". (210-52 NEC)

2.EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

3.A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

4.PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)

5.KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)

6.AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

7.FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.5. (R330)

8.WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5. (R506.2.3.1)

9.ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN BOTTOM/SOLE PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4. (R602.3.4.1)
R308.4.5 GLAZING AND WET SURFACES

10.GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.

BATH

1.ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR ARE OF NOT LESS THAN 1024 SQUARE INCHES (0.66 M2) AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER (0.76 M) CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES (1.8 M) ABOVE THE SHOWER DRAIN OUTLET. (PLUMBING CODE SECTION 408.6)

2.BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

3.PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

4.A MIN 12" SQ. ACCESS PANEL TO THE BATHTUB TRAP SLIP JOINT CONNECTION IS REQUIRED. (PLUMBING CODE SECTION 402.10)

LAUNDRY ROOM

1.CLOTHES DRYER(S) LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING FUEL BURNING APPLIANCES SHALL BE EXHAUSTED TO THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES (BUT NOT BENEATH THE BUILDING OR IN THE ATTIC AREA). (CMC 504.4)

2.A 4" CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14 FEET LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. (CMC 504.4.2.1)

CALIFORNIA PLUMBING CODE (2019 CPC)

1. SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. (401.3 CPC)
2. FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. (401.3 CPC)

3. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING

CODE. PEX,CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.

CALIFORNIA MECHANICAL CODE (2019 CMC)

1. WHEN A DOMESTIC CLOTHES DRYER IS LOCATED IN A CLOSET, A MINIMUM OPENING OF 100 SQ. IN. FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR. (504.4.1 CMC)

2. A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4" IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14', INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (504.4.2 CMC)

CALIFORNIA ELECTRICAL CODE

1. ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6' OF THE EDGE OF THE SINK), SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION. (210.8 CEC)

2. ALL BRANCH CIRCUITS SUPPLYING 120V 15-AMPERE AND 20-AMPERE OUTLETS IN FAMILY ROOMS, DINING ROOMS,LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI). (210.12(B) CEC)

3. ALL WALL SPACES, 2' OR MORE IN WIDTH, SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY IS MORE THAN 6' FROM A RECEPTACLE (12' MAXIMUM SPACING). SHOW MINIMUM RECEPTACLES ON THE PLANS. (210.52 (A) (1) & (2) CEC)

4. IN BATHROOMS, AT LEAST ONE RECEPTACLE SHALL BE INSTALLED WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN. . (210.52 (D) CEC)
A. AT LEAST ONE 20-AMPERE BRANCH SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS. (210.11(C)(3) CEC)
B. AT LEAST ONE RECEPTACLE AT GRADE LEVEL SHALL BE INSTALLED IN BOTH THE FRONT AND BACK OF EACH DWELLING UNIT.
SHOW RECEPTACLES ON THE PLANS. (210.52 (E) (1) CEC)

IN CLOSETS, LUMINARIES SHALL BE (A) SURFACE-MOUNTED OR RECESSED INCANDESCENT WITH COMPLETELY ENCLOSED LAMPS, (B) SURFACE MOUNTED OR RECESSED FLUORESCENT LUMINARIES, (C) SURFACE MOUNTED OR LED LUMINARIES IDENTIFIED AS SUITABLE FOR INSTALLATION WITHIN STORAGE AREAS. MINIMUM CLEARANCES BETWEEN LUMINARIES AND THE NEAREST POINT OF STORAGE SPACE SHALL BE AS FOLLOWS. (410.16 CEC) A. 12" FOR SURFACE-MOUNTED INCANDESCENT OR LED LUMINARIES WITH COMPLETELY ENCLOSED LIGHT INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING.

B. 6" FOR SURFACE MOUNTED FLUORESCENT LUMINARIES INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING.

C. 6" FOR RECESSED INCANDESCENT OR LED LUMINARIES WITH A COMPLETELY ENCLOSED LIGHT INSTALLED IN THE WALL OR CEILING.
D. 6" FOR RECESSED FLUORESCENT LUMINARIES INSTALLED IN THE WALL OR CEILING.
E. SURFACE-MOUNTED FLUORESCENT OR LED LUMINARIES INSTALLED WITHIN STORAGE SPACE WHERE IDENTIFIED FOR THIS USE.

5. ELECTRICAL BOXES SHALL HAVE DRYWALL, PLASTER, OR PLASTERBOARD SURFACES FINISHED SO THERE WILL BE NO GAPS OR OPEN SPACES GREATER THAN 1/8" AT THE EDGE OF THE BOX PER ARTICLE 314.21 (CEC). IN WALLS OR CEILINGS BOXES SHALL BE INSTALLED SO THAT THE FRONT EDGE OF THE BOX OR PLASTER RING SHALL NOT BE RECESSED MORE THAN ¼" FROM NON-COMBUSTIBLE FINISH SURFACE AND SHALL BE FLUSHED WITH A COMBUSTIBLE SURFACE PER ARTICLE 314.20 (CEC).

6. NO CORD-CONNECTED, CHAIN, CABLE, CORD-SUSPENDED, LIGHTING TRACK, PENDANT OR CEILING-SUSPENDED FANS SHALL BE LOCATED WITHIN 3' HORIZONTALLY AND 8' VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD, INCLUDING DIRECTLY OVER THE TUB OR SHOWER. LUMINARIES LOCATED IN THIS ZONE SHALL BE LISTED FOR DAMP AREAS OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. (410.10 (D) CEC)

7. ALL 125V 15-AMPERE AND 20-AMPERE RECEPTACLES IN AREAS SPECIFIED IN ARTICLE 210.52 (CEC) SHALL BE LISTED TAMPER RESISTANT RECEPTACLE. (406.12 CEC)

8. LIGHTING SHALL COMPLY WITH THE APPLICABLE HIGH EFFICACY REQUIREMENT OF THE CALIFORNIA TITLE 24 PART 6 SECTION 150.

9. NEW BOXES USED AT LUMINAIRE OR LAMPHOLDER OUTLETS IN A CEILING SHALL BE REQUIRED TO SUPPORT A LUMINAIRE WEIGHING A MINIMUM OF 50LBS. BOXES USED AT LUMINAIRE OUTLETS IN WALLS SHALL BE DESIGNED FOR THE PURPOSE AND SHALL BE MARKED ON THE INTERIOR INDICATING THE MAXIMUM WEIGHT OF THE LUMINAIRE PERMITTED, IF OTHER THAN 50LBS. OUTLET BOXES OR SYSTEMS USED AS THE SOLE SUPPORT OF CEILING FANS SHALL BE LISTED AND MARKED BY THE MANUFACTURE AS SUITABLE FOR THIS PURPOSE. (314.27 CEC)

A. INSTALL ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) IN ACCORDANCE WITH CEC 210.12 IN ALL NEW CONSTRUCTION (INCLUDING ADDITIONS) AND WHERE INSTALLING NEW CIRCUITS WITHIN EXISTING RESIDENCES.
B. INSTALL GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION (GFCI) IN ACCORDANCE WITH CEC 210.8 IN ALL NEW CONSTRUCTION (INCLUDING ADDITIONS) AND WHERE RENOVATING WITHIN EXISTING RESIDENCES.
C. PROVIDE TAMPER-RESISTANT RECEPTACLES IN ACCORDANCE WITH CEC 406.11 IN ALL NEW CONSTRUCTION (INCLUDING ADDITIONS) AND WHERE RENOVATING WITHIN EXISTING RESIDENCES.

STRUCTURAL REQUIREMENTS

1.PROVIDE LEAD HOLE 40%-70% OF THREADED SHANK DIA. AND FULL DIA. FOR SMOOTH SHANK PORTION OF LAG BOLTS.

2.ALL BOLT HOLES, OTHER THAN LAG BOLT HOLES, SHALL BE DRILLED 1/32 TO 1/16" OVERSIZED.

3.PROVIDE LATERAL SUPPORT FOR THE TOP OF INTERIOR NON-BEARING WALLS WHEN MANUFACTURED TRUSSES ARE USED.

4.PROVIDE DOUBLE JOISTS UNDER PARALLEL BEARING PARTITIONS.

5.PROVIDE FULL LENGTH STUDS (BALLOON FRAME) ON EXTERIOR WALLS OF ROOMS WITH VAULTED CEILING.

6.ALL ROOF AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX. NAIL GUNS USING "CLIPPED HEAD" OR SINKER NAILS ARE NOT ACCEPTABLE.

7.ROOF NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR SHALL HAVE TONGUE AND GROOVE OR BLOCKED PANEL EDGES. PLYWOOD SPANS SHALL CONFORM WITH TABLE 2304.7(3).

8.ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING.

9.STUCCO SHEAR WALLS SHALL UTILIZE FURRING, GALVANIZED NAILS (HAVING A MINIMUM 11 GA., 1-1/2" LONG, 7/16" DIAMETER HEAD, AND FURRED OUT A MIN OF 1/4") TO ATTACH THE LATH TO THE STUDS. STAPLES SHALL NOT BE USED."

10.STRUCTURAL WOOD SHEAR WALLS SHALL BE COVERED WITH MINIMUM TWO LAYERS 15# FELT UNDERLAY PRIOR TO PLACING FINISH MATERIAL.

11.PLATE WASHERS ARE REQUIRED FOR ALL HOLD DOWNS.

12.FOUNDATION SILLS SHALL BE DOUGLAS-FIR (GROUP II LUMBER) PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.

13.HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLD-DOWNS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.

14.ALL BOLT HOLES SHALL BE DRILLED A MAXIMUM OF 1/16" OVERSIZED AND INSPECTOR SHALL VERIFY AT JOB SITE.

FIRE DEPARTMENT NOTES.

1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERAL SO R ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH(12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

3. ADDITION/REMODEL UNDER 50% VALUATION: FIRE SPRINKLERS ARE NOT REQUIRED FOR THE _____ BASED ON THE PERCENTAGE VALUATION OF THE REMODEL/ADDITION CALCULATED AT _____ %. NO ADDITIONAL SCOPE OF WORK PERMITTED WITHOUT RE-EVALUATION BY BUILDING AND SAFETY. THE VALUATION IS CUMULATIVE UP TO 5 YEARS; ANY FUTURE WORK, SUCH AS RE-ROOFING, KITCHEN, REMODELING, ETC., ARE COUNTED AND ADDED TO THE CURRENT VALUATION PERCENTAGE.

4. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER ALARMS.

5. CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315.

6. FUEL MODIFICATION/ LANDSCAPING FOR HIGH FIRE HAZARD AREAS (HFHA):
- MAINTAIN EXISTING / PROVIDE FUEL MODIFICATION ONLY - NO FIRE DEPARTMENT REVIEW OR PERMITTING OF LANDSCAPE PLANS

8. REQUIRED FIRE DEPARTMENT INSPECTIONS: FOR ALL INSPECTIONS, REQUEST ONLINE AT HTTP://GLDENDALECA.GOV/GFDINSPREG OR CALL 818-548-4810. FIRE INSPECTIONS REQUIRED ARE:
-FIRE PREVENTION BUREAU FINAL (ADDRESS SIGNS, EGRESS, FIRE DEPARTMENT ACCESS, SMOKE DETECTORS, FUEL MODIFICATION, ETC.)

LOCKING POINT LOCATED EITHER AT THE FLOOR OR DOOR FRAME HEADER; OR, TORSION SPRING COUNTER BALANCE TYPE HARDWARE MAY BE USED.

14.6 DOORS WITH SLIDE BOLT ASSEMBLIES SHALL HAVE FRAMES A MINIMUM OF .120 INCHES (3MM) IN THICKNESS. WITH A MINIMUM BOLT DIAMETER OF ONE-HALF (1/2) INCH (13MM) AND PROTRUDE AT LEAST ONE AND ONE-HALF (1-1/2) INCHES (38MM) INTO THE RECEIVING GUIDE. A BOLT DIAMETER OF THREEEIGHTHS (3/8) INCH (10MM) MAY BE USED IN A RESIDENTIAL BUILDING. THE SLIDE BOLT SHALL BE ATTACHED TO THE DOOR WITH NON-REMOVABLE BOLTS FROM THE OUTSIDE. RIVETS SHALL NOT BE USED TO ATTACH SLIDE BOLT ASSEMBLIES.

12. SWINGING EXTERIOR DOORS: ALL EXTERIOR SWINGING DOORS OF ANY RESIDENTIAL BUILDING AND ATTACHED GARAGES (EXCEPT FOR VEHICULAR ACCESS DOORS), INCLUDING THE DOOR LEADING FROM THE GARAGE AREA INTO THE DWELLING UNIT SHALL BE EQUIPPED AS FOLLOWS:
12.1 ALL WOOD DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF ONE AND THREE-FOURTHS (1-3/4) INCHES (45MM), OR WITH PANELS NOT LESS THAN NINE-SIXTEENTHS (9/16) INCH (15MM) THICK.

12.2 A SINGLE OR DOUBLE DOOR SHALL BE EQUIPPED WITH A SINGLE CYLINDER DEADBOLT LOCK WITH A MINIMUM PROJECTION OF ONE (1) INCH (25.4MM) AND BE CONSTRUCTED SO AS TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST THREE-FOURTHS (3/4) INCH (19MM) INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST ONE FOURTH (1/4) INCH (6.3MM) IN DIAMETER. ALL INSTALLATION SHALL BE DONE SO THAT THE PERFORMANCE OF THE LOCKING DEVICE WILL MEET THE INTENDED ANTI-BURGLARY REQUIREMENTS. A DUAL LOCKING MECHANISM CONSTRUCTED SO THAT BOTH DEADBOLT AND LATH CAN BE RETRACTED BY A SINGLE ACTION OF THE INSIDE DOOR KNOB, OR LEVER, MAY BE SUBSTITUTED PROVIDED IT MEETS ALL OTHER SPECIFICATIONS FOR LOCKING DEVICES.

12.3 THE INACTIVE LEAD OF DOUBLE DOORS SHALL BE EQUIPPED WITH METAL FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF FIVE-EIGHTH (5/8) INCH (16MM) INTO THE HEAD AND THRESHOLD OF THE DOOR FRAME.
12.4 GLAZING: GLAZING IN EXTERIOR DOORS OR WITHIN FORTY (40) INCHES (1016MM) OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS OR RATED BURGLARY RESISTANT GLAZING.
12.5 WIDE ANGLE VIEWER: EXCEPT WHERE CLEAR VISION PANELS ARE INSTALLED, ALL FRONT EXTERIOR DOORS SHALL BE EQUIPPED WITH A WIDE ANGLE (180 DEGREE) DOOR VIEWER.
12.6 HOLLOW STEEL DOORS SHALL BE A MINIMUM SIXTEEN (16) GAUGE THICK WITH EXTRA REINFORCING AROUND THE LOCK TO PREVENT COLLAPSING.
12.7 ALUMINUM DOORS SHALL BE CONSTRUCTED PER VOL. VII, SECTION 15.3 OF SECURITY ORDINANCE NO. 5581, AND SHALL BE EQUIPPED WITH A DOUBLE CYLINDER DEADBOLT WITH A 1" MIN. BOLT PROJECTION OR HOOK SHAPED OR EXPANDING DOG BOLT TO PREVENT SPREADING. THE DEADBOLT LOCK SHALL HAVE A MINIMUM OF FIVE (5) PIN TUMBLERS AND A CYLINDER GUARD.

13. ADDRESS NUMBER AND IDENTIFYING DATA: ADDRESS NUMBERS AND OTHER IDENTIFYING DATA SHALL BE DISPLAYED AS FOLLOWS:
14.1 ALL RESIDENTIAL DWELLINGS SHALL DISPLAY AN ADDRESS NUMBER IN A PROMINENT LOCATION ON THE STREET SIDE OF THE RESIDENCE IN SUCH A POSITION THAT THE NUMBER IS EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMERALS SHALL BE NO LESS THAN FOUR (4) INCHES (102MM) IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND TO WHICH THEY ARE ATTACHED. IN ADDITION, ANY RESIDENCE WITH REAR VEHICULAR ACCESS THROUGH ANY DRIVEWAY, ALLEYWAY OR PARKING LOT SHALL ALSO DISPLAY THE SAME NUMBERS ON THE REAR OF THE BUILDING.

14.2 MULTIPLE FAMILY DWELLING; ILLUMINATED DIAGRAMS AND IDENTIFICATION NUMBERS: THERE SHALL BE POSITIONED AT EACH ENTRANCE OF A MULTIPLE FAMILY DWELLING COMPLEX AN ILLUMINATED DIAGRAMMATIC REPRESENTATION OF THE COMPLEX WHICH SHOW THE LOCATION OF:
13.2.1THE VIEWER;

13.2.2THE UNIT DESIGNATIONS WITH THE COMPLEX.
13.2.3EACH UNIT THAT IS A "SMOKING UNIT" AND A "NON SMOKING" UNIT (AS GOVERNED BY CHAPTER 8.52 OF THE



NOTICE:
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Owner:
Cynthia Michelle Dely

Address:
3325 mills ave
la crescenta, ca 91214

Email:
cynthiadely@gmail.com

SCOPE OF WORK
495 sq ft addition to front of existing 1 story sfd, scope to include removing and re-building 145 sq ft covered front deck, replacing damaged wood sidings with stucco and interior remodeling.

Project Address:
3325 mills ave
la crescenta, ca 91214

Contents:

GENERAL NOTES

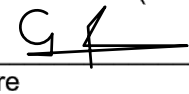
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www.zakdesignbuild.com

- APPROVED
- APPROVED
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- DRAWN BY
- PRINT DATE XX-XX-XX
- JOB NO
- SHEET NO

A-1.2

ITEM #	CODE SECTION	REQUIREMENTS
		Plumbing fixtures and fittings shall be installed in accordance with the 2022 <i>California Plumbing Code</i> and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> . Note: All noncompliant plumbing fixtures in any residential property shall be replaced with water conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final approval by the City of Glendale Building and Safety Division.
8	4.303.3	Submetering for multifamily buildings and dwelling units in mixed use residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the <i>California Plumbing Code</i> .
9	4.303.3	Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable referenced standards in Table 1701.1 of the <i>California Plumbing Code</i> .
Outdoor Water Use (Sec. 4.304)		
10	4.304.1	Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficiency landscape ordinance or the current California Department of Water Resources' Model Water Efficiency Landscape Ordinance (MWELO) whichever is more stringent. <i>Landscape plans shall show all outdoor water efficiency features of CalGreen Section 4.304.</i>
Division 4.4 – Material Conservation and Resource Efficiency		
Enhanced Durability and Reduced Maintenance (Sec. 4.406)		
11	4.406.1	Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the city building inspector.
Construction Waste Reduction, Disposal and Recycling (Sec. 4.408)		
12	4.408.1	Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with the City of Glendale's Construction and Demolition Waste Reduction and Recycling Plan (CDWRRP) Ordinance. A City approved waste management company/hauler shall be used for recycling of construction waste. Documentation of compliance shall be provided to the City's Building and Safety Division. <i>The project shall complete the city's Construction and Demolition Waste Reduction and Recycling Plan form prior to the issuance of the building permit and pay the CDWRRP deposit.</i>
Building Maintenance and Operation (Sec. 4.410)		
13	4.410.1	Operation and Maintenance manual. The builder shall prepare an Operation and Maintenance Manual as outlined in 2022 CalGreen Section 4.410.1. The manual shall be given to the owner upon final approval by the building inspector. In such case where the property is being sold, it should be given to the new owner at the time of sale. A copy of the manual shall be available for the inspector prior to, or at the time of final inspection.

ITEM #	CODE SECTION	REQUIREMENTS
		a. Special Inspectors shall be approved by the City of Glendale Building & Safety Division prior to performing any special inspections of any component or system required by the CalGreen Code. b. Special Inspectors shall be qualified and able to demonstrate competence to the enforcing agency in the discipline which they are inspecting. c. Special Inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting.
Verifications (Sec. 703)		
24	703.1	Documentation. Documentation used to show compliance with this code shall include but is not limited to: construction documents, plans, specifications, bulder or installer certification, inspection reports, or other methods acceptable to the City of Glendale which demonstrates substantial conformance.
DEFINITIONS		
25		ADDITION. An extension or increase in floor area of an existing building or structure.
26		ALTERATION OR ALTER. Any construction or renovation to an existing structure other than repair for the purpose of maintenance or addition.
27		LEVEL 2 ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The 208/240-volt 40-ampere branch circuit, and the electric vehicle charging connectors, attachment plugs and all other fittings, devices, power outlets or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.
28		GREEN BUILDING. A holistic approach to design, construction and demolition that minimizes the building's impact on the environment, the occupants and the community.
29		HIGH-RISE RESIDENTIAL BUILDING. For the purposes of CALGreen, any building that is of Occupancy Group R and is four stories or greater in height.
30		LOW-RISE RESIDENTIAL BUILDING. For the purpose of CALGreen, any building that is of Occupancy Group R and is three stories or less.
COMPLIANCE STATEMENT		
31		Compliance Statement. As the design professional or designer of record for this project, I certify that the design complies with all the applicable provisions of the 2022 California Green Building Standards Code (CalGreen Code) and including the Glendale Amendments to Volume IX Green Building Standards (Ord. No 5998 and No. 5999) of the 2023 Glendale Building and Safety Code. <div><div> Signature ZAK DESIGN + BUILD Company _____ Date</div><div>NAREK ZAKARYAN Print Name 535 FISCHER ST GLENDALE CA Address _____ License</div></div>

ITEM #	CODE SECTION	REQUIREMENTS
		Note: Refer to the State Water Resource Control Board for projects which disturb one acre or more of soil, or part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)
3	4.106.3	Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. (Does not apply to additions and alterations not altering the drainage path.)
4	4.106.4.3	Multi-family residential only: When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered, ten percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. (Electric Vehicle Charging Space definition: A space intended for future installation of EV charging equipment and charging of electric vehicles). <i>Construction documents shall show the requirements above.</i>
5	4.106.5 (GBSC)	Water permeable surface. <i>Provide calculation on site plan to show proposed water permeable surfaces shall not to be less than 20 percent of the total on-grade, residential uncovered parking, walking or patio surfaces.</i> The primary driveway, the primary entry walkway and entry porch or landing and required accessible routes for persons with disability as required by Chapter 11A and / or 11B of CBC shall not be included when calculating the area required to be a permeable surface.
Division 4.2 – Energy Efficiency		
Performance Requirements (Sec. 4.201)		
6	4.201.1	Scope. This project shall comply with all applicable energy efficiency requirements as set forth in the 2022 California Energy Code and the City of Glendale Amendment to the California Energy Code Ordinance No. 5999. <i>Energy calculations and compliance forms shall be included as part of the plans and drawings.</i>
Division 4.3 – Water Efficiency and Conservation		
Indoor Water Use (Sec. 4.303)		
7	4.303.1	Indoor water use. Plumbing fixtures and fittings shall comply with the following and <i>shall be shown on the construction documents:</i> a. Water closets: Maximum 1.28 gallons per flush b. Urinals: Maximum 0.125 gallons per flush for wall-mounted. Other urinals: 0.5 gallons per flush. c. Single showerheads: Maximum flow rate of 2.0 gallons per minute at 80 psi. d. Multiple showerheads serving one shower: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi. e. Lavatory faucets within dwelling units: Max flow rate of 1.2 gallons per minute at 60 psi. Minimum flow rate of 0.8 gallon per minute at 20 psi. f. Lavatory faucets in common and public use areas: Maximum flow rate of 0.5 gallons per minute at 60 psi. g. Metering faucets: Maximum 0.25 gallons per cycle. h. Kitchen faucets: Maximum flow rate of 1.8 gallons per minute at 60 psi.

ITEM #	CODE SECTION	REQUIREMENTS
		b. Building materials with visible signs of water damage shall not be installed. Wall and floor framing lumber shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified using one of the methods listed in CalGreen section 4.505.3. c. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.
Indoor Air Quality (Sec.4.506)		
19	4.506.1	Bathroom and exhaust fans. Each bathroom (a room which contains a bathtub, shower, or tub/shower combination) shall be mechanically ventilated and shall comply with the following: a. Exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. b. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control. c. Humidity controls shall be capable of adjustment between 50% and 80% relative humidity. Humidity control may utilize manual or automatic means of adjustment which may be a separate component to the exhaust fan (not required to be built-in).
Environmental Comfort (Sec. 4.507)		
20	4.507.2	Heating and air-conditioning system design. HVAC systems shall be sized, designed and have equipment selected using the methods listed in CalGreen Section 4.507.2.
Natural Light and Ventilation (Sec. 4.509)		
21	4.509.1 (GBSC)	Natural light and ventilation. <i>Provide calculation of required natural light and ventilation on plans showing the following:</i> a. The minimum glazed area for natural light shall not be less than 10 percent of the floor area of the room served. b. The minimum openable area for ventilation to the outdoors shall be 5 percent of the floor area of being ventilated.
Chapter 7 – INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS		
Qualifications (Sec. 702)		
22	702.1	Installer and training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. a. State certified apprenticeship programs. b. Public utility training programs. c. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. d. Programs sponsored by manufacturing organizations. e. Other programs acceptable to the enforcing agency.
23	702.2	Special inspection. When required by the <i>California Building Code</i> , or the approved plans, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with the CalGreen Code. Special inspectors shall comply with the following:



RESIDENTIAL MANDATORY MEASURES ADDITIONS/ALTERATIONS

The 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen) requires all of the following provisions. These provisions apply to additions or alterations that increases the conditioned space of existing residential buildings including one- and two-family dwellings, townhomes, and multi-family units in low-rise and high-rise residential buildings such as apartments, condominiums, motels and hotels and other types of dwellings containing sleeping accommodations with or without common toilet or cooking facilities including accessory buildings, facilities and uses thereto. Detached "U" occupancy buildings are not subject to the requirements of CALGreen. Existing site and landscaping improvements that are not otherwise disturbed are also not subject to the requirements of CALGreen. For newly constructed residential building, see separate checklist. Repairs to existing structures are not subject to CALGreen at this time.

Please incorporate these requirements into the plans and sign the compliance statement at the end of this document. Provisions that are underlined and **italicized** shall be shown on the construction documents. The information listed here is an outline of the Mandatory Measures. For complete requirements and possible exceptions, please refer to the 2022 CALGreen Code. Code Sections in **bold** are City of Glendale additional mandatory CALGreen amendments.

ITEM #	CODE SECTION	REQUIREMENTS
Chapter 3 – GREEN BUILDING		
		Addition and Alterations <ul style="list-style-type: none">Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.
301.3		<ul style="list-style-type: none">Section 4.106.4.3 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multi-family buildings.Requirements only apply within the specific area of the addition or alteration.
Chapter 4 – RESIDENTIAL MANDATORY MEASURES		
Division 4.1 – Planning and Design		
Site Development (Sec. 4.106)		
1	4.106.1	General. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas.
2	4.106.2	Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common development, shall manage storm water drainage during construction. In order to manage storm store water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. <ul style="list-style-type: none">Retention basins of sufficient size shall be utilized to retain storm water on the site.Where storm water is conveyed to a public drainage system or gutter, water shall be filtered by use of a barrier system or wattle approved by the city.Compliance with all NPDES and City of Glendale Storm Water Management Ordinance.

ITEM #	CODE SECTION	REQUIREMENTS
14	4.410.2	Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide a readily accessible area(s) that serves all buildings on the site and is identified for recycling. Contact the City's Public Works Integrated Waste Management Division for details of the City's recycling ordinance.
Division 4.5 – Environmental Quality		
Fireplaces (Sec. 4.503)		
15	4.503.1	Fireplaces. Any installed gas fireplace shall be direct vent sealed combustion type. New wood burning masonry fireplaces are not allowed per SCAQMD Rule 445.
Pollutant Control (Sec.4.504)		
16	4.504.1	HVAC system protection. During the construction process and until final startup of the HVAC system, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other method to reduce the amount of water, dust and debris which may enter the system.
17	4.504.2	Finish material pollutant control. Finish material pollutant control, shall comply as follows: <ul style="list-style-type: none">Adhesives, sealants and caulks used on this project shall comply with SCAQMD Rule 1168 for VOC limits and toxic compounds. Aerosol adhesives, sealants and caulks (in packaging units not more than one pound or 16 fluid ounces) shall comply with statewide VOC standards.Paints and coatings shall comply with VOC limits in CalGreen Table 4.504.3.Aerosol paints and coatings shall comply with statewide requirements and other requirements noted in CalGreen Section 4.504.2.3Carpet Systems. All carpeting and carpet cushion shall meet the requirements of the Carpet and Rug Institute Green Label Plus Program. Adhesives shall comply with VOC limits in CalGreen Table 4.504.1.Resilient flooring. Where installed, 80% of the floor area receiving resilient flooring shall comply with one or more of the standards listed in CalGreen Section 4.504.4.Composite wood products used on the interior or exterior of the building shall comply with the formaldehyde limits in CalGreen Table 4.504.5.
		Verification of compliance with the standards listed above shall be provided upon request to the building inspector.
Interior Moisture Control (Sec. 4.505)		
18	4.505.1	Interior moisture control. Buildings shall meet or exceed the provisions of the <i>California Building Code</i> . <ul style="list-style-type: none">Concrete Slab foundations. Concrete Slab-on-grade foundations/floors that are required to have a vapor retarder by the <i>California Building Code</i> section 1907 or the <i>California Residential Code</i> section R506, shall have a capillary break consisting of a 4-inch-thick base of ½ inch or larger clean aggregate with a vapor retarder in direct contact with concrete. The concrete mix design shall address bleeding, shrinkage, and curling. For additional information, see American Concrete Institute, ACE 302.2R-06.

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Owner:
Cynthia Michelle Dely

Address:
3325 mills ave
la crescenta, ca 91214

Email:
cynthiadely@gmail.com

SCOPE OF WORK

495 sq ft addition to front of existing 1 story sfd, scope to include removing and re-building 145 sq ft covered front deck, replacing damaged wood sidings with stucco and interior remodeling.

Project Address:
3325 mills ave
la crescenta, ca 91214

Contents:

← CAL GREEN BUILDING NOTES

Scale:

Drawn by:
NZ

Phone:
818.261.5494

Email:
narek@zakdesignbuild.com

Web:
www.zakdesignbuild.com

- APPROVED
- APPROVED
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- DRAWN BY
- PRINT DATE XX-XX-XX
- JOB NO
- SHEET NO

A-1.3

NOTE:

ASBESTOS DEMOLITION RULE 1403

- a. Survey Requirement: Asbestos survey is required prior to any renovation or demolition. Asbestos must be removed prior to renovation activities that may disturb the asbestos containing materials. All asbestos must be removed prior to building demolition.

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◀ EXISTING/DEMO FLOOR PLAN

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Drawn by:
NZ

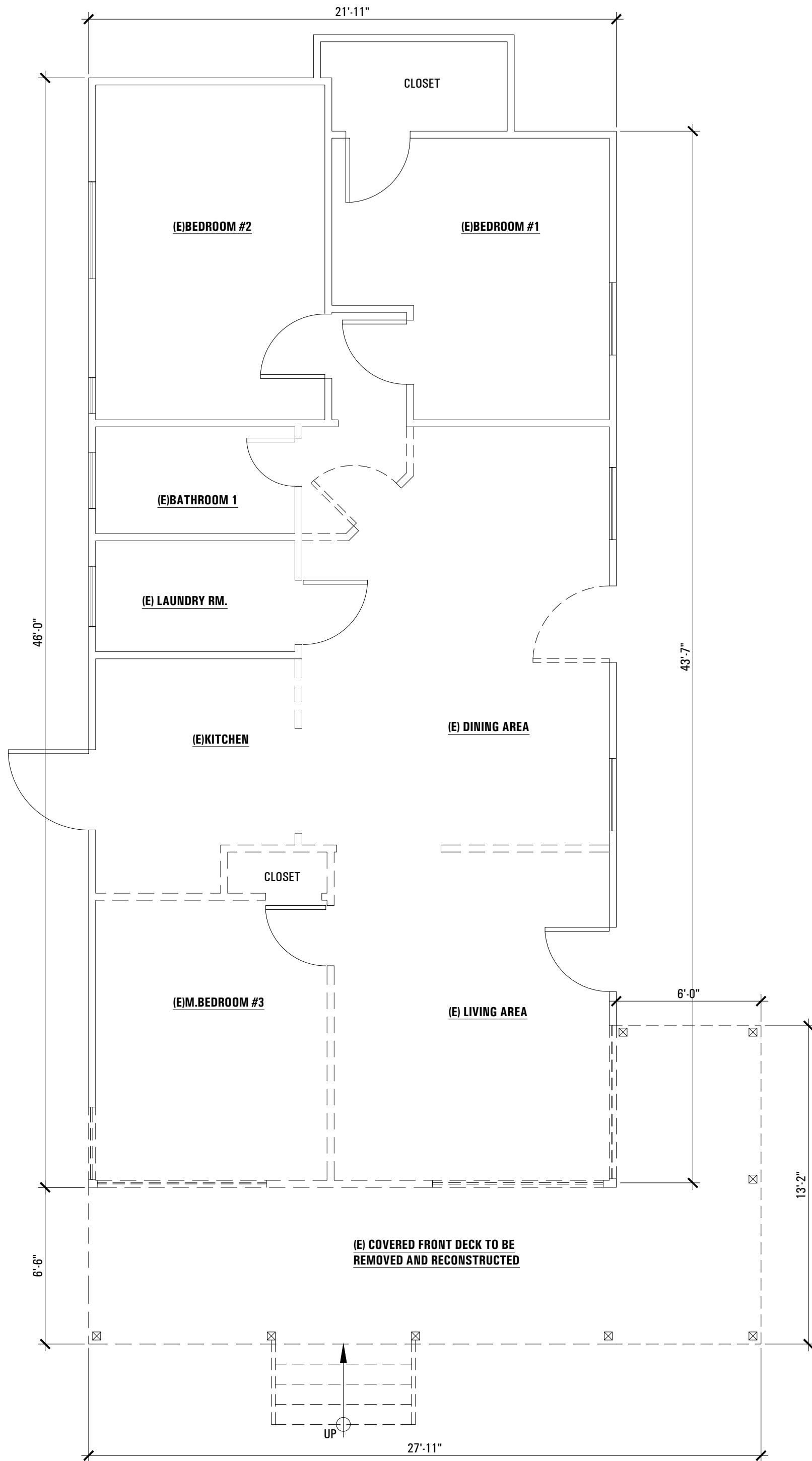
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- SHEET NO

A-2.0



LEGEND

- (E) STUD WALL TO REMAIN
(E) STUD WALL TO BE DEMO'D

A EXISTING/DEMO FLOOR PLAN
1/4"=1'-0"

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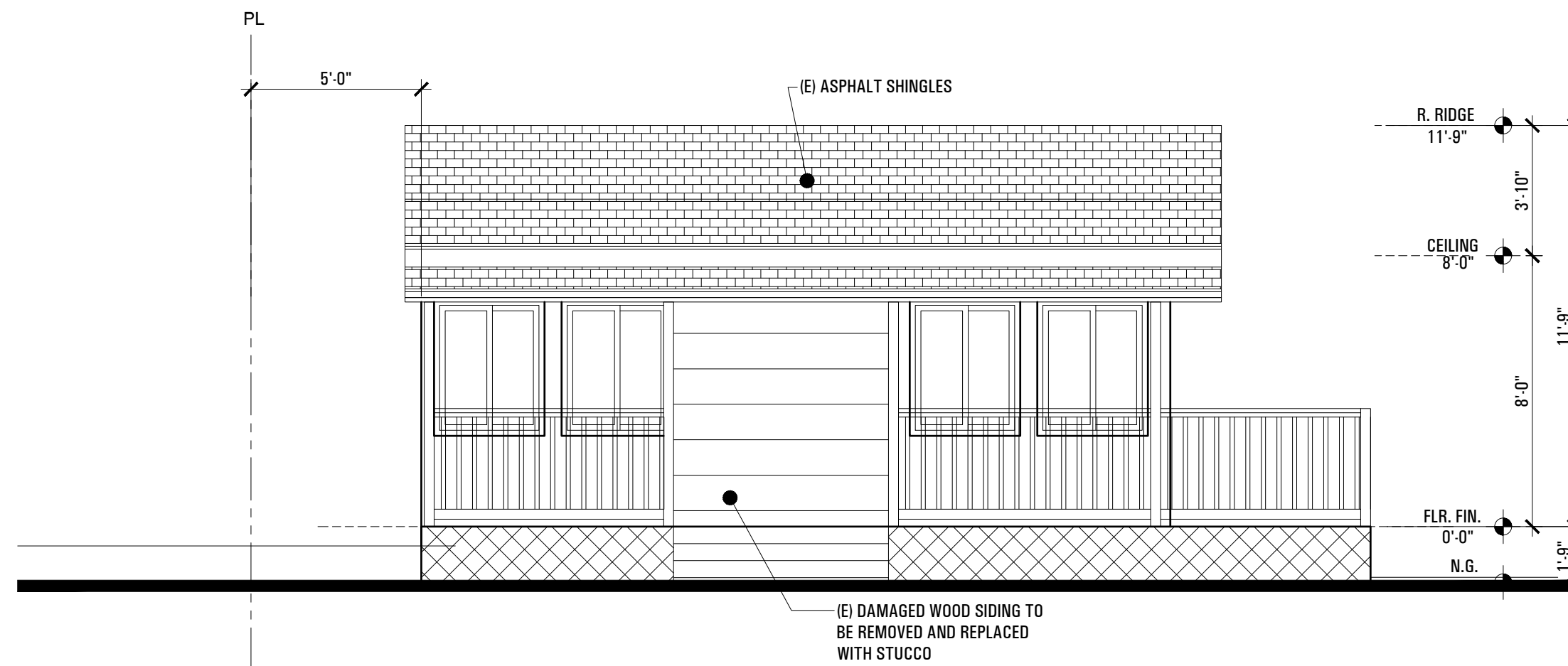
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narek@zakdesignbuild.com

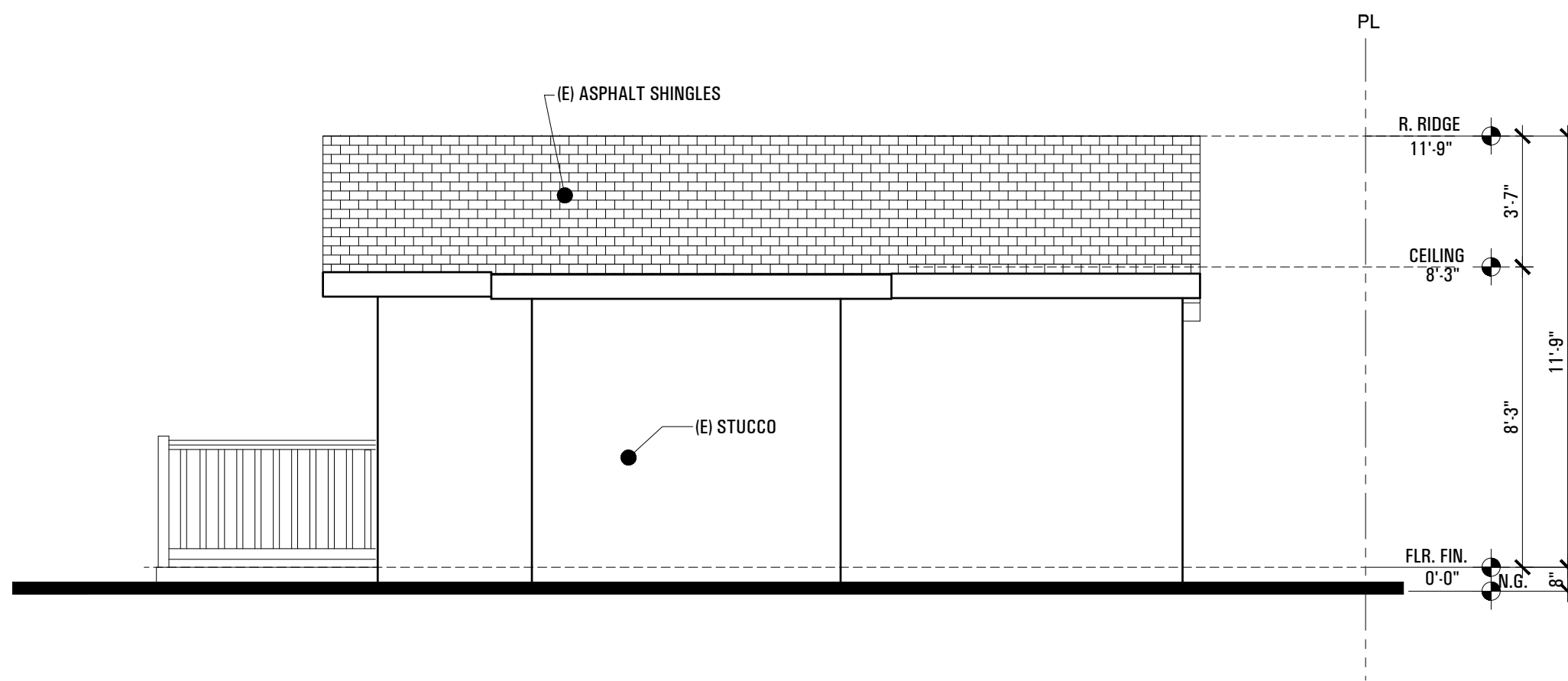
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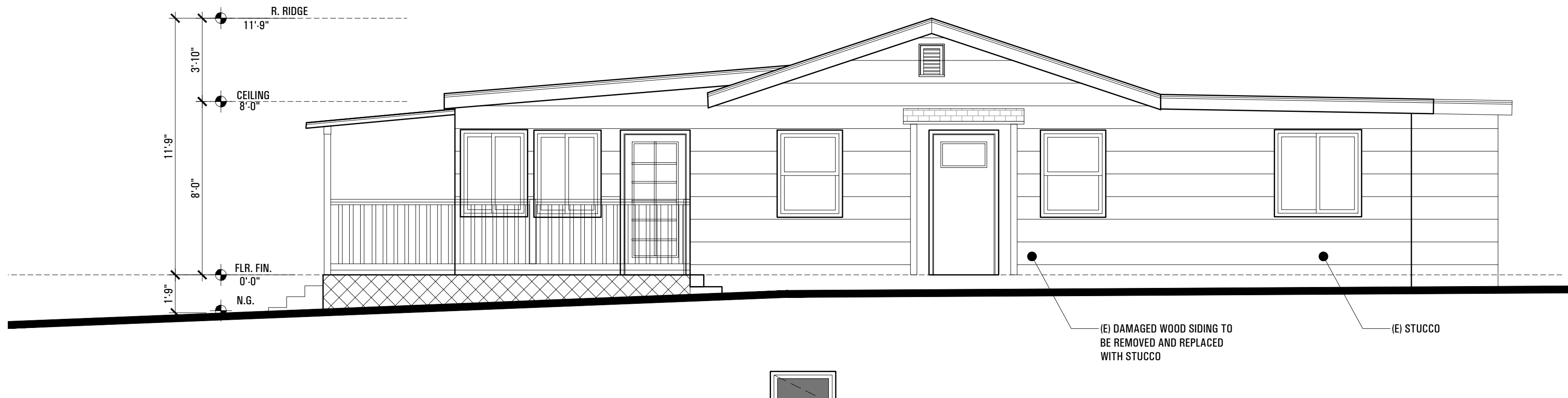
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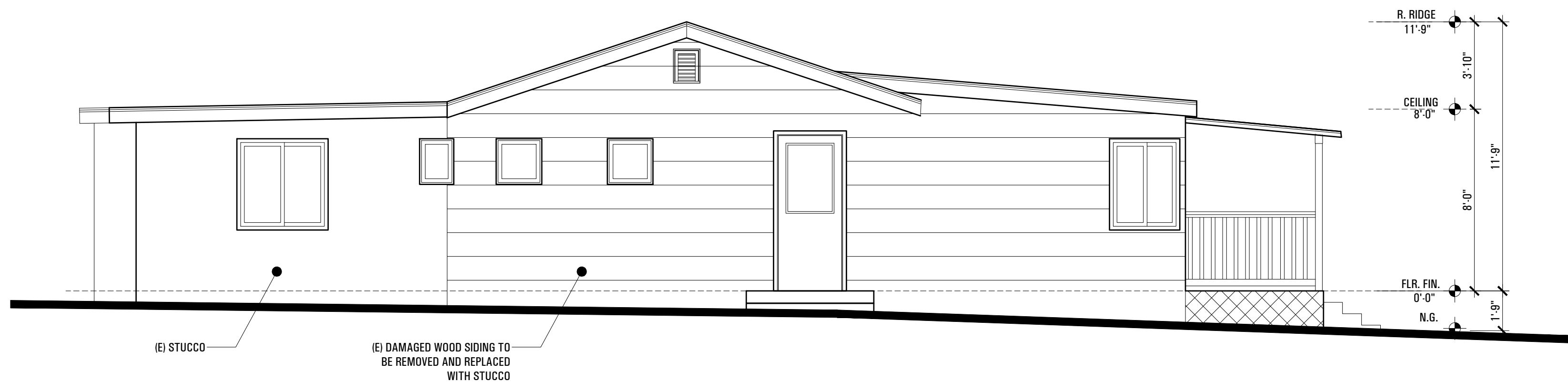
A EXIST. SOUTH(FRONT) ELEVATION
1/4"=1'-0"



B EXIST. WEST(REAR) ELEVATION
1/4"=1'-0"



C EXIST. EAST(SIDE) ELEVATION
1/4"=1'-0"



D EXIST. WEST(SIDE) ELEVATION
1/4"=1'-0"



CITY OF GLENDALE
BUILDING AND SAFETY
633 EAST BROADWAY ROOM 101 (818) 548-3200

SUPPLEMENTAL CORRECTION SHEET SECURITY STANDARDS – RESIDENTIAL

- The following buildings shall comply with the Security Provisions:
 - New residential buildings of all types.
 - Additions or alterations to residential buildings of all types.
 - Multiple family dwelling units converted to privately owned family units (condominiums or cooperatives).
- Identify all security openings clearly on plans. The symbol * may be used, but any system which clearly defines security openings will be acceptable.
 - Security Openings are defined as:
 - All exterior doors of residential buildings.
 - The door leading from garage into attached dwelling units.
 - Entrance doors to individual apartments or condominiums from a public area.
 - Any glazed opening within 40" of any door locking mechanism in the closed mechanism.
 - Louvered windows within 12" vertically or 6" horizontally of an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
 - Openings or windows into public parking areas.
 - All operable windows. See Item 4 below.
- Provide details and specifications for all swinging doors in security openings.
 - Specify thickness, type, and materials as applicable for wood, metal, and glass doors.
 - Specify deadbolts with hardened inserts; dead-locking latch key-operated locks on exterior; locks operable without key, special knowledge or special effort on interior; and type, throw, and embedment of deadbolts for single swing doors, active leaf of dutch door.
 - Show means of securing inactive leaf of double door and upper leaf of dutch door.
- Architect shall specify sliding glass doors and operable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in the most recent edition of the California Building Code.
- Show the method of securing metal or wood overhead or sliding doors.
- For multiple family dwellings, show illuminated diagram on plans as specified in General Notes, Item 12.2.3

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Openings or windows referred to in item 2g above, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens, or grilles. The protective bars or grilles shall not interfere with the operation of opening windows if such windows are required to be operable by this Code.

- In addition to the details and specifications required by items 1 through 7 above, provide appropriate general notes and specifications to comply with Volume VII, Ordinance No. 5998. The following example notes may be used in part or in total as appropriate:

GENERAL NOTES:

All openings marked * are security openings and the following notes shall apply:

- Each unit in a residential development shall be keyed differently than any other units under the same general plan. A certificate from the lock supplier declaring that all locks supplied to the project are keyed separately shall be acceptable as complying with the above requirements.
- Door jambs shall have a solid backing with no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.
- In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Jambs shall have solid backing against sole plates.
- Iron or steel screens shall be 1/8" thick with 2" mesh securely fastened.
- Iron bars shall be 1/2" diameter bars or 1" x 1/4" flat steel spaced at 5" max, securely fastened.
- Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to gripping tools.
- Door stops for in-swinging doors shall be integrated (rabbeted) with the jamb. Jambs for all doors shall be constructed or protected so as to prevent violation of the strike.
- The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by a minimum of two screws.
- Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.
- Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
- Garage Door Types:** Rolling overhead, solid overhead, swing or sliding accordion garage-type doors shall conform to the following standards:
 - Wood doors shall have panels a minimum of five-sixteenths (5/16) inch (8mm) in thickness with the locking hardware being attached to the support framing.
 - Aluminum doors shall be a minimum thickness of .0215 inches (.546mm) and riveted together a minimum of eighteen (18) inches (458mm) on center along the outside seams. There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestrian access door.
 - Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1851 gram/m²) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1526 grams/m²).
 - Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch (25.4mm).
 - Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points or, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header; or, torsion spring counter balance type hardware may be used.
 - Doors with slide bolt assemblies shall have frames a minimum of .120 inches (3mm) in thickness, with a minimum bolt diameter of one-half (1/2) inch (13mm) and protrude at least one and one-half (1 1/2) inches (38mm) into the receiving guide. A bolt diameter of three-eighths (3/8) inch (10mm) may be used in a residential building. The slide bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach slide bolt assemblies.
- Swinging Exterior Doors:** All exterior swinging doors of any residential building and attached garages (Except for vehicular access doors), including the door leading from the garage area into the dwelling unit shall be equipped as follows:
 - All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches (45mm), or with panels not less than nine-sixteenths (9/16) inch (15mm) thick.
 - A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch (19mm) into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one fourth (1/4) inch (6.3mm) in diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.
 - The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch (16mm) into the head and threshold or the door frame.
 - Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing.
 - Wide Angle Viewer: Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle (180°) door viewer.
 - Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing.
 - Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" min. bolt projection or hook shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard.
- Address Number and Identifying Data:** Address numbers and other identifying data shall be displayed as follows:
 - All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with rear vehicular access through any driveway, alleyway or parking lot shall also display the same numbers on the rear of the building.

All doors & windows shall meet City of
Glendale's Security ordinance

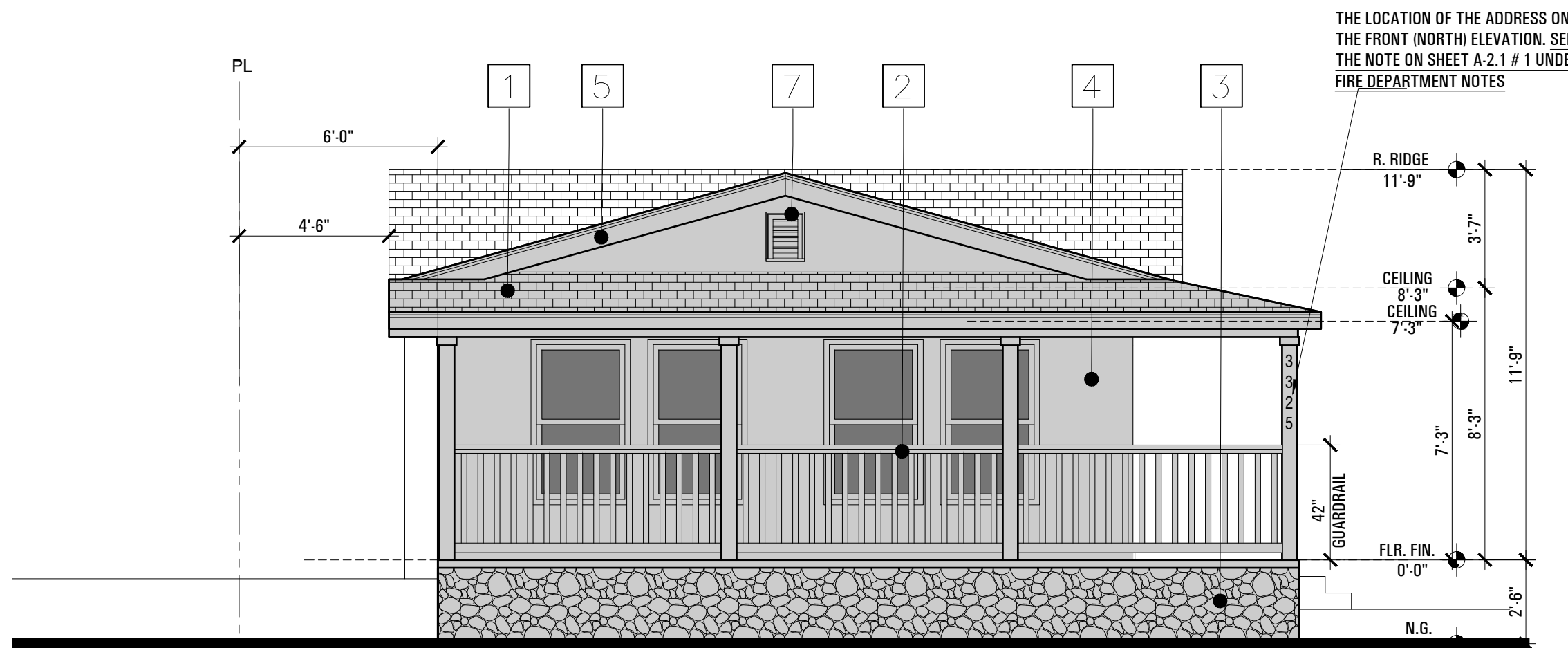
DESIGN STATEMENT

The existing house is a California Ranch with Cottage Bungalow influences, characterized by a low-pitched roof, a covered porch, and simple wood detailing.

The proposed 495 SF front addition adopts a Transitional Craftsman approach, extending the front with a gable roof and a covered porch that matches the original roof style. It features square columns, refined wood railings, and improved window symmetry, enhancing curb appeal while preserving the home's architectural harmony. The porch's base is accented with a Colorado River rock veneer, a nod to traditional Craftsman materials, which enhances the home's organic connection to its surroundings.

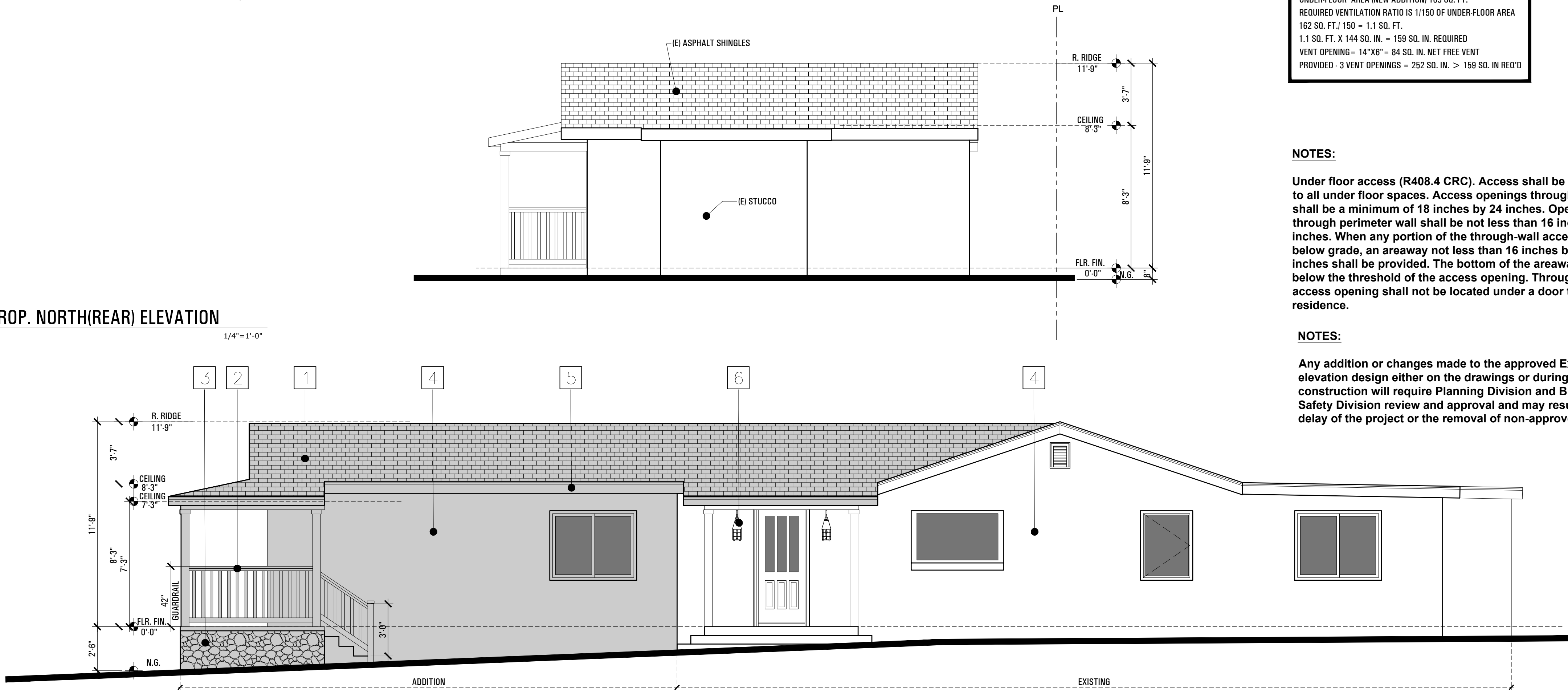
A PROP. SOUTH(FRONT) ELEVATION

1/4"=1'-0"



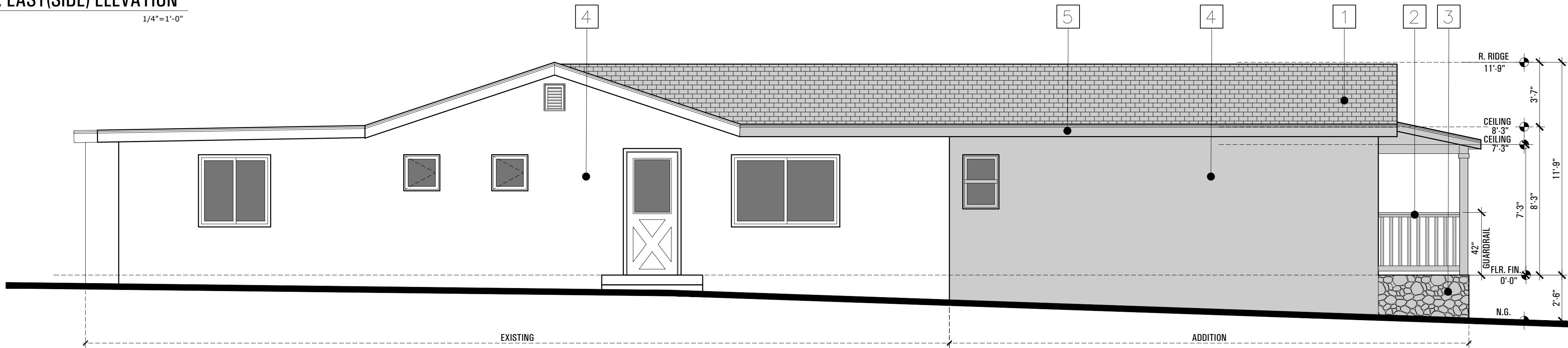
B PROP. NORTH(REAR) ELEVATION

1/4"=1'-0"



C PROP. EAST(SIDE) ELEVATION

1/4"=1'-0"



D PROP. WEST(SIDE) ELEVATION

1/4"=1'-0"

ELEVATION KEY NOTES

SYMBOL	DESCRIPTION
1	CLASS "A" ASPHALT SHINGLE FOREST BROWN LAMINATE ARCHITECTURAL ROOFING SHINGLES (ICC-ES AC438) BY OWENS CORNING OR EQUAL OVER 2LAYERS OF #15 FELT AND ROOF SHEATHING
2	NEW WOOD GUARDRAIL
3	NEW ARCHITECTURAL STONE VENEER "RIVER ROCK COLORADO" BY ELDORADO STONE
4	NEW STUCCO WITH 7/8" STUCCO (ICC-ES ESR-2564) OVER MTL. LATH & STUCCO PAPER
5	NEW FASCIA BOARD (TYP)
6	OUTDOOR WALL LANTERN
7	GABLE VENT

UNDER-FLOOR VENTILATION

UNDER-FLOOR AREA (NEW ADDITION) 163 SQ. FT.
REQUIRED VENTILATION RATIO IS 1/150 OF UNDER-FLOOR AREA
162 SQ. FT./ 150 = 1.1 SQ. FT.
1.1 SQ. FT. X 144 SQ. IN. = 159 SQ. IN. REQUIRED
VENT OPENING - 14"x6" = 84 SQ. IN. NET FREE VENT
PROVIDED - 3 VENT OPENINGS = 252 SQ. IN. > 159 SQ. IN. REQ'D

NOTES:

Under floor access (R408.4 CRC). Access shall be provided to all under floor spaces. Access openings through the floor shall be a minimum of 18 inches by 24 inches. Openings through perimeter wall shall be not less than 16 inches by 24 inches. When any portion of the through-wall access is below grade, an areaway not less than 16 inches by 24 inches shall be provided. The bottom of the areaway shall be below the threshold of the access opening. Through wall access opening shall not be located under a door to the residence.

NOTES:

Any addition or changes made to the approved Exterior elevation design either on the drawings or during construction will require Planning Division and Building & Safety Division review and approval and may result in a delay of the project or the removal of non-approved work.

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Cynthia Michelle Dely

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Email:

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SCOPE OF WORK

495 sq ft addition to front of existing 1 story sfd, scope to include removing and re-building 145 sq ft covered front deck, replacing damaged wood sidings with stucco and interior remodeling.

Project Address:

3325 mills ave
la crescenta, ca 91214

Contents:

PROPOSED
ELEVATIONS

Scale:

Drawn by:

NZ

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818.261.5494

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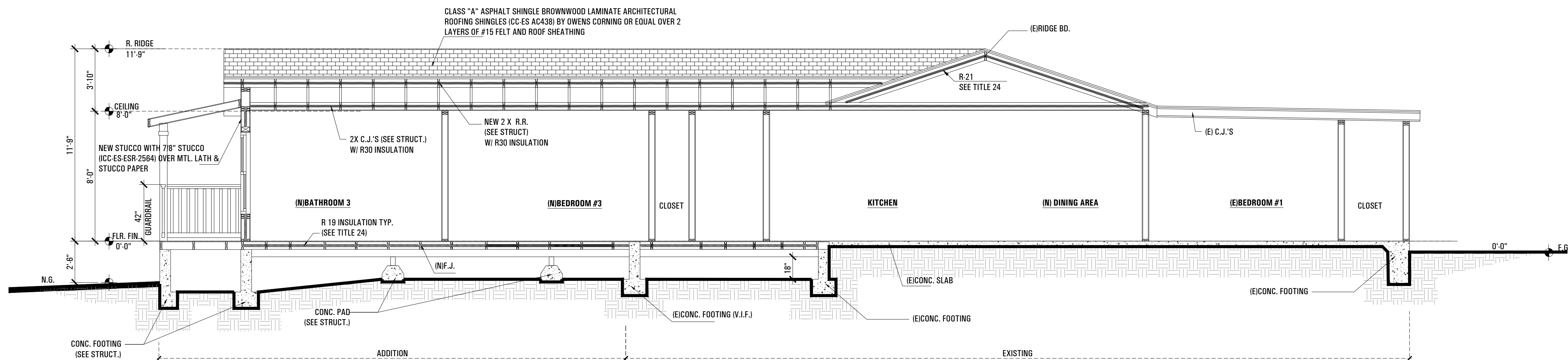
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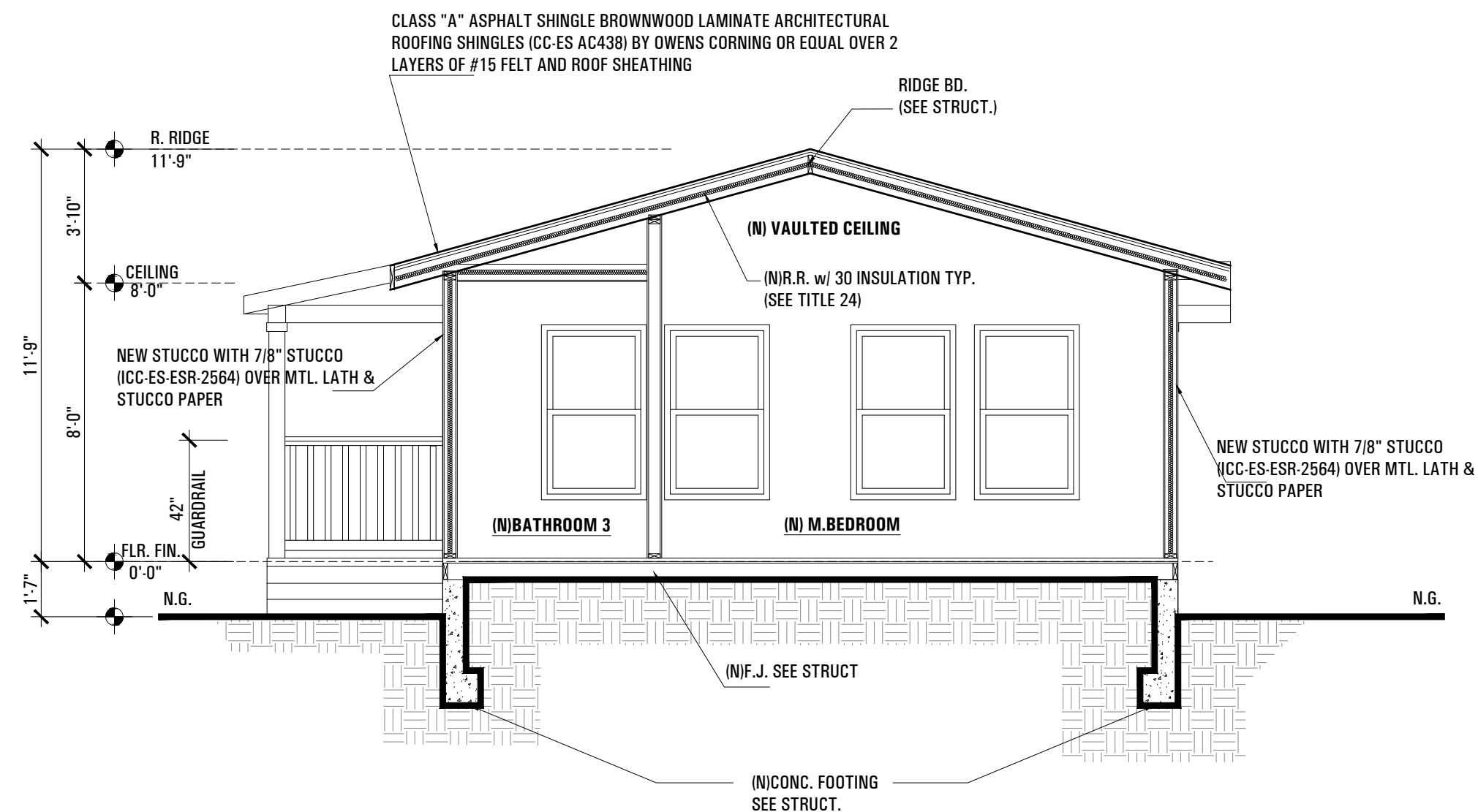
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A-4.0



A SECTION A-A
1/4"=1'-0"



B SECTION B-B
1/4"=1'-0"

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Contents:

◀ EXIST. ROOF PLAN

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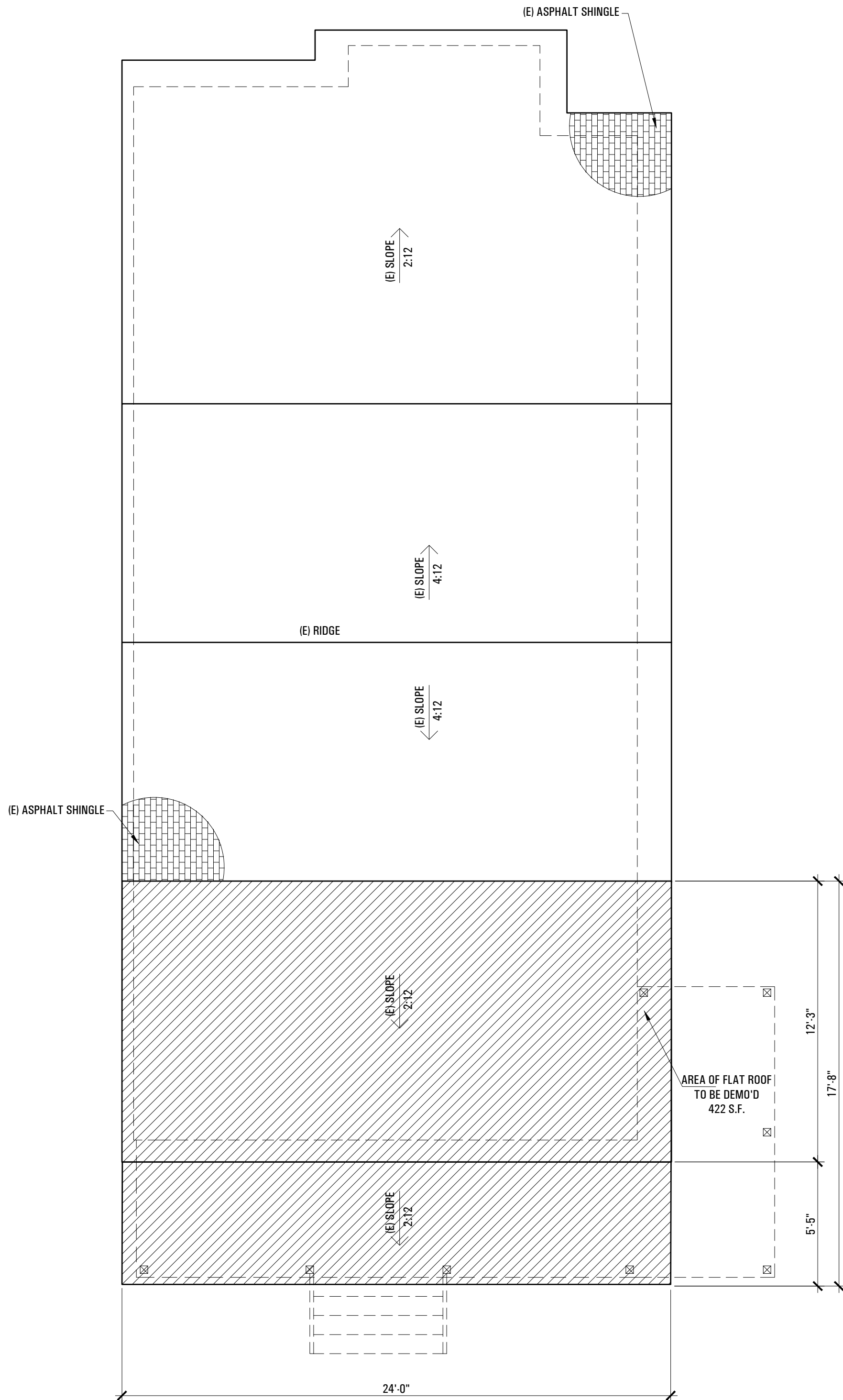
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A EXIST. ROOF PLAN
1/4"=1'-0"

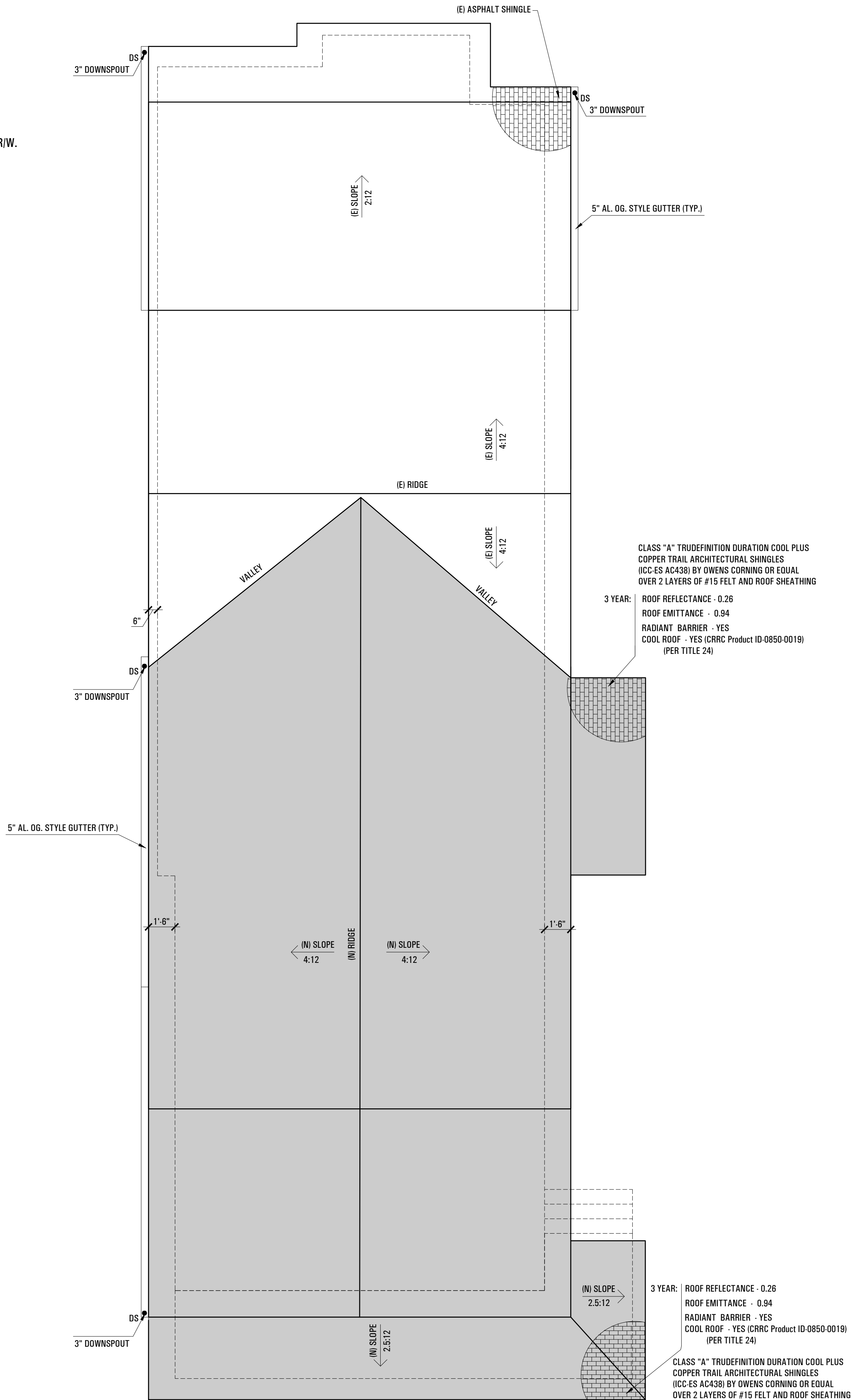
NOTE:

THE INSTALLATION OF A COOL ROOF THAT HAS BEEN CERTIFIED BY THE CRRC AND MEETS THE APPLICABLE VALUES FOR BOTH THERMAL EMITTANCE AND AGED SOLAR REFLECTANCE (SEE TITLE 24)

NOTE:

DRAINAGE NOTES:

- A. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
B. OWNER SHALL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.
C. AN EXCAVATION/ENCROACHMENT PERMIT IS REQUIRED FOR CONSTRUCTION AND/OR DISCHARGE WITHIN PUBLIC ROAD R/W.
D. NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF AN OAK TREE WITHOUT AN OAK TREE REPORT AND PERMIT.
E. FINISHED FLOOR SHALL BE MINIMUM 8" ABOVE FINISHED GRADE.



A ROOF PLAN
1/4"=1'-0"

NOTE:

ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING, AND DEMOLITION WORK. PROVIDE NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDINGS SHOULD BE PROTECTED. NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION. (CBC [BS] 3307.1)

NOTE:

- CROSS-LOT DRAINAGE ONTO ADJACENT PROPERTY IS NOT ALLOWED:
A. SHEET FLOW DRAINAGE SHALL MAINTAIN A MINIMUM 1/4" PER FOOT SLOPE.
B. ALL DRAINAGE ON SITE MUST BE DIRECTED TO THE STREET.

NOTE:

MINIMUM 1" AIRSPACE REQUIRED BETWEEN INSULATION AND ROOF SHEATHING (R806.3 CRC).

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Contents:

NEW ROOF PLAN

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Contents:

DOOR/WINDOW SCHEDULES

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< WINDOW SCHEDULE >

MARK	COUNT	(E)WIDTH x HEIGHT	(N)WIDTH x HEIGHT	(E) MATERIAL	(N) MATERIAL	VISIBLE FROM THE STREET	(E) OPERATION	(N) OPERATION	(N) FRAME TYPE	EXTERNAL GRID (SLD)	(N) EDGE DETAIL	KEEP EXISTING SILL & FRAME? Y/N	BUILD NEW SILL & FRAME? Y/N	BEDROOM? Y/N	ENERGY EFFICENT?Y/N	TEMPERED GLASS? Y/N	FIRE HAZARD ZONE?Y/N	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR?Y/N	U FACTOR	SHGC	REMARKS
A	4	N/A	3'-0" x 5'-0"	N/A	VINYL	Y	N/A	SINGLE HUNG	RECESSED NAIL-ON	N	STUCCO	NA	Y	Y	Y	N	N	N	0.30	0.23	SEE DTL # 2 SHT. A-8.0
B	2	2'-0" x 2'-0"	2'-0" x 2'-0"	WOOD	VINYL	N	CASEMENT	CASEMENT	RECESSED NAIL-ON	N	STUCCO	NA	Y	N	Y	Y	N	N	0.30	0.23	FROSTED GLASS
C	1	N/A	5'-0" x 4'-0"	WOOD	VINYL	N	N/A	SLIDING	RECESSED NAIL-ON	N	STUCCO	NA	Y	Y	Y	N	N	N	0.30	0.23	
D	1	3'-0" x 4'-0"	5'-0" x 3'-0"	WOOD	VINYL	N	SINGLE HUNG	GARDEN WINDOW	RECESSED NAIL-ON	N	STUCCO	NA	Y	N	Y	N	N	N	0.30	0.23	
E	1	3'-0" x 4'-0"	3'-0" x 4'-0"	WOOD	VINYL	N	SINGLE HUNG	CASEMENT	RECESSED NAIL-ON	N	STUCCO	NA	Y	N	Y	N	N	N	0.30	0.23	
F	2	4'-0" x 4'-0"	4'-0" x 4'-0"	WOOD	VINYL	N	SLIDING	SLIDING	RECESSED NAIL-ON	N	STUCCO	NA	Y	Y	Y	N	N	N	0.30	0.23	
G	1	N/A	6'-0" x 4'-0"	N/A	VINYL	N	N/A	SLIDING	RECESSED NAIL-ON	N	STUCCO	NA	Y	N	Y	N	N	N	0.30	0.23	
H	1	N/A	2'-0" x 3'-0"	N/A	VINYL	N	N/A	SINGLE HUNG	RECESSED NAIL-ON	N	STUCCO	NA	Y	N	Y	Y	N	N	0.30	0.23	FROSTED GLASS

< DOOR SCHEDULE >

MARK	(E)WIDTH x HEIGHT	(N)WIDTH x HEIGHT	(E) MATERIAL	(N) MATERIAL	VISIBLE FROM THE STREET	(N) OPERATION	DESCRIPTION	U FACTOR	SHGC	REMARKS
1	NA	3'-0"x6'x8"	NA	WOOD/METAL	N	SWING	EXTERIOR,W/SECURITY LOCK SET			
2	NA	3'-0" x 6'-8"	NA	WOOD	N	BI-FOLD				
3	NA	6'-0" x 6'-8"	NA	WOOD	N	SLIDING/CLOSET				
4	NA	2'-8" x 6'-8"	NA	WOOD	N	SWING				
5	NA	3'-0"x6'x8"	NA	WOOD	N	SWING	EXTERIOR,W/SECURITY LOCK SET			TEMPERED GLASS

WINDOW NOTE
1.ALL GLAZING WITHON 40" OF ENTRY DOOR HANDLE SHALL BE TEMPERED2. THE NFRC TEMPORARY LABELED DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL TUBULAR)MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED
3. BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.75 SF WHEN ABOVE THE GRADE-FLOOR AND 5SF ON THE GRADE FLOOR, A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.

NOTE:

- 1.ALL NEW WINDOWS SHALL MATCH EXISTING HOUSE (RECESSED W/ WOOD SILL AND FRAME)
- 2.NO CHANGES TO EXISTING WINDOWS
- 3.NO INTERNAL GRIDS ALLOWED FOR WINDOWS VISIBLE FROM STREET
- 4.THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

NOTE:

"ALL DOORS & WINDOWS SHALL MEET CITY OF GLENDALE'S SECURITY ORDINANCE"

NOTE (DOORS):

1. EXIT DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. "APPLIES ALSO TO EXIT GATES". THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1008.1.9)
2. DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7.75" LOWER THAN THE FLOOR IF IT DOES NOT SWING OVER IT (UBC 1008.1.5).
3. INTERIOR WALL AND CEILING FINISHES ARE CLASS C.
4. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL BE SELF-CLOSING AND SELF-LATCHING, SOLID WOOD OR SOLID OR HONEY COMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK, OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MIN. (406.3.4).

ALL WINDOWS AND DOORS DIMENSIONS TO BE VERIFIED IN FIELD

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Contents:

◀ PERMEABLE-AREA DIAGRAM

Scale:

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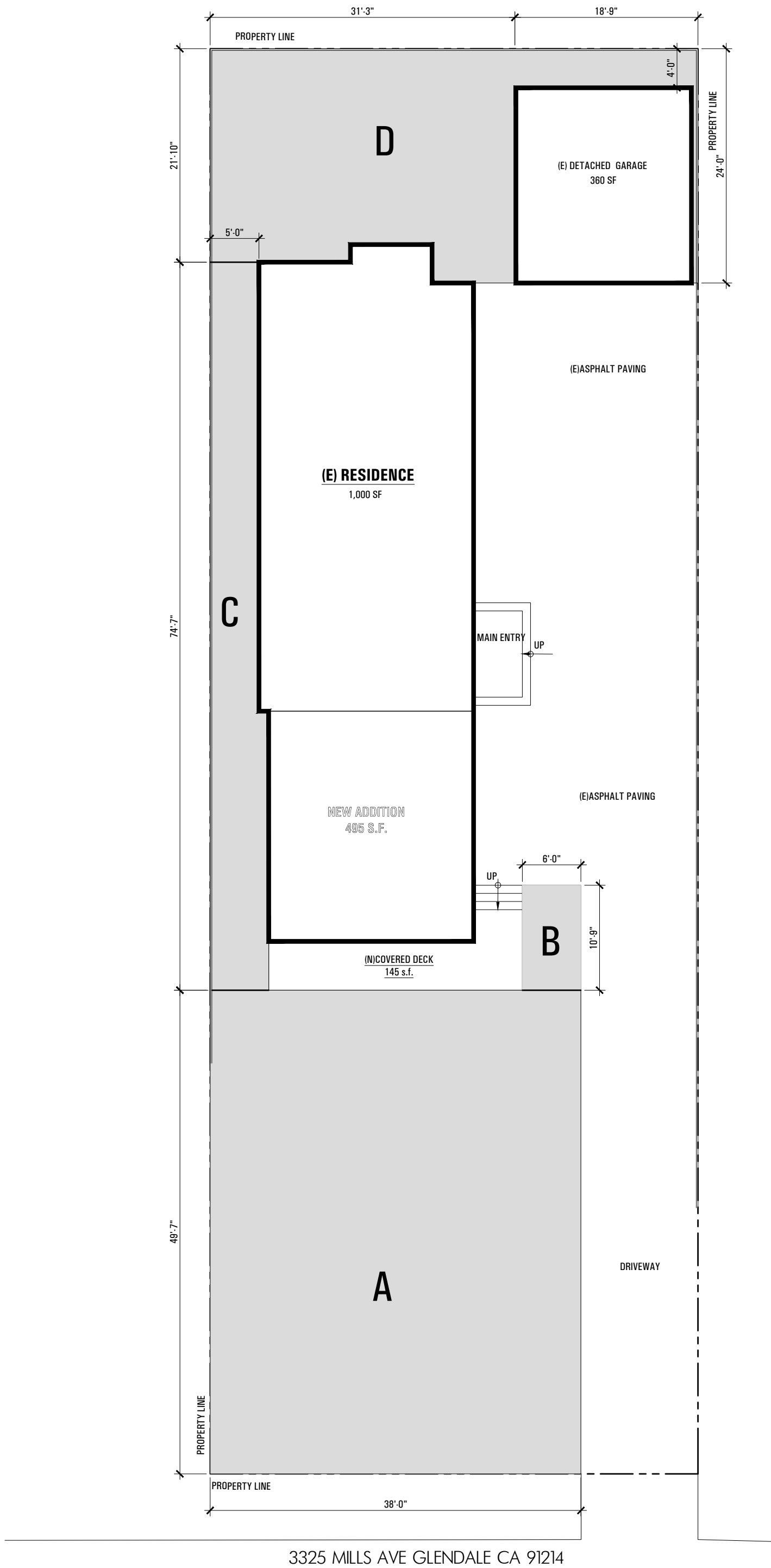
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PERMEABLE-AREA ANALYSIS:

TOTAL LOT AREA: 7,300 SF

PERMEABLE AREA AT GRADE:

AREA A: 1,883 SF
AREA B: 64.5 SF
AREA C: 401.5 SF
AREA D: 776.0 SF

TOTAL 3,125 SF

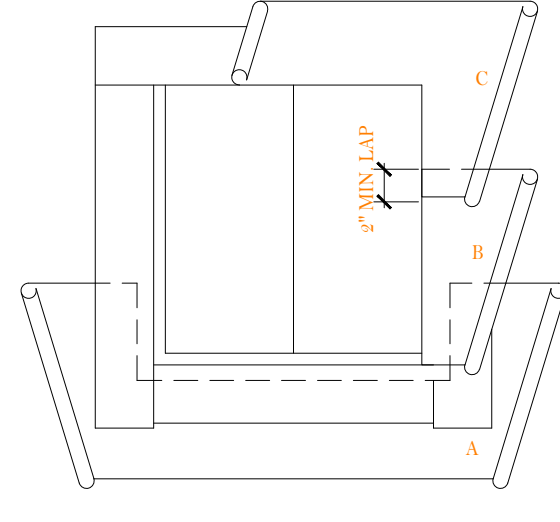
3,125 SF / 7,300 SF = 0.428 X 100 = 42.8%

42.8% > 40% REQUIRED

A

PERMEABLE-AREA DIAGRAM

3/32"=1'-0"



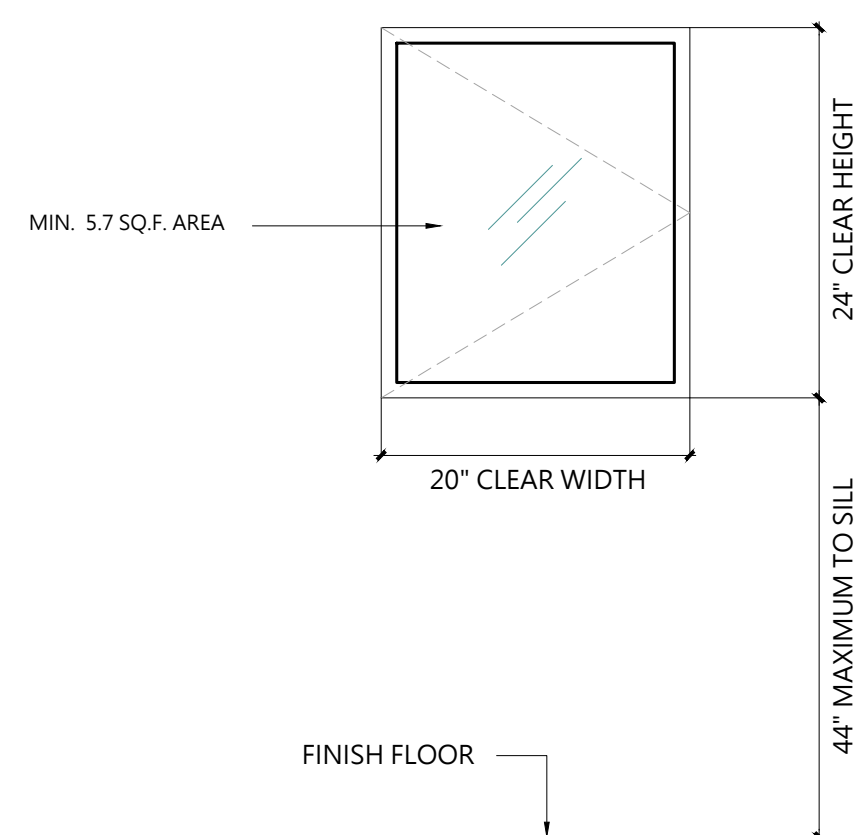
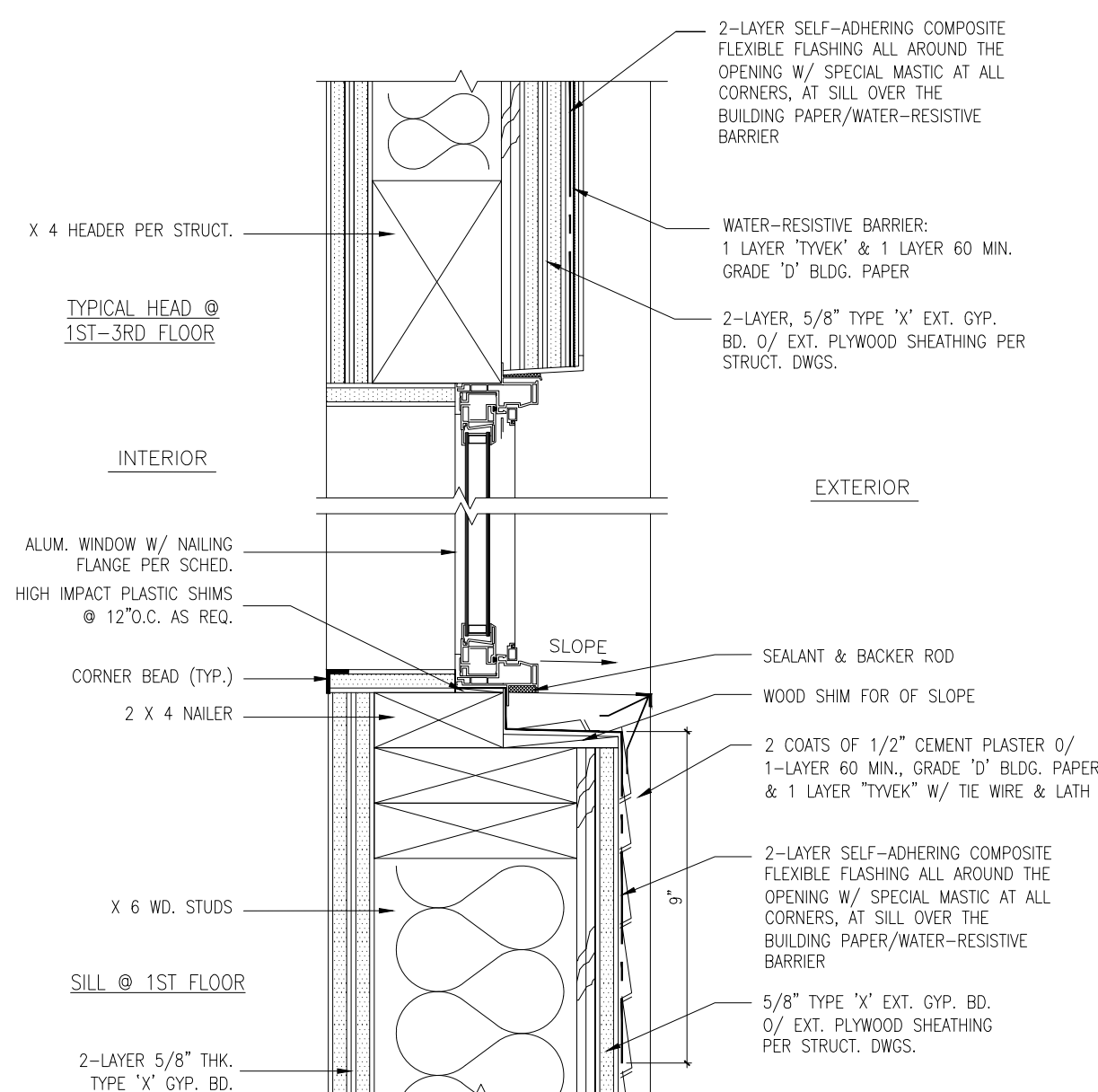
4. STARTING THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING (SHOWN IN DIAGRAM AS SHORT DASH LINES). INSTALL SUCCEEDING COILS OF WATER-RESISTANT PAPER (B, C, ETC.) OVER JAMB AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

NOTES:

SECTION 1402.2 UNIFORM BUILDING CODE CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER-PROOF. SINCE UNIFORM BUILDING CODE DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE "MOISTOP" FLASHING BY FORTIFIER CORPORATION OR EQUAL WHENEVER POSSIBLE FOR FLASHING MATERIAL. FLASHING BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERKIGHT.

GA #26 G1 CALLING REQUIRED AS SHOWN IN OTHER WINDOW DETAILS TO BE INSTALLED BY SHEET METAL CONTRACTOR.

LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR FELT BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. ATTACHMENT DEVICE NOT NEEDED. WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER WIRE BACKING.

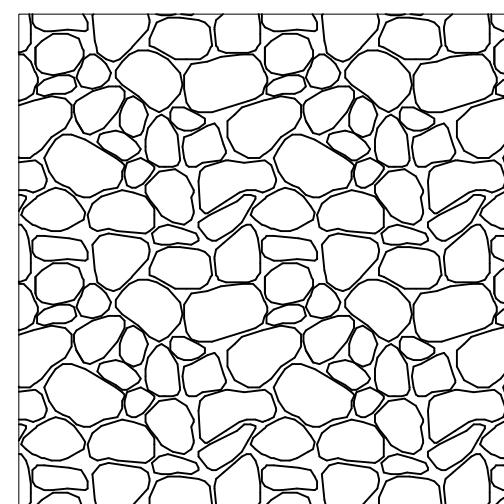


R310.1

3	SCALE	EMERGENCY EGRESS (SLEEPING ROOM)
	MTS	



☐ COLORADO
☐ RIO GRANDE
☐ YAKIMA



NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 3325 Mils

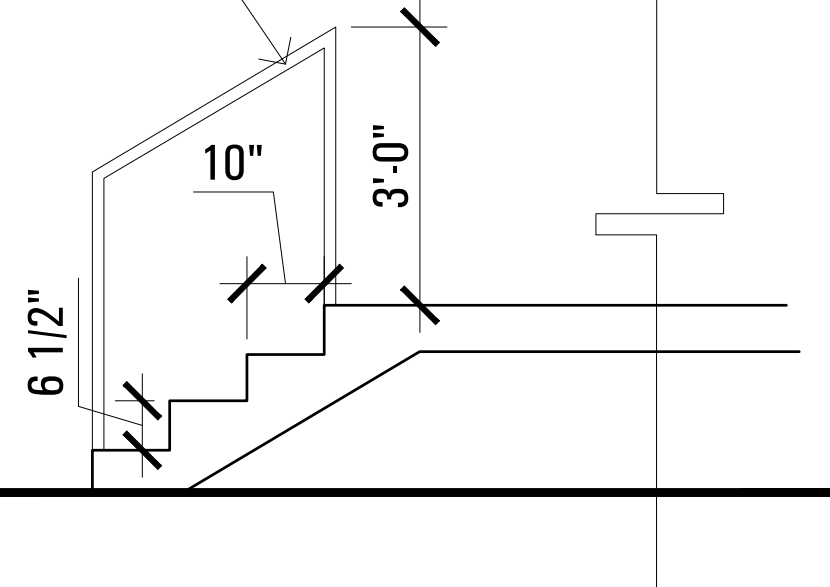
STONE VENEER
RIVER ROCK

3325 Mills

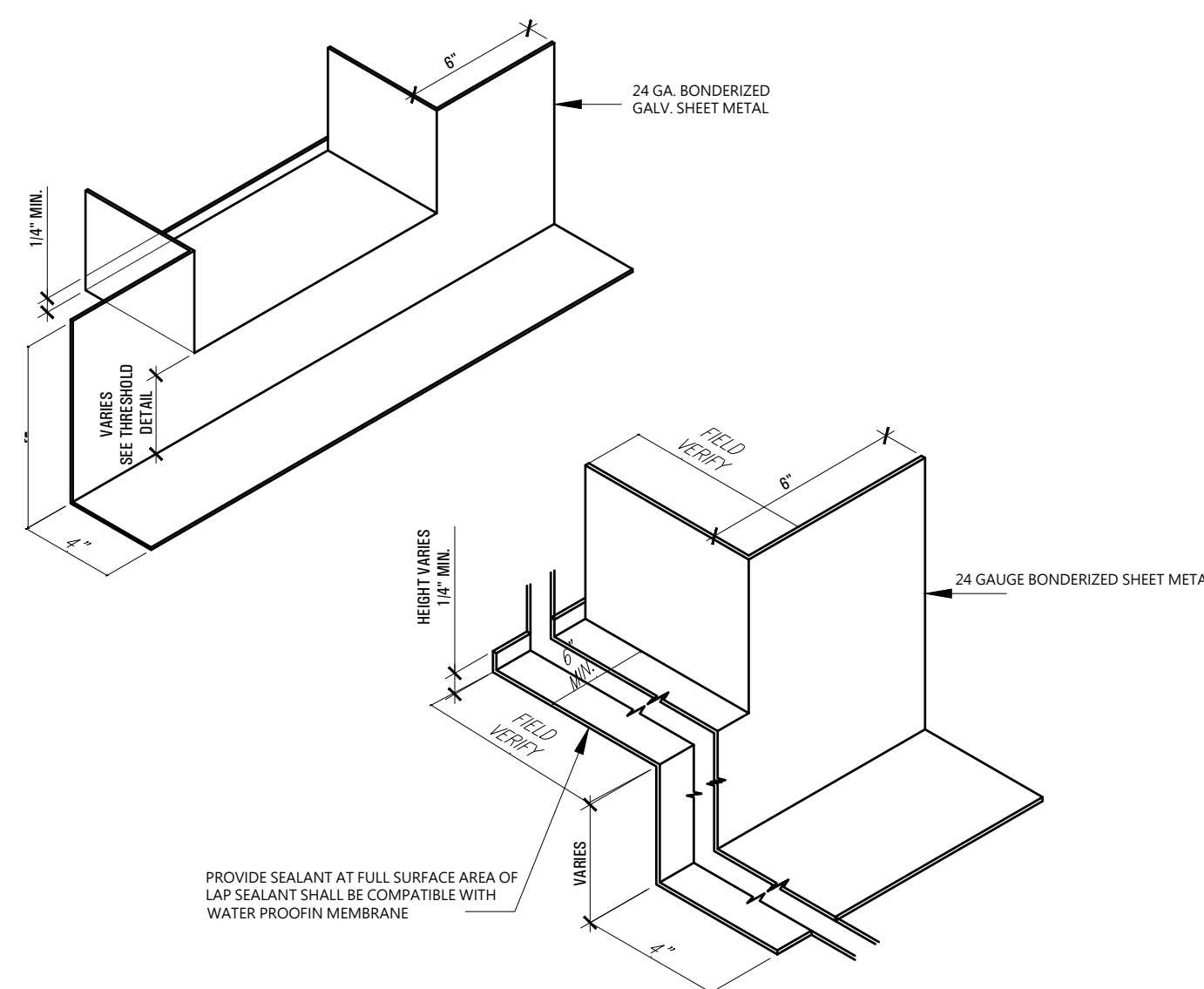
REVISION DATE 10/03/2025
CADdetails.com

5	SCALE
	N.T.S.

(N) HANDRAIL 36" HI.



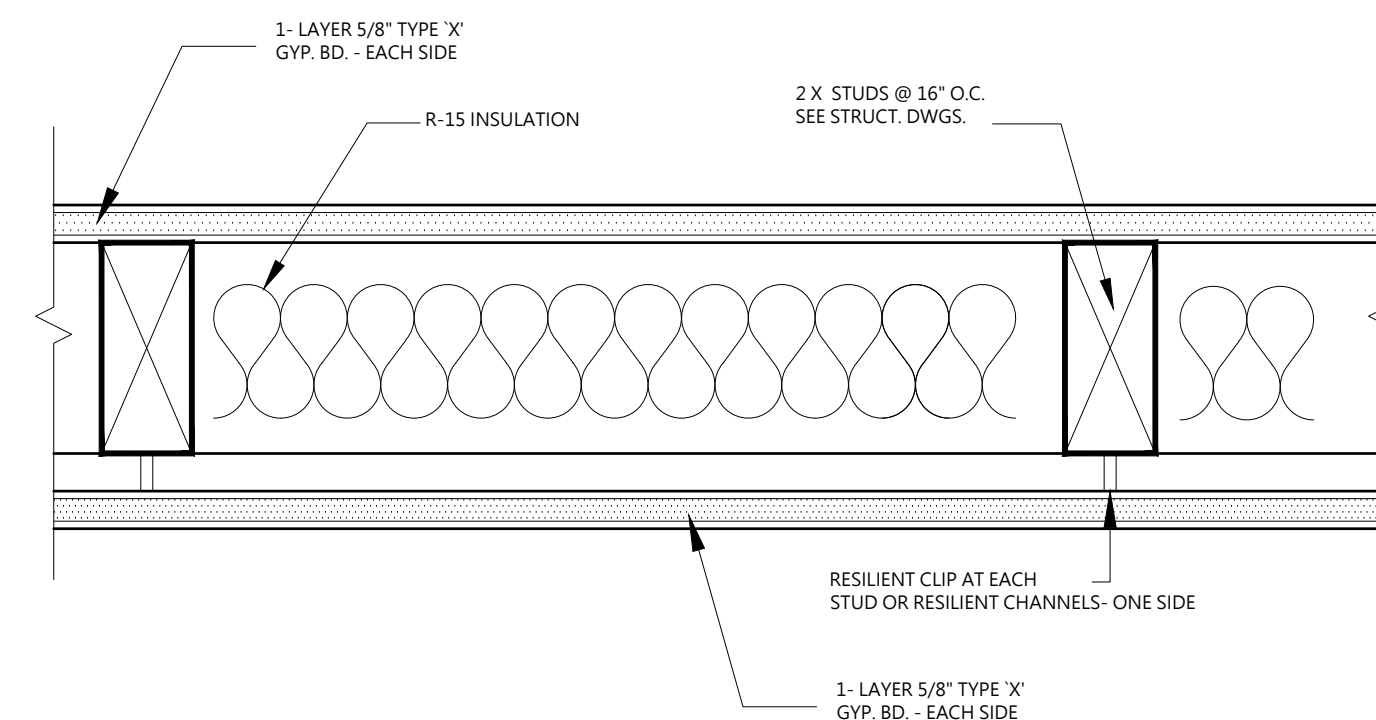
6	SCALE	STUCCO WEEP SCREED
	AS SHOWN	



7

SCALE
AS SHOWN

TYP. ROOF HIP/ RIDGE DETAIL



NOTE:
1. SEE STRUCT. PLANS FOR SHEAR WALL LOCATIONS AND STUD SPACING
2. SEE P/BC 2011-069 FOR ASSEMBLY AND FASTENING REQUIREMENTS

PER P/BC 2011-69 STC 50

8 SCALE STONE VENEER INSTALLATION / SPECS

9 SCALE STEP DETAIL

10	SCALE	DOOR THRESHOLD FLASHING DETAIL
	NTS	

11	SCALE	INTERIOR WALL STC 50
	NTS	

NOTICE:

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Owner:
Cynthia Michelle Dely

Address:
3325 mills ave
la crescenta, ca 91214

Email:
cynthiadely@gmail.com

SCOPE OF WORK
495 sq ft addition to front of existing 1 story sfd, scope to include removing and re-building 145 sq ft covered front deck, replacing damaged wood siding with stucco and interior remodeling.

Project Address:
3325 mills ave
la crescenta, ca 91214

Contents:

ARCHITECTURAL
DETAILS

Scale:

Drawn by
NZ

Phone:
818.261.5494

Email:
narek@zakdesignbuild.com

Web:
www.zakdesignbuild.com

- APPROVED
- APPROVED
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- DRAWN BY
- PRINT DATE XX-XX-XX
- JOB NO
- SHEET NO

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with stucco and interior
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Project Address:

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la crescenta, ca 91214

Contents:

◀ **DIAGRAM OF NEIGHBORING
PROPERTIES**

Scale:

Drawn by:

NZ

Phone:

818.261.5494

Email:

narek@zakdesignbuild.com

Web:

www.zakdesignbuild.com

● APPROVED

● APPROVED

● REVISION XX-XX-XX

● REVISION XX-XX-XX

● REVISION XX-XX-XX

● DRAWN BY

● PRINT DATE XX-XX-XX

● JOB NO

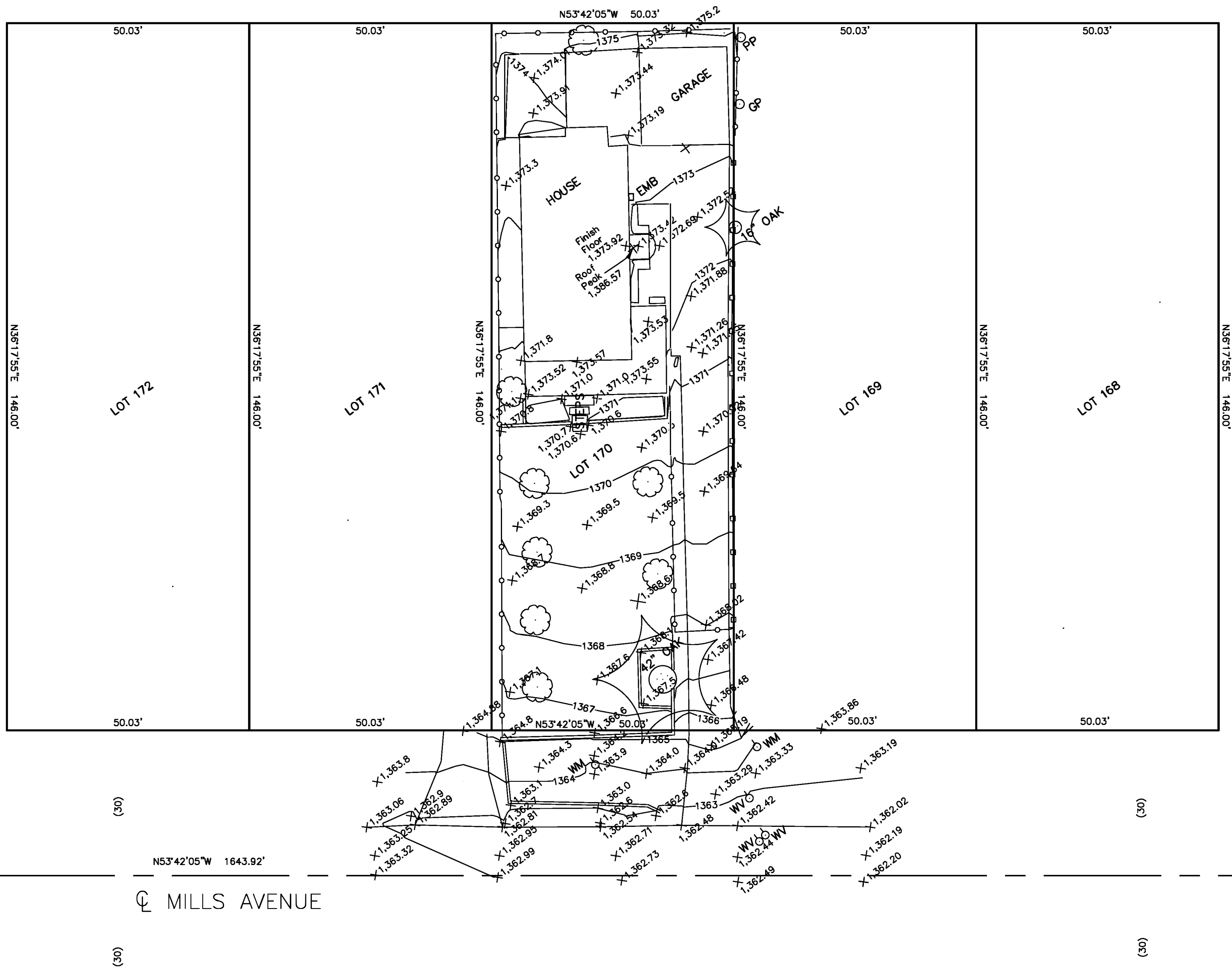
● SHEET NO



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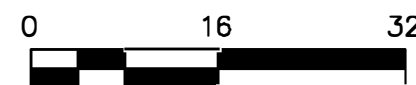
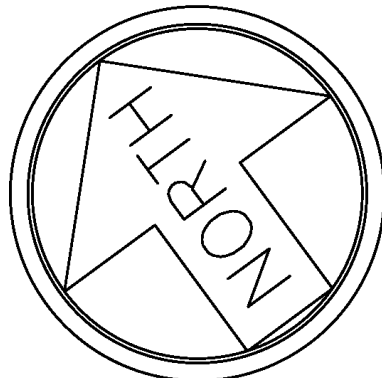
NEIGHBORING PROPERTIES DIAGRAM

1/16"=1'-0"



SURVEYOR'S NOTES:
1. HORIZONTAL DATUM: ASSUMED
2. VERTICAL DATUM: COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS, SURVEY DIVISION BENCHMARK. NAVD '88 LA CANADA/PASADENA QUAD 2005 ADJ. FD L&SPK IN S'LY CB MONTROSE AVE, 5FT E/O BCR @ SE CORNER PENNSYLVANIA AVE. BM 9Y9962 EL=1392.884

LEGEND:
EMB = ELECTRICAL METER BOX
GP = GUY POLE
PP = POWER POLE
SMH = SEWER MANHOLE
WM = WTER METER
WV = WATER VALVE



HOUSE NUMBER	SETBACK	ROOF EL	STORIES	HOUSE SIZE (SQ FT)	LOT SIZE (SQ FT)
3349	24.48	1402.91	2	2250	7300
3345	24.75	1385.13	1	1716	7300
3341	24.52	1387.77	2	2276	7300
3337	22.06	1384.19	1	800	7300
3333	29.69	1385.73	1	1758	7300
3331	43.39	1389.65	1	1430	7300
3325	76.44	1386.57	1	1000	7300
3317	WATER COMPANY - VACANT LAND				7300
3319	21.10		1	1940	7300
3315	24.75	1387.09	1	1749	7300
3309	89.07	1383.14	1	1039	7300
3305	66.92	1387.00	1	960	7300
3301	46.44	1388.92	2	1551	7300
AVERAGE	41.13	1388.01			



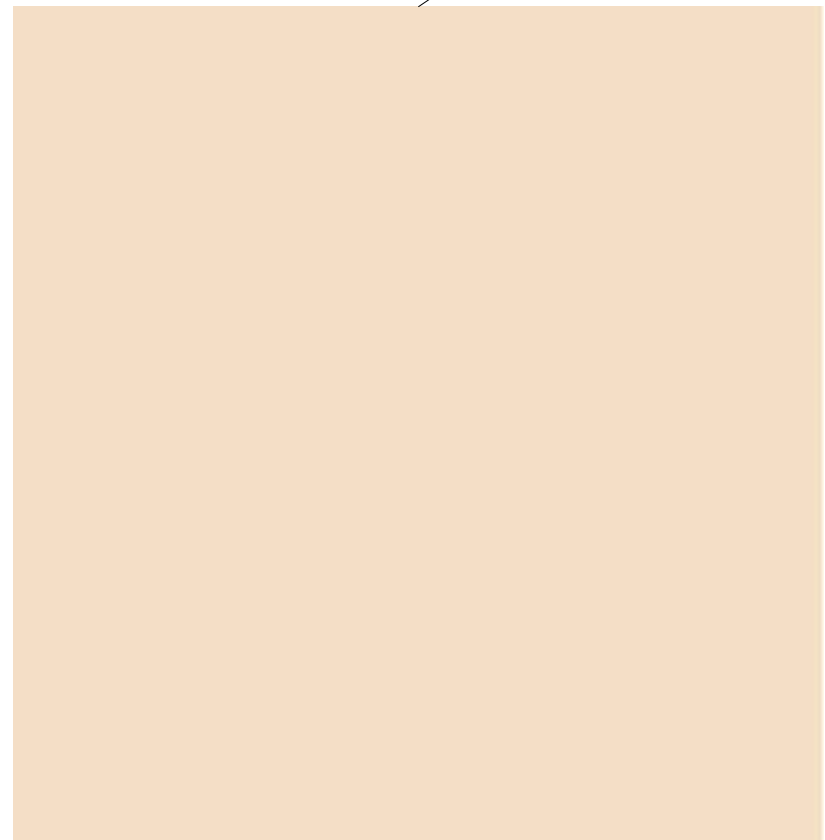
PLANS PREPARED IN THE OFFICE OF:
CRAIG HUBBELL
315 VIOLET AVE, STE B
MONROVIA, CA. 91016
TEL: (626) 233-8069
UNDER THE SUPERVISION OF:
DATE
LS 8333 EXP: 12-31-19

SITE PLAN - MARTIN RESIDENCE

SCALE: 1/16" = 1'-0"	APPROVED BY:	DRAWN BY: CH
DATE: FEBRUARY 10, 2018		REVISED BY:
PREPARED FOR:	GREGORY & CYNTHIA MARTIN	
3325 MILLS AVE. GLENDALE, CA. 91214	DRAWING NUMBER	18-003

COLOR & MATERIAL BOARD

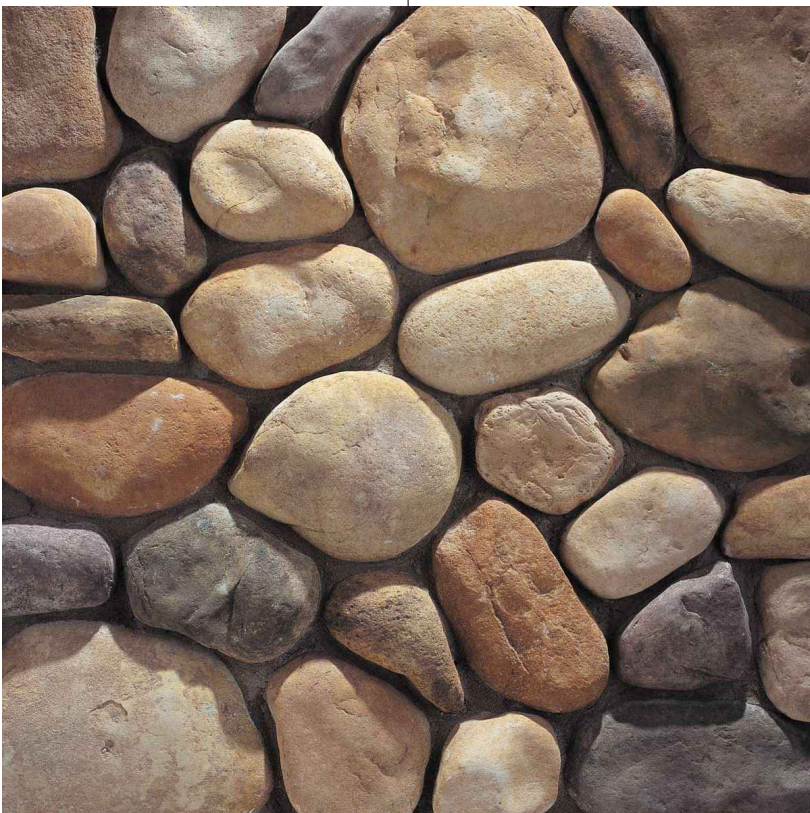
3325 MILLS AVE GLENDALE CA 91214



LaHabra Stucco
Color Pack #X25 Saddleback



Alabaster SW 7008
Sherwin-Williams



Architectural Stone Veneer
"River Rock Colorado"
by Eldorado Stone



Oakridge Brownwood
Architectural Roof Shingles
by Owens Corning



Outdoor Wall Mount Lantern by
Arroyo Craftsman
Overlay Design - Bungalow
CB-15TCR-BZ

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Contents:

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BOARD**

Scale:

Drawn by:
NZ

Phone:
818.261.5494
Email:
narek@zakdesignbuild.com
Web:
www.zakdesignbuild.com

- APPROVED
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- REVISION XX-XX-XX
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- JOB NO
- SHEET NO

3325 Mills Photographic Survey

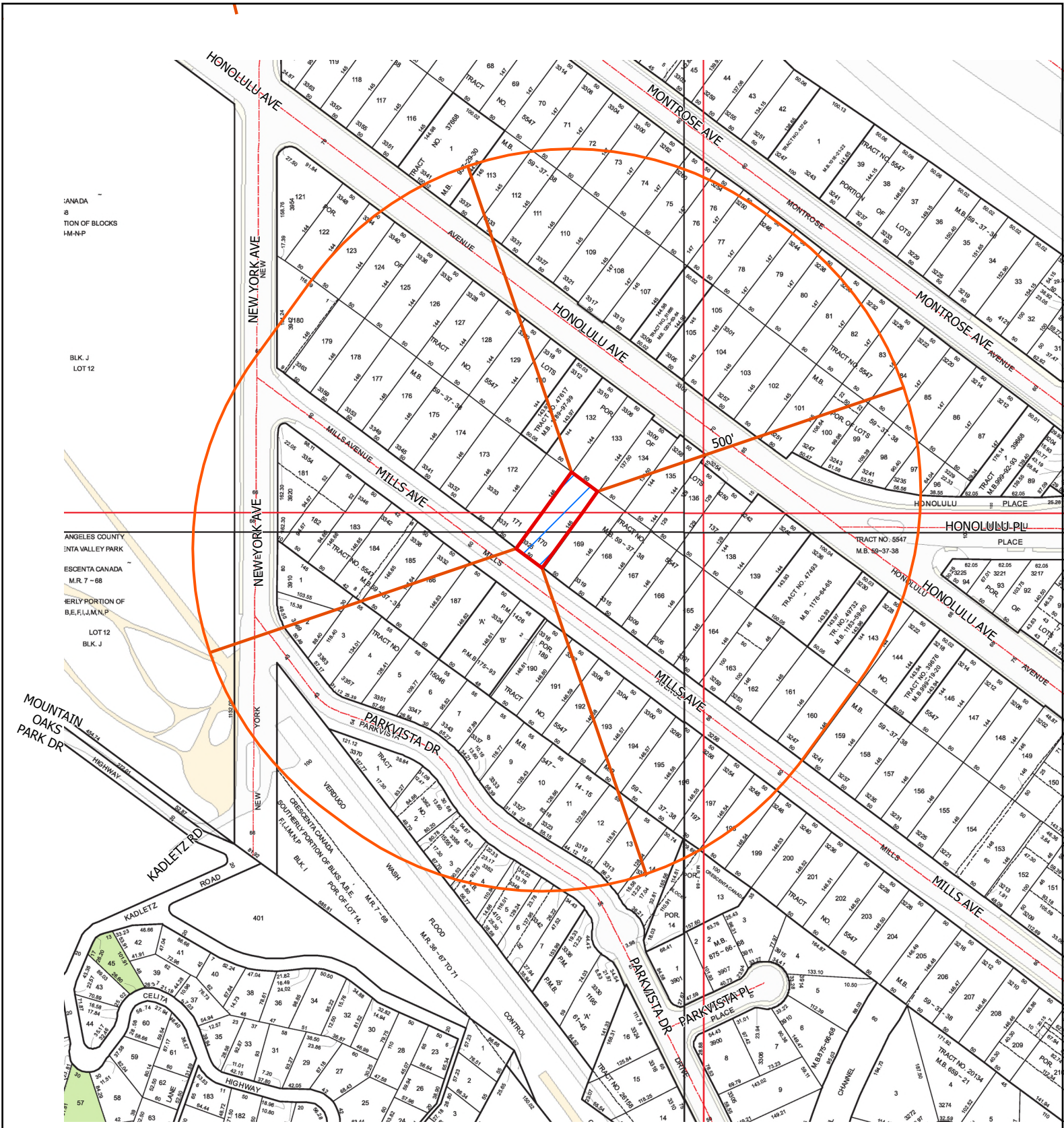












Map Prepared by:

Leon Mapping & GIS Services
15031 Chatsworth St. Ste 17
Mission Hills, CA 91345

818-235-7649
leonmapping@hotmail.com
www.laradiusmaps.com

LEGAL DESC; TRACT # 5547 LOT 170
APN 5607-015-021

3325 MILLS AVE
GLENDALE CA 91214-3338

1" = 200 FT

500' LOCATION

ACREAGE: ± 0.168
DATE: 3/19/2025



CONTACT: NAREK ZAKARYAN
PHONE : 818.261.5494

SURVEY LIST/ NEIGHBORHOOD KEY
3325 MILLS AVE

KEY_ID	APN	ADDRESS	Bldg/Liv Area	Lot SqFt	F/A %	STORIES	SETBACK	ROOF
1	5607-015-021	3325 MILLS AVE	1000	7349	13.61%	1	70	COMPOSITE
2	5607-015-022	3331 MILLS AVE	1430	7238	19.76%	1	35	COMPOSITE
3	5607-015-023	3333 MILLS AVE	1758	7330	23.98%	1	32	COMPOSITE
4	5607-015-024	3337 MILLS AVE	800	7403	10.81%	1	80	COMPOSITE
5	5607-015-025	3341 MILLS AVE	2276	7228	31.49%	2	25	COMPOSITE
6	5607-015-026	3345 MILLS AVE	1716	7348	23.35%	1	25	COMPOSITE
7	5607-015-027	3349 MILLS AVE	2250	7266	30.97%	2	25	COMPOSITE
8	5607-018-023	3354 MILLS AVE	1940	7727	25.11%	1	20	COMPOSITE
9	5607-018-025	3346 MILLS AVE	1750	7314	23.93%	2	30	COMPOSITE
10	5607-018-026	3342 MILLS AVE	1795	6234	28.80%	2	70	COMPOSITE
11	5607-018-027	3338 MILLS AVE	1696	8504	19.94%	1	70	COMPOSITE
12	5607-018-044	3332 MILLS AVE	720	8797	8.18%	1	30	COMPOSITE
13	5607-018-043	3332 MILLS AVE	720	5870	12.27%	1	30	COMPOSITE
14	5607-018-041	3324 MILLS AVE	2520	7163	35.18%	1	30	COMPOSITE
15	5607-018-042	3320 MILLS AVE	2483	6897	36.00%	1	30	COMPOSITE
16	5607-018-030	3316 MILLS AVE	1812	7763	23.34%	1	30	COMPOSITE
17	5607-018-031	3312 MILLS AVE	1068	7302	14.63%	1	30	COMPOSITE
18	5607-018-032	3308 MILLS AVE	1245	7398	16.83%	1	30	COMPOSITE
19	5607-018-033	3304 MILLS AVE	1058	7390	14.32%	1	25	COMPOSITE
20	5607-018-034	3300 MILLS AVE	1746	7224	24.17%	1	25	COMPOSITE
21	5607-016-028	3301 MILLS AVE	1551	7203	21.53%	2	60	COMPOSITE
22	5607-016-029	3305 MILLS AVE	960	7358	13.05%	1	85	COMPOSITE
23	5607-015-018	3309 MILLS AVE	1039	7214	14.40%	1	40	COMPOSITE
24	5607-015-019	3315 MILLS AVE	1749	7312	23.92%	2	40	COMPOSITE
25	5607-015-020	3319 MILLS AVE	1940	7346	26.41%	1	90	COMPOSITE
27	5607-015-012	3310 HONOLULU AVE	1902	7189	26.46%	1	20	COMPOSITE
28	5607-015-013	3306 HONOLULU AVE	1186	7307	16.23%	1	35	COMPOSITE
29	5607-015-038	3300 HONOLULU AVE	1576	6909	22.81%	1	25	COMPOSITE
Total			1560	7307	21.48%		41	

26 5607-015-900 VACANT LOT



2 5607-015-022 3331 MILLS AVE



3 5607-015-023 3333 MILLS AVE



4

5607-015-024

3337 MILLS AVE



5

5607-015-025

3341 MILLS AVE



6

5607-015-026

3345 MILLS AVE



7

5607-015-027

3349 MILLS AVE



8 5607-018-023 3354 MILLS AVE



9 5607-018-025 3346 MILLS AVE



10 5607-018-026 3342 MILLS AVE



11 5607-018-027 3338 MILLS AVE



12 5607-018-044 3332 MILLS AVE



13 5607-018-043 3332 MILLS AVE



14 5607-018-041 3324 MILLS AVE



15 5607-018-042 3320 MILLS AVE



16 5607-018-030 3316 MILLS AVE



17 5607-018-031 3312 MILLS AVE



18 5607-018-032 3308 MILLS AVE



19 5607-018-033 3304 MILLS AVE



20 5607-018-034 3300 MILLS AVE



21 5607-016-028 3301 MILLS AVE



22 5607-016-029 3305 MILLS AVE



23 5607-015-018 3309 MILLS AVE



24 5607-015-019 3315 MILLS AVE



25 5607-015-020 3319 MILLS AVE



26 5607-015-900 VACANT LOT



27 5607-015-012 3310 HONOLULU AVE



28 5607-015-013 3306 HONOLULU AVE





CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 6/4/25

DUE DATE: 6/18/25

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Paulina Safarian, Planner **Tel. #** 818-937-8301

PROJECT ADDRESS: 3325 MILLS AVENUE GLENDALE, CA 91214

Applicant: Narek Zakaryan

Property Owner: Cynthia Dely

PROJECT DESCRIPTION:

This project includes a 495 sq. ft. addition to the front of existing one story SFD with a scope to include removing and re-building the 145 sq. ft. covered front deck, replacing damaged wood sidings with stucco, and interior remodeling.

PLEASE CHECK:

<p><u> </u> A. CITY ATTORNEY</p> <p><u> </u> B. COMMUNITY DEVELOPMENT:</p> <p><u> X </u> • (1) Building & Safety</p> <p><u> </u> • (2) Neighborhood Services</p> <p><u> </u> • (3) Design Review & Historic</p> <p><u> </u> • (4) Economic Development</p> <p><u> </u> • (5) Housing</p> <p><u> </u> • (6) Urban Design & Mobility</p> <p><u> </u> D. COMMUNITY SERVICES/PARKS:</p> <p><u> </u> E. FIRE ENGINEERING (PSC)</p> <p><u> </u> F. GLENDALE WATER & POWER:</p> <p><u> X </u> • (1) Water</p> <p><u> X </u> • (2) Electric</p>	<p><u> </u> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><u> </u> H. PUBLIC WORKS (ADMINISTRATION):</p> <p><u> X </u> • (1) Engineering & Land Development</p> <p><u> </u> • (2) Traffic</p> <p><u> </u> • (3) Facilities (city projects only)</p> <p><u> </u> • (4) Integrated Waste</p> <p><u> </u> •</p> <p><u> X </u> • (5) Maintenance Services/Urban Forester</p> <p><u> </u> J. GLENDALE POLICE</p> <p><u> </u> K. OTHER:</p> <p><u> </u> • (1) STATE-Alcohol Beverage Control (ABC)</p> <p><u> </u> • (2) Tribal Consultations (EIFs)</p> <p><u> </u> • (3) City Clerk's Office</p>
--	---

ENTITLEMENT(S) REQUESTED

Variance Case No.:
AUP/CUP Case No.:
ADR/DRB Case No.:

Tentative Tract/Parcel Map No.:
Zone Change/GPA:
Other:

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 3325 MILLS AVENUE
GLENDALE, CA 91214

Project
Case No.: PADR-004911-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 6/16/2025
Print Name: Jose A. Muñoz
Title: Arborist Technician Dept. PW Forestry Tel.: x.3402

a. ADDITIONAL COMMENTS:

☐ 1. **SUMMARY**

Property is located on a mostly flat lot located in the La Crescenta neighborhood of Glendale, CA., 91214. Existing residence is a one-story single-family residence with detached garage. Plans include the proposal of a new 495 square foot addition at front of existing residence and adjacent 145 square foot covered deck. One (1) privately owned *Quercus agrifolia* (coast live oak) has been represented on plans but will require editing. Indigenous Protected Trees on abutting properties within 20 feet of boundary line have not been represented on plans. There are no City Street Trees on site, and a condition for new City Street Trees will not be implemented at this time. Project seems supportable by Forestry, given recommendations below are adhered to. Please see below.

INDIGENOUS TREE ORDINANCE

Properly represent Indigenous Protected Trees to scale and accurate location. Canopy representation should represent extent of existing canopy. Additionally, Glendale Municipal Code requires all persons who apply for development permits or entitlements to submit an accurate plan showing exact locations of each protected indigenous tree on the subject property and on adjoining properties whose trunks or branches are located twenty (20) feet outside the subject property line. Guidelines for submission of entitlements, development permits or preliminary plan reviews report can be found at www.glendaletrees.org.

CITY STREET TREES

There are currently zero (0) City Street Trees on adjacent City planting easement. A requirement for new City Street Trees will not be implemented at this time.

RECCOMENDATIONS

1. Accurately represent Indigenous Protected Trees on site and within 20' of property, to scale and accurate location. Diameter at breast height (DBH) and proper name shall be included on plans.
2. If found to be true and accurate, applicant may add the note, "Protected oak, sycamore, bay trees or City Street trees on the property and within 20' of the property are inaccessible to the proposed construction activity and will experience NO impact. No protective fencing is required".

I can be contacted at JoseMunoz@GlendaleCa.Gov or x.3402

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

POINT PERSON – DEPARTMENTS/DIVISION

CITY ATTORNEY – GILLIAN VAN MUYDEN (Miah Yun and Yvette Neukian, Alternates)

CITY CLERK – KAREN CORTES

COMMUNITY DEVELOPMENT:

Building and Safety – COLIN LEUNG and ARA SARGSYAN

Neighborhood Services –JESSICA SADA

Design Review & Historic (Glendale Register & Historic Districts) –

JAY PLATT

Economic Development – MARK BERRY

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 6/4/25

DUE DATE: 6/18/25

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Applicant: Narek Zakaryan

Property Owner: Cynthia Dely

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PLEASE CHECK:

<p><u> </u> A. CITY ATTORNEY</p> <p><u> </u> B. COMMUNITY DEVELOPMENT:</p> <p><u> X </u> • (1) Building & Safety</p> <p><u> </u> • (2) Neighborhood Services</p> <p><u> </u> • (3) Design Review & Historic</p> <p><u> </u> • (4) Economic Development</p> <p><u> </u> • (5) Housing</p> <p><u> </u> • (6) Urban Design & Mobility</p> <p><u> </u> D. COMMUNITY SERVICES/PARKS:</p> <p><u> </u> E. FIRE ENGINEERING (PSC)</p> <p><u> </u> F. GLENDALE WATER & POWER:</p> <p><u> X </u> • (1) Water</p> <p><u> X </u> • (2) Electric</p>	<p><u> </u> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><u> </u> H. PUBLIC WORKS (ADMINISTRATION):</p> <p><u> X </u> • (1) Engineering & Land Development</p> <p><u> </u> • (2) Traffic</p> <p><u> </u> • (3) Facilities (city projects only)</p> <p><u> </u> • (4) Integrated Waste</p> <p><u> </u> • (5) Maintenance Services/Urban Forester</p> <p><u> </u> J. GLENDALE POLICE</p> <p><u> </u> K. OTHER:</p> <p><u> </u> • (1) STATE-Alcohol Beverage Control (ABC)</p> <p><u> </u> • (2) Tribal Consultations (EIFs)</p> <p><u> </u> • (3) City Clerk's Office</p>
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COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 6/30/2025

Print Name: Celine Sarkisloo
Title: Building Code Specialist III Dept. Building and Safety Tel.: 818-937-8101

a. ADDITIONAL COMMENTS:

1. Separate Building permits are required for each structure:
 - a. Single family dwelling
 - b. Fire sprinkler
2. The following documents/plans shall be submitted to Building and Safety for review (after initial review, additional requirements may follow accordingly):
 - a. Architectural plans
 - b. Structural plans and calculations
 - c. Roof/site drainage
 - d. Green building plans
 - e. Energy compliance forms
3. An Automatic sprinkler system throughout existing and new sections of any existing building whenever alterations/additions exceed fifty percent (50%) of the replacement value. Alteration values shall be cumulative with each application for a building permit within the previous five (5) years
4. Plans shall be in compliance with current edition of the City of Glendale Building and Safety Code (GBSC)

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
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Property Owner: Cynthia Dely

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PLEASE CHECK:

<input type="checkbox"/> A. CITY ATTORNEY	<input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)
<input checked="" type="checkbox"/> B. COMMUNITY DEVELOPMENT:	<input type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):
<input type="checkbox"/> • (1) Building & Safety	<input checked="" type="checkbox"/> • (1) Engineering & Land Development
<input type="checkbox"/> • (2) Neighborhood Services	<input type="checkbox"/> • (2) Traffic
<input type="checkbox"/> • (3) Design Review & Historic	<input type="checkbox"/> • (3) Facilities (city projects only)
<input type="checkbox"/> • (4) Economic Development	<input type="checkbox"/> • (4) Integrated Waste
<input type="checkbox"/> • (5) Housing	<input type="checkbox"/> •
<input type="checkbox"/> • (6) Urban Design & Mobility	<input checked="" type="checkbox"/> • (5) Maintenance Services/Urban Forester
<input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:	<input type="checkbox"/> J. GLENDALE POLICE
<input type="checkbox"/> E. FIRE ENGINEERING (PSC)	<input type="checkbox"/> K. OTHER:
<input checked="" type="checkbox"/> F. GLENDALE WATER & POWER:	<input type="checkbox"/> • (1) STATE-Alcohol Beverage Control (ABC)
<input type="checkbox"/> • (1) Water	<input type="checkbox"/> • (2) Tribal Consultations (EIFs)
<input checked="" type="checkbox"/> • (2) Electric	<input type="checkbox"/> • (3) City Clerk's Office

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
AUP/CUP Case No.: _____
ADR/DRB Case No.: _____

Tentative Tract/Parcel Map No.: _____
Zone Change/GPA: _____
Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 3325 MILLS AVENUE
GLENDALE, CA 91214

Project
Case No.: PADR-004911-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 17 JUN 25

Print Name: Kevin Runzer

Title: Sr. Civil Engineer **Dept.** GWP Water Engineering **Tel.:** (818) 548-2062

a. ADDITIONAL COMMENTS:

☒ 1. See memo for comments.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.



City of Glendale
Glendale Water & Power
Water Engineering

141 N. Glendale Avenue, Level 4, Suite 420
Glendale, California 91206-4975

Tel: (818) 548-2062 | Fax: (818) 240-4754
www.glendaleca.gov | WaterEngineeringInfo@glendaleca.gov

GWP Water Engineering
Response to Request for Comments (RFC) and Plan Check Review

DATE: June 18, 2025
TO: Narek Zakaryan of ZAK Design + Build, Applicant
Cynthia Dely, Owner
FROM: Kevin Runzer, Senior Civil Engineer – GWP Water
SUBJECT: **3325 Mills Avenue (APN: 5607-015-021)**
GWP Water Engineering Response to Administrative Design Review – Single Family Permit to Allow Addition to the Front of an Existing Single-Family Property
Permit No.: PADR-004911-2025
GWP Plan Check No. 7187

The Glendale Water and Power (GWP) Water Engineering Section has completed its review of Permit No. PADR-004911-2025, an Administrative Design Review – Single Family Permit to allow addition to the front of an existing single-family dwelling and construction of an existing single-family dwelling for property, 3325 Mills Avenue, Parcel No. 5607-015-021 submitted by Narek Zakaryan, of ZAK Design + Build.

This is the first submission of a “Request for Comments (RFC)” received by GWP for this project. It was received by GWP on May 30, 2025. GWP makes internal reference to this first submission as “Plan Check No. 7187”.

GWP Water Engineering Communication Notes:

- Water for the Site is served by Crescenta Valley Water District (CVWD) and not by Glendale Water and Power. Contact CVWD directly at 818.248.3925 or e-mail at customerservice@cvwd.com or visit in-person 2700 Foothill Boulevard, La Crescenta, CA 91214. CVWD will provide a “Will Serve” letter, please upload the letter online and email a copy to GWP Water Engineering at WaterEngineeringInfo@GlendaleCA.gov for status update.

If you need additional information, please contact Ani Azoyan at 818.548.2062 extension 4576.

Best Regards,

Kevin Runzer, P.E.
Senior Civil Engineer

AA

Attachments:

- 1 GWP PLAN CK 7187 - MILLS AVE. 3325 - ARCHITECTURAL PLAN SET_GWP-W-Comments
- 2 GWP PLAN CK 7187 - MILLS AVE. 3325 - REQUEST FOR COMMENTS_GWP-W-Comments

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION

DATE: June 17, 2025

TO: Paulina Safarian, Planner, Community Development Department

FROM: Kevin Runzer, GWP Water Engineering
Catherine Babakhanlou, GWP Electric Engineering

SUBJECT: PADR-004911-2025
3325 Mills Avenue

Glendale Water & Power (GWP) Engineering has reviewed the plans.
Requirements are as follows:

Electric Engineering

Customer Service (818) 548-3921

- No conflict.

Fiber Optics (818) 548-3923

- No conflict.

Street Lighting (818) 548-4877

- No Conflict

Transmission & Distribution (818) 548-3923

- No conflict.

Water Engineering

Recycled Water (818) 548-2062

- No conflict.

Backflow Prevention (818) 548-2062

- No conflict.

Potable Water (818) 548-2062

- Additional comment(s) and/or attachment(s).
SEE MEMO FOR COMMENTS

Catherine Babakhanlou	Kevin Runzer
Principal Electrical Engineer	Senior Civil Engineer

	
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CB/KR:sb/eh