



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

June 30, 2025 <i>Decision Date</i>	5008 Acampo Avenue, Glendale, CA 91214 <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5601-003-033 <i>APN</i>
PDR 004626-2025 <i>Case Number</i>	David Law <i>Applicant</i>
Paulina Safarian, Associate Planner <i>Case Planner</i>	Kyle Kodani <i>Owner</i>

Project Summary

The applicant is proposing a 430 square-foot addition to the front street facing façade of the first floor of an existing one-story, 1,322 square-foot single-family residence (originally constructed in 1956) located on a 7,620 square-foot interior lot in the R1 (FAR District II) Zone. The overall height and roofline of the house will remain unchanged.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area.

Existing Property/Background

Originally developed in 1956, the project site is a 7,620 square-foot, irregularly shaped, interior lot that is slightly sloped with frontage on Acampo Avenue. The site is currently developed with a 1,322 square-foot single-family residence with an attached 443 square-foot two-car garage located at the front of the house and directly facing the street. Access to the existing garage is from a driveway located along Acampo Avenue that will be maintained.

Currently, there are no protected trees located on-site. The City’s Urban Forestry Department has reviewed the application and did not cite any major concerns with the proposal.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	8,518 sq. ft.	6,351 sq. ft. – 11,386 sq. ft.	7,620 sq. ft.
Setback	25 ft.	14 ft. - 67 ft.	24'-6"
House size	1,791 sq. ft.	1,362 sq. ft. – 3,065 sq. ft.	1,752 sq. ft.
Floor Area Ratio	0.22	0.13 – 0.33	0.23
Number of stories	16 homes are 1 story & 10 homes are 2-stories	1 - 2 stories	1 story

DESIGN ANALYSIS**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

Garage Location and Driveway

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Predominant pattern on block

- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Complementary to building design
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

The existing landscaping is proposed to remain.

Walls and Fences

☐ **yes** ☐ **n/a** ☒ **no**

If "no" select from below and explain:

- ☒ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

The drawings identify a new gate along the northern property line, and is appropriately located. No other information is provided regarding the design or material and staff is recommending a condition of approval that the applicant submit a detail of the gate design for staff review and approval.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The existing footprint will not significantly change with the exception of the enlarged footprint. The proposed 430 square-foot addition on the west side (facing the street) and a portion of the addition on the north side of the house will essentially expand and increase the width of a portion of the house at the front northwest side of the house. The proposed addition modifies the original building footprint in an appropriate manner with the house centrally sited on the lot. Although a portion of the new first floor addition will be bringing the house closer to the street, the existing street front setback of 25'-0" at the garage will remain unchanged. The new addition will be setback 46'-4" from the street front property line, which is appropriate to the site and consistent with the predominant neighborhood pattern.
- The existing landscaped areas will remain in its current form and maintained. A staff recommended condition of approval requires the applicant to comply with the Urban Forestry Department Comments, dated June 16, 2025, which will require the applicant to add the note, "Protected oak, sycamore, bay trees or City Street trees on the property and within 20' of the property are inaccessible to the proposed construction activity and will experience NO impact. No protective fencing is required" to the plans.

- The existing garage and driveway will remain in its current form, which is appropriate to the site and the neighborhood.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions and architectural concept of the proposal are consistent with the existing residence.
- The surrounding neighborhood features primarily one-story houses, with some two-story residences in the immediate area. The project is proposing an addition to the existing single story, appropriate to the site and the neighborhood.
- The addition is appropriately articulated through the use of recesses, changes in façade planes, varying roof heights, cladding material and fenestration.
- The proposed roof forms are compatible with the style of development with the existing 2:12 roof pitch being continued throughout the addition.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

Paving Materials

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☐ **yes** ☐ **n/a** ☒ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☒ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☒ Trash storage out of public view
- ☒ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

No information is provided on the drawings related to exterior lighting and downspouts on the site or the building façade. Staff is recommending a condition of approval that the applicant submit a lighting plan and details including downspouts for staff review and approval. Trash bin location is not identified on plans. Staff recommends a condition to identify and appropriate trash area on the plans (e.g., at the northern side yard behind the new gate, not encroaching into the setback area and not visible from public street view).

Ancillary Structures

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The exterior remodel including the new addition integrates with and complements the existing house and its design and detailing are appropriate and consistent with the style of the residence through the use of materials proposed to match existing windows, and colors.
- The new entryway is well integrated into the design and will directly face the street and provide a new porch entry that is appropriate to site and the existing residence. The design of the entry door is compatible with the traditional style of the residence.
- The new windows are aluminum clad, nail-in frame, and an appropriate combination of casement, hung, and fixed operation. The windows will be recessed in the opening with a wood frame and sill to match the traditional style of the residence. Overall, the proposed windows are appropriate to the buildings in in terms of its style, material, operation and installation.
- The proposed materials include horizontal wood siding, cement plaster with light sand texture, and composition shingle roof material that are appropriate to and compatible with the style of the residence.
- A conditioned is included that specifications (cut sheets) for site light and the exterior light fixtures on the house and locations shall be submitted to staff for review and approval prior to plan check submittal. The exterior lighting should be appropriate to and consistent with the style of the house; limit their location to the main entry and patio doors. Label gutters and downspouts on the elevations and paint gutters to match the adjacent wall color. Also, identify trash area location on the site plan for staff review and approval.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

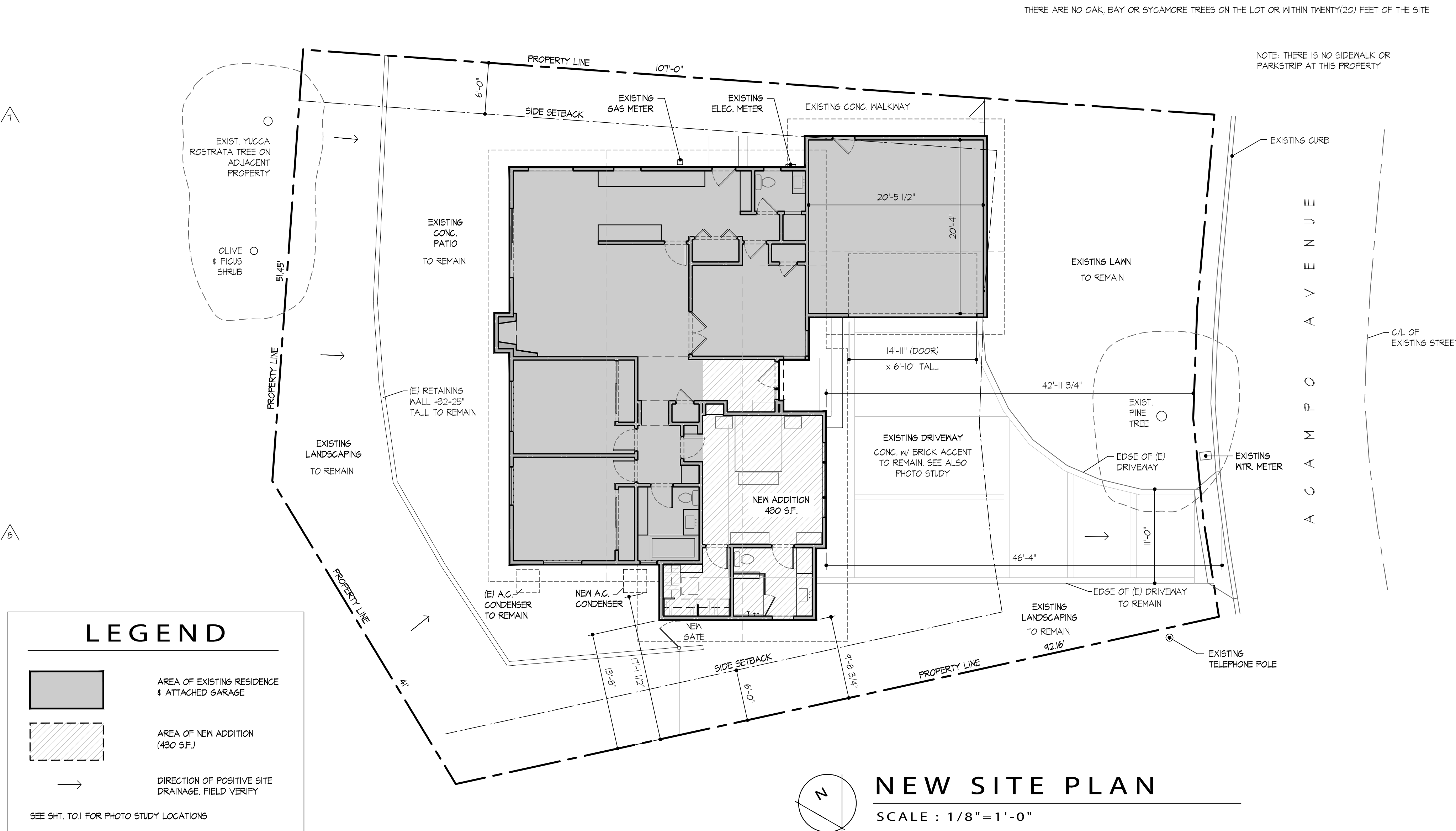
Conditions

1. The applicant shall comply with all of the recommendations identified in the Urban Forestry Department Comments dated June 16, 2025.
 2. That specifications (cut sheets) for the new side entry gate design be submitted for staff review and approval.
 3. That site light and the exterior light fixtures on the house and locations shall be submitted to staff for review and approval prior to plan check submittal. The exterior lighting should be appropriate to and consistent with the style of the house; limit their location to the main entry and patio doors. Label gutters and downspouts on the elevations and paint gutters to match the adjacent wall color. Also, identify trash area location on the site plan for staff review and approval.
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Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Comments from other City Departments

T0.1



Approved By: _____ Date _____

Owner _____ Date _____

Reviewed By: _____ Date _____

Contractor _____ Date _____

KODANI RESIDENCE
5008 Acampo Avenue,
Glendale, CA 91214

For: Kyle & Stacey Kodani, 5008 Acampo Ave, Glendale, CA 91214

Revisions:	
	CITY PLANNING - PRE-AP 11.19.24 (DRIVE NOTES)
Sheet Created:	Job #
Oct. 30, 2024	24-106
Sheet Name:	
NEW SITE PLAN	
Sheet Number:	
A 1.1	

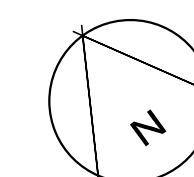


Contractor	Date
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For: Kyle & Stacey Kodani, 5008 Acampo Ave, Glendale, CA 91214

Sheet Number:

A 1.2



SCALE : 1/16"=1'-0"

Approved By:

Owner _____ Date _____

Reviewed By:

Contractor _____ Date _____

KODANI RESIDENCE
5008 Acampo Avenue,
Glendale, CA 91214
For: Kyle & Stacey Kodani, 5008 Acampo Ave, Glendale, CA 91214

Revisions:	

Sheet Created: Feb. 26, 2025 Job #: 24-106

Sheet Name: LANDSCAPE PLAN

Sheet Number: **A 1.3**







NOTE: NO CHANGE TO THE EXISTING LANDSCAPING IS PROPOSED

THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY(20) FEET OF THE SITE

NOTE: THERE IS NO SIDEWALK OR PARKSTRIP AT THIS PROPERTY



LEGEND

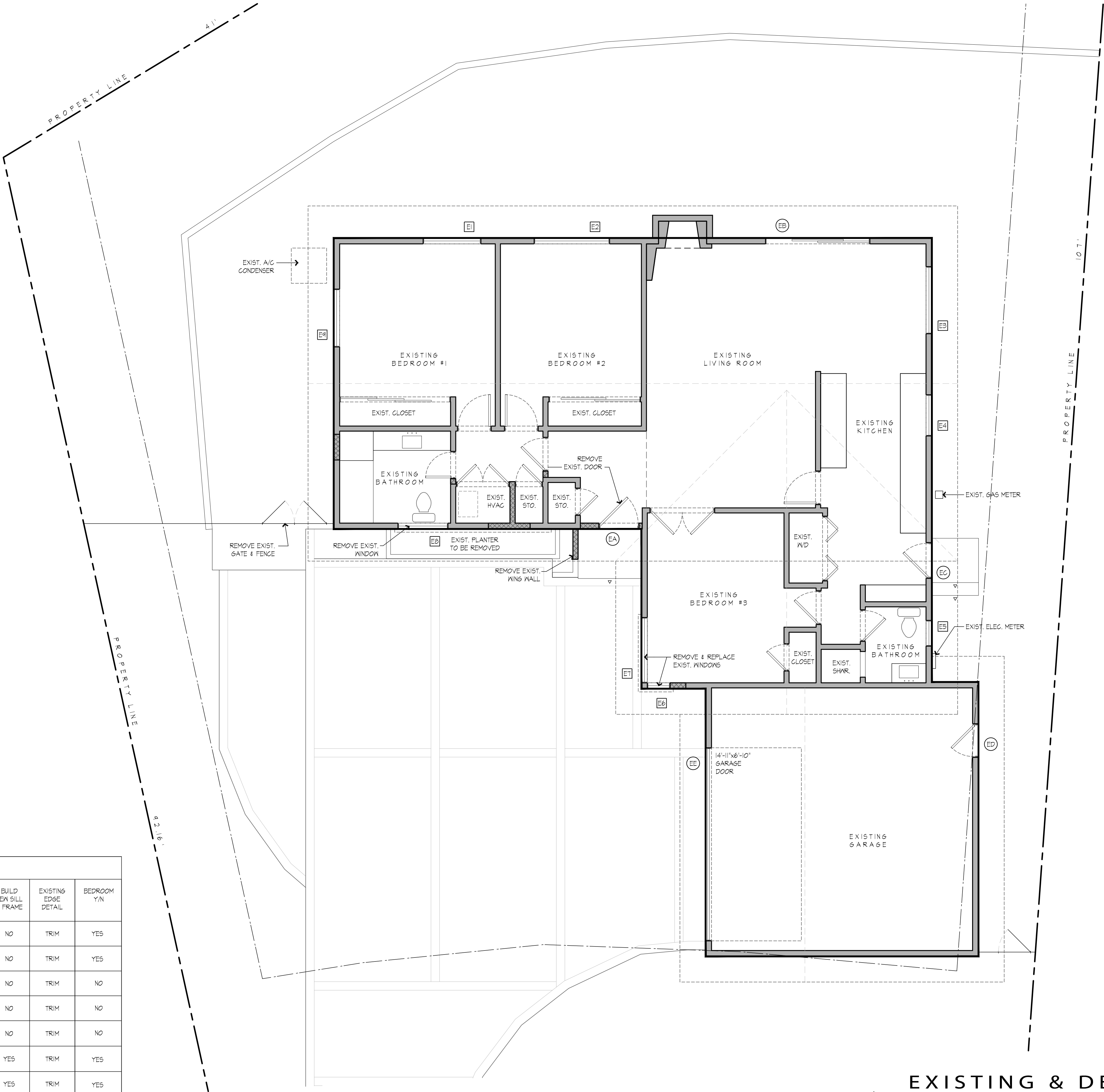
-  **EXISTING WALLS:** To remain u.s.o.
-  **EXISTING WALLS TO BE REMOVED:**
-  **LAYOUT DATUM:** See also sht. A2J for overall dimensions
-  EXISTING DOOR PER SCHEDULE (A&J)
-  EXISTING WINDOW PER SCHEDULE (A&J)
-  BATTERY OPERATED COMBINATION PHOTOELECTRIC SMOKE DETECTOR & CARBON MONOXIDE SENSOR. ALL SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. FIELD VERIFY SMOKE DETECTORS ARE INSTALLED IN ALL EXISTING BEDROOMS & HALLWAYS LEADING TO A BEDROOM.

DEMOLITION NOTES:

1. CONTRACTOR SHALL REQUEST STRUCTURAL OBSERVATION BY THE STRUCTURAL ENGINEER OF RECORD WHEN ALL INTERIOR WALLS WITHIN THE SCOPE OF WORK BOUNDARY HAVE BEEN STRIPPED OF THE WALL FINISH AND THE FRAMING STUDS HAVE BEEN EXPOSED TO CONFIRM ASSUMING AS-BUILT CONDITIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SHORING OF THE EXISTING STRUCTURE PRIOR TO REMOVING ANY WALLS.
3. CONTRACTOR SHALL TAKE CARE TO PREVENT ANY DAMAGE TO AREAS OF THE EXISTING RESIDENCE OUTSIDE OF THE SCOPE OF WORK BOUNDARY. DAMAGE TO EXISTING ELEMENTS THAT ARE TO REMAIN SHALL BE REPLACED TO THE OWNERS SATISFACTION AT THE CONTRACTORS EXPENSE.
4. ALL PLUMBING WASTE & SUPPLY LINES SHALL BE CAPPED.
5. ALL UNUSED PLUMBING LINES SHALL BE REMOVED TO THE CLOSEST MAIN LINE.
6. ALL UNUSED ELECTRICAL LINES SHALL BE REMOVED TO THE CLOSEST JUNCTION BOX.
7. DUST CONTROL SHOULD BE MAINTAINED BETWEEN THE HABITABLE AREAS OF THE RESIDENCE & THE AREAS OF WORK.
8. CONTRACTOR SHOULD CONDUCT A PRE-DEMOLITION SITE WALK w/ OWNER & ARCHITECT PRIOR TO STARTING ANY DEMOLITION. OWNER SHALL IDENTIFY ANY ITEMS TO BE PRESERVED.
9. GENERAL INTENT IS FOR ALL INTERIOR FINISHES, ALL EXISTING CABINETS & CASEWORK & ALL DOORS & WINDOWS (AS IDENTIFIED ON THIS PLAN), ALL FIXTURES & APPLIANCES ARE TO BE REMOVED WITHIN THE SCOPE OF WORK BOUNDARY.

NOTE:
ALL EXISTING DOORS, FIXTURES, ACCESSORIES ETC. THAT ARE TO BE REMOVED SHALL BE PRESERVED & STORED. VERIFY STORAGE LOCATION WITH OWNER

WINDOW SCHEDULE									
WINDOW NUMBER	EXISTING WIDTH x HEIGHT	EXISTING MATERIAL	VISIBLE FROM STREET	EXISTING OPERATION	EXTERNAL GRID	KEEP (E) SILL & FRAME	BUILD NEW SILL & FRAME	EXISTING EDGE DETAIL	BEDROOM Y/N
E1	4'-6"x3'-10"	VINYL	NO	XO SLIDER	NO	YES	NO	TRIM	YES
E2	5'-11"x3'-10"	VINYL	NO	XO SLIDER	NO	YES	NO	TRIM	YES
E3	5'-2"x3'-11"	VINYL	NO	XO SLIDER	NO	YES	NO	TRIM	NO
E4	3'-2"x2'-11"	VINYL	NO	XO SLIDER	NO	YES	NO	TRIM	NO
E5	2'-0"x3'-11"	VINYL	NO	DBL. HUNG	NO	YES	NO	TRIM	NO
E6	1'-9"x3'-4"	VINYL	YES	XO SLIDER	NO	NO	YES	TRIM	YES
E7	5'-11"x3'-4"	VINYL	YES	XO SLIDER	NO	NO	YES	TRIM	YES
E8	3'-11"x3'-11"	VINYL	YES	XO SLIDER	NO	NO	YES	TRIM	NO
E9	4'-6"x2'-0"	VINYL	NO	XO SLIDER	NO	YES	NO	TRIM	NO



EXISTING & DEMO.
FLOOR PLAN

SCALE : 1/4"=1'-0"



1500 W. Alhambra Road, #6
Alhambra, CA 91801

Tel. 626.529.3800
info@lawdesigngroup.com

Approved By:

Owner Date

Reviewed By:

Contractor Date

KODANI RESIDENCE
5008 Acampo Avenue,
Glendale, CA 91214
For: Kyle & Stacey Kodani, 5008 Acampo Ave, Glendale, CA 91214

Revisions:

Sheet Created: Sept. 10, 2024
Job #: 24-106

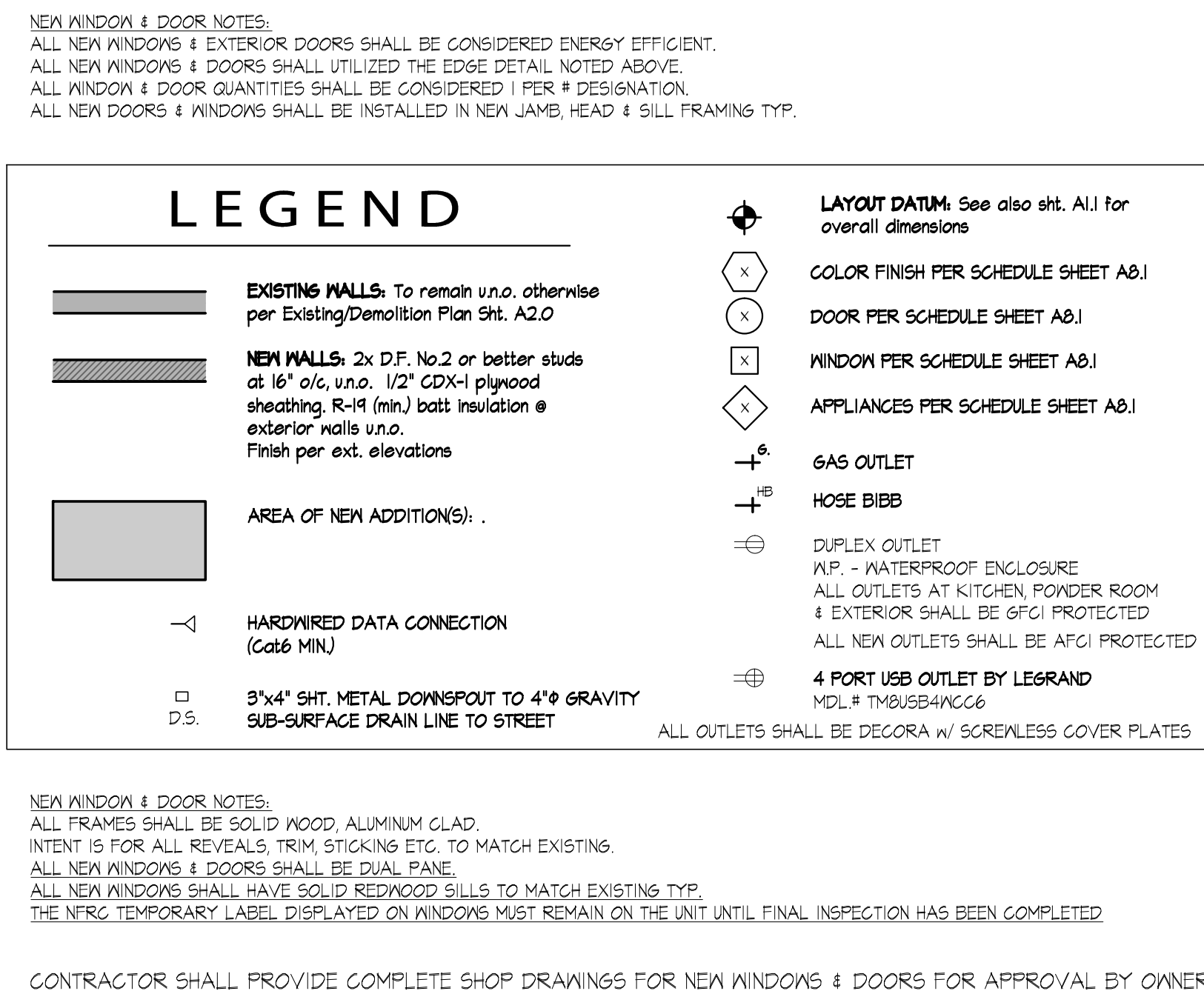
Sheet Name:
EXISTING FLOOR PLAN

Sheet Number:

A 2.0




Revisions:	
Sheet Created:	Job #
Sept. 30, 2024	24-106
Sheet Name:	
NEW FLOOR PLAN	
Sheet Number:	
A 2 . 1	



DOOR SCHEDULE										
DOOR NUMBER	NEW WIDTH x HEIGHT	NEW MATERIAL	VISIBLE FROM STREET	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID	BEDROOM Y/N	TEMPERED	FIRE HAZARD ZONE	WINDOW WITHIN 18" OF FLR OR 40" OF DOOR?
(A)	3'-0" x 6'-8"	WOOD	YES	HINGED	RABBIT	NO	NO	YES	YES	YES

WINDOW SCHEDULE										
WINDOW NUMBER	NEW WIDTH x HEIGHT	NEW MATERIAL	VISIBLE FROM STREET	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID	BEDROOM Y/N	TEMPERED	FIRE HAZARD ZONE	WINDOW WITHIN 18" OF FLR OR 40" OF DOOR?
[1]	1'-2" x 6'-8"	ALUMINUM CLAD	NO	FIXED	NAIL-FIN	NO	NO	YES	YES	YES
[2]	2'-3" x 3'-8"	ALUMINUM CLAD	YES	CASEMENT	NAIL-FIN	NO	YES	NO	YES	NO
[3]	4'-0" x 3'-8"	ALUMINUM CLAD	YES	FIXED	NAIL-FIN	NO	YES	NO	YES	NO
[4]	2'-3" x 3'-8"	ALUMINUM CLAD	YES	CASEMENT	NAIL-FIN	NO	YES	NO	YES	NO
[5]	2'-6" x 3'-6"	ALUMINUM CLAD	NO	DOUBLE HUNG	NAIL-FIN	NO	NO	YES	YES	NO
[6]	2'-0" x 3'-0"	ALUMINUM CLAD	NO	CASEMENT	NAIL-FIN	NO	NO	YES	YES	NO
[7]	2'-6" x 3'-4"	ALUMINUM CLAD	YES	FIXED	NAIL-FIN	NO	YES	NO	YES	NO
[8]	3'-0" x 3'-4"	ALUMINUM CLAD	YES	CASEMENT	NAIL-FIN	NO	YES	NO	YES	NO

 **NEW FLOOR PLAN**

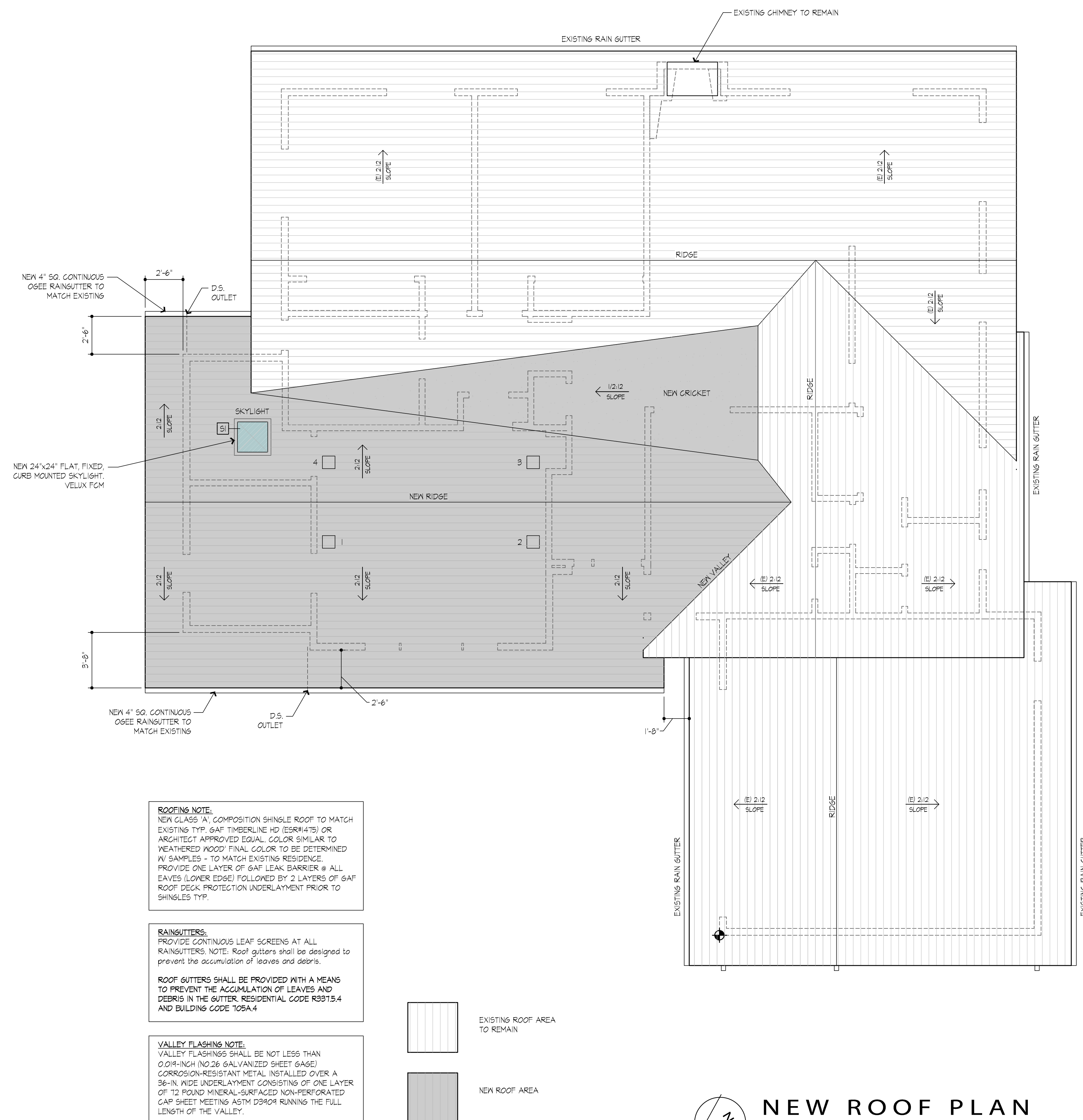
SCALE : 1/4" = 1'-0"

433 S.F. TOTAL ADDITION



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Revisions:	
Sheet Created:	Job #
Oct. 30, 2024	24-106
Sheet Name:	
ROOF PLAN	
Sheet Number:	
A 4 . 1	



ATTIC VENTILATION NOTE:
AREA OF NEW ATTIC SPACE = 420 S.F. 420/150 = 2.8 S.F. OF VENTILATION
2.8 S.F. = 403 S.F. REQUIRED

VENTILATION PROVIDED:

1. OPEN GABLE VENT (BATH GABLE) = 141 S.F. (NET FREE)
2. 4 - MASTER FLOW SSB604A ROOF VENTS = 60 S.F. EA. = 240 S.F. (NET FREE)
3. CONTINUOUS COR-A-VENT, RAFT-A-VENT (0.03 S.F. / FT)
AT ALL NEW EAVES, 30 L.F. = 2.9 S.F.

TOTAL ATTIC VENTILATION PROVIDED FOR NEW ADDITION = 405.9 S.F. > 403 OK.

ROOFING NOTE:
NEW CLASS 'A', COMPOSITION SHINGLE ROOF TO MATCH
EXISTING TYP. 6AF TIMBERLINE HD (ESR-1145) OR
ARCHITECT APPROVED EQUAL. COLOR SIMILAR TO
'WEATHERED WOOD' FINAL COLOR TO BE DETERMINED
W/ SAMPLES - TO MATCH EXISTING RESIDENCE.
PROVIDE ONE LAYER OF 6AF LEAK BARRIER @ ALL
EAVES (LOWER EDGE) FOLLOWED BY 2 LAYERS OF 6AF
ROOF DECK PROTECTION UNDERLAYMENT PRIOR TO
SHINGLES TYP.

RAINGUTTERS:
PROVIDE CONTINUOUS LEAF SCREENS AT ALL
RAINGUTTERS. NOTE: Roof gutters shall be designed to
prevent the accumulation of leaves and debris.

ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS
TO PREVENT THE ACCUMULATION OF LEAVES AND
DEBRIS IN THE GUTTER. RESIDENTIAL CODE R337.5.4
AND BUILDING CODE 105A.4

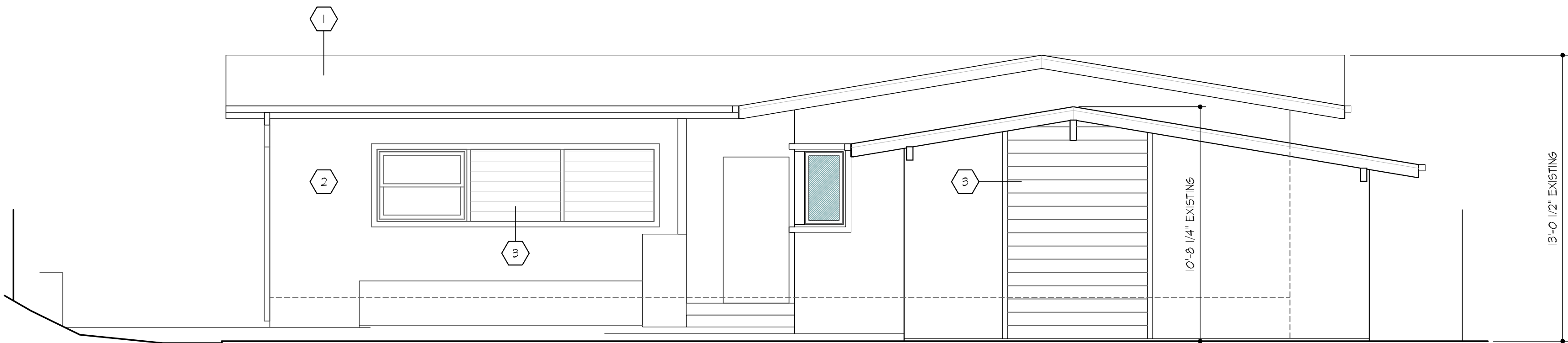
VALLEY FLASHING NOTE:
VALLEY FLASHINGS SHALL BE NOT LESS THAN
0.019-INCH (NO.26 GALVANIZED SHEET GAGE)
CORROSION-RESISTANT METAL INSTALLED OVER A
36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER
OF 12 POUND MINERAL-SURFACED NON-PERFORATED
CAP SHEET MEETING ASTM D3909 RUNNING THE FULL
LENGTH OF THE VALLEY.

NEW ROOF PLAN

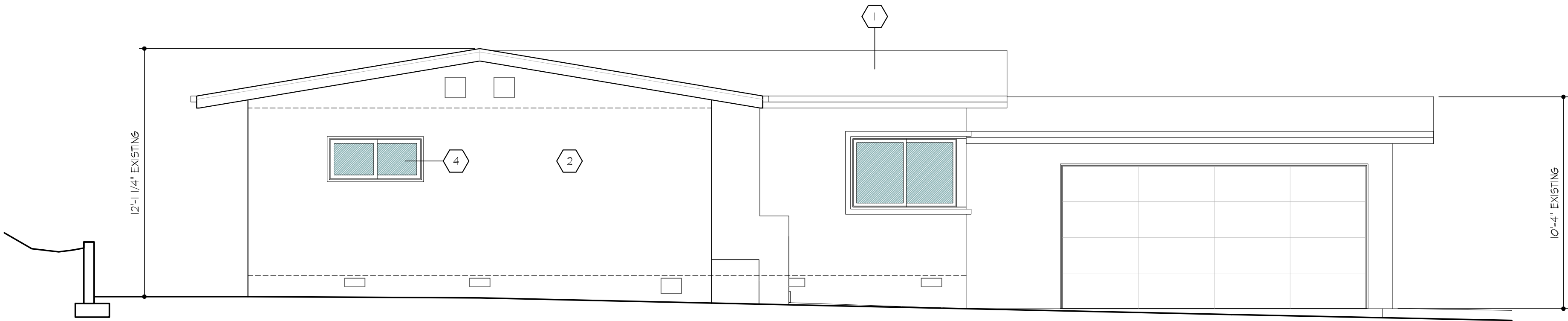
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EXISTING FINISH SCHEDULE

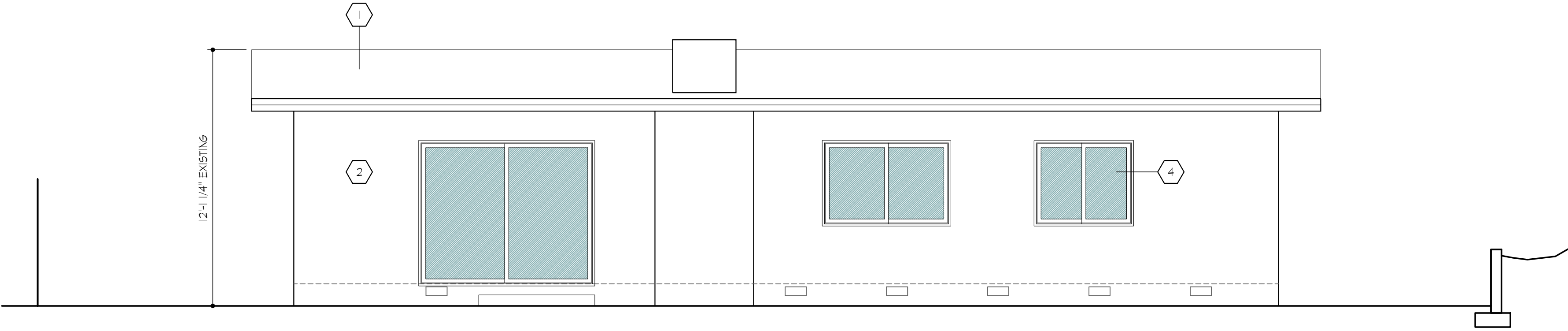
- 1 EXISTING COMPOSITION SHINGLE ROOFING
- 2 EXISTING CEMENT PLASTER
- 3 EXISTING HORIZONTAL WOOD SIDING
- 4 EXISTING VINYL WINDOWS



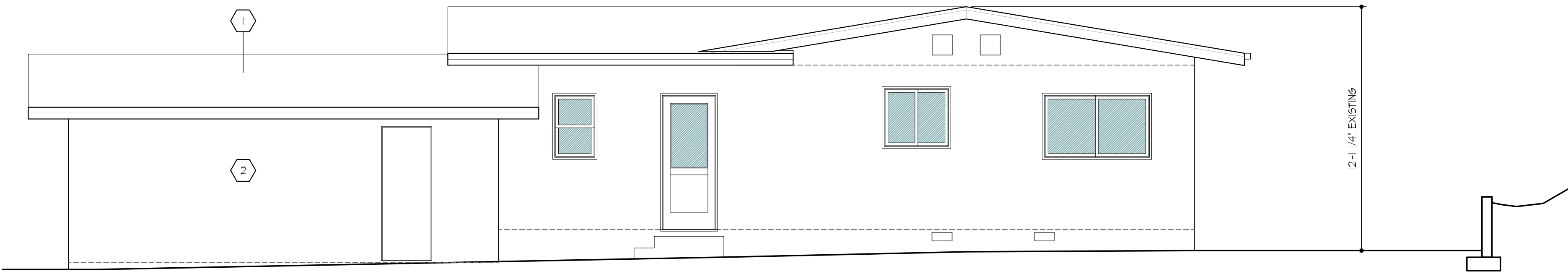
EXISTING
NORTH-WEST ELEVATION
SCALE : 1/4"=1'-0"



EXISTING
NORTH-EAST ELEVATION
SCALE : 1/4"=1'-0"



EXISTING
SOUTH-EAST ELEVATION
SCALE : 1/4"=1'-0"



EXISTING
SOUTH-WEST ELEVATION
SCALE : 1/4"=1'-0"



Approved By:

Owner Date

Reviewed By:

Contractor Date

KODANI RESIDENCE
5008 Acampo Avenue,
Glendale, CA 91214
For: Kyle & Stacey Kodani, 5008 Acampo Ave, Glendale, CA 91214

Revisions:

Sheet Created: Oct. 18, 2024
Job #: 24-106

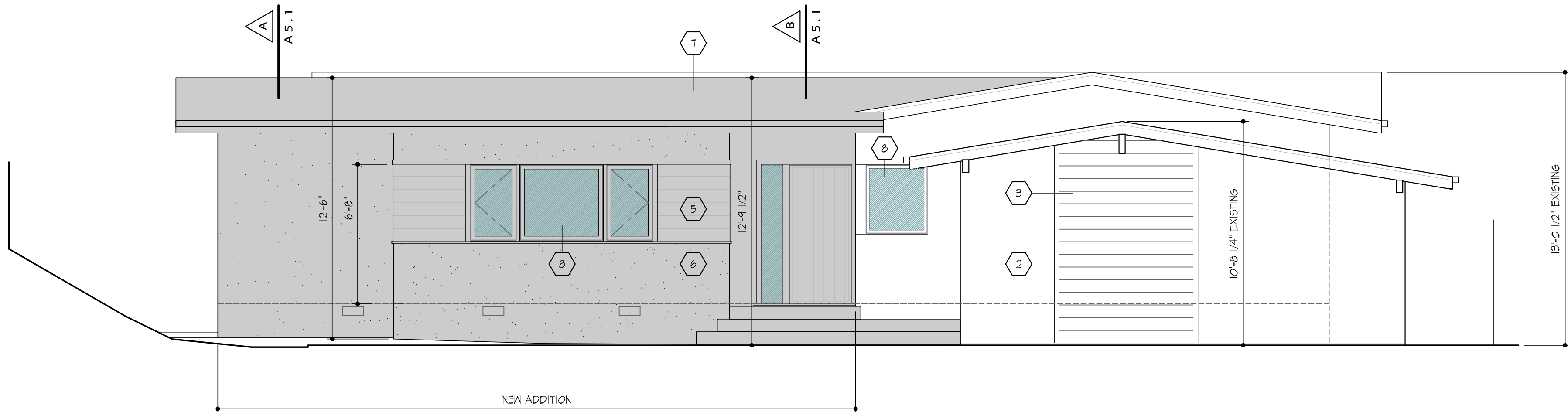
Sheet Name:
EXISTING
ELEVATIONS

Sheet Number:

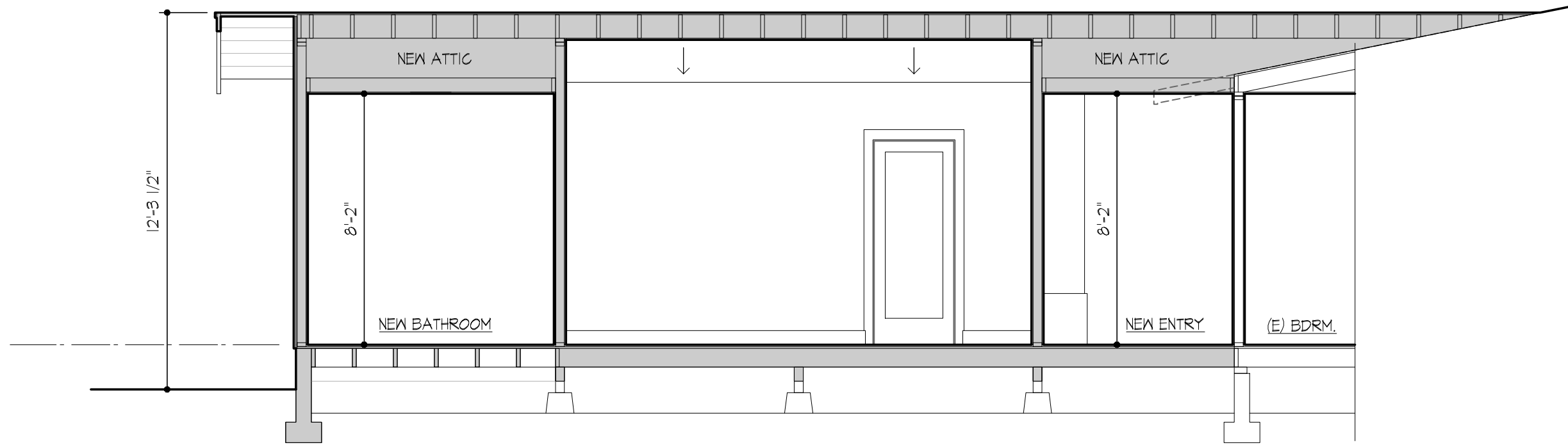
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FINISH SCHEDULE

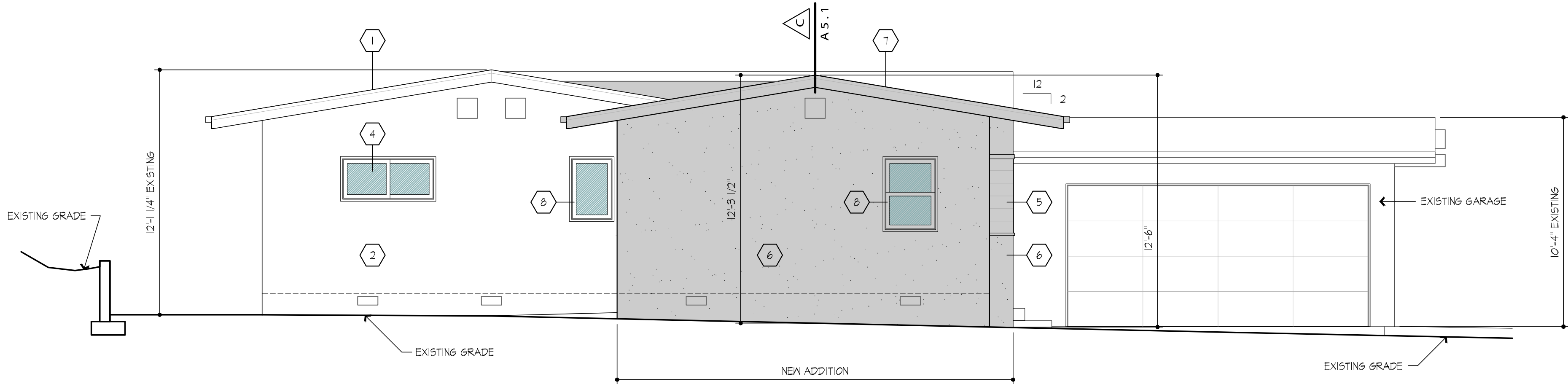
- 1 EXISTING COMPOSITION SHINGLE ROOFING
- 2 EXISTING CEMENT PLASTER
- 3 EXISTING HORIZONTAL WOOD SIDING
- 4 EXISTING VINYL WINDOWS
- 5 NEW HORIZONTAL LAP SIDING
JAMES HARDIE SMOOTH LAP SIDING w/ 6" EXPOSURE
- 6 NEW 7/8" CEMENT PLASTER w/ LIGHT SAND
TEXTURE & COLOR TO MATCH EXISTING
- 7 NEW COMPOSITION SHINGLE ROOFING TO MATCH EXISTING.
SEE ALSO SPECIFICATION ON ROOF PLAN
- 8 NEW ALUMINUM CLAD WOOD FRAMED WINDOW BY
SIERRA PACIFIC OR ARCHITECT APPROVED EQUAL.
EXT. COLOR: WHITE



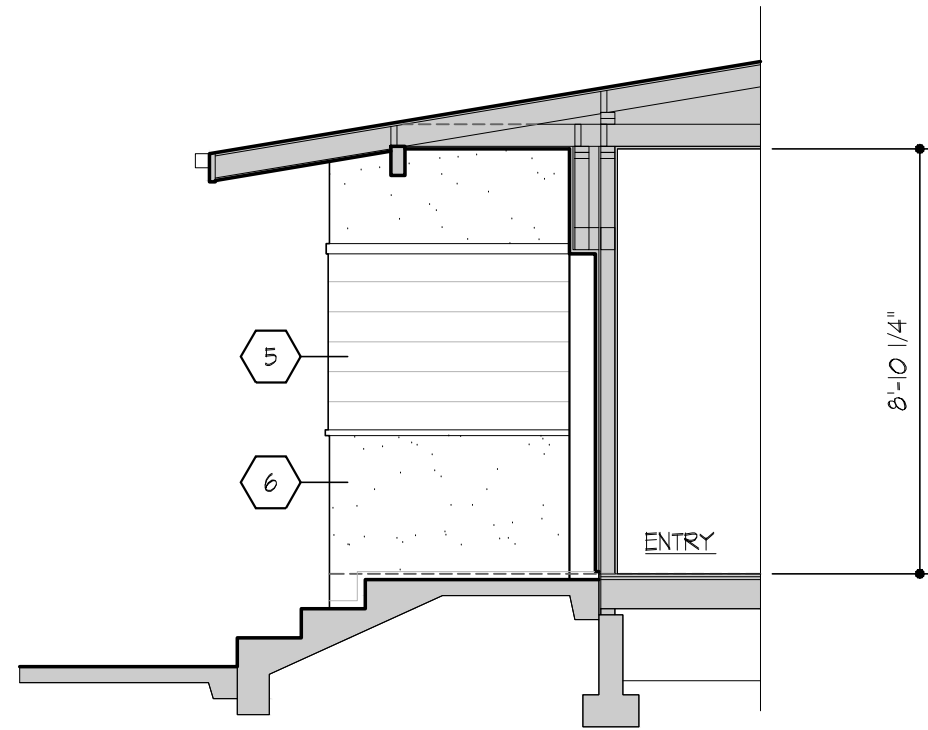
NORTH-WEST ELEVATION
SCALE : 1/4"=1'-0"



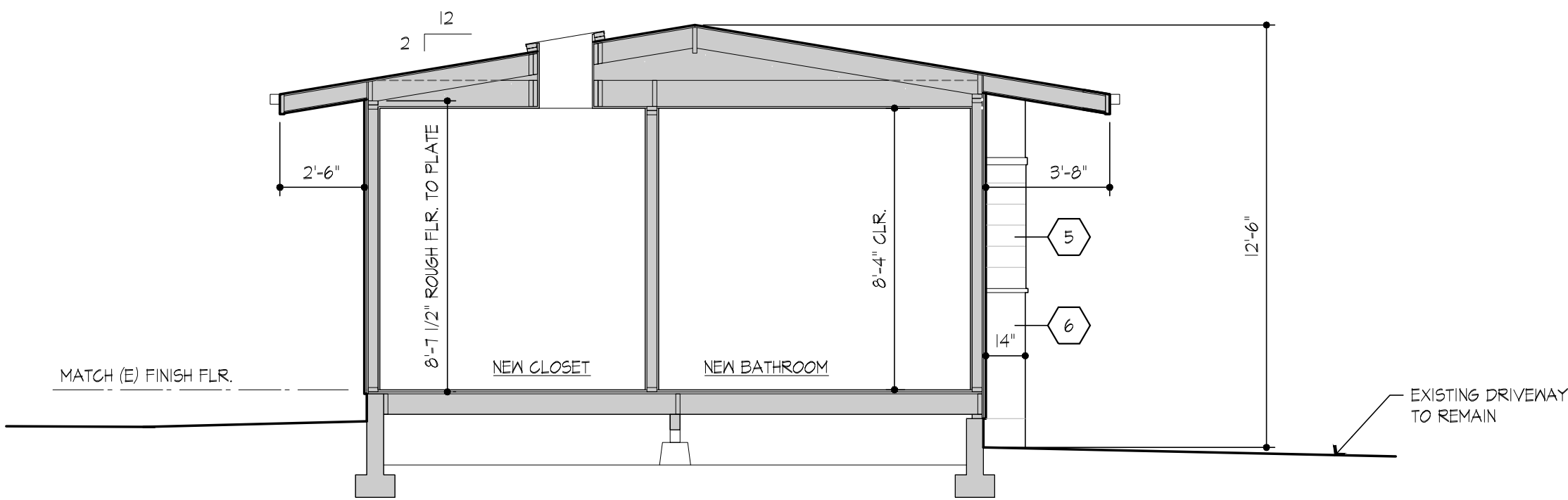
BUILDING SECTION C-C
SCALE : 1/4"=1'-0"



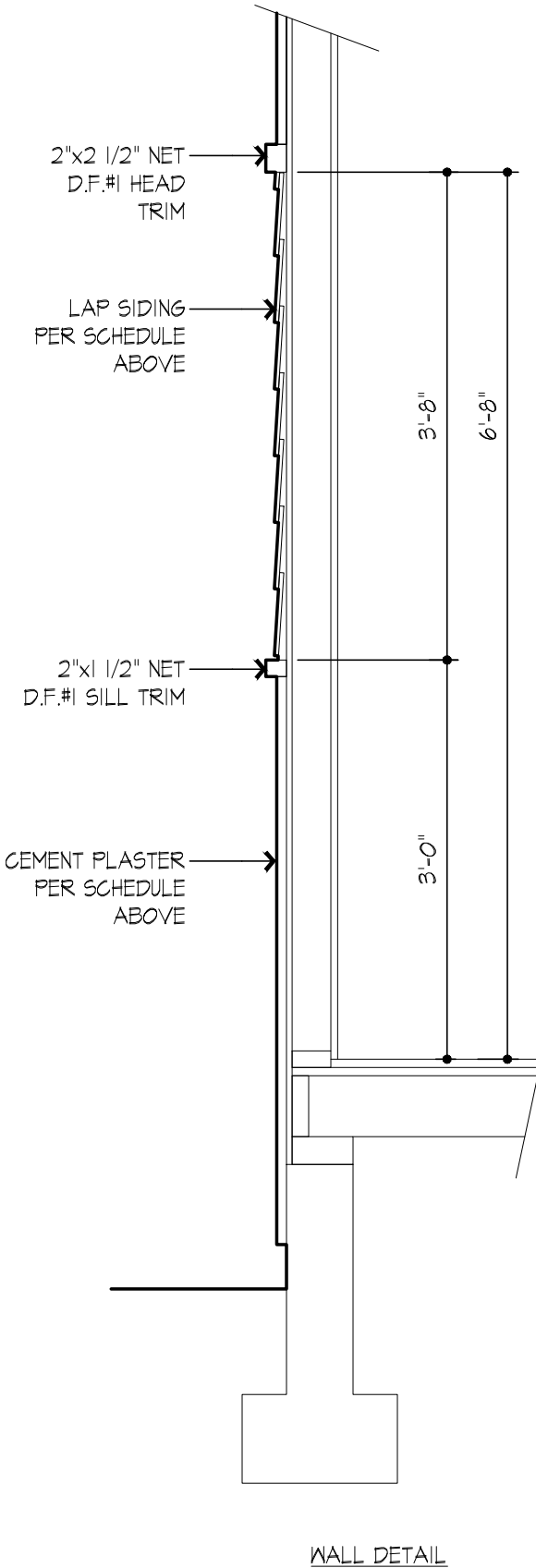
NORTH-EAST ELEVATION
SCALE : 1/4"=1'-0"



BUILDING SECTION B-B
SCALE : 1/4"=1'-0"



BUILDING SECTION A-A
SCALE : 1/4"=1'-0"



FINISH SCHEDULE

- 1 EXISTING COMPOSITION SHINGLE ROOFING
- 2 EXISTING CEMENT PLASTER
- 3 EXISTING HORIZONTAL WOOD SIDING
- 4 EXISTING VINYL WINDOWS
- 5 NEW HORIZONTAL LAP SIDING
JAMES HARDIE SMOOTH LAP SIDING w/ 6" EXPOSURE
- 6 NEW 7/8" CEMENT PLASTER w/ LIGHT SAND
TEXTURE & COLOR TO MATCH EXISTING
- 7 NEW COMPOSITION SHINGLE ROOFING TO MATCH EXISTING.
SEE ALSO SPECIFICATION ON ROOF PLAN
- 8 NEW ALUMINUM CLAD WOOD FRAMED WINDOW BY
SIERRA PACIFIC OR ARCHITECT APPROVED EQUAL.
EXT. COLOR: WHITE



1500 W. Alhambra Road, #6
Alhambra, CA 91801
Tel. 626.529.3800
info@lawdesigngroup.com

Approved By:

Owner Date

Reviewed By:

Contractor Date

KODANI RESIDENCE
5008 Acampo Avenue,
Glendale, CA 91214
For: Kyle & Stacey Kodani, 5008 Acampo Ave, Glendale, CA 91214

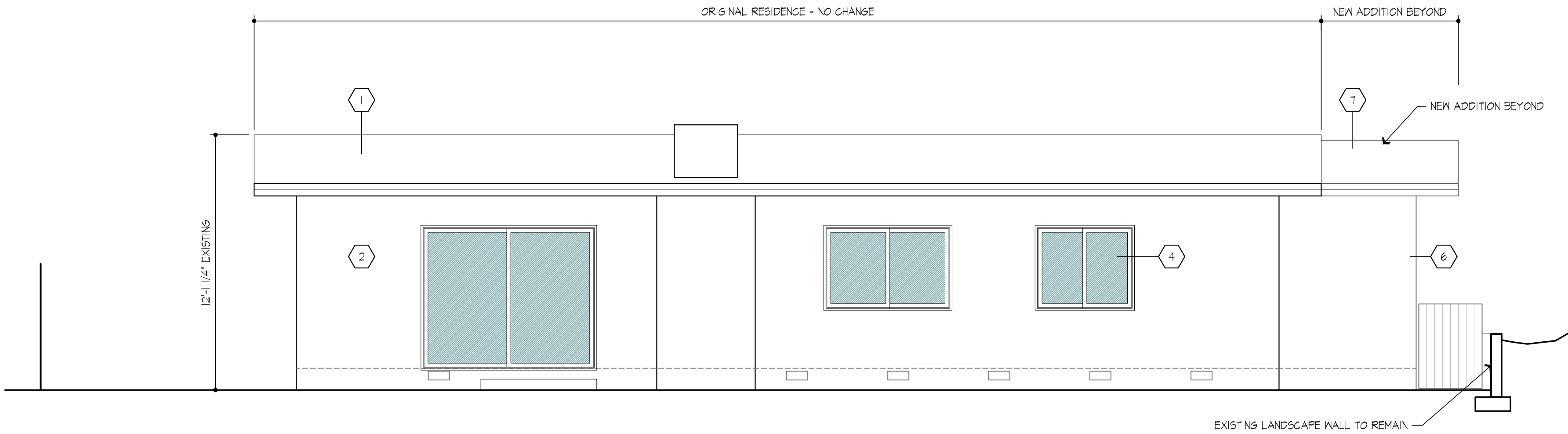
Revisions:	

Sheet Created:	Job #
May 2, 2025	24-106

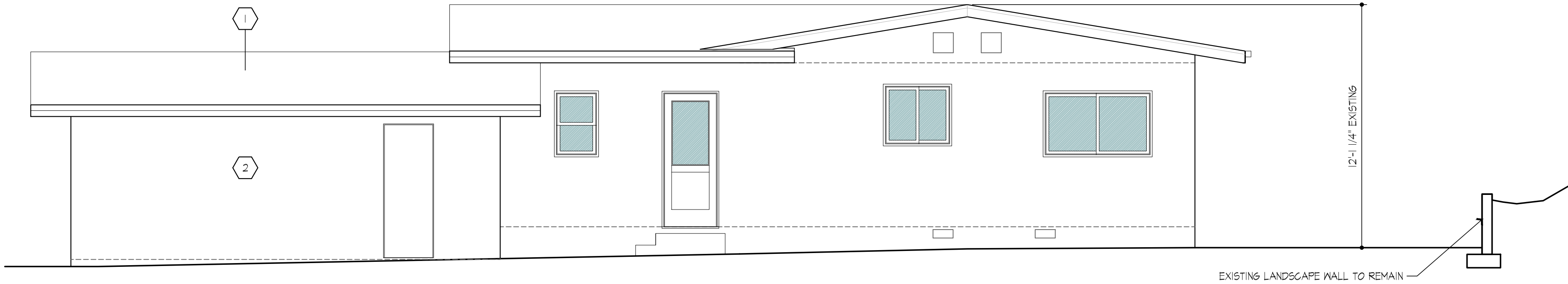
Sheet Name:
EXTERIOR
ELEVATIONS

Sheet Number:

A 5.2



SOUTH-EAST ELEVATION
SCALE : 1/4"=1'-0"



- NO CHANGES -
SOUTH-WEST ELEVATION
SCALE : 1/4"=1'-0"



1



2



3



4



5



6



7

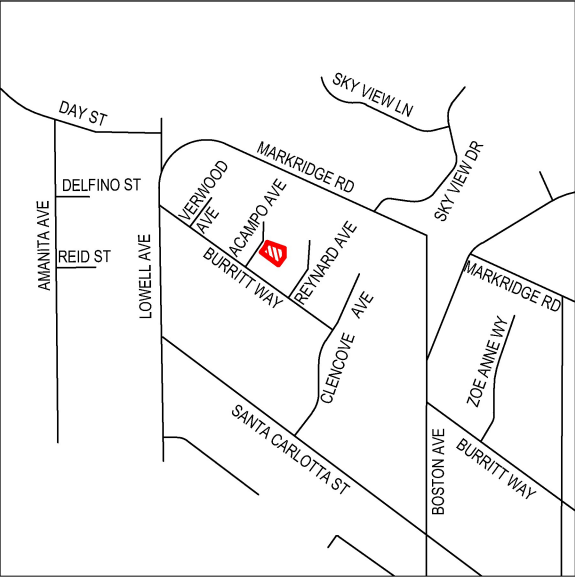


8



Street Views





CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 6/4/25

DUE DATE: 6/18/25

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Paulina Safarian, Planner **Tel. #** 818-937-8301

PROJECT ADDRESS: 5008 ACAMPO AVENUE GLENDALE, CA 91214

Applicant: David Law

Property Owner: Kyle Kodani

PROJECT DESCRIPTION:

This project includes a new 430 sq. ft. one-story addition to the front of the home consistent with the current height and style of the home. The new addition will include a new primary bedroom suite (inc. bathroom and closet), the extension of the existing entry foyer, and minor circulation adjustments.

- New landscaping is not proposed.
- Changes to the existing site drainage are not proposed.
- No site grading is proposed.
- No existing trees are proposed for removal.

PLEASE CHECK:

<p><u> </u> A. CITY ATTORNEY</p> <p><u> </u> B. COMMUNITY DEVELOPMENT:</p> <p><u> X </u> • (1) Building & Safety</p> <p><u> </u> • (2) Neighborhood Services</p> <p><u> </u> • (3) Design Review & Historic</p> <p><u> </u> • (4) Economic Development</p> <p><u> </u> • (5) Housing</p> <p><u> </u> • (6) Urban Design & Mobility</p> <p><u> </u> D. COMMUNITY SERVICES/PARKS:</p> <p><u> </u> E. FIRE ENGINEERING (PSC)</p> <p><u> </u> F. GLENDALE WATER & POWER:</p> <p><u> X </u> • (1) Water</p> <p><u> X </u> • (2) Electric</p>	<p><u> </u> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><u> </u> H. PUBLIC WORKS (ADMINISTRATION):</p> <p><u> X </u> • (1) Engineering & Land Development</p> <p><u> </u> • (2) Traffic</p> <p><u> </u> • (3) Facilities (city projects only)</p> <p><u> </u> • (4) Integrated Waste</p> <p><u> </u> •</p> <p><u> </u> • (5) Maintenance Services/Urban Forester</p> <p><u> </u> J. GLENDALE POLICE</p> <p><u> </u> K. OTHER:</p> <p><u> </u> • (1) STATE-Alcohol Beverage Control (ABC)</p> <p><u> </u> • (2) Tribal Consultations (EIFs)</p> <p><u> </u> • (3) City Clerk's Office</p>
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ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
AUP/CUP Case No.: _____
ADR/DRB Case No.: _____

Tentative Tract/Parcel Map No.: _____
Zone Change/GPA: _____
Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 5008 ACAMPO AVENUE
GLENDALE, CA 91214

Project
Case No.: PADR-004626-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 16 JUN 25

Print Name: Kevin Runzer

Title: Sr. Civil Engineer **Dept.** GWP Water Engineering **Tel.:** (818) 548-2062

a. ADDITIONAL COMMENTS:

☒ 1. SEE ATTACHED MEMO

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.



City of Glendale
Glendale Water & Power
Water Engineering

141 N. Glendale Avenue, Level 4, Suite 420
Glendale, California 91206-4975
Tel: (818) 548-2062 | Fax: (818) 240-4754
www.glendaleca.gov | WaterEngineeringInfo@glendaleca.gov

GWP Water Engineering

Response to Request for Comments (RFC) and Plan Check Review

DATE: June 18, 2025

TO: David Law of LDG Law Design Group, Applicant
Kyle Kodani, Owner

FROM: Kevin Runzer, Senior Civil Engineer – GWP Water

SUBJECT: **5008 Acampo Avenue, Glendale, CA 91214 (APN: 5601-003-033)**
GWP Water Engineering Response to an Administrative Design Review – Single Family Permit to Allow Addition to the Front of an Existing Single-Family Property
Permit No.: PADR-004626-2025
GWP Plan Check No. 7185

The Glendale Water and Power (GWP) Water Engineering Section has completed its review of Permit No. PDR-004626-2025, an Administrative Design Review – Single Family Permit to allow an addition 430-square-foot addition to the front of an existing one-story single-family property, 5008 Acampo Avenue, Parcel No. 5601-003-033, submitted by David Law of LDG LAW Design Group.

This is the first submission of a “Request for Comments (RFC)” received by GWP for this project. It was received by GWP on June 4, 2025. GWP makes internal reference to this first submission as “Plan Check No. 7185”.

Please update all necessary sheets on your plans to include the following GWP Water Engineering General Notes and Requirements:

- All water facilities shall be protected in-place during construction of the subject project. All water valves, water meter boxes, water vaults, fire hydrants, backflow prevention devices, and etcetera must be relocated and set to finished grade, when necessary, at the project's expense. Please contact GWP Water Engineering at (818) 548-2062.
- Please plan accordingly for requesting a shut-off or disconnection of live water services to avoid any damages and to maintain proper clearance for existing facilities by contacting GWP Water at (818) 548-2011 or call (818) 548-2062.
- This property is currently served by an existing 3/4" water service lateral with a 3/4" water meter for domestic use. If your project requires a different size of water service, as per the requirements or directive of the City's Building & Safety Division or the Glendale Fire Department, approval or an exemption shall be obtained when determining if existing fire flow is adequate. The Applicant shall pay GWP Water Engineering the cost for the installation of any necessary fire, irrigation, or domestic water service(s) to the property, as well as any off-site water facility improvements deemed necessary to provide sufficient fire flow as required by the Glendale Fire Department.
- Any existing water service connection(s), when no longer needed by the customer, must be permanently abandoned (disconnected at water main and the water meter removed) by GWP following payment of the necessary fee.
- A Reduced Pressure Principle (RP) Backflow Prevention Assembly is required to be installed for the water service connection during construction of the project, per the GWP Cross-Connection Control Program and Glendale Municipal Code (Chapter 13.32). Backflow prevention device locations must be approved by GWP

prior to installation. The Contractor has a choice of installing a backflow on the existing water service, or to contact GWP to obtain a temporary water meter.

- **GWP WATER INSPECTION:** The Applicant/Contractor is required to contact GWP Water Engineering / Water Quality for inspection of all the water work from the “point of connection” to the new water backflow prevention assembly. The “point of connection” is the water shut-off valve located on the customer’s side of the water meter fronting the property. DO NOT BACKFILL ANY TRENCHES related to water works after the “point of connection”. If backfilling occurs, the Inspector has the right to request the Contractor to expose any covered water pipes at Applicant/Contractor’s expense. Contact GWP Water Engineering at (818) 548-2062 or email to GWPWaterInspection@GlendaleCA.gov or GWBACKFLOW@GLENDALECA.GOV.

GWP Water Engineering Communication Notes:

- A complete set of plans shall be submitted to GWP Water Engineering for review and approval.
- **Reduced Pressure Principle (RP) Backflow Prevention Assembly:** The Contractor is required to install an RP Backflow Prevention Assembly as close as practical to the potable service water meter for the following situations:
 - a. **Water needed for temporary construction work on the property.**
 - b. Multi-family (4 units +) residential dwelling units,
 - c. All commercial developments,
 - d. When a **swimming pool**, spa, pond, tank, or water fountain are located on the property, and
 - e. For domestic water services designated exclusively for “irrigation” use

The Customer must submit plans to the GWP Cross-Connection Control Program showing the location, size, manufacturer, and model number of the approved RP. Please refer to the City of Glendale’s Standard Detail Drawing No. 6528-A for installation requirements. Please contact GWP’s Cross-Connection Control Program (818)-937-8948 for approval of BFP installation location, questions and scheduling a final inspection. (PER CA CODE OF REGULATIONS, TITLE 17 & CITY OF GLENDALE ORDINANCE NO. 5678).

- You are required to include the *LEAD FREE* RP backflow device’s size, make, and model specification sheets on your plans. This is accomplished by inserting the manufacturer’s product specification sheets in your AutoCAD drawing and highlighting or drawing a box around the size of backflow that will be used at your property.
- The installation of Type-K copper tubing is required from the “point of connection” of the existing water shut-off valve to the new RP water backflow prevention assembly for the domestic water service. MUST BE INSPECTED BY GWP.
- A Certified backflow tester is required to perform testing of the installed backflow prevention device, complete a backflow test results report for the backflow device, and email the report to GWBACKFLOW@GLENDALECA.GOV after GWP Inspects the backflows.
- **Temporary Water Meter:** The Contractor shall obtain a temporary water meter from Glendale Water & Power, Water Services Division, (818) 548-2062, prior to drawing water from any City of Glendale hydrant. The temporary water meter will be installed by and locked to the hydrant by GWP personnel. This requirement applies to both potable water and recycled water. The meters for potable water and recycled water are different and shall not be interchanged (i.e., a recycled water meter shall not be installed on a potable water fire hydrant, and a potable water meter shall not be installed on a recycled water hydrant). The potable water meter requires a back-flow prevention device, which is provided by the City at the time that the temporary water meter is issued and installed. The Contractor shall be responsible for paying a refundable deposit for each meter being used, a daily meter fee, as well as a consumption fee for the volume of water used.

5008 Acampo Avenue, Glendale, CA 91214 (APN: 5601-003-033)

Attention: David Law of LDG Law Design Group

GWP Plan Check No. 7185

June 18, 2025

Page 3 of 3

Information regarding the fee schedule for the temporary meters can be found on the GWP website <https://www.glendaleca.gov/government/departments/glendale-water-and-power/about-your-water/water-engineering-service-planning/temporary-construction-water-meter>. Drawing of water from a hydrant without a temporary water meter is prohibited and the Contractor is subject to Police citation. All costs associated with the temporary water meter shall be borne by the Contractor.

- You are required to include GWP Standard Drawing No.'s 6528-A and 6762-A on your plans.
- For additional information, please contact GWP Water at (818) 548-2062 or email WaterEngineeringInfo@GlendaleCA.gov

Please visit the following website for additional services:

- <https://www.glendaleca.gov/government/departments/glendale-water-and-power/about-your-water/water-engineering-service-planning>

If you need additional information, please contact Ani Azoyan at 818.548.2062 extension 4576.

Best Regards,

Kevin Runzer, P.E.
Senior Civil Engineer

AA|ED

Attachments:

- 1 GWP PLAN CK 7185 - ACAMPO AVE 5008 - PLAN_GWP-W-Comments
- 2 GWP PLAN CK 7185 - ACAMPO AVE 5008 - REQUEST FOR COMMENT_GWP-W-Comments
- GWP Std. Dwg. No. 6528-A, "*Reduced Pressure Principle Assembly - RP*"
- GWP Std. Dwg. No. 6762-A, "*Installation Requirements for BFP*"

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION

DATE: June 17, 2025

TO: Paulina Safarian, Planner, Community Development Department

FROM: Kevin Runzer, GWP Water Engineering
Catherine Babakhanlou, GWP Electric Engineering

SUBJECT: PADR-004626-2025
5008 Acampo Ave

Glendale Water & Power (GWP) Engineering has reviewed the plans.
Requirements are as follows:

Electric Engineering

Customer Service (818) 548-3921

- No conflict.

Fiber Optics (818) 548-3923

- No conflict.

Street Lighting (818) 548-4877

- No Conflict

Transmission & Distribution (818) 548-3923

- No conflict.

Water Engineering

Recycled Water (818) 548-2062

- No conflict.

Backflow Prevention (818) 548-2062

- Additional comment(s) and/or attachment(s).
See attached memo.

Potable Water (818) 548-2062

- Additional comment(s) and/or attachment(s).
See attached memo.

Catherine Babakhanlou	Kevin Runzer
Principal Electrical Engineer	Senior Civil Engineer

	
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CB/KR:sb/eh

NOTE: NO CHANGE TO THE EXISTING LANDSCAPING IS PROPOSED

THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY(20) FEET OF THE SITE

NOTE: THERE IS NO SIDEWALK OR PARKSTRIP AT THIS PROPERTY



CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 6/4/25

DUE DATE: 6/18/25

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Paulina Safarian, Planner **Tel. #** 818-937-8301

PROJECT ADDRESS: 5008 ACAMPO AVENUE GLENDALE, CA 91214

Applicant: David Law

Property Owner: Kyle Kodani

PROJECT DESCRIPTION:

This project includes a new 430 sq. ft. one-story addition to the front of the home consistent with the current height and style of the home. The new addition will include a new primary bedroom suite (inc. bathroom and closet), the extension of the existing entry foyer, and minor circulation adjustments.

- New landscaping is not proposed.
- Changes to the existing site drainage are not proposed.
- No site grading is proposed.
- No existing trees are proposed for removal.

PLEASE CHECK:

<p><u> </u> A. CITY ATTORNEY</p> <p><u> </u> B. COMMUNITY DEVELOPMENT:</p> <p><u> X </u> • (1) Building & Safety</p> <p><u> </u> • (2) Neighborhood Services</p> <p><u> </u> • (3) Design Review & Historic</p> <p><u> </u> • (4) Economic Development</p> <p><u> </u> • (5) Housing</p> <p><u> </u> • (6) Urban Design & Mobility</p> <p><u> </u> D. COMMUNITY SERVICES/PARKS:</p> <p><u> </u> E. FIRE ENGINEERING (PSC)</p> <p><u> </u> F. GLENDALE WATER & POWER:</p> <p><u> X </u> • (1) Water</p> <p><u> X </u> • (2) Electric</p>	<p><u> </u> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><u> </u> H. PUBLIC WORKS (ADMINISTRATION):</p> <p><u> X </u> • (1) Engineering & Land Development</p> <p><u> </u> • (2) Traffic</p> <p><u> </u> • (3) Facilities (city projects only)</p> <p><u> </u> • (4) Integrated Waste</p> <p><u> </u> •</p> <p><u> </u> • (5) Maintenance Services/Urban Forester</p> <p><u> </u> J. GLENDALE POLICE</p> <p><u> </u> K. OTHER:</p> <p><u> </u> • (1) STATE-Alcohol Beverage Control (ABC)</p> <p><u> </u> • (2) Tribal Consultations (EIFs)</p> <p><u> </u> • (3) City Clerk's Office</p>
--	--

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____
AUP/CUP Case No.: _____
ADR/DRB Case No.: _____

Tentative Tract/Parcel Map No.: _____
Zone Change/GPA: _____
Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 5008 ACAMPO AVENUE
GLENDALE, CA 91214

Project
Case No.: PADR-004626-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 6/16/2025

Print Name: Jose A. Muñoz

Title: Arborist Technician Dept. PW Forestry Tel.: x.3402

a. ADDITIONAL COMMENTS:

☐ 1. **SUMMARY**

Subject property is a single-family residence located on a terraced parcel in the Crescenta Highlands neighborhood of Glendale, CA., 91214. Scope of work includes the construction of a new 430 square foot master bedroom w/closet & restroom. No Private or City owned Indigenous Protected Trees appear to be on site, or within 20' of property. One (1) *Pinus canariensis* (Canary Island pine) City Street Tree has been represented on plans, however its location does not appear to be accurate and shall be edited. Project seems supportable by Forestry given recommendations below are satisfied. Please see below.

INDIGENOUS TREE ORDINANCE

A Forestry note has been incorporated on plans which reads, "There are no oak, bay, or sycamore trees on the lot or within 20' of the site". No Indigenous Protected Trees appear to be on site or within 20'.

CITY STREET TREES

One (1) *Pinus canariensis* (Canary Island pine) City Street Tree has been represented on plans, however its location does not appear to be accurate and shall be edited. Given no excavation is proposed at this time within the protection zone of the subject City Street Tree, applicant may add the note, "Protected oak, sycamore, bay trees or City Street trees on the property and within 20' of the property are inaccessible to the proposed construction activity and will experience NO impact. No protective fencing is required" to plans. If any trenching, utility modifications or changes in grade are necessary under the

canopy of the City Street Tree, a private arborist report along with a Street Tree Permit (STREE) Permit will be required.

RECCOMENDATIONS

1. Add the note, "Protected oak, sycamore, bay trees or City Street trees on the property and within 20' of the property are inaccessible to the proposed construction activity and will experience NO impact. No protective fencing is required" to plans.

I can be reached at JoseMunoz@GlendaleCa.Gov or x.3402

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.