



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

June 24, 2025

David Gonzalez Rojas
5201 Monte Vista Street
Los Angeles, CA 0042

**RE: 2450 SLEEPY HOLLOW DRIVE
ADMINISTRATIVE DESIGN REVIEW CASE NO. PADR-004557-2025**

Dear Mr. Gonzalez:

The Director of Community Development will render a final decision on or after July 10, 2025, for the following project:

PROJECT DESCRIPTION: To construct a new 155 square-foot (SF) front addition and 719 SF rear addition to an existing 1,916 SF single-family dwelling (built in 1929) totaling 2,790 SF on an 8,105 SF hillside lot zoned R1R (Floor Area District II). The project also proposes an interior remodel, façade changes to both the existing dwelling and the existing detached 324 SF two-car garage located at the rear of the property, new landscaping, and driveway improvements.

For more information or to submit comments, please contact the case planner, Wyatt Berger, at 818-937-8171 or WBerger@glendaleca.gov.

Comments must be received prior to July 10, 2025, in order to be considered by the Director.

DECISION: A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed online within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 101, Glendale, CA 91206.

Sincerely,

A handwritten signature in cursive script that reads "Wyatt Berger".

Wyatt Berger
Planner



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY

July 10, 2025 <i>Decision Date</i>	2450 Sleepy Hollow Drive <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5672-024-027 <i>APN</i>
PADR-004557-2025 <i>Case Number</i>	David Gonzalez Rojas <i>Applicant</i>
Wyatt Berger <i>Case Planner</i>	Burag Celikian <i>Owner</i>

Project Summary

To construct a new 155 square-foot (SF) front addition and 719 SF rear addition to an existing 1,916 SF single-family dwelling (built in 1929) totaling 2,790 SF on an 8,105 SF hillside lot zoned R1R (Floor Area District II). The project also proposes an interior remodel, façade changes to both the existing dwelling and the existing detached 324 SF two-car garage located at the rear of the property, new landscaping, and driveway improvements.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301(e)(1) of the State CEQA Guidelines because the proposed additions will not result in an increase of more than 50 percent of the floor area of the structure before the additions. Additionally, the property does not appear eligible for historic designation at the federal, state, or local level and is therefore not considered a historic resource under CEQA.

Existing Property/Background

The project site is an 8,105 SF, rectangular-shaped, interior lot with frontage on Sleepy Hollow Drive. The project site minimally slopes up from south to north toward Sleepy Hollow Drive with an average current slope of 5.5 percent. Originally developed in 1929, the project site currently features a one-story 1,916 SF single-family dwelling with a detached 324 SF two-car garage and pool at the rear of the property. Access to the garage is provided from an existing driveway that will be improved as part of this project.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RIR FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

No active or pending permits are associated with this project site.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size (SF)	11,354 SF	5,393 to 16,711 SF	8,105 SF
Setback (feet)	18'-5" feet	10'-0" to 30'-0" feet	19'-8"
House size (SF)	2,171 SF	1,276 to 3,518 SF	2,790 SF
Floor Area Ratio	0.25	0.15 to 0.37	0.34
Number of stories	1-3 stories		1 (no change)

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

Yards and Usable Open Space

☐ yes ☒ n/a ☐ no

If "no" select from below and explain:

- ☐ Avoid altering landform to create flat yards
- ☐ Outdoor areas integrated into open space
- ☐ Use of retaining walls minimized
- ☐ Provide landscaping to reduce visual impact of retaining walls
- ☐ Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Predominant pattern on block
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☐ yes ☐ n/a ☒ no

If "no" select from below and explain:

- ☐ Complementary to building design
- ☒ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Several fruit trees, including two within the public right-of-way, will be removed as part of this project. A condition will be placed on the approval to obtain a Street Tree Permit and comply with the requirements from Urban Forestry pertaining to the planting of two Coast Live Oak trees within the public right-of-way.

Walls and Fences

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The bulk of the additional floor area will be located at the rear of the existing dwelling. Further, the 155 SF addition located at the front is proposed to infill the

existing front porch and will not impact the prevailing streetscape and street front setbacks on the project site and in the neighborhood. The overall proposal will also meet the interior setback requirement of 10 feet.

- The rear addition will be located on a relatively flat portion of the site and will not require extensive grading or alteration to the topography of the site.
- The existing driveway will be resurfaced with a “Hollywood”-style decorative paving system, where the tracks for the car are separated by a strip of decomposed granite. The location of the driveway providing access to the garage will remain.
- New drought-tolerant landscaping is proposed to replace the existing landscaping. Appropriate landscaping will be provided underneath the drip canopy of a Coast Live Oak located within 20 feet of the project site. Permeable stone pavers will surround the existing pool to reduce stormwater runoff. Several fruit trees, including two within the public right-of-way, will also be removed as part of this project. A condition is included to obtain a Street Tree Permit and comply with the requirements from Urban Forestry pertaining to the planting of two Coast Live Oak trees within the public right-of-way.
- A new boundary (non-retaining) concrete wall with vertical Arroyo wood slats is proposed along the east (side) property line. This new boundary wall will be architecturally treated on both sides and is designed to complement the building and site.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass and scale of the project are compatible with adjoining properties and appropriately relate to the surrounding neighborhood context.
- While the massing of the rear addition is generally larger than the overall building, the rear addition is located downslope from Sleepy Hollow Drive and has no visual impact when viewed from the street.
- The existing M-shaped, double-ridged roof is the guiding architectural concept for the proposal. Generous roof overhangs are proposed over the front and rear facades and are architecturally treated with fire-retardant wood soffit detailing. The new roof overhangs will further recess the entryway and create a building solid and void relationship on the front façade. Additionally, the extended eaves will provide for passive solar design on the rear elevation facing south.
- The new additions are proposed to match the existing roof pitch of the building.
- The rear addition will not only comply with interior setback requirements but features some modulation to avoid a solid box-like appearance when viewed from adjoining properties.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent architectural concept

- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

Paving Materials

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the design and detailing of the new additions and façade improvements are appropriate and consistent with the existing style and finish materials of the building.
 - The entryway will be recessed from the front façade and partially obscured by the roof overhangs, reducing its scale.
 - All windows on the existing dwelling and proposed additions will be recessed into the wall with hung, casement, fixed or awning operation, all of which are appropriate to the age of the building and the architectural concept.
 - The new front entry door will be solid wood with fixed solid wood side and transom panels.
 - The project proposes to mitigate potential privacy impacts by constructing a six-foot-tall boundary wall along the side (east) property line. The rear façade windows will also primarily overlook the existing pool and backyard. Further, the Coast Live Oak on the adjoining rear property further shields views from the rear façade family room windows.
 - The project will incorporate a duo-tone cement plaster finish onto both the existing dwelling and the new additions. Additional material changes are proposed by incorporating wood-clad soffits throughout, wood paneling at the front entryway, and metal paneling on the front elevation window sills.
 - All proposed utilities, mechanical equipment, and trash storage will be screened from public view by the building and the new driveway gate. The locations of downspouts and gutters are also identified on the elevations and will match the finish colors of the building.
 - The new garage door will consist of metal panels painted to match the window frames. The façade and roofing materials of the detached garage will otherwise match the exterior of the dwelling.
-

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. Obtain the required permits from Urban Forestry for the replacement of two existing fruit trees within the public right-of-way with two Coast Live Oak street trees.
-

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Neighborhood Survey
4. Location Map
5. Departmental Comments

SLEEPY HOLLOW RESIDENCE

2450 SLEEPY HOLLOW DRIVE
GLENDALE, CA 91206

DRAWING SYMBOLS

CENTER LINE
PROPERTY LINE
HIDDEN/CONCEALED LINE

ELEVATION CONTROL

WORK POINT

SPOT ELEVATION

DIMENSIONS

GRIDLINES

ELEVATION

BUILDING SECTION

DETAIL/WALL SECTIION

DETAIL ENLARGEMENT

INTERIOR ELEVATION

DOOR NUMBER

WINDOW NUMBER

NEW CONSTRUCTION

1 HOUR CONSTRUCTION

ABBREVIATIONS

A at
@ above
A.D. Area Drain
avg. Average

B Bd. Board
Bel. Below
Bldg. Building
Bm. Beam
BOW Bottom of Wall
BTU British Thermal Unit

C CFM Cubic Feet per Minute
CIP Cast in place
CMU Concrete masonry Unit
Conc. Concrete

D Dn Down
DWV Drain/Waste Vent

E Elasto. Elastomeric

F FAU Forced Air Unit
F.J. Floor Joist
F.G. Finish Grade

G Ga. Cuage
Galv. Galvanized
gyp. Gypsum

H HVAC Heating, Ventilation and Air Conditioning Unit

I Inv. Invert

J

K

L LPG Liquefied Petroleum Gas

M Mfg. Manufactur(er)
Mtl. Metal
Min. Minimum

N

O o/ Over
OD Outside Diameter
ODU Out Door Unit
OSB Oriented Strand Board

P PW Plywood

R Req. Required
RJ Roof Joist
RR Roof Rafter
Rm Room

S S.D. Storm Drain
SF Square Feet

T Typ. Typical
TG Top of Grate
TOP Top of Parapet
TOW Top of Wall
TPS Top of Plywood Sheathing

U UL Underwriters Laboratories

V

W Wd. Wood
w/ With

X

Y

Z

CONTACT INFORMATION

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WINNETKA, CA 91306

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THANG@THANGLESE.COM

SURVEYOR
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347 S. ROBERTSON BLVD.
BEVERLY HILLS, CA 90211
INFO@MGLANDSUR.COM
310.657.0871

SHEET INDEX

ARCHITECTURAL

A0.0 COVER SHEET/PROJECT INFORMATION

SV TOPOGRAPHIC SURVEY
SV SLOPE ANALYSIS

A1.0_D SITE PLAN - DEMO

A1.0 SITE PLAN
A1.0_A NEIGHBORING PROPERTIES

A1.1_D FLOOR PLAN - DEMO
A1.2_D ROOF PLAN - DEMO

A1.1 FLOOR PLAN
A1.2 ROOF PLAN
A1.3 GARAGE PLAN, ELEVATIONS & SECTION

A2.1_D BUILDING ELEVATIONS - DEMO

A2.1 BUILDING ELEVATIONS
A2.1_A COLORED ELEVATIONS, RENDERED PERSPECTIVES, COLORS & MATERIALS

A3.1 BUILDING SECTIONS

A6.1 DOOR & WINDOW SCHEDULE

L1.0 LANDSCAPE PLAN

PROJECT DATA

SCOPE OF WORK:
- REMODEL + 874 SF ADDITION (155 SF ADDITION IN THE FRONT + 719 SF ADDITION IN THE BACK)
TO AN (E) 1,916 SF SINGLE FAMILY RESIDENCE TOTALING 2,790 SF.
- RE-FINISH (E) GARAGE: NEW PLASTER, ROOFING AND GARAGE DOOR, NO STRUCTURAL CHANGES.

PROJECT ADDRESS: 2450 SLEEPY HOLLOW DR., GLENDALE, CA 91206

AGENCY JURISDICTION: CITY OF GLENDALE

REFERENCE CODE: CALIFORNIA BUILDING CODE 2022
CALIFORNIA RESIDENTIAL CODE 2022
CALIFORNIA BUILDING ENERGY CODE 2022

ZONING: R1R II, RESTRICTED RESIDENTIAL FAR DIST II

CONSTRUCTION TYPE: TYPE VB

OCCUPANCY: R3

LEGAL DESCRIPTION

TRACT: TR 6324

LOT: 27

ASSESSORS PARCEL #: 5672-024-027

PROJECT INFORMATION

LOT AREA: 8,100 SF

MAX FLOOR AREA RATIO ALLOWED: FAR = 0.4 x 8,100 = 3,240 SF Max
(500 SF of the Garage is exempt from the Max FAR)

(E) BUILDING GROSS AREA: 1,916 SF + 324 SF GARAGE

TOTAL PROPOSED GROSS AREA: 2,790 SF + 324 SF GARAGE

PARKING: (E) 2-CAR GARAGE - NO CHANGE

BUILDING HEIGHT: 18'-3 ³/₄" - NO CHANGE

STORIES: 1 - NO CHANGE

FRONT YARD SETBACK: 19'-8" - NO CHANGE

SIDE YARD SETBACK: 4'-0" WEST; 10'-0" EAST - NO CHANGE

REQ'D SIDE YARD SETBACK: 10'-0"

(E) REAR YARD SETBACK: 60'-8" RESIDENCE (15'-6 ¹/₂" GARAGE - NO CHANGE)

PROPOSED REAR YARD SETBACK: 51'-6 ³/₄" RESIDENCE (15'-6 ¹/₂" GARAGE - NO CHANGE)

LOT COVERAGE: 39.7%

2,898.7 SF RESIDENCE
(2,790 SF RESIDENCE + 108.7 SF COVERED PATIO)
+ 324 SF GARAGE = 3,222.7 SF

3,222.7 SF/ 8,100 SF (LOT AREA)*100 = 39.7%

TOTAL FLOOR AREA TO LOT AREA RATIO: 38.4%

2,790 SF RESIDENCE + 324 SF GARAGE = 3,114 SF

3,114 SF/ 8,100 SF (LOT AREA)*100 = 38.4%

LANDSCAPE CALCULATION:

BUILDING FOOTPRINT (RESIDENCE + GARAGE): 38.4% (3,114 SF)

HARDSCAPE: 21% (1,697 SF)

LANDSCAPE: 40.6% (3,289 SF)

LOT AREA: 100% (8,100 SF)

DEMOLITION CALCULATION:

AREA OF (E) WALLS TO BE DEMOLISHED: 885 SF

AREA OF (E) ROOF TO BE DEMOLISHED: 920 SF

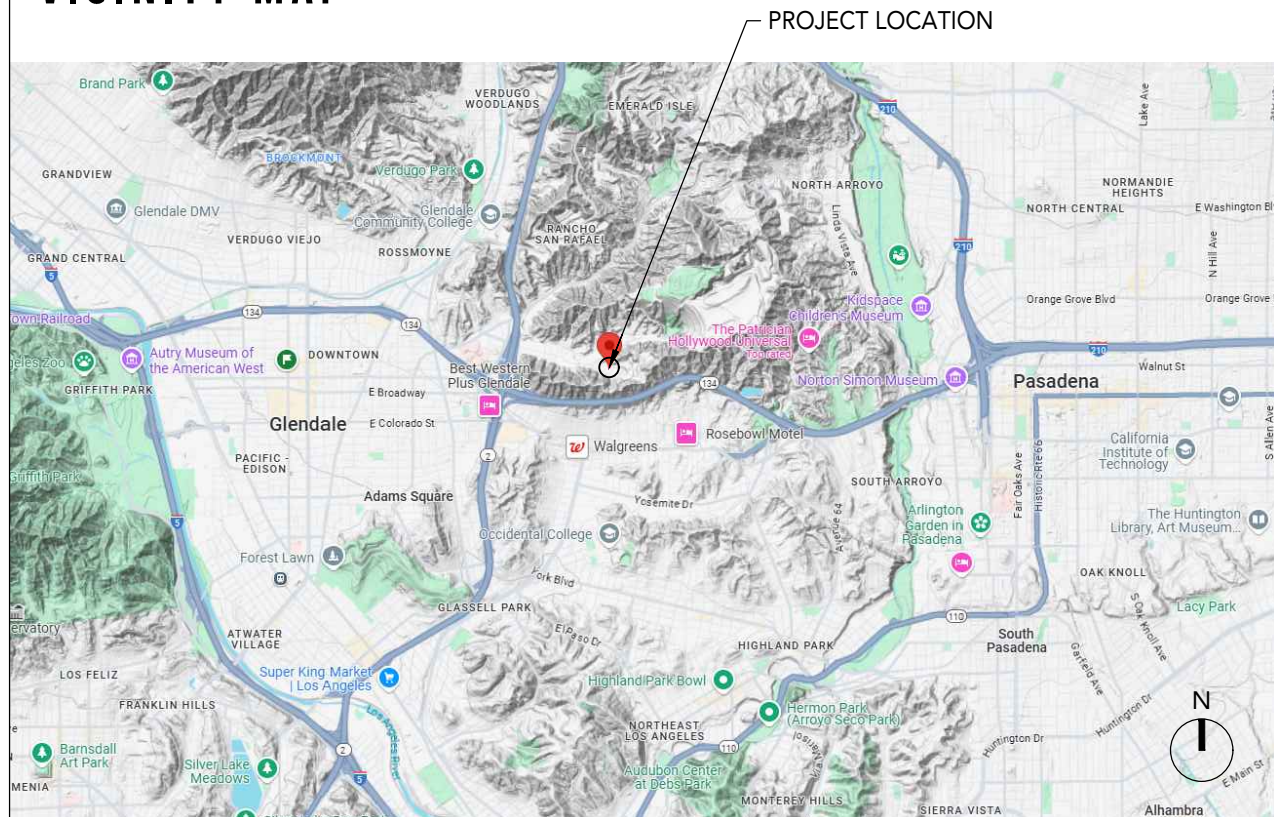
TOTAL AREA OF (E) WALLS (TO REMAIN & DEMOLISH): 2,376.9 SF

TOTAL AREA OF (E) ROOF (TO REMAIN & DEMOLISH): 1,909.2 SF

(885 + 920) / (2,376.9+1,909.2) = 0.42 0.42 < 0.5

SEE SHEETS A1.2_D & A2.1_D FOR ADDITIONAL INFORMATION & CALCS

VICINITY MAP



DATE SCALE
12/10/24

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT

5201 MONTE VISTA ST
LOS ANGELES, CA 90042
DGNZLZ@GMAIL.COM
626.318.2719

OWNER

BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

LEGAL DESCRIPTION

TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672-024-027

SEAL



SHEET TITLE

COVER SHEET

SHEET NUMBER

A0.0

THIS DRAWING IS THE PROPERTY OF
DAVID GONZALEZ ROJAS ARCHITECT,
AND IS NOT TO BE REPRODUCED OR
COPIED IN WHOLE OR IN PART. IT IS NOT
TO BE USED ON ANY OTHER PROJECT
AND IS TO BE RETURNED ON REQUEST.

LEGAL DESCRIPTION:

FOR APN/PARCEL ID(S): 5672-024-027

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS: LOT 87 OF TRACT NO. 6324, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 2400, PAGE 4 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THEREFROM THE EAST 50 FEET OF SAID LOT, THE WESTERLY LINE THEREOF BEING PARALLEL WITH THE EASTERLY LINE OF SAID LOT AND 50 FEET DISTANT WESTERLY AT RIGHT ANGLES THEREFROM.

REFERENCE DOCUMENT:

THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN LAWYERS TITLE COMPANY PRELIM NO. L74242001001 WITH AN EFFECTIVE DATE OF AUGUST 9, 2024 AT 07:30 AM, AND THAT ALL EASEMENTS REFERENCED IN SAID TITLE REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

BASIS OF BEARINGS:

THE BEARING NORTH 65° 15' 00" WEST ON THE CENTERLINE OF SLEEPY HOLLOW DRIVE AS SHOWN ON RECORD OF SURVEY 24100, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN R.S. BOOK 342, PAGES 10, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

CONTAINING AN AREA OF 8105.46 SQ. FT. OR 0.1860 ACRES, MORE OR LESS.

BENCHMARK:

BENCHMARKS - NVD29 DATUM

BENCHMARK : 1360
DESCRIPTION : ROUND HEAD NAIL IN LEAD IN W/LY CURB BAILEY PL 2.0 FT
STY OF BCR S-WLY CORNER MARKED "BM"
ELEVATION : 844.23 FT

SURVEYOR'S NOTE:

- THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
- SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.
- RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS, IF ANY, ARE NOT SHOWN.

LEGEND:

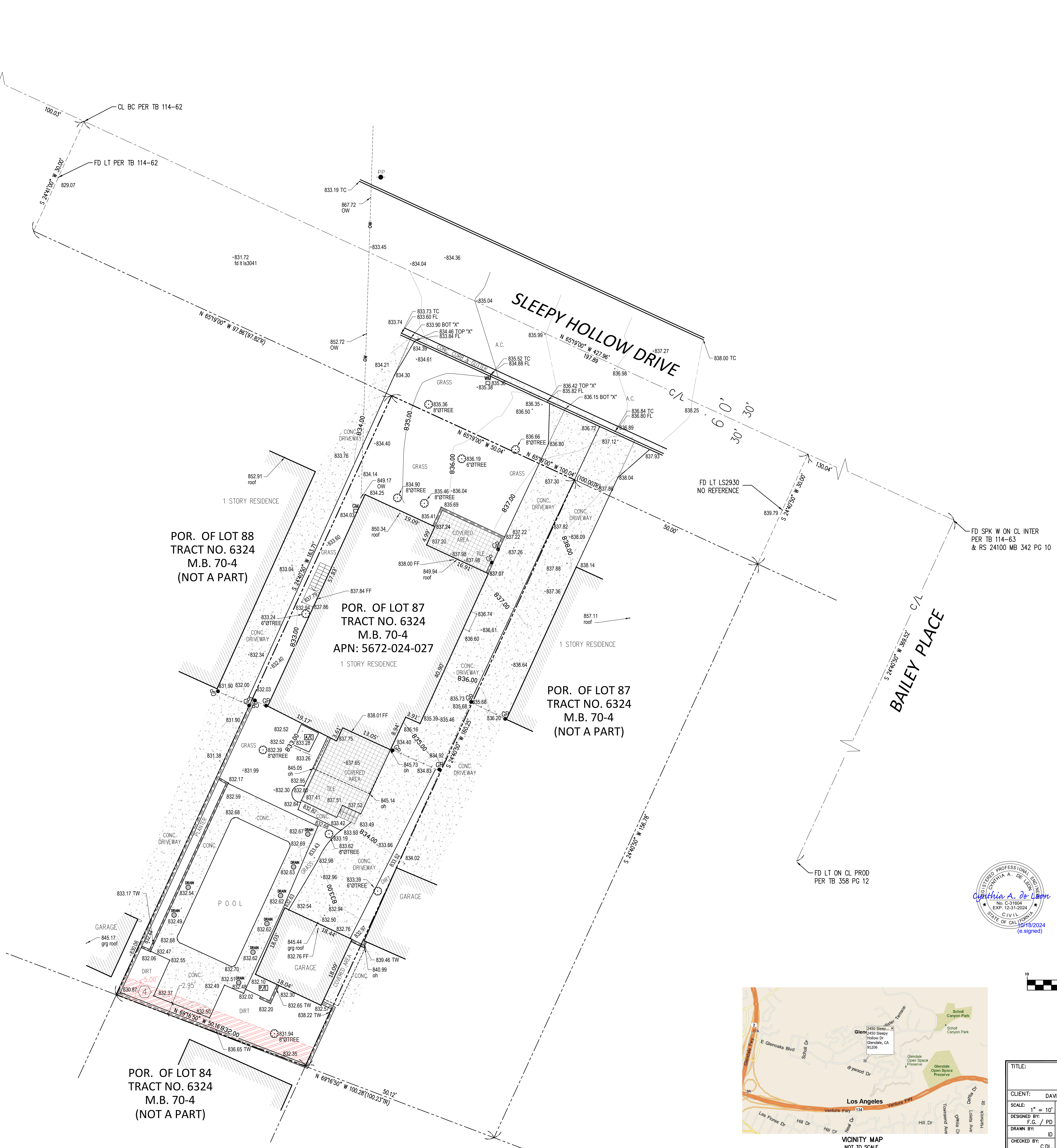
APN - ASSESSOR'S PARCEL NUMBER
A.C. - ASPHALT CONCRETE
BC - BEGINNING OF CURVE
BM - BENCHMARK
BLDG - BUILDING
C/L - CENTERLINE
CONC. - CONCRETE
COR - CORNER
FB - FIELD BOOK
FD - FOUND
FF - FINISH FLOOR ELEV.
FL - FLOWLINE ELEV.
INT - INTERSECTION
LS - LAND SURVEYOR
LAT - LEAD & TRACK
M.B. - MAP BOOK
OH - OVERHANG
PP - POWER POLE
P - PROPORTION
PG - PAGE
P/L - PLANTER
PLTR - PROLONGED (PROLONGED)
REF - REFERENCE
RS - RECORD OF SURVEY
S.W. - SPIKE & WISHER
TC - TOP OF CURB ELEV.
TL - TRACT MAP
TW - TOP OF WALL ELEV.

SYMBOLS:

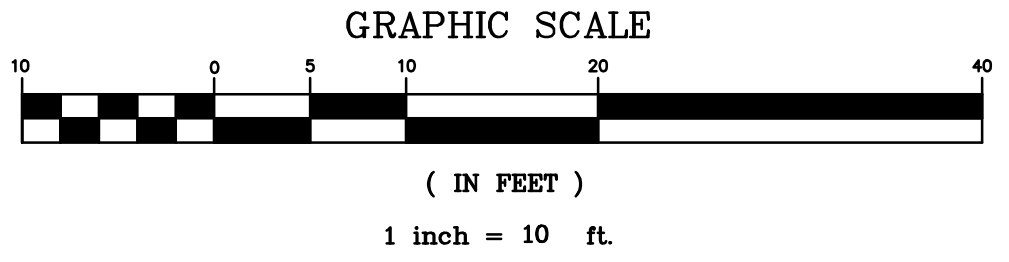
AIRCONDITIONING UNIT
DRAIN
GAS METER
GATE POST
POOL EQUIPMENT
POWER POLE
TREE
PROPERTY LINE
CENTERLINE
WALL LINE
BUILDING LINE
FENCE LINE
OVERHEAD WIRE

SCHEDULE B / EASEMENT(S):

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: CITY OF GLENDALE
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JULY 7, 1923
RECORDING NO.: BOOK 2500, PAGE 145, OFFICIAL RECORDS
AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN
- PLOTTED HEREON



DAVID GONZALEZ
No. C-31604
EXP. 12-31-2024
CIVIL ENGINEER
STATE OF CALIFORNIA
(e signed)



M&G CIVIL ENGINEERING
AND LAND SURVEYING

TITLE: TOPOGRAPHIC SURVEY			
2450 SLEEPY HOLLOW DRIVE, GLENDALE, CA 91206			
CLIENT: DAVID GONZALEZ	JOB NO.: 24.21715	DATE: 10/18/2024	REVISION (S):
SCALE: 1" = 10'	DESIGNED BY: F.G. / PD	DRAWN BY: ID	CHECKED BY: C.D.L.
M&G CIVIL ENGINEERING & LAND SURVEYING		347 S. ROBERTSON BLVD. BEVERLY HILLS, CALIFORNIA 90211 TEL. (310) 659-0871 FAX (310) 659-0845 info@mglndsr.com www.mglndsr.com	
VICINITY MAP NOT TO SCALE		SHEET 1 OF 1 SHEET	

LEGAL DESCRIPTION:

FOR APN/PARCEL ID(S): 5672-024-027

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
LOT 87 OF TRACT NO. 6324, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 70, PAGE 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPT THEREFROM THE EAST 50 FEET OF SAID LOT, THE WESTERLY LINE THEREOF BEING PARALLEL WITH THE EASTERLY LINE OF SAID LOT AND 50 FEET DISTANT WESTERLY AT RIGHT ANGLES THEREFROM

REFERENCE DOCUMENT:

THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN LAWYERS TITLE COMPANY PRELIM NO. L74242501601 WITH AN EFFECTIVE DATE OF AUGUST 9, 2024 AT 07:30 AM, AND THAT ALL EASEMENTS REFERENCED IN SAID TITLE REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

BASIS OF BEARINGS:

THE BEARING NORTH 65° 19' 00" WEST ON THE CENTERLINE OF SLEEPY HOLLOW DRIVE AS SHOWN ON RECORD OF SURVEY 24100, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN U.S. BOOK 342, PAGES 10, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

CONTAINING AN AREA OF 8105.46 SQ. FT. OR 0.1860 ACRES, MORE OR LESS.

BENCHMARK:

BENCHMARKS - NAD83 DATUM

BENCHMARK : 1360
DESCRIPTION : ROUND HEAD NAIL IN LEAD IN W/LY CURB BAILEY PL 2.0 FT
SLY OF BOR S-WLY CORNER MARKED "BM"
ELEVATION : 844.23 FT

LEGEND:

APN - ASSESSOR'S PARCEL NUMBER
A.C. - ASPHALT CONCRETE
BC - BEGINNING OF CURVE
BM - BENCHMARK
BLDG - BUILDING
C/L - CENTERLINE
CONC. - CONCRETE
COR. - CORNER
FB - FIELD BOOK
FD - FOUND
FF - FINISH FLOOR ELEV.
FL - FLOWLINE ELEV.
INTER - INTERSECTION
LS - LAND SURVEYOR
LAT - LEAD & TACK
M.B. - MAP BOOK
OH - OVERHANG
(P) - PROPRATED
P/L - PLASTER
PROD - PRODUCED (PROLONGED)
REF - REFERENCE
RS - RECORD OF SURVEY
S&W - SPIKE & WASHER
TC - TOP OF CURB ELEV.
TR - TRACT MAP
TW - TOP OF WALL ELEV.

SYMBOLS:

A/C - AIRCONDITIONING UNIT
DRAIN - DRAIN
GAS METER - GAS METER
GATE POST - GATE POST
POOL EQUIPMENT - POOL EQUIPMENT
POWER POLE - POWER POLE
TREE - TREE
PROPERTY LINE - PROPERTY LINE
CENTERLINE - CENTERLINE
WALL LINE - WALL LINE
BUILDING LINE - BUILDING LINE
FENCE LINE - FENCE LINE
OVERHEAD WIRE - OVERHEAD WIRE

S - AVERAGE PERCENT CURRENT SLOPE
I - CONTOUR INTERVAL, IN FEET= 1FT
L - SUMMATION OF LENGTH OF CONTOUR LINES =444.76 FT
WITHIN THE BOUNDARY OF THE PROJECT, IN FEET
A - GROSS AREA OF THE PROJECT, IN ACRES= 0.1860757576 ACRES

$$S=0.00229 \times L/A = 0.00229 \times 444.76 / 0.1860757576 =$$

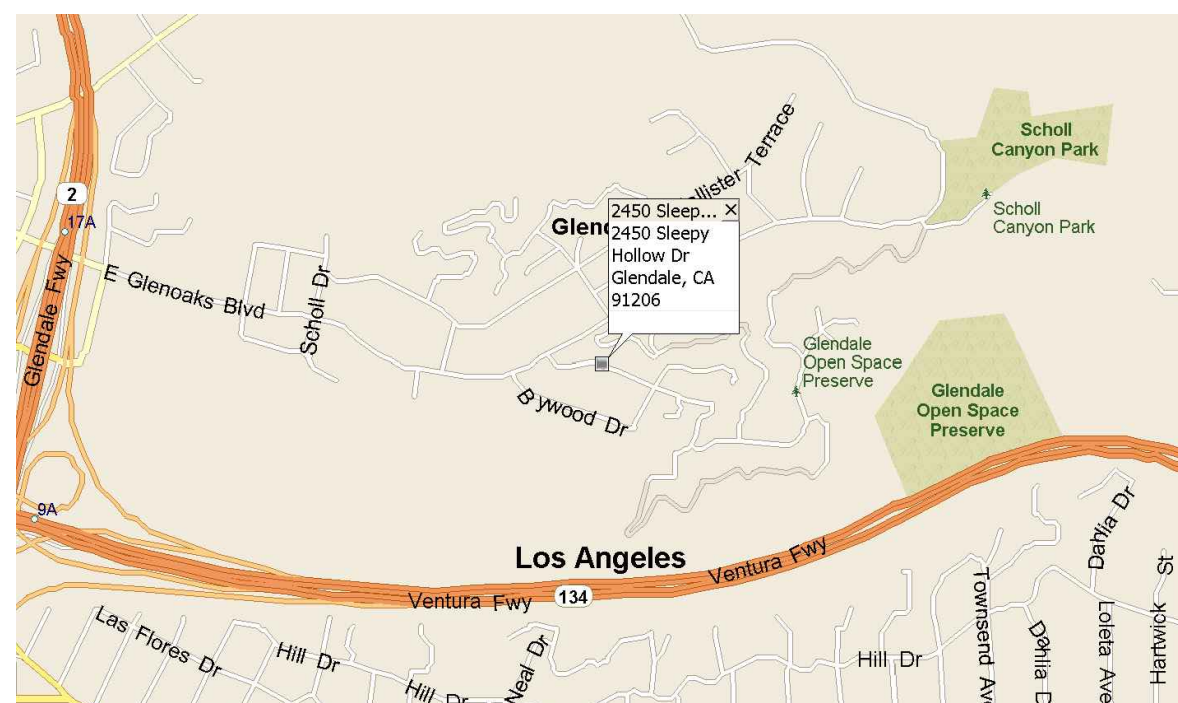
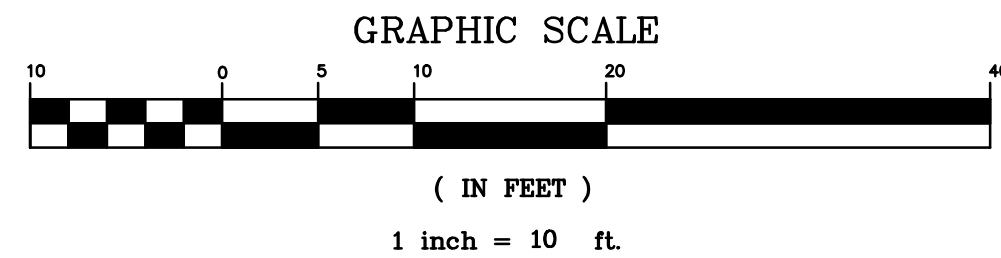
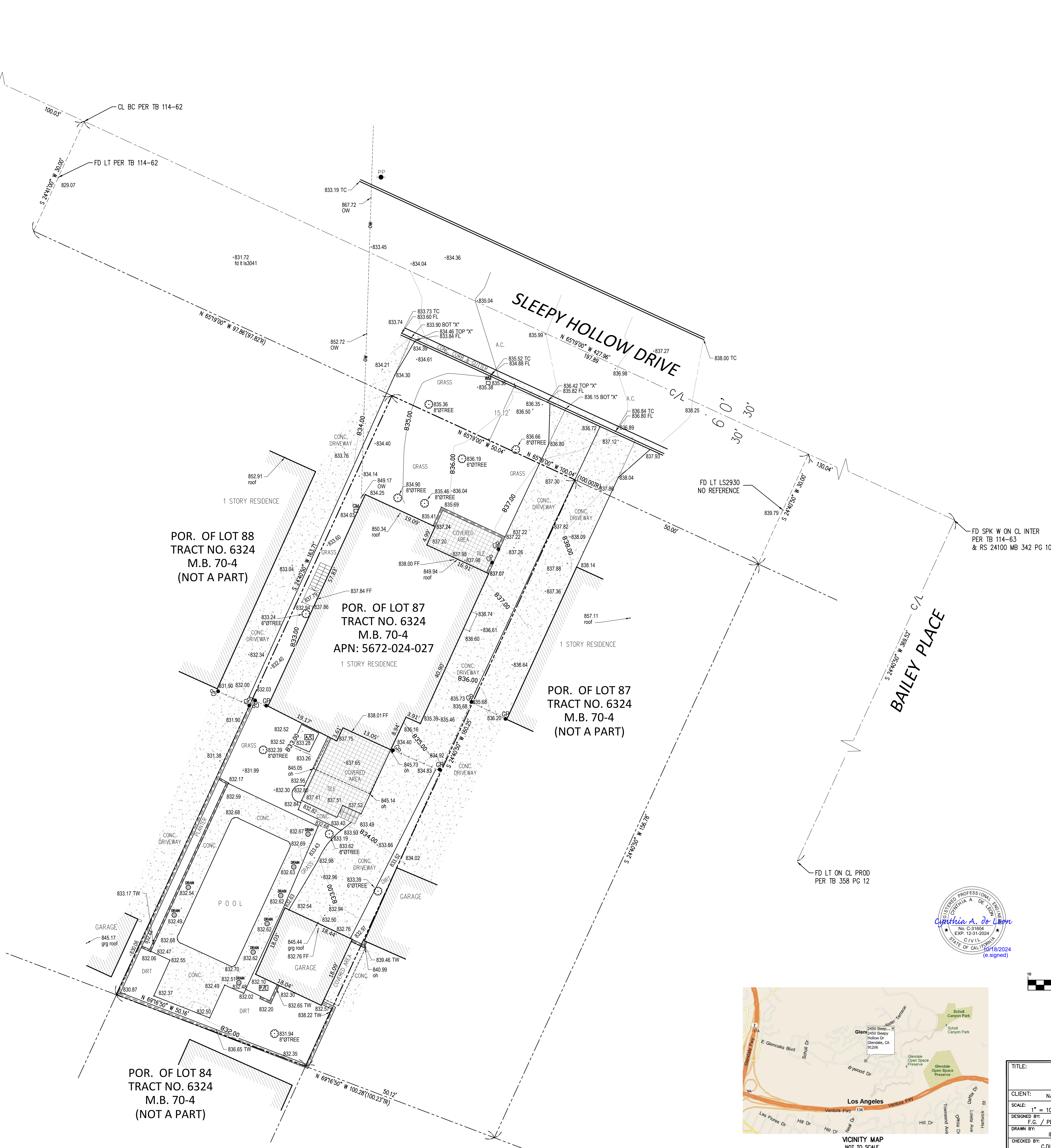
$$S=5.4736\%$$

POR. OF LOT 88
TRACT NO. 6324
M.B. 70-4
(NOT A PART)

POR. OF LOT 87
TRACT NO. 6324
M.B. 70-4
APN: 5672-024-027
1 STORY RESIDENCE

POR. OF LOT 87
TRACT NO. 6324
M.B. 70-4
(NOT A PART)

POR. OF LOT 84
TRACT NO. 6324
M.B. 70-4
(NOT A PART)



M&G CIVIL ENGINEERING
AND LAND SURVEYING

TITLE: SLOPE ANALYSIS			
2450 SLEEPY HOLLOW DRIVE, GLENDALE, CA 91206			
CLIENT:	NARINE VARTANIAN	JOB NO.:	24.21715
SCALE:	1" = 10'	DATE:	10/18/2024
DESIGNED BY:	F.G. / PD	REVISION (S):	
DRAWN BY:	ID	SHEET	1
CHECKED BY:	C.D.L.	OF	1 SHEET

EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

DATE 12/10/24
SCALE

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT
5201 MONTE VISTA ST
LOS ANGELES, CA 90042
DGNZLZ@GMAIL.COM
626.318.2719

OWNER
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027

SEAL



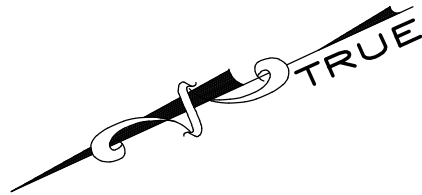
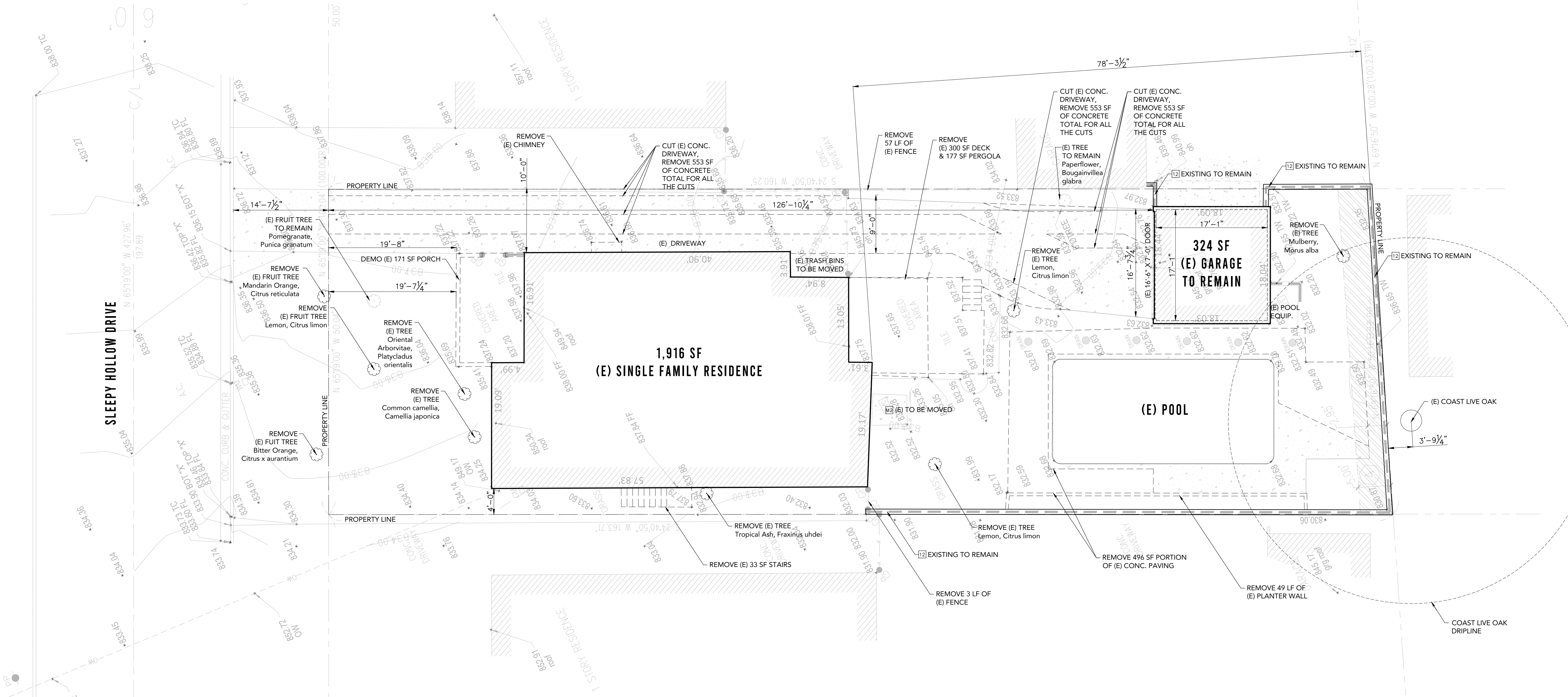
SHEET TITLE

SITE PLAN - DEMO

SHEET NUMBER

A1.0_D

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SITE PLAN - DEMO
SCALE: 1/8"=1'-0"

EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 1A

Hardwood Flooring o/Framing
- 1B

Ceramic Tile o/ Framing
- 1C

Cement Tile o/ Slab
- 2A

Gyp. Board Ceiling, Painted
- 3A

Gyp. Board Interior Wall, Painted
- 3B

Ceramic Tile Wall o/ Cement Backer
- 3A

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

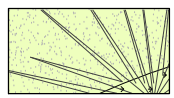
Condenser
- P1

Water Heater

LOT COVERAGE QUANTITIES

3,114 SF - SFD + GARAGE
3,289 SF - LANDSCAPE
1,697 SF - HARDSCAPE

LANDSCAPED AREAS LEGEND



LANDSCAPED AREAS

CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

DATE 12/10/24
SCALE

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626.318.2719

OWNER
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027

SEAL



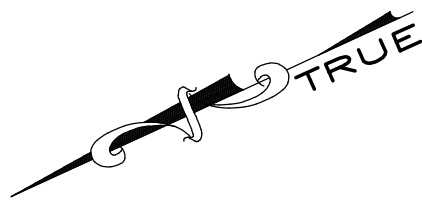
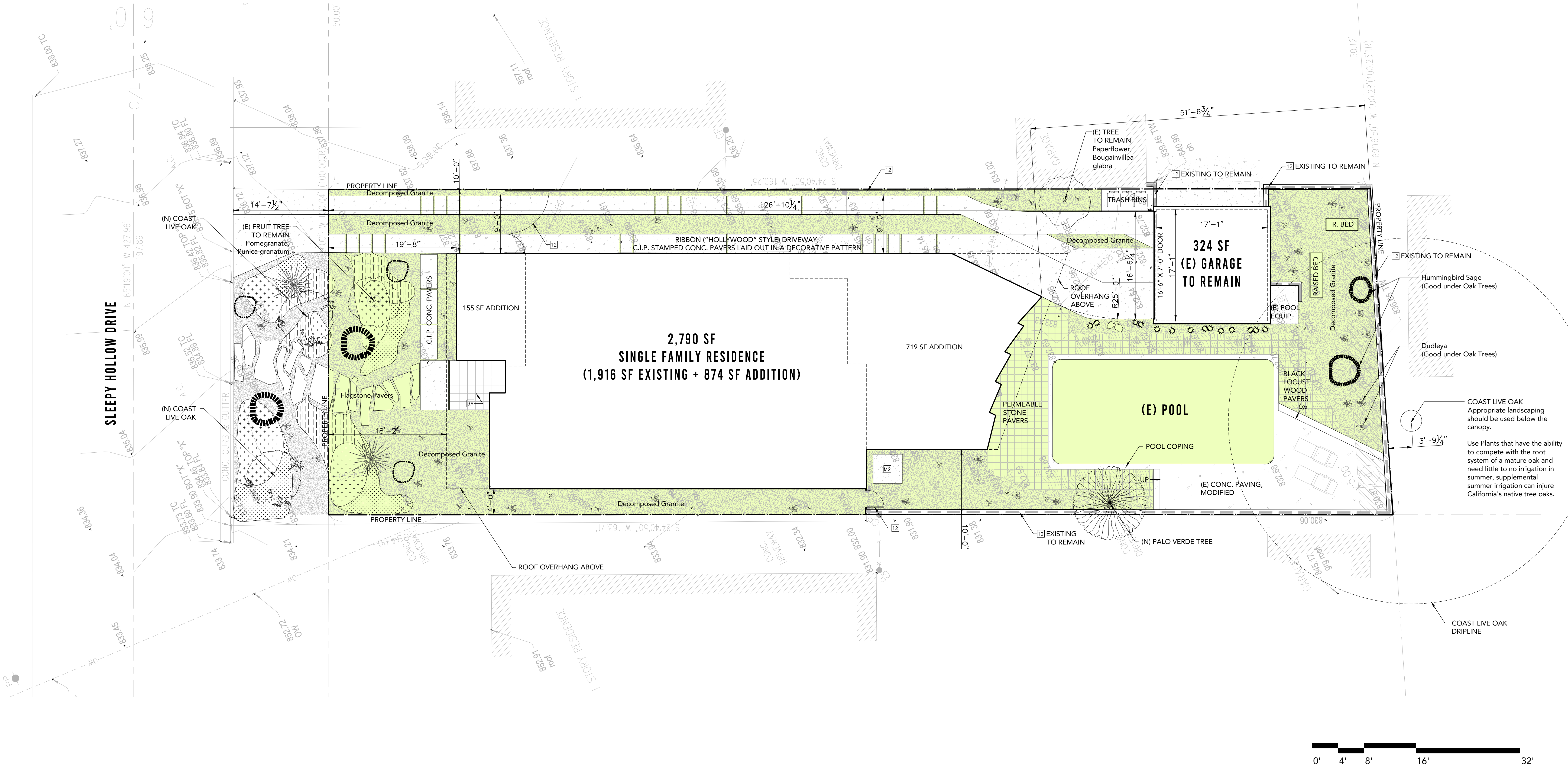
SHEET TITLE

SITE PLAN

SHEET NUMBER

A1.0

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SITE PLAN
SCALE: 1/8"=1'-0"

1



2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

DATE SCALE
12/10/24

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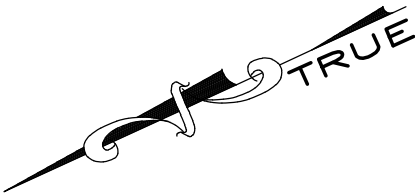
LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#:
5672024027



SHEET TITLE
NEIGHBORING PROPERTIES

SHEET NUMBER
A1.0_A

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NEIGHBORING PROPERTIES
SCALE: 1/16"=1'-0"

EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

WALL LEGEND

- (E) EXTERIOR WALL TO REMAIN
- (E) INTERIOR WALL TO REMAIN
- (E) WALL TO BE REMOVED

CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

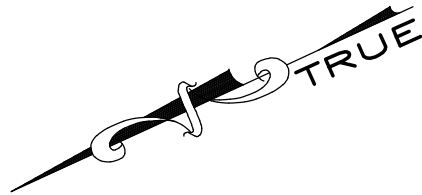
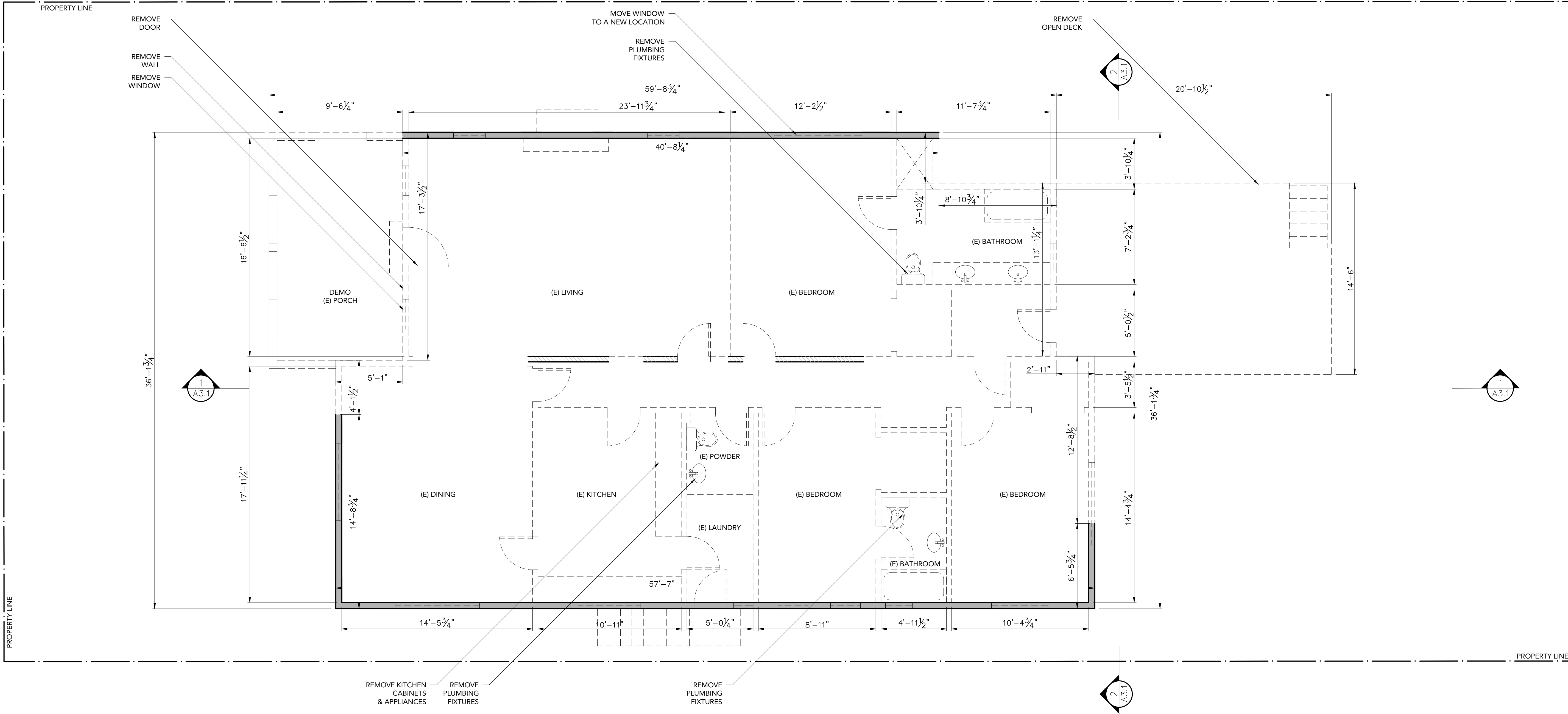
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LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027



FLOOR PLAN - DEMO
SCALE: 1/4"=1'-0"

1

SEAL



SHEET TITLE

FLOOR PLAN - DEMO

SHEET NUMBER

A1.1_D

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EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 7

Line of Building Above
- 8

Line of Building Below
- 9

Line of Existing Grade
- 10

Line of New Grade, See Civil
- 11

Gutter/Drain
- 12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels
- 13

(N) Skylight
- 14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
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Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule
- 35

Kitchen Cabinets
- 36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

ROOF DEMOLITION QUANTITIES

A	17'-5" x 9'-6 1/2"	166.3 SF
B	5'-4 1/2" x 4'-10 3/4"	27.4 SF
C	4'-9" x 55'-6 1/2"	260.9 SF
D	3'-10 1/4" x 5'-8 3/4"	22.0 SF
E	13'-1 1/4" x 14'-7 1/2"	191.6 SF
F	14'-1 1/2" x 17'-2 1/2"	251.8 SF
TOTAL:		920 SF

TO REMAIN			
G	17'-0 1/2" x 25'-4 3/4"	433.0 SF	
H	4'-4 1/2" x 2'-0"	8.9 SF	
I	14'-1 1/2" x 11'-3 3/4"	165.6 SF	
J	8'-8 1/2" x 4'-10 3/4"	44.4 SF	
K	14'-1 1/2" x 23'-0 3/4"	337.3 SF	
TOTAL:		989.2 SF	

ROOF DEMOLITION LEGEND

- ROOF TO REMAIN
- ROOF TO BE REMOVED

 CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y
D R I V E
G L E N D A L E
9 1 2 0 6

DATE 12/10/24
SCALE

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626.318.2719

OWNER
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WINNETKA, CA 91306

LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027

SEAL



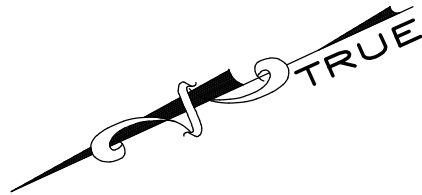
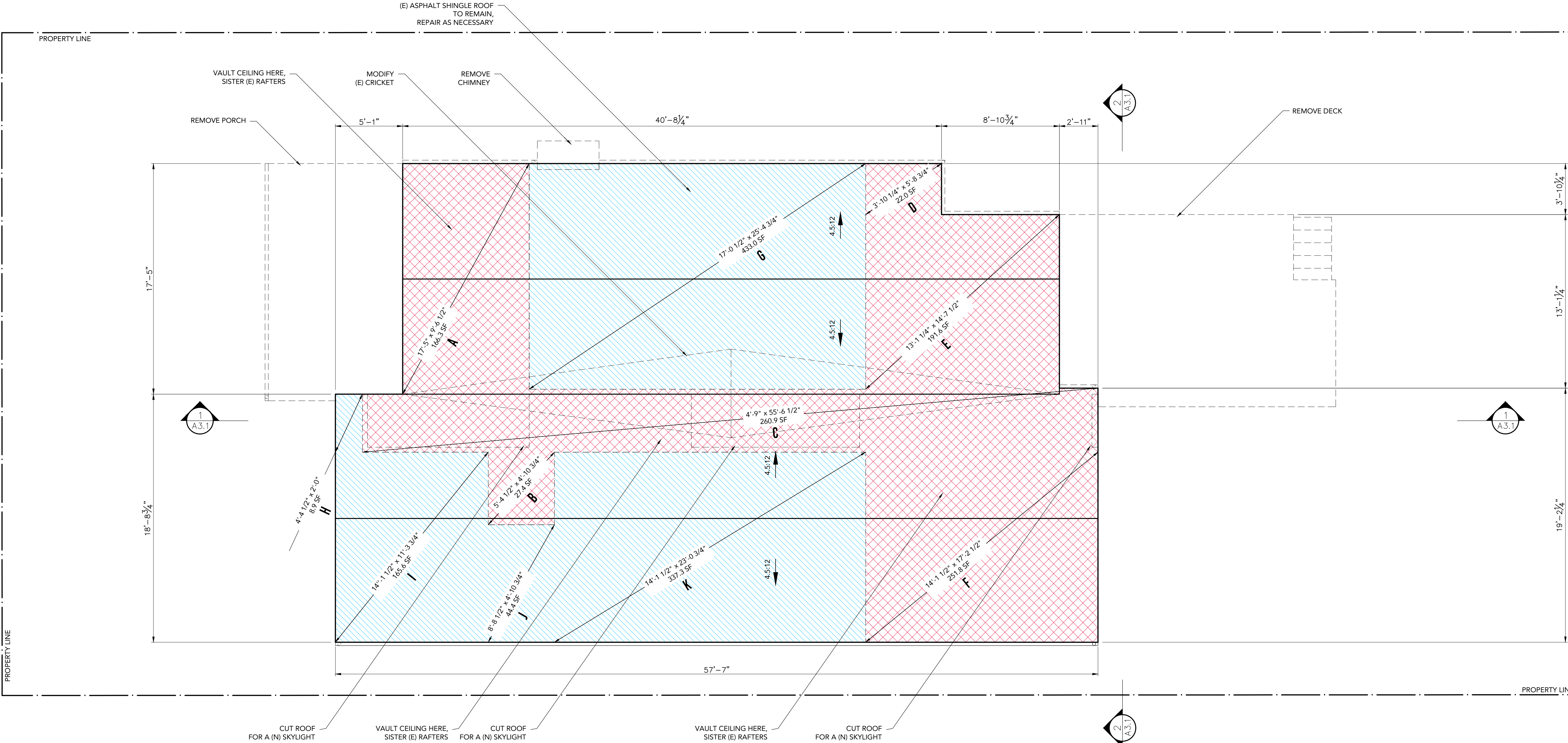
SHEET TITLE

ROOF PLAN - DEMO

SHEET NUMBER

A1.2_D

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ROOF PLAN - DEMO
SCALE: 1/4"=1'-0"

EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

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- 31A

Hardwood Flooring o/Framing
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Ceramic Tile o/ Framing
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Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1


Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

WALL LEGEND

- (E) WALL
- (N) WALL

 CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

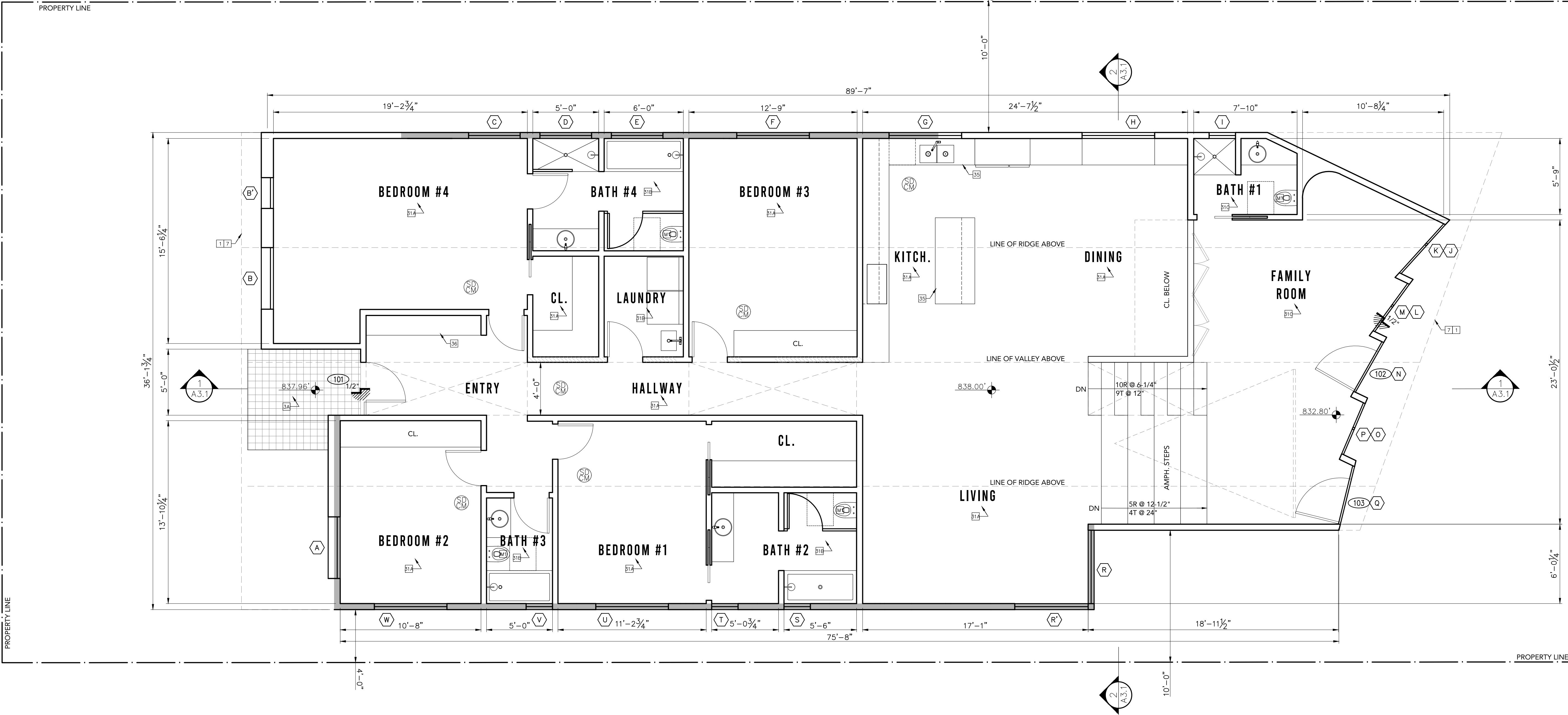
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SCALE

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ASSESSOR PARCEL#:
5 6 7 2 0 2 4 0 2 7



SEAL



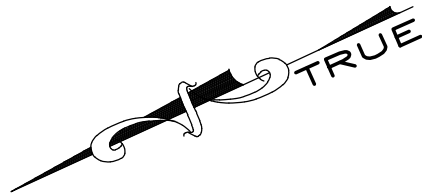
SHEET TITLE

FLOOR PLAN

SHEET NUMBER

A1.1

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FLOOR PLAN
SCALE: 1/4"=1'-0"

1

EXTERIOR

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- 2A

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Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

INTERIOR

- 14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash
- 11A

Hardwood Flooring o/Framing
- 11B

Ceramic Tile o/ Framing
- 11C

Cement Tile o/ Slab
- 12A

Gyp. Board Ceiling, Painted
- 13A

Gyp. Board Interior Wall, Painted
- 13B

Ceramic Tile Wall o/ Cement Backer
- 14

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- 51

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

DATE 12/10/24
SCALE

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT
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626.318.2719

OWNER
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#:
5672024027

SEAL



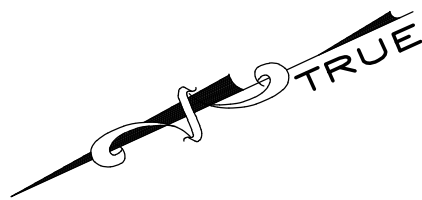
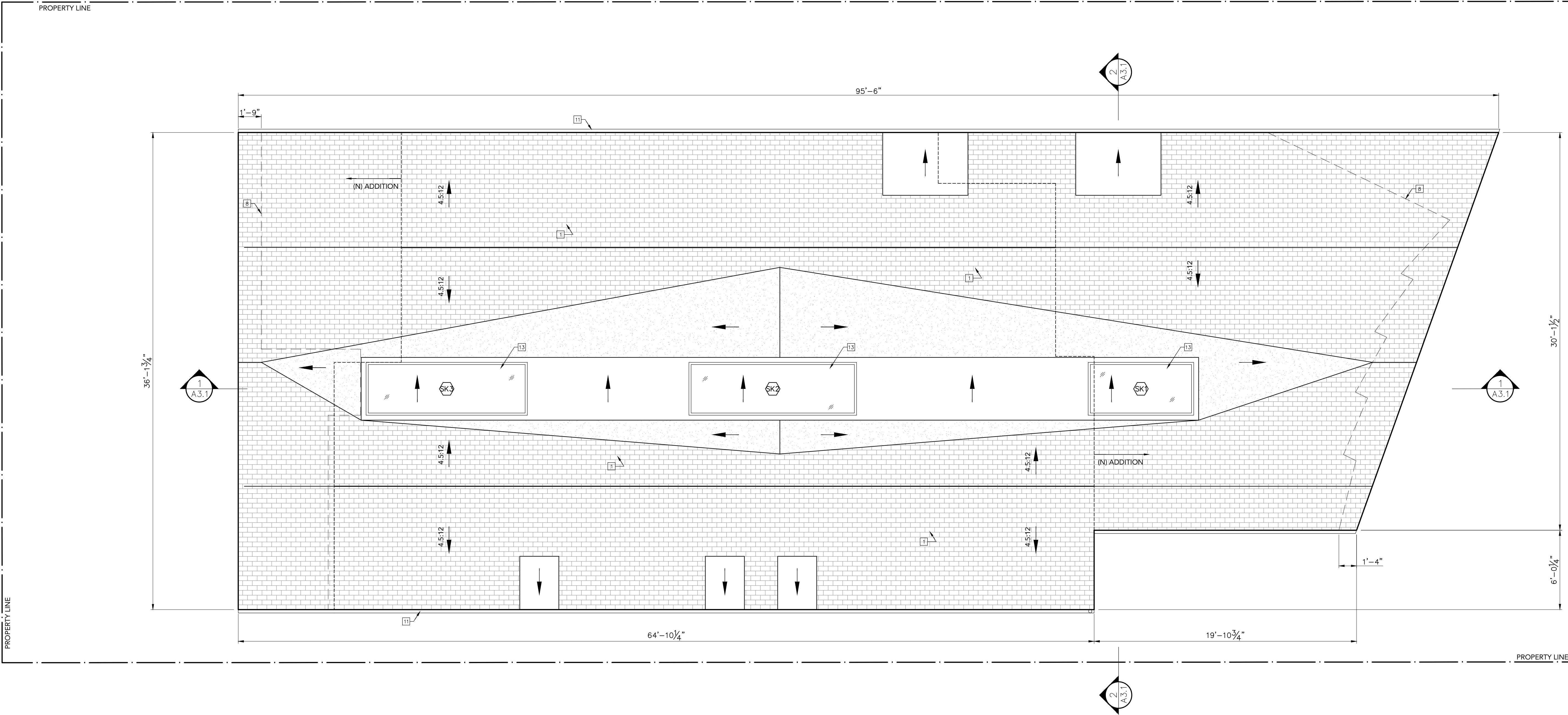
SHEET TITLE

ROOF PLAN

SHEET NUMBER

A1.2

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ROOF PLAN
SCALE: 1/4"=1'-0"

EXTERIOR

- | | | | | | |
|----|---------------------------------------------------------------------------------------------------|----|---------------------------------------------------------------------------------------------------------------------|----|---------------------------------------------------------------------------|
| 1 | Roofing: Owens Corning Oakridge Amber Asphalt Shingles | 7 | Line of Building Above | 14 | Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash |
| 2A | Exterior Wall: Cement Plaster, Color #1 o/ Framing | 8 | Line of Building Below | | |
| 2B | Exterior Wall: Cement Plaster, Color #2 o/ Framing | 9 | Line of Existing Grade | | |
| 3A | Exterior Cement Tiles, ZIA TAUPÉ 8x8 Square Cement or sim. | 10 | Line of New Grade, See Civil | | |
| 4 | Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern | 11 | Gutter/Drain | | |
| 5 | Door, Windsor PINNACLE Clad, Sage Brown, See Schedule | 12 | Fencing: 18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels | | |
| 6 | Window, Windsor PINNACLE Clad, Sage Brown, See Schedule | 13 | (N) Skylight | | |

INTERIOR

- | | | | |
|-----|------------------------------------|----|-----------------------|
| 51A | Hardwood Flooring o/Framing | 35 | Kitchen Cabinets |
| 51B | Ceramic Tile o/ Framing | 36 | Custom Built Millwork |
| 51C | Cement Tile o/ Slab | | |
| 52A | Gyp. Board Ceiling, Painted | | |
| 53A | Gyp. Board Interior Wall, Painted | | |
| 53B | Ceramic Tile Wall o/ Cement Backer | | |
| 34 | Door: See Door Schedule | | |

STRUCTURAL

- S1** (E) Conc. Continuous Footing

**MECHANICAL/ELECTRICAL/
PLUMBING**

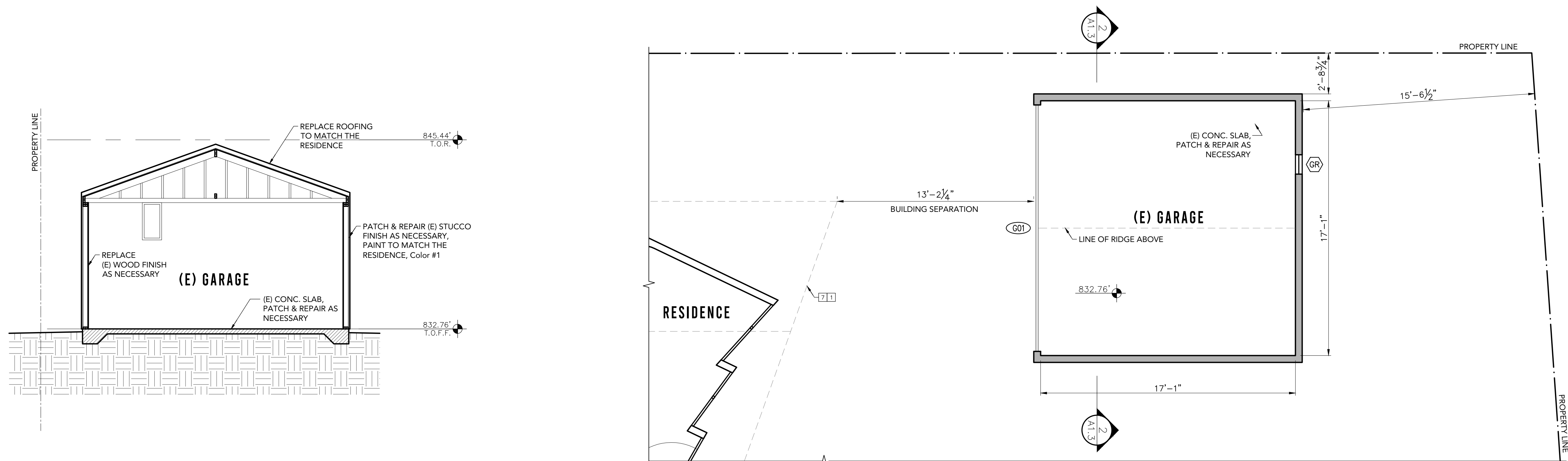
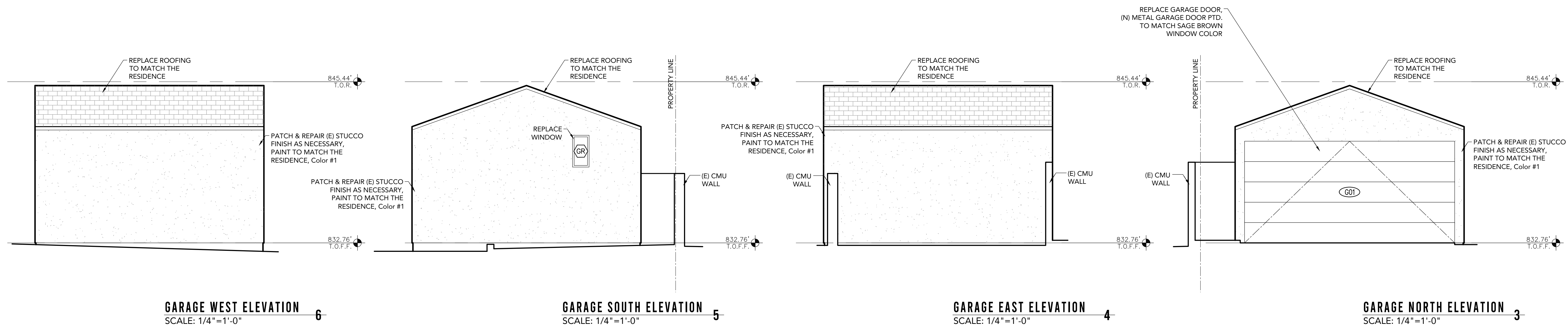
- M1 Exhaust Fan, Energy Star Compliant,
Directly Vented to Exterior and
Humidistat Controlled
- M2 Condenser
- P1 Water Heater

WALL LEGEND

- (E) WALL
 (N) WALL

 CEILING MOUNTED SMOKE & CARBON MONOXIDE
DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

NO CHANGE,
FOR REFERENCE ONLY



GARAGE SECTION

SCALE: 1/4"=1'-0"

2

GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"

1

2		4		5		0
S	L	E	E	P	Y	
H	O	L	L	O	W	
2	4	5	0	S	L	E
D	R	I	V	H	O	L
G	L	E	N	D	A	L
9	1	2	0	6		

DATE	SCALE
12/10/24	

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OWNER

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LEGAL DESCRIPTION

TRACT # 6324
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ASSESSOR PARCEL#:
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SEAL



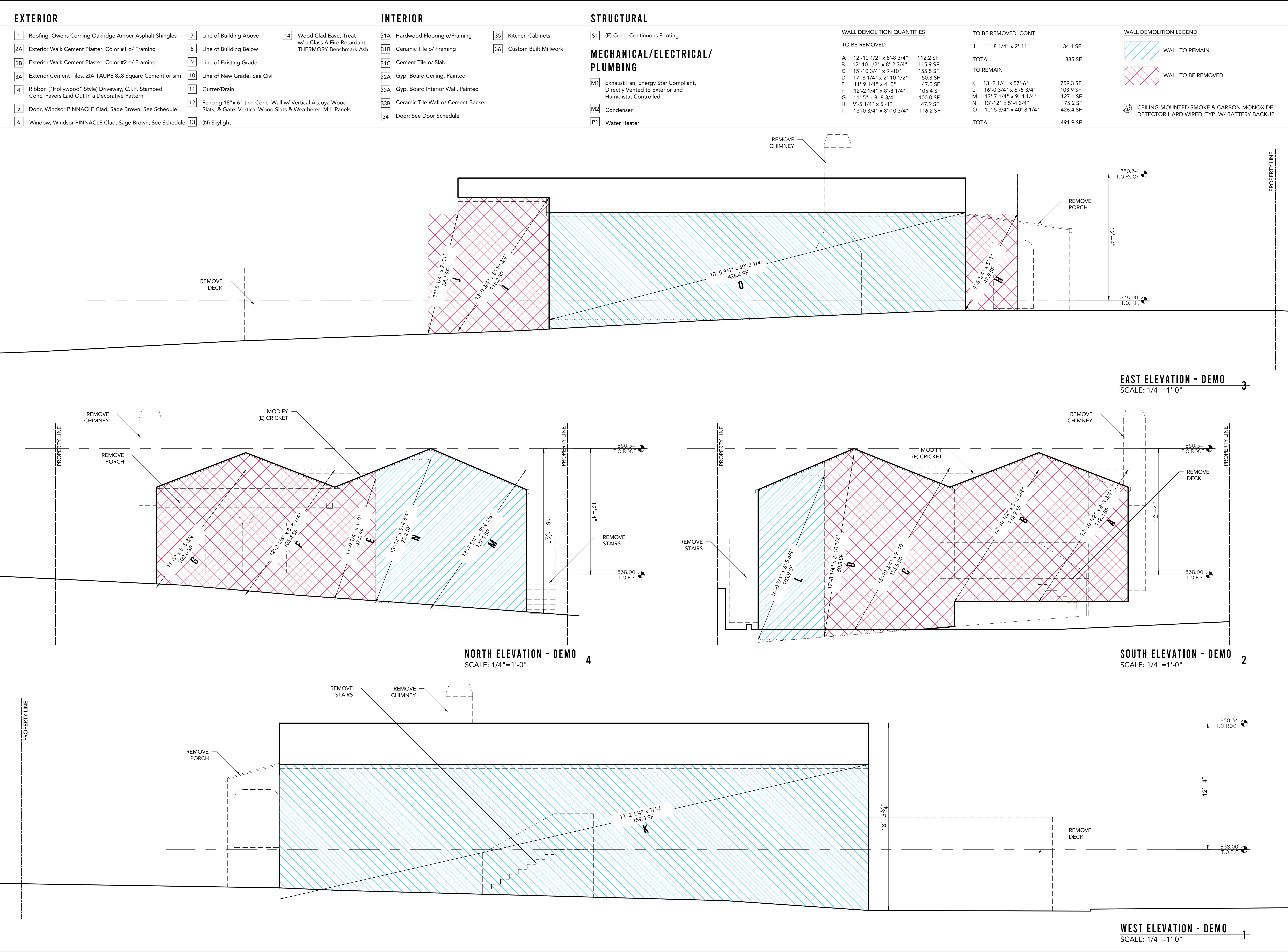
SHEET TITLE

GARAGE PLAN, ELEVATIONS & SECTION

SHEET NUMBER

A1.3

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EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

EXTERIOR LIGHTS



Fortis 18399CS

standard finish:
CS - Coren Steel

lampping:
02: 16.8w Integrated LED, 2362 Initial Lumens, 3000K, 90 CRI, 120V, Standard Phase Dimming, 12/0/LL, Wet

CEILING MOUNTED SMOKE & CARBON MONOXIDE
DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

DATE
12/10/24

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ASSESSOR PARCEL#:
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EAST ELEVATION
SCALE: 1/4"=1'-0"

3

NORTH ELEVATION
SCALE: 1/4"=1'-0"

4

SOUTH ELEVATION
SCALE: 1/4"=1'-0"

2

WEST ELEVATION
SCALE: 1/4"=1'-0"

1

SEAL



SHEET TITLE

BUILDING
ELEVATIONS

SHEET NUMBER

A2.1

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EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

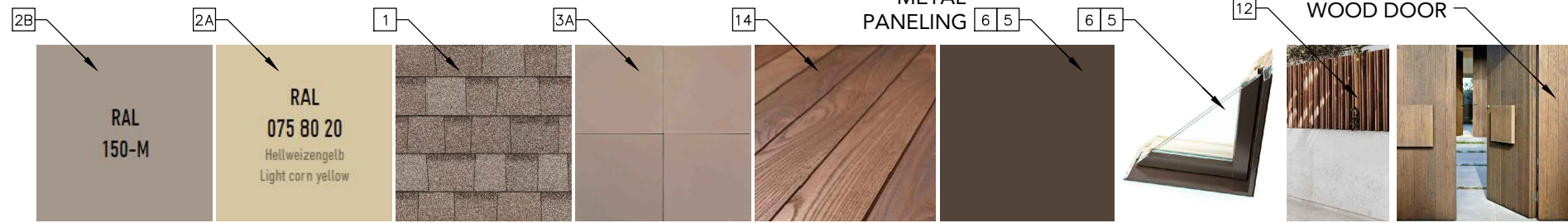
- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

EXTERIOR MATERIALS COLOR REFERENCES



CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP



SOUTH COLORED ELEVATION
SCALE: 3/16"=1'-0"

4



WEST COLORED ELEVATION
SCALE: 3/16"=1'-0"

2



EAST COLORED ELEVATION
SCALE: 3/16"=1'-0"

3



NORTH COLORED ELEVATION
SCALE: 3/16"=1'-0"

1



RENDERED PERSPECTIVES
N.T.S.

0

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

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SEAL



SHEET TITLE

**COLORED ELEVATIONS,
RENDERED
PERSPECTIVES,
COLORS & MATERIALS**

SHEET NUMBER

A2.1_A

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EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

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Line of New Grade, See Civil

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Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 1A

Hardwood Flooring o/Framing
- 1B

Ceramic Tile o/ Framing
- 1C

Cement Tile o/ Slab
- 2A

Gyp. Board Ceiling, Painted
- 3A

Gyp. Board Interior Wall, Painted
- 3B

Ceramic Tile Wall o/ Cement Backer
- 3A

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

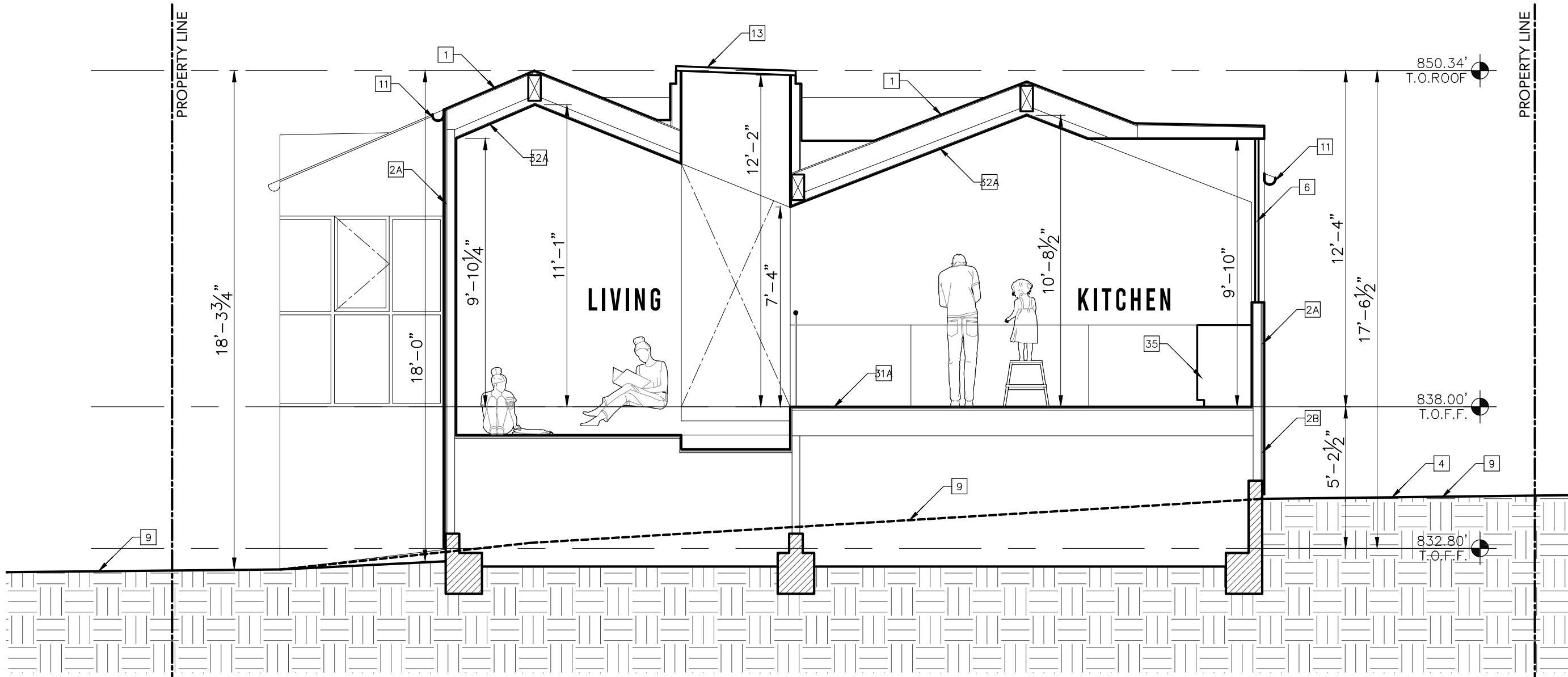
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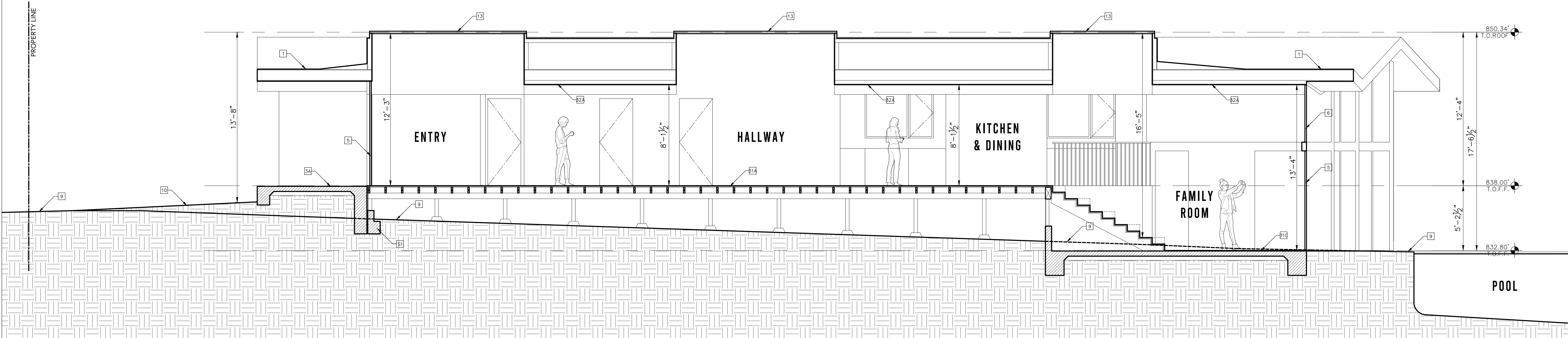
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LOT: 27
ASSESSOR PARCEL#:
5672024027



SECTION 2-2
SCALE: 1/4"=1'-0"

2



SECTION 1-1
SCALE: 1/4"=1'-0"

1

SEAL



SHEET TITLE

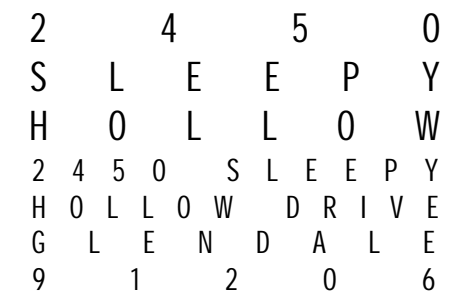
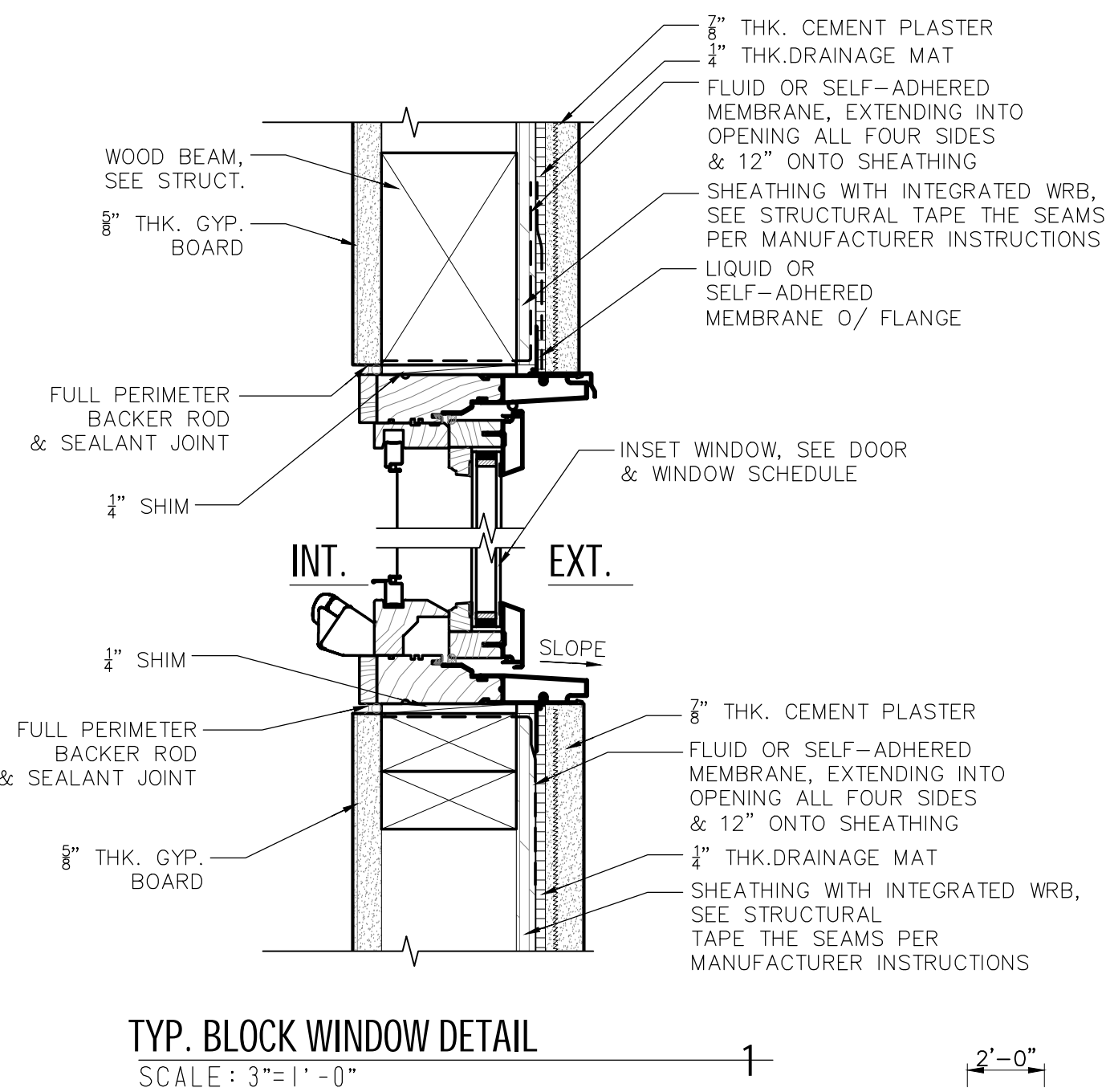
BUILDING
SECTIONS

SHEET NUMBER

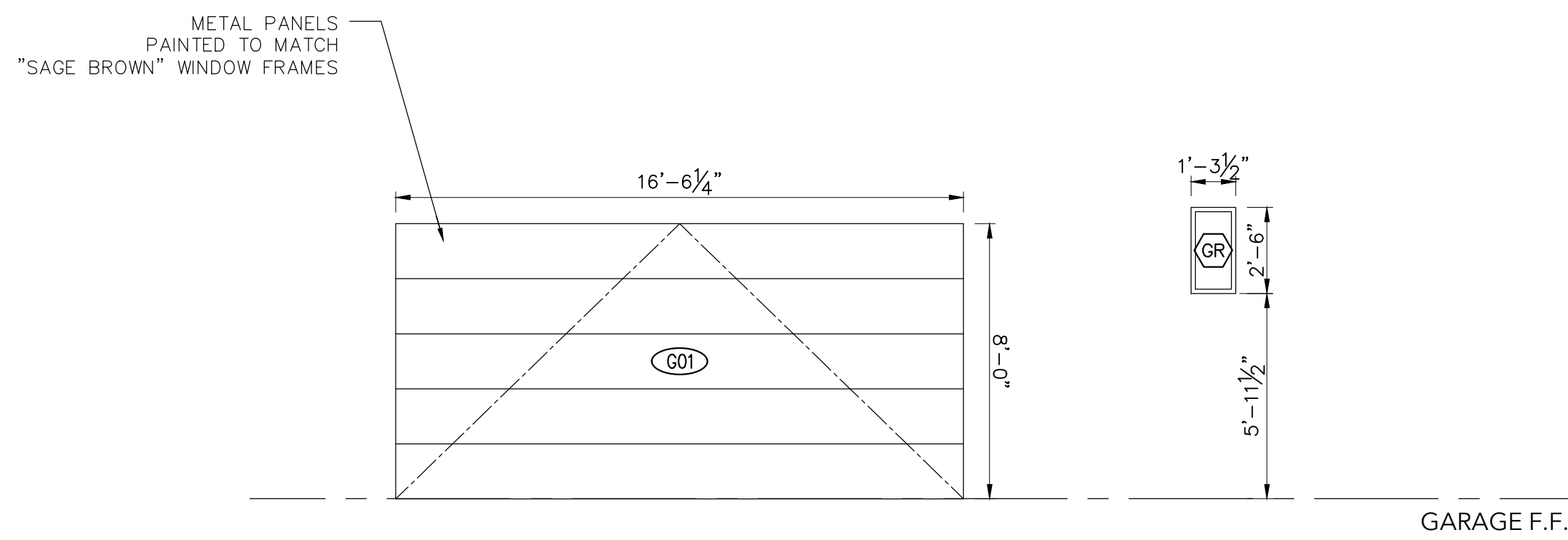
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	NOTES					LEGEND		TYPE		TYPE		TYPE		FRAME							
	1. Window sizes as called for in this schedule are Basic Unit sizes unless noted otherwise. 2. Very High Fire Severity Zone : All exterior glazing to be tempered. 3. Verify all window sizes in field prior to ordering. 4. Submit to Architect's office manufacturer's confirmation order list and all shop drawings for review.					FX CM AWN HPP SLDR PTH SGLH DBLH DLU	Fixed Cassette Hopper Slider Pass Through Single Hung Double Hung Folding	TT BAY BOW 90DGR GWDW WW FXXSKL FASKL	Tilt and Turn Bay Bow 90-degree Corner Garden Window Window Wall Fixed Skylight "Fresh Air" Skylight	FRFXSKL FREXSKL THRU CPRW RARW CABRIO SPSH CMB	Fixed Flat Roof Skylight Flat Roof Exit Skylight Top-hinged Roof Window Center-pivot Roof Window Roof Access roof window CABRIO Roof window Specialty Shapes Combination	CWF WF AF SP FL	Clad Wood Frame Wood Frame Aluminum Frame Aluminum Channel Steel Frame Frameless								
TAG	LOCATION	(E)WIDTH	(E)HEIGHT	(N)WIDTH	(N)HEIGHT	(E)FRAME	(N)FRAME	VISIBLE (N)FRAME	(E)OPRN.	(N)OPRN.	(N)FRAME EXT.	KEEP (E)SILL	BUILD (N)FRAME?	(E)EDGE DETAIL	(N)EDGE DETAIL	BDRM?	ENERGY EFFICIENT? Y/N	TEMP. FIRE RESIST. Y/N	WIND. WITH GLASS WIND. OR 40" OF DR		
(N)ADDITION	A	BEDROOM #2	5'-10 1/4"	6'-9"		WF	AF	ext. Y	FX	FX	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	Y	Y	Y	N		
	B	BEDROOM #4	2'-5"	4'-5"		AF	AF	ext. Y	DBLH	DBLH	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	Y	Y	Y	N		
	B'	BEDROOM #4	2'-5"	4'-5"		AF	AF	ext. Y	DBLH	FX	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	Y	Y	Y	N		
	C	BEDROOM #4	2'-5"	4'-5"		AF	AF	ext. Y	DBLH	AWN	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	Y	Y	Y	N		
	D	BATHROOM #4		—		—	AF	ext. Y	—	AWN	RECESSED NAIL ON	N	—	Y	—	SEE DTL #1	N	Y	Y	N	
	E	BATHROOM #4	2'-5"	4'-5"		AF	AF	ext. Y	DBLH	AWN	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	N	Y	Y	N		
	F	BEDROOM #3	6'-8"	4'-5"		AF	AF	ext. Y	SLDR	FX, CM	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	Y	Y	Y	N		
	G	KITCHEN		—		—	AF	ext. Y	—	FX, CM	RECESSED NAIL ON	N	—	Y	—	SEE DTL #1	N	Y	Y	N	
	H	DINING		—		—	AF	ext. Y	—	FX, CM	RECESSED NAIL ON	N	—	Y	—	SEE DTL #1	N	Y	Y	N	
	I	BATHROOM #1		—		—	—	AF	ext. Y	—	AWN	RECESSED NAIL ON	N	—	Y	—	SEE DTL #1	N	Y	Y	N
	J	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD SEE DTL #1	N	Y	Y	Y
	K	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD	N	Y	Y	Y
	L	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD	N	Y	Y	Y
	M	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD	N	Y	Y	N
	N	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD	N	Y	Y	N
	O	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD	N	Y	Y	Y
	P	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD	N	Y	Y	Y
	Q	FAMILY ROOM		—		—	—	AF	ext. N	—	FX	NAIL ON / BLOCK, TBD	N	—	Y	—	TBD	N	Y	Y	Y
	R	LIVING ROOM	4'-3 1/2"	4'-5"			AF	AF	ext. N	SLDR	FX, CM	RECESSED NAIL ON	N	—	Y	STUCCO SEE DTL #1	N	Y	Y	Y	
	R'	LIVING ROOM	6'-3"	4'-4 3/4"			AF	AF	ext. Y	SLDR	FX, CM	RECESSED NAIL ON	N	—	Y	STUCCO SEE DTL #1	N	Y	Y	Y	
S	BATHROOM #2	2'-3 1/4"	4'-5 1/4"	1/4"		AF	AF	ext. Y	DBLH	FX, AWN	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	N	Y	Y	N		
T	BATHROOM #2	2'-3 1/4"	4'-5 1/4"	1/4"		AF	AF	ext. Y	DBLH	FX, AWN	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	N	Y	Y	N		
U	BEDROOM #1	4'-9 1/4"	2'-9 1/4"			AF	AF	ext. Y	SLDR	FX, CM	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	Y	Y	Y	N		
V	BATHROOM #3	1'-5 3/4"	3'-8"			AF	AF	ext. Y	DBLH	FX, AWN	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	N	Y	Y	N		
W	BEDROOM #2	6'-5"	4'-5 1/2"			AF	AF	ext. Y	SLDR	FX, CM	RECESSED NAIL ON	N	N	Y	STUCCO SEE DTL #1	Y	Y	Y	N		



		NOTES	LEGEND	MODE	MODE	DOOR TYPE	DOOR TYPE	FRAME	FRAME											
		1. All Exterior Doors With Glazing To Utilize Dual-Glazed Lint, Minimum. 2. Very High Fire Severity Zone All exterior glazing to be tempered.		SGL PR SLDR RU FD	Hinged Pair Slider Tilt Up Roll Up Folding	STCK PV DTCH	SCHB SCHV WFSO AFSG AFSP SPSP	Solid Core Hardboard Solid Core Hardwood Veneer Wood Frame Style w/Glass Aluminum Frame Style w/Glass Aluminum Frame Style w/Polycarb Steel Frame Style w/Polycarb	CWF WF AF SF	Clad Wood Frame Wood Frame Aluminum Frame Steel Frame										
DOOR#	LOCATION	(E)WIDTH	(E)HEIGHT	(N)WIDTH	(N)HEIGHT	(E)DOOR TYPE	(N)DOOR TYPE	VISIBLE FROM STREET?	(E)MODE	(N)MODE	(N)FRAME EXT.	EXT. GRP?	KEEP (E)SILL &FRAME?	BUILD (N)SILL &FRAME?	(E)EDGE DETAIL	(N)EDGE DETAIL	BDRM? Y/N	ENERGY EFFICIENT? Y/N	TEMP. GLASS HZRD. Y/N	FIRE ZONE?
EXTERIOR	101 ENTRY	3'-0"	6'-8"			SCHB	SCHB	Y	SGL	SGL	DECEASED NAIL ON, BLOCK, TID	N	Y	Y	STUCCO	STUCCO	N	Y	Y	Y
(N)ADDITION	102 FAMILY ROOM						AFSG	N		PV	NAIL ON, BLOCK, TID	N		Y	N/A	N	Y	Y	Y	
	103 FAMILY ROOM						AFSG	N		PV	NAIL ON, BLOCK, TID	N		Y	N/A	N	Y	Y	Y	
GARAGE	G01 GARAGE	16'-6"	14'-0"			AF	SF	N	RU	RU	NAIL ON, BLOCK, TID	N	Y	N	STUCCO	STUCCO	N	N	Y	



DATE	SCALE
12/10/24	

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

david gonzalez ROJAS architect
5201 MONTE VISTA ST
LOS ANGELES, CA 90042
DGNZLZ@GMAIL.COM
626.318.2719

OWNER
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#:
5672024027

SEAL

STATE OF CALIFORNIA
 LICENSED ARCHITECT
 DAVID GONZALEZ
 C-34529
 6-30-25

SHEET TITLE

DOOR & WINDOW
SCHEDULE

SHEET NUMBER
a6.1

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COPIED IN WHOLE OR IN PART. IT IS NOT
TO BE USED ON ANY OTHER PROJECT
AND IS TO BE RETURNED ON REQUEST.

EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

LOT COVERAGE QUANTITIES

3,114 SF - SFD + GARAGE
3,289 SF - LANDSCAPE
1,697 SF - HARDSCAPE

LANDSCAPED AREAS LEGEND



CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
D G L E N D A L E
9 1 2 0 6

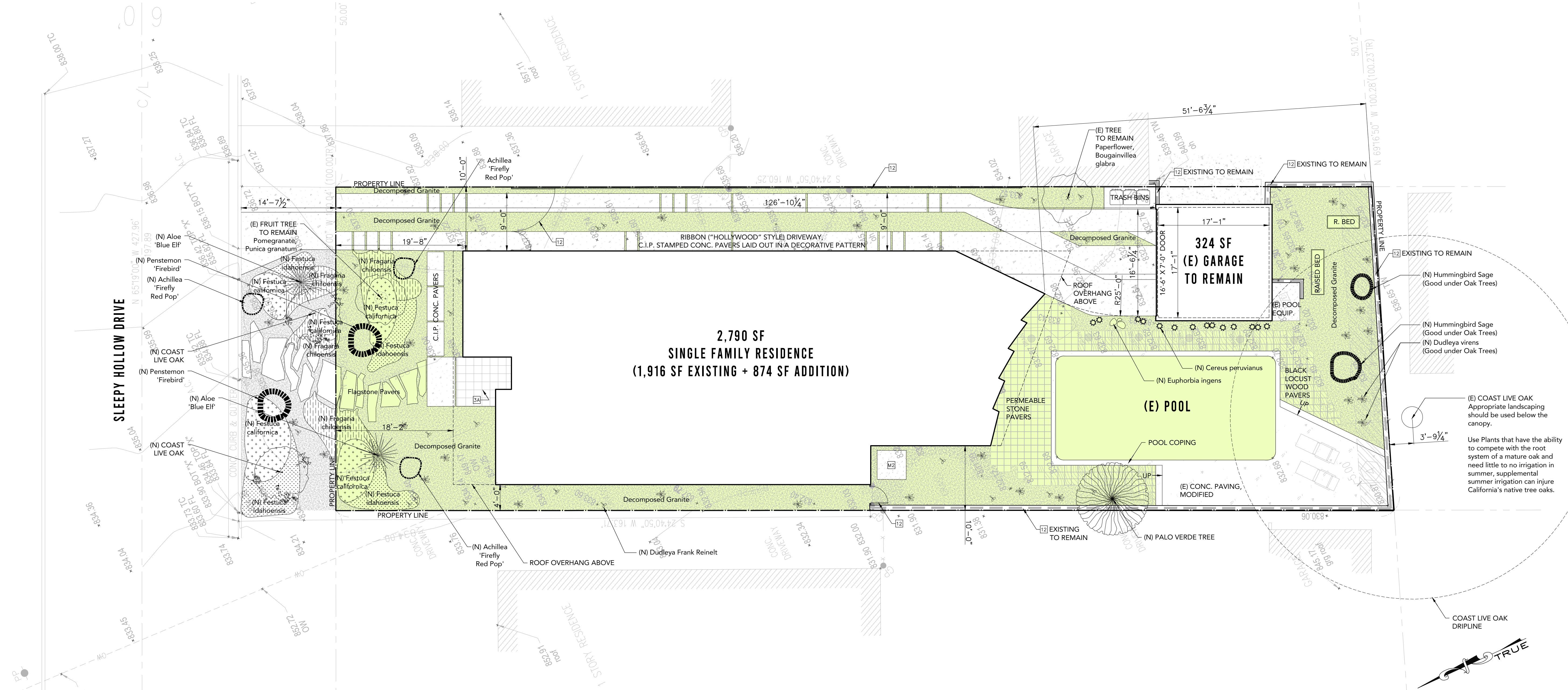
DATE 12/10/24
SCALE

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT
5201 MONTE VISTA ST
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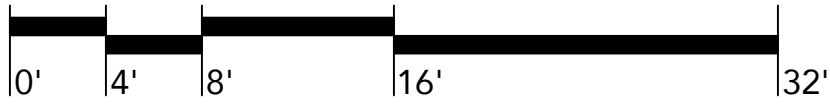
LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027



SYMBOL	NAME	QUANTITY	SIZE	WUCOLS PLANT FACTOR
	EXISTING TREES TO REMAIN	2		
	BLUE PALO VERDE PARKINSONIA FLORIDA (CERCIDIUM FLORIDA)	2		VERY LOW .2
	COAST LIVE OAK QUERCUS AGRIFOLIA	2		VERY LOW .2

SYMBOL	NAME	QUANTITY	SIZE	WUCOLS PLANT FACTOR
	BEARD TONGUE PENSTEMON 'FIREBIRD'	2		LOW .4
	HUMMINGBIRD SAGE SALVIA SPATHACEA	2		LOW .4
	YARROW ACHILLEA 'FIREFLY RED POP'	3		LOW .4
	DUDLEYA VIRENS DUDLEYA VIRENS	20		VERY LOW .2
	DUDLEYA FRANK REINELT DUDLEYA FRANK REINELT	15		VERY LOW .2

SYMBOL	NAME	QUANTITY	SIZE	WUCOLS PLANT FACTOR
	CEREUS PERUVIANUS PERUVIAN APPLE CACTUS	10		VERY LOW .2
	EUPHORBIA INGENS CANDELABRA TREE	1		LOW .4
	FESTUCA CALIFORNICA CALIFORNIA FESCUE			LOW .4
	FESTUCA IDAHOENSIS IDAHO FESCUE			LOW .4
	Fragaria chiloensis Wild Strawberry			MODERATE .6



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

SEAL



SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.0

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Subject Property: 2450 Sleepy Hollow Dr



#1 - 2446 Sleepy Hollow Dr



#2 - 2442 Sleepy Hollow Dr



#3 - 2434 Sleepy Hollow Dr



#4 - 2430 Sleepy Hollow Dr



#5 - 2454 Sleepy Hollow Dr



#6 - 2458 Sleepy Hollow Dr



#7 - 2462 Sleepy Hollow Dr



#8 - 149 Bailey Pl



#9 - 200 Sleepy Hollow Terrace



#10 - 2461 Sleepy Hollow Dr



#11 - 2457 Sleepy Hollow Dr



#12 - 2453 Sleepy Hollow Dr



#13 - 2445 Sleepy Hollow Dr



#14 - 2441 Sleepy Hollow Dr

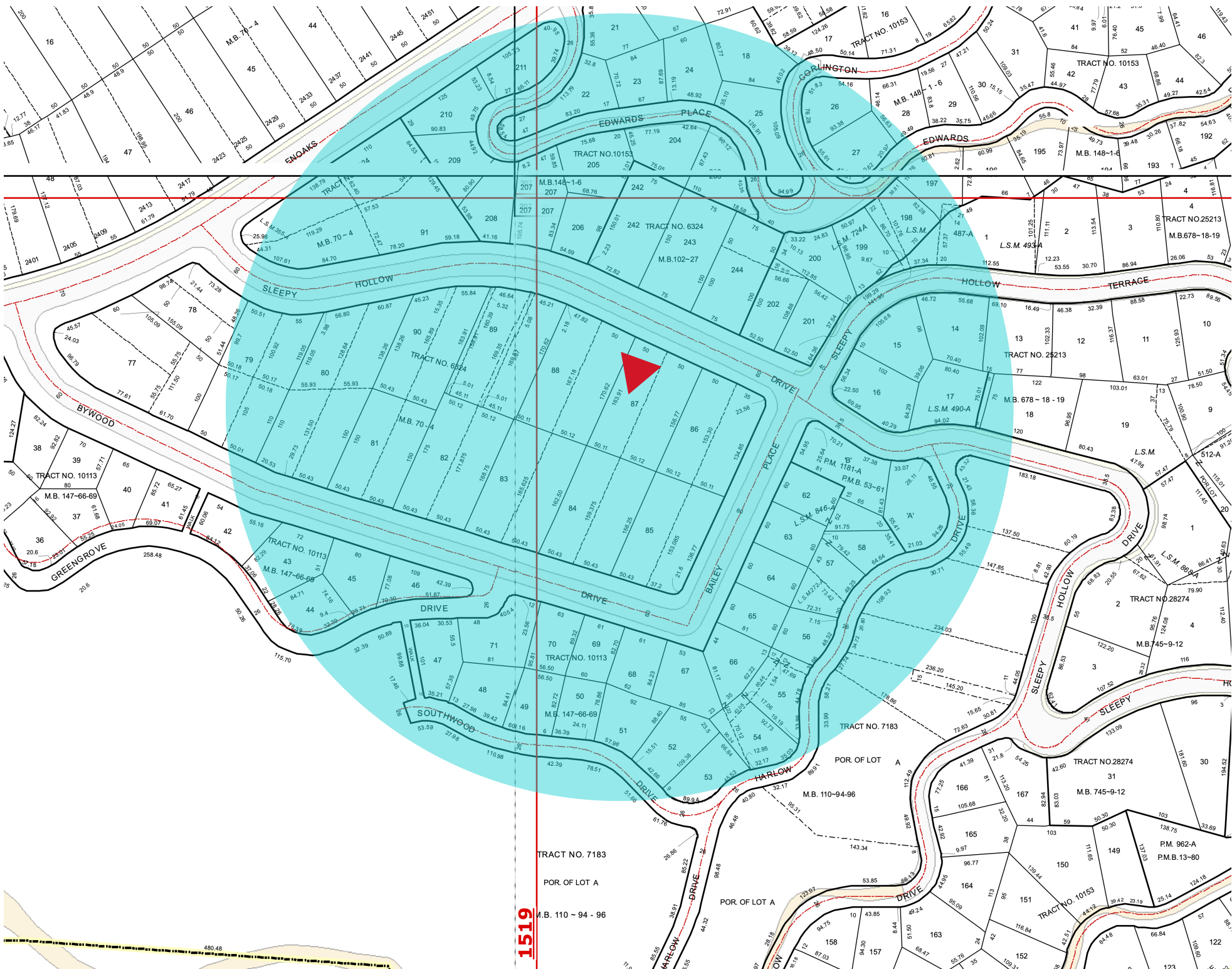


#15 - 2437 Sleepy Hollow Dr



#16 - 2431 Sleepy Hollow Dr





TRACT NO. 7183
POR. OF LOT A

M.B. 110 - 94 - 96

1519

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: February 24, 2025

DUE DATE: **March 10, 2025**

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Wyatt Berger (Planner)

Tel. # x8171

PROJECT ADDRESS: 2450 Sleepy Hollow Drive

Applicant: David Gonzalez Rojas

Property Owner: Burag Celikian

PROJECT DESCRIPTION: To construct a new 874 square foot (SF) addition to an existing 1,916 SF single-family dwelling (built in 1929) totaling 2,790 SF on an 8,105 SF lot zoned R1R (Floor Area District II).

PLEASE CHECK:

<input type="checkbox"/> A. CITY ATTORNEY	<input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)
<input checked="" type="checkbox"/> B. COMMUNITY DEVELOPMENT:	<input checked="" type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):
<input checked="" type="checkbox"/> • (1) Building & Safety	<input type="checkbox"/> • (1) Engineering & Land Development
<input type="checkbox"/> • (2) Neighborhood Services	<input type="checkbox"/> • (2) Traffic
<input type="checkbox"/> • (3) Design Review & Historic	<input type="checkbox"/> • (3) Facilities (city projects only)
<input type="checkbox"/> • (4) Economic Development	<input type="checkbox"/> • (4) Integrated Waste
<input type="checkbox"/> • (5) Housing	<input checked="" type="checkbox"/> • (5) Maintenance Services/Urban Forester
<input type="checkbox"/> • (6) Urban Design & Mobility	
<input type="checkbox"/> • (7) Long Range Planning	
<input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:	<input type="checkbox"/> J. GLENDALE POLICE
<input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)	<input type="checkbox"/> K. OTHER:
<input type="checkbox"/> F. GLENDALE WATER & POWER:	<input type="checkbox"/> • (1) STATE-Alcohol Beverage Control (ABC)
<input checked="" type="checkbox"/> • (1) Water	<input type="checkbox"/> • (2) Tribal Consultations (EIFs)
<input checked="" type="checkbox"/> • (2) Electric	<input type="checkbox"/> • (3) City Clerk's Office

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____

AUP/CUP Case No.: _____

ADR/DRB Case No.: PADR-004557-2025

Tentative Tract/Parcel Map No.: _____

Zone Change/GPA: _____

Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 2450 Sleepy Hollow Drive

Project
Case No.: PADR-004557-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 3/10/2025

Print Name: Celine Sarkisloo

Title: Building Code Specialist III Dept. Building and Safety Tel.: 818-937-8101

a. ADDITIONAL COMMENTS:

1. Separate Building permits are required for each structure:
 - a. Single family dwelling
 - b. Retaining walls/fences
 - c. Grading/excavation
 - d. Demolition of existing structures
 - e. Fire sprinkler
2. The following documents/plans shall be submitted to Building and Safety for review (after initial review, additional requirements may follow accordingly):
 - a) Soils/Geology report
 - b) Architectural plans
 - c) Structural plans and calculations
 - d) Site drainage
 - e) Green building plans
 - f) Energy compliance form
4. Clearly identify all other structures such as retaining walls/fences
5. Plans shall be in compliance with the current edition of the City of Glendale Building and Safety Code (GBSC)

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

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<input type="checkbox"/> • (6) Urban Design & Mobility	
<input type="checkbox"/> • (7) Long Range Planning	
<input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:	<input type="checkbox"/> J. GLENDALE POLICE
<input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)	<input type="checkbox"/> K. OTHER:
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<input checked="" type="checkbox"/> • (2) Electric	<input type="checkbox"/> • (3) City Clerk's Office

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ADR/DRB Case No.: PADR-004557-2025

Tentative Tract/Parcel Map No.: _____

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Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

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Project
Case No.: PADR-004557-2025

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COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☒ (See attached Dept. Master List)

Date: 4 MAR 25

Print Name: Kevin Runzer

Title: Sr. Civil Engineer **Dept.** GWP Water Engineering **Tel.:** (818) 548-2062

a. ADDITIONAL COMMENTS:

- ☐ 1. **ATTACHMENTS:**
GWP-W_Requirements_3.4.2025

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- ☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- ☐ 1.

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION

DATE: March 04, 2025

TO: Wyatt Berger, Community Development Department

FROM: Kevin Runzer, GWP Water Engineering
Catherine Babakhanlou, GWP Electric Engineering

**SUBJECT: PADR-004557-2025
2450 Sleepy Hollow Drive**

Glendale Water & Power (GWP) Engineering has reviewed the plans.
Requirements are as follows:

Electric Engineering

Customer Service (818) 548-3921

- Additional comment(s) and/or attachment(s).
Include the location of the electrical service panel in the site plan. If the owner wants to upgrade the electrical service panel, please contact GWP Electrical Engineering at 818-548-3921 for a service spot request.

Fiber Optics (818) 548-3923

- No conflict.

Street Lighting (818) 548-4877

- No Conflict

Transmission & Distribution (818) 548-3923

- No conflict.

Water Engineering

Recycled Water (818) 548-2062

- No conflict.

Backflow Prevention (818) 548-2062

- Additional comment(s) and/or attachment(s).
A Reduced Pressure Principle (RP) Backflow Prevention Assembly is required to be installed as close as practical to the potable service for multi-family (4 units +), commercial, pool/spa, tank, and irrigation use. A RP Backflow Prevention Assembly is required to be installed as close as practical to the recycled water service for dual plumbed, commercial and irrigation use. Customer must submit plans to GWP Cross-Connection Control Program showing the location, size, manufacturer, and model number of the approved RP. Please refer to the City of Glendale's Standard Detail Drawing 6528-A for installation requirements. Please contact GWP's Cross-Connection Control Program (818)-937-8948 for approval of BFP installation location, questions and scheduling a final inspection. (PER CA CODE OF REGULATIONS, TITLE 17 & CITY OF GLENDALE ORD NO. 5678)

Potable Water (818) 548-2062

- Developer is responsible for the current cost of a water service or fire line installation in accordance with the current water fee schedule.
- A complete set of plumbing plans and fire sprinkler plans shall be submitted to GWP Water Engineering for review and approval prior to request of new domestic water service and new fire line respectively

- Any water service or fire line connection, when no longer needed by the customer, must be permanently abandoned (disconnected at water main and water meter removed) by GWP following payment of the necessary fee.
- All water facilities shall be protected in place during construction of the subject project. All water valves, water meter boxes, water vaults and fire hydrants must be relocated and set to finished grade when necessary at project's expense.
- Please contact GWP Water Engineering at (818) 548-2062 prior to construction.
- A complete set of plans shall be submitted for review to GWP Water Engineering.
- Additional comment(s) and/or attachment(s).

ATTACHMENTS:

GWP-W_Requirments_3.4.2025.pdf

2 GWP PLAN CK 6136 - SLEEPY HOLLOW DR. 2450 - ARCHITECTURAL PLAN SET

4 GWP PLAN CK 6136 - SLEEPY HOLLOW DR. 2450 - REQUEST FOR COMMENTS_GWP-W_3.4.2025

Catherine Babakhanlou
Principal Electrical Engineer

Kevin Runzer
Senior Civil Engineer



CB/KR:sb/eh



GWP Water Division

WATER REQUIREMENTS

Project Address(es): _____

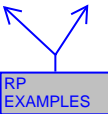
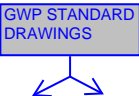
Parcel No.('s) (APN NO.): _____

Related Permit No.('s) _____

Proposed Project Type (SFR, MFR, COMM, MIXED USE, ETC.): _____

Description of Construction:

Comments:



SLEEPY HOLLOW RESIDENCE

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

DRAWING SYMBOLS

CENTER LINE	
PROPERTY LINE	
HIDDEN/CONCEALED LINE	
ELEVATION CONTROL	
WORK POINT	
SPOT ELEVATION	
DIMENSIONS	
GRIDLINES	
ELEVATION	
BUILDING SECTION	
DETAIL/WALL SECTIION	
DETAIL ENLARGEMENT	
INTERIOR ELEVATION	
DOOR NUMBER	
WINDOW NUMBER	
NEW CONSTRUCTION	
1 HOUR CONSTRUCTION	

ABBREVIATIONS

A	at	L	Liquidified Petroleum
@	above	LPG	Gas
abv.	Area Drain	M	Manufactur(er)
A.D.	Average	Mfg.	Metal
B	Board	Min.	Minimum
Bd.	Below	N	
Bel.	Building	O	Over
Bldg.	Beam	o/	Outside Diameter
Bm.	Bottom of Wall	ODU	Out Door Unit
BOW	British Thermal Unit	OSB	Oriented Strand Board
BTU		P	Plywood
C		PW	
CFM	Cubic Feet per Minute	R	Req. Required
CIP	Cast in place	RJ	Roof Joist
CMU	Concrete masonry	RR	Roof Rafter
Unit	Concrete	Rm	Room
Conc.		S	
D		S.D.	Storm Drain
Dn	Down	SF	Square Feet
DWV	Drain/Waste Vent	T	Typ. Typical
E		TC	Top of Grate
Elasto.	Elastomeric	TOP	Top of Parapet
F		TOW	Top of Wall
FAU	Forced Air Unit	TPS	Top of Plywood
F.J.	Floor Joist		Sheathing
F.G.	Finish Grade	U	
G		UL	Underwriters
Ga.	Cuage	Labratories	
Galv.	Galvanized	V	
gyp.	Gypsum	W	Wood
H		w/	With
HVAC	Heating, Ventilation and Air Conditioning Unit	X	
I		Y	
Inv.	Invert	Z	
J			
K			

CONTACT INFORMATION

OWNERS
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

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DAVID GONZALEZ ROJAS
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626.318.2719

STRUCTURAL ENGINEER
THANG LE & ASSOCIATES
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ARCADIA, CA 91006
626.731.1539
THANG@THANGLESE.COM

SURVEYOR
CIVIL ENGINEERING & LAND SURVEYING
347 S. ROBERTSON BLVD.
BEVERLY HILLS, CA 90211
INFO@MGLANDSUR.COM
310.657.0871

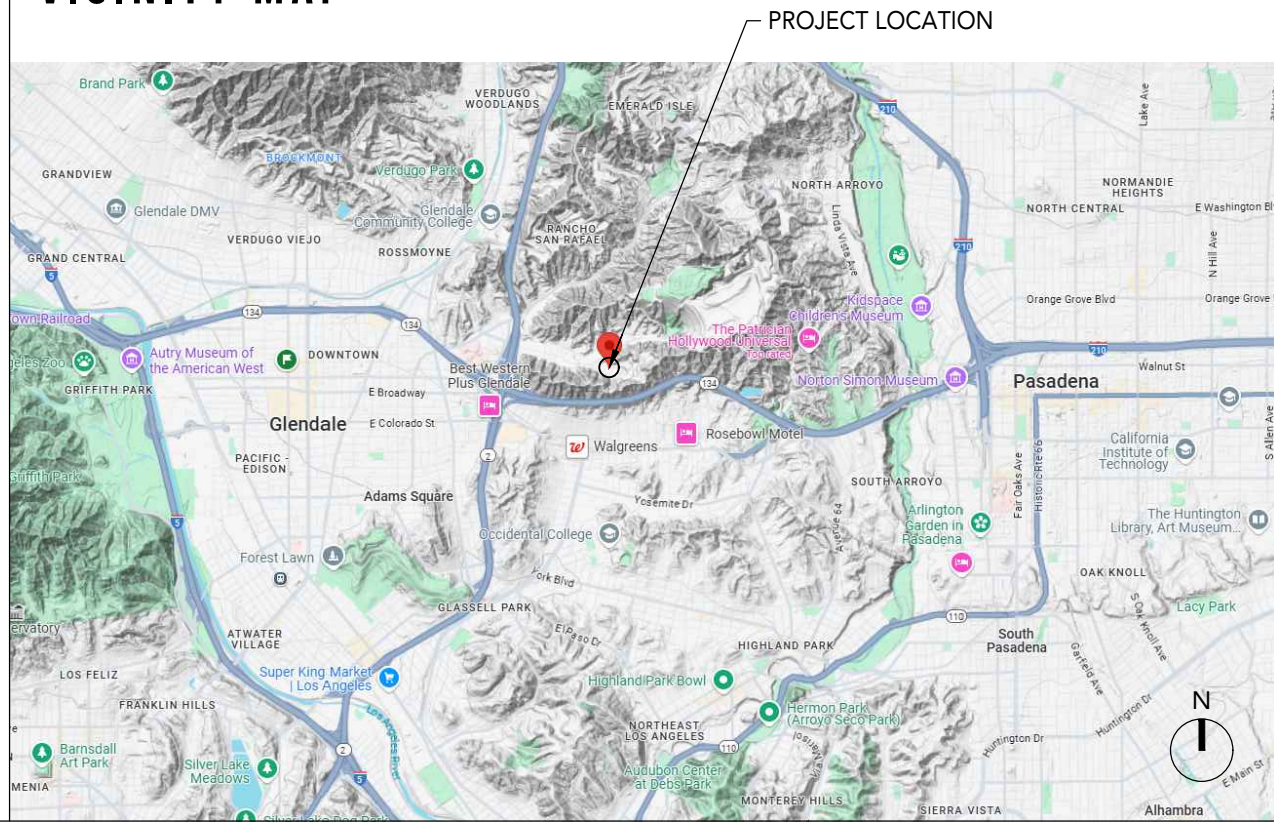
SHEET INDEX

A0.0	COVER SHEET/PROJECT INFORMATION
SV	TOPOGRAPHIC SURVEY
SV	SLOPE ANALYSIS
A1.0_D	SITE PLAN - DEMO
A1.0	SITE PLAN
A1.0_A	NEIGHBORING PROPERTIES
A1.1_D	FLOOR PLAN - DEMO
A1.2_D	ROOF PLAN - DEMO
A1.1	FLOOR PLAN
A1.2	ROOF PLAN
A2.1_D	BUILDING ELEVATIONS - DEMO
A2.1	BUILDING ELEVATIONS
A2.1_A	COLORLED ELEVATIONS, RENDERED PERSPECTIVES, COLORS & MATERIALS
A3.1	BUILDING SECTIONS
A6.1	DOOR & WINDOW SCHEDULE
L1.0	LANDSCAPE PLAN

PROJECT DATA

SCOPE OF WORK:	- REMODEL + 874 SF ADDITION TO AN (E) 1,916 SF SINGLE FAMILY RESIDENCE TOTALING 2,790 SF. - RE-FINISH (E) GARAGE: NEW PLASTER, ROOFING AND GARAGE DOOR, NO STRUCTURAL CHANGES.
PROJECT ADDRESS:	2450 SLEEPY HOLLOW DR., GLENDALE, CA 91206
AGENCY JURISDICTION:	CITY OF GLENDALE
REFERENCE CODE:	CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA BUILDING ENERGY CODE 2022
ZONING:	R1R II, RESTRICTED RESIDENTIAL FAR DIST II
CONSTRUCTION TYPE:	TYPE VB
OCCUPANCY:	R3
LEGAL DESCRIPTION	
TRACT:	TR 6324
LOT:	27
ASSESSORS PARCEL #:	5672-024-027
PROJECT INFORMATION	
LOT AREA:	8,100 SF
MAX FLOOR AREA RATIO ALLOWED:	FAR = 0.4 x 8,100 = 3,240 SF Max (500 SF of the Garage is exempt from the Max FAR)
(E) BUILDING GROSS AREA:	1,916 SF + 324 SF GARAGE
TOTAL PROPOSED GROSS AREA:	2,790 SF + 324 SF GARAGE
PARKING:	(E) 2-CAR GARAGE - NO CHANGE
BUILDING HEIGHT:	18'-3 3/4" - NO CHANGE
STORIES:	1 - NO CHANGE
FRONT YARD SETBACK:	20'-1" - NO CHANGE
SIDE YARD SETBACK:	4'-0" WEST; 10'-0" EAST - NO CHANGE
REQ'D SIDE YARD SETBACK:	10'-0"
(E) REAR YARD SETBACK:	60'-8" RESIDENCE (15'-6 1/2" GARAGE - NO CHANGE)
PROPOSED REAR YARD SETBACK:	51'-6 3/4" RESIDENCE (15'-6 1/2" GARAGE - NO CHANGE)
LOT COVERAGE:	39.7% 2,898.7 SF RESIDENCE (2,790 SF RESIDENCE + 108.7 SF COVERED PATIO) + 324 SF GARAGE = 3,222.7 SF 3,222.7 SF/ 8,100 SF (LOT AREA)*100 = 39.7%
TOTAL FLOOR AREA TO LOT AREA RATIO:	38.4% 2,790 SF RESIDENCE + 324 SF GARAGE = 3,114 SF 3,114 SF/ 8,100 SF (LOT AREA)*100 = 38.4%
LANDSCAPE CALCULATION:	
BUILDING FOOTPRINT (RESIDENCE + GARAGE):	38.4% (3,114 SF)
HARDSCAPE:	21% (1,697 SF)
LANDSCAPE:	40.6% (3,289 SF)
LOT AREA:	100% (8,100 SF)
DEMOLITION CALCULATION:	
AREA OF (E) WALLS TO BE DEMOLISHED:	885 SF
AREA OF (E) ROOF TO BE DEMOLISHED:	920 SF
TOTAL AREA OF (E) WALLS (TO REMAIN & DEMOLISH):	2,376.9 SF
TOTAL AREA OF (E) ROOF (TO REMAIN & DEMOLISH):	1,909.2 SF
(885 + 920) / (2,376.9+1,909.2) = 0.42	0.42 < 0.5
SEE SHEETS A1.2_D & A2.1_D FOR ADDITIONAL INFORMATION & CALCS	

VICINITY MAP



SEAL



SHEET TITLE

COVER SHEET

SHEET NUMBER

A0.0

THIS DRAWING IS THE PROPERTY OF DAVID GONZALEZ ROJAS ARCHITECT, AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST.

LEGAL DESCRIPTION:

FOR APN/PARCEL ID(S): 5672-024-027

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS: LOT 87 OF TRACT NO. 6324, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 2400, PAGE 10, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THEREFROM THE EAST 50 FEET OF SAID LOT, THE WESTERLY LINE THEREOF BEING PARALLEL WITH THE EASTERLY LINE OF SAID LOT AND 50 FEET DISTANT WESTERLY AT RIGHT ANGLES THEREFROM

REFERENCE DOCUMENT:

THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN LAWYERS TITLE COMPANY PRELIM NO. L74242001001 WITH AN EFFECTIVE DATE OF AUGUST 9, 2024 AT 07:30 AM, AND THAT ALL EASEMENTS REFERENCED IN SAID TITLE REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

BASIS OF BEARINGS:

THE BEARING NORTH 65° 15' 00" WEST ON THE CENTERLINE OF SLEEPY HOLLOW DRIVE AS SHOWN ON RECORD OF SURVEY 24100, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN R.S. BOOK 342, PAGES 10, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

CONTAINING AN AREA OF 8105.46 SQ. FT. OR 0.1860 ACRES, MORE OR LESS.

BENCHMARK:

BENCHMARKS - NVD29 DATUM

BENCHMARK : 1360
DESCRIPTION : ROUND HEAD NAIL IN LEAD IN W/LY CURB BAILEY PL 2.0 FT
STY OF BCR S-WLY CORNER MARKED "BM"
ELEVATION : 844.23 FT

SURVEYOR'S NOTE:

- THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
- SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.
- RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS, IF ANY, ARE NOT SHOWN.

LEGEND:

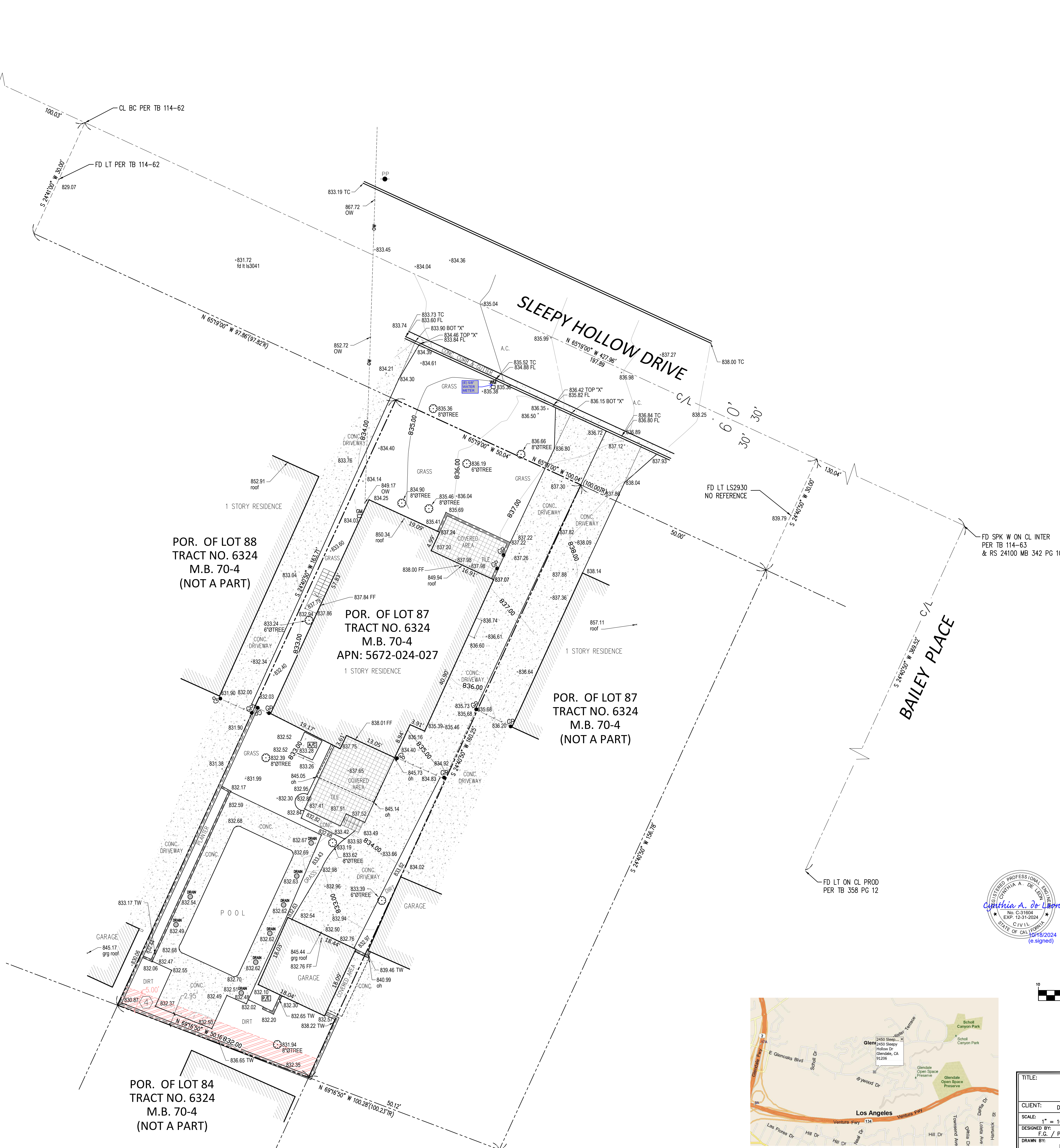
APN - ASSESSOR'S PARCEL NUMBER
A.C. - ASPHALT CONCRETE
BC - BEGINNING OF CURVE
BM - BENCHMARK
BLDG - BUILDING
C/L - CENTERLINE
CONC. - CONCRETE
COR - CORNER
FB - FIELD BOOK
FD - FOUND
FF - FINISH FLOOR ELEV.
FL - FLOWLINE ELEV.
INT - INTERSECTION
LS - LAND SURVEYOR
LAT - LEAD & TRACK
M.B. - MAP BOOK
OH - OVERHANG
PP - POWER POLE
P - PROPORTION
PG - PAGE
P/L - PLANTER
PLTR - PROLONGED (PROLONGED)
REF - REFERENCE
RS - RECORD OF SURVEY
S.W. - SPIKE & WISHER
TC - TOP OF CURB ELEV.
TL - TRACT MAP
TW - TOP OF WALL ELEV.

SYMBOLS:

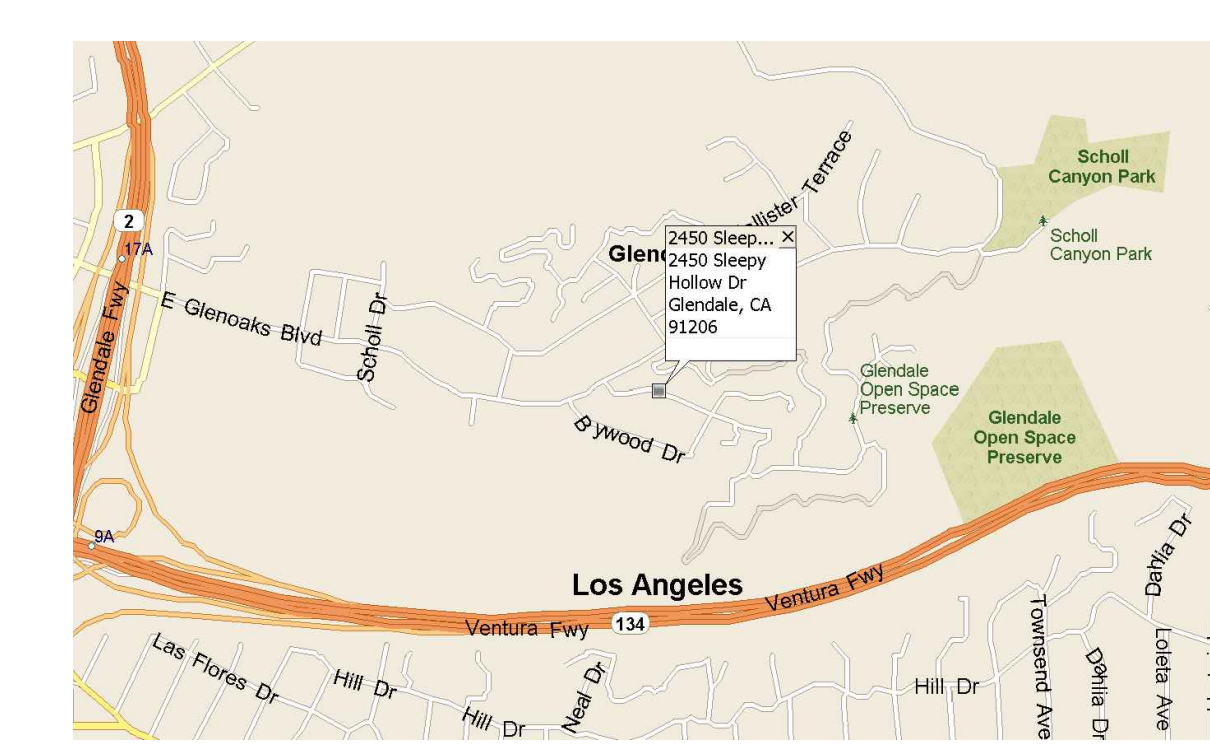
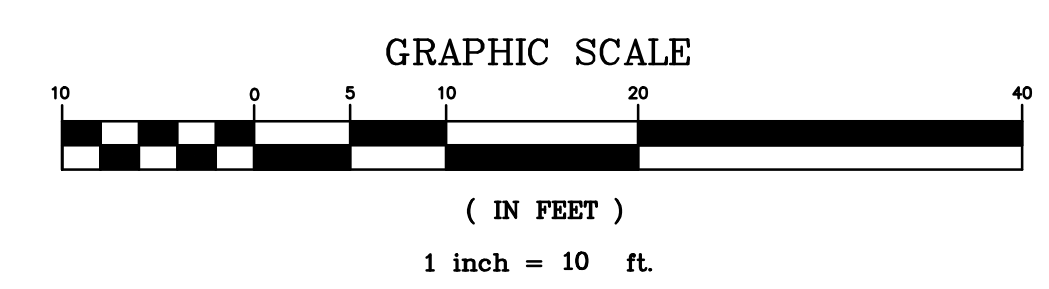
AIRCONDITIONING UNIT
DRAIN
GAS METER
GATE POST
POOL EQUIPMENT
POWER POLE
TREE
PROPERTY LINE
CENTERLINE
PROPORTION
WALL LINE
BUILDING LINE
FENCE LINE
OVERHEAD WIRE

SCHEDULE B / EASEMENT(S):

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: CITY OF GLENDALE
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JULY 7, 1923
RECORDING NO.: BOOK 2500, PAGE 145, OFFICIAL RECORDS
AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN
- PLOTTED HEREON



David Gonzalez
Professional Engineer
No. C-31604
Exp. 12-31-2024
CIVIL
STATE OF CALIFORNIA
10/15/2024
(e signed)



M&G CIVIL ENGINEERING
AND LAND SURVEYING

TITLE: TOPOGRAPHIC SURVEY			
2450 SLEEPY HOLLOW DRIVE, GLENDALE, CA 91206			
CLIENT: DAVID GONZALEZ	JOB NO.: 24.21715	DATE: 10/18/2024	REVISION (S):
SCALE: 1" = 10'	DESIGNED BY: F.G. / PD	DRAWN BY: ID	CHECKED BY: C.D.L.
M&G CIVIL ENGINEERING & LAND SURVEYING		347 S. ROBERTSON BLVD. BEVERLY HILLS, CALIFORNIA 90211 TEL. (310) 659-0871 FAX (310) 659-0845 info@mglndsr.com www.mglndsr.com	
SHEET 1 OF 1 SHEET		S:\DRAWINGS\24.21715.DWG (G)	

LEGAL DESCRIPTION:

FOR APN/PARCEL ID(S): 5672-024-027

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
LOT 87 OF TRACT NO. 6324, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 70, PAGE 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPT THEREFROM THE EAST 50 FEET OF SAID LOT, THE WESTERLY LINE THEREOF BEING PARALLEL WITH THE EASTERLY LINE OF SAID LOT AND 50 FEET DISTANT WESTERLY AT RIGHT ANGLES THEREFROM

REFERENCE DOCUMENT:

THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN LAWYERS TITLE COMPANY PRELIM NO. L74242501601 WITH AN EFFECTIVE DATE OF AUGUST 9, 2024 AT 07:30 AM, AND THAT ALL EASEMENTS REFERENCED IN SAID TITLE REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

BASIS OF BEARINGS:

THE BEARING NORTH 65° 19' 00" WEST ON THE CENTERLINE OF SLEEPY HOLLOW DRIVE AS SHOWN ON RECORD OF SURVEY 24100, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN U.S. BOOK 342, PAGES 10, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LAND AREA:

CONTAINING AN AREA OF 8105.46 SQ. FT. OR 0.1860 ACRES, MORE OR LESS.

BENCHMARK:

BENCHMARKS - NAD83 DATUM

BENCHMARK : 1360
DESCRIPTION : ROUND HEAD NAIL IN LEAD IN W/LY CURB BAILEY PL 2.0 FT
SLY OF BOR S-WLY CORNER MARKED "BM"
ELEVATION : 844.23 FT

LEGEND:

APN - ASSESSOR'S PARCEL NUMBER
A.C. - ASPHALT CONCRETE
BC - BEGINNING OF CURVE
BM - BENCHMARK
BLDG - BUILDING
C/L - CENTERLINE
CONC. - CONCRETE
COR. - CORNER
FB - FIELD BOOK
FD - FOUND
FF - FINISH FLOOR ELEV.
FL - FLOWLINE ELEV.
INT. - INTERSECTION
LS - LAND SURVEYOR
LAT - LEAD & TACK
M.B. - MAP BOOK
OH - OVERHANG
(P) - PROTRUSION
P/L - PLASTER
PROD. - PRODUCED (PROLONGED)
REF. - REFERENCE
RS - RECORD OF SURVEY
S&W - SPIKE & WASHER
TC - TOP OF CURB ELEV.
TR - TRACT MAP
TW - TOP OF WALL ELEV.

SYMBOLS:

A/C - AIRCONDITIONING UNIT
DRAIN - DRAIN
GAS METER - GAS METER
GATE POST - GATE POST
POOL EQUIPMENT - POOL EQUIPMENT
POWER POLE - POWER POLE
TREE - TREE
PROPERTY LINE - PROPERTY LINE
CENTERLINE - CENTERLINE
WALL LINE - WALL LINE
BUILDING LINE - BUILDING LINE
FENCE LINE - FENCE LINE
OVERHEAD WIRE - OVERHEAD WIRE

S - AVERAGE PERCENT CURRENT SLOPE
I - CONTOUR INTERVAL, IN FEET= 1FT
L - SUMMATION OF LENGTH OF CONTOUR LINES =444.76 FT
WITHIN THE BOUNDARY OF THE PROJECT, IN FEET
A - GROSS AREA OF THE PROJECT, IN ACRES= 0.1860757576 ACRES

$$S=0.00229 \times L/A = 0.00229 \times 444.76 / 0.1860757576 =$$

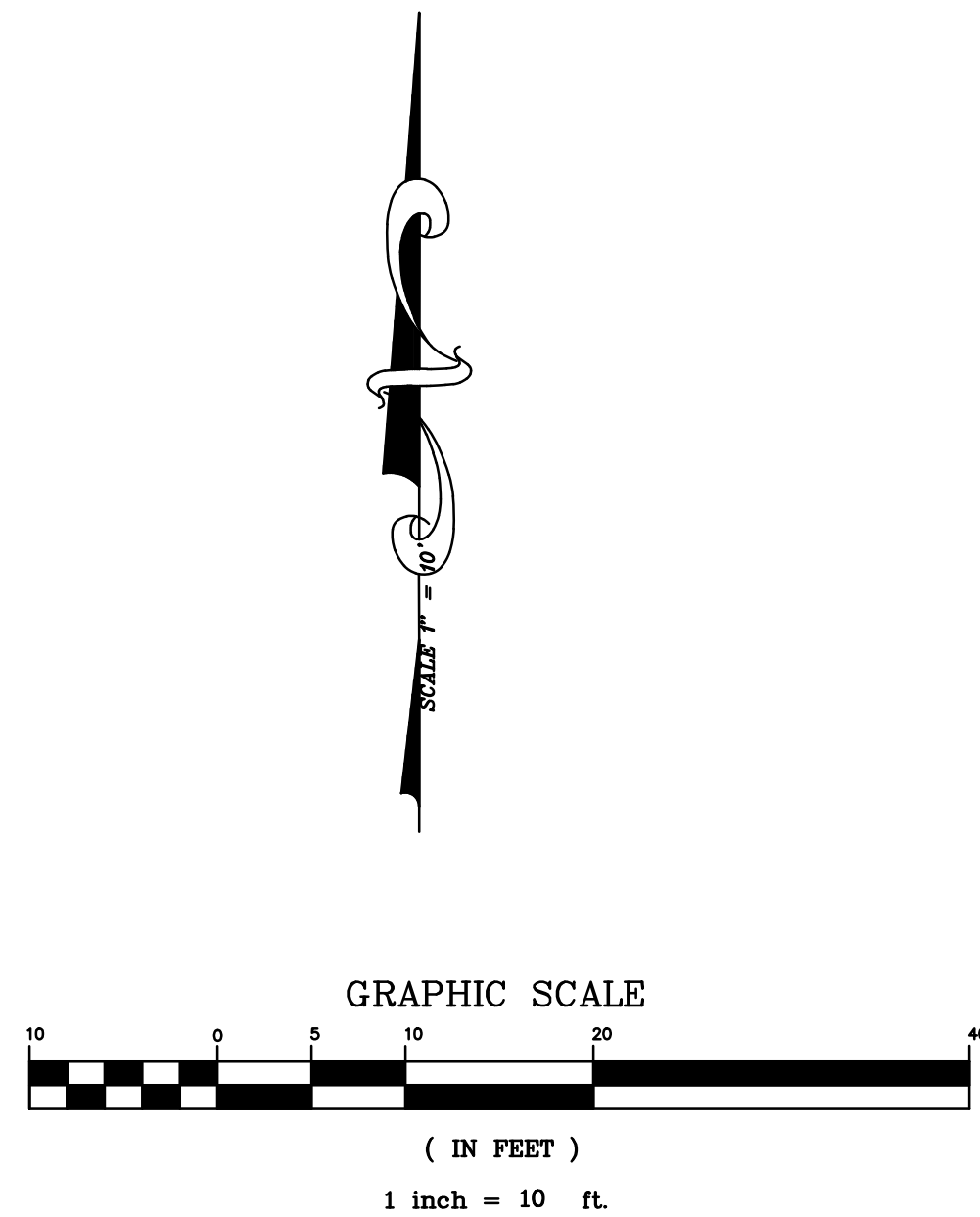
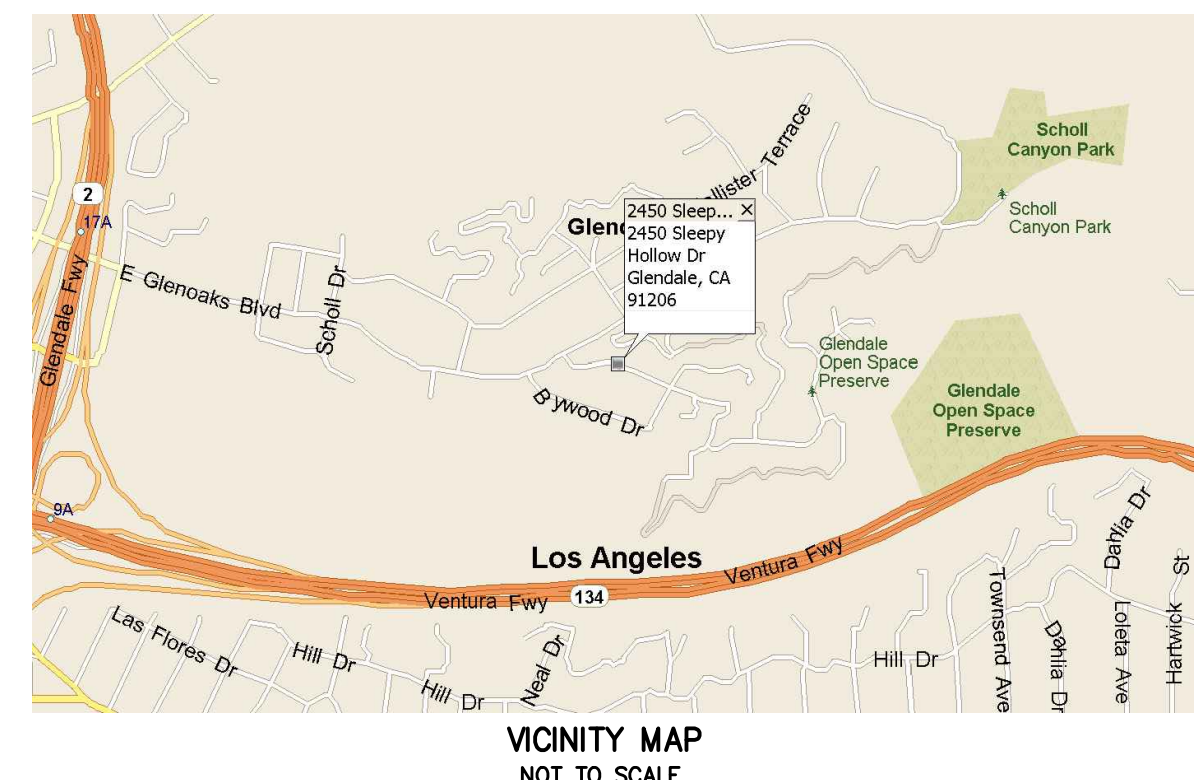
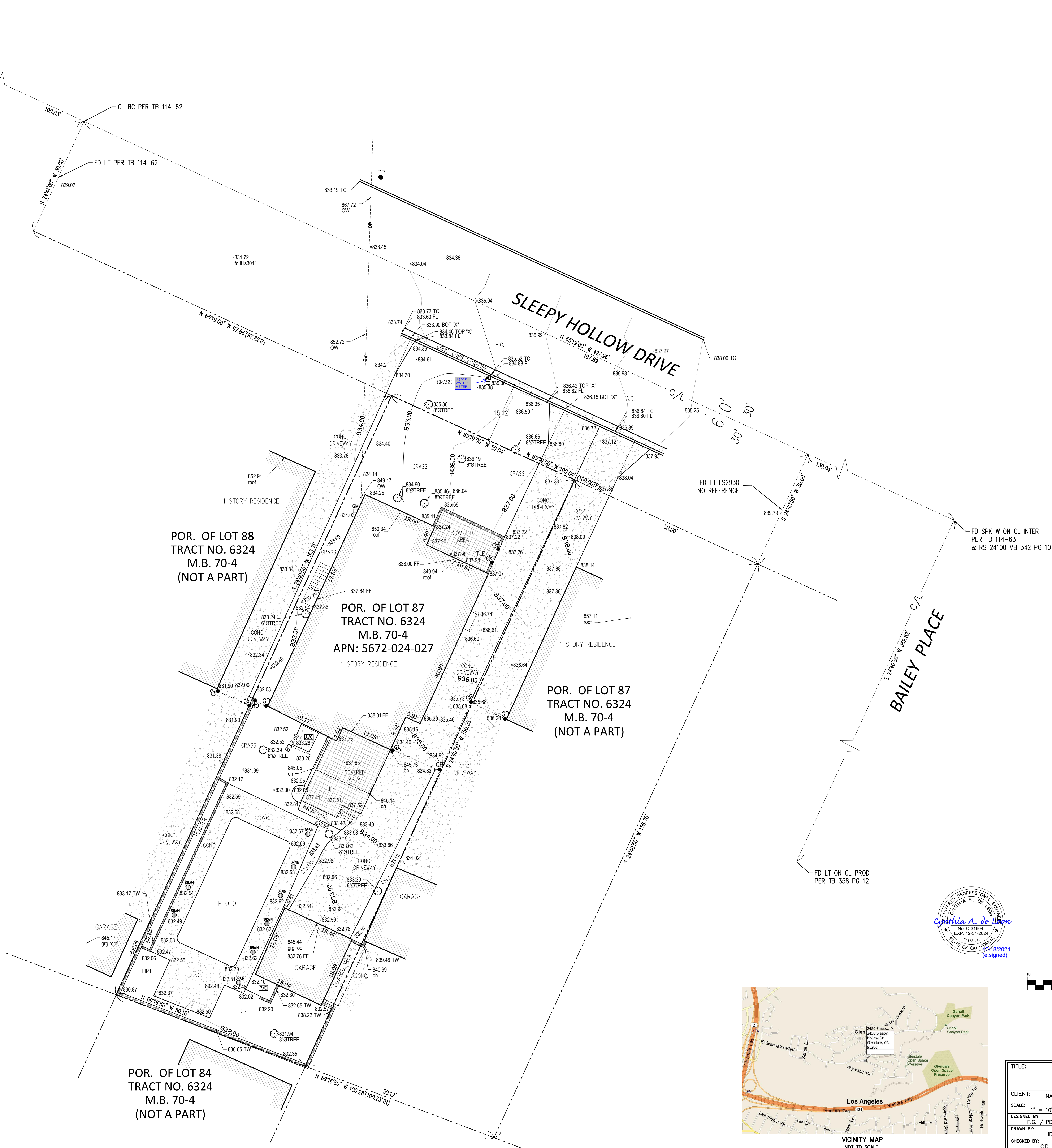
$$S=5.4736\%$$

POR. OF LOT 88
TRACT NO. 6324
M.B. 70-4
(NOT A PART)

POR. OF LOT 87
TRACT NO. 6324
M.B. 70-4
APN: 5672-024-027
1 STORY RESIDENCE

POR. OF LOT 87
TRACT NO. 6324
M.B. 70-4
(NOT A PART)

POR. OF LOT 84
TRACT NO. 6324
M.B. 70-4
(NOT A PART)



M&G CIVIL ENGINEERING
AND LAND SURVEYING

TITLE: SLOPE ANALYSIS			
2450 SLEEPY HOLLOW DRIVE, GLENDALE, CA 91206			
CLIENT:	NARINE VARTANIAN	JOB NO.:	24.21715
SCALE:	1" = 10'	DATE:	10/18/2024
DESIGNED BY:	F.G. / PD	REVISION (S):	
DRAWN BY:	ID	SHEET	1
CHECKED BY:	C.D.L.	OF	1 SHEET

EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

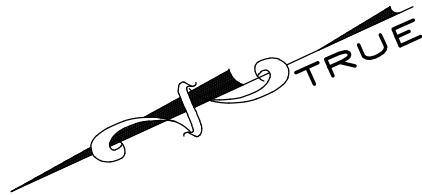
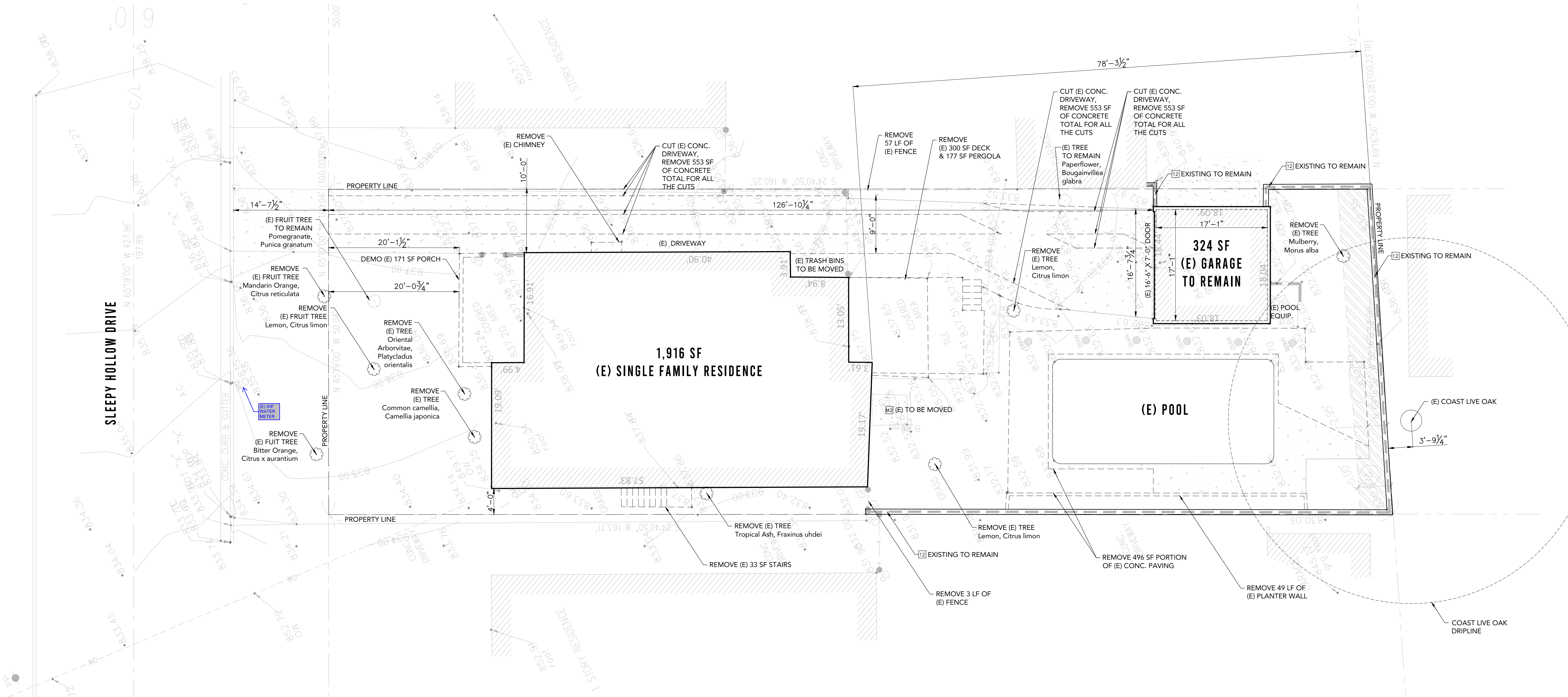
DATE 12/10/24
SCALE

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT
5201 MONTE VISTA ST
LOS ANGELES, CA 90042
DGNZLZ@GMAIL.COM
626.318.2719

OWNER
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027



SITE PLAN - DEMO
SCALE: 1/8"=1'-0"

1

SEAL



SHEET TITLE

SITE PLAN - DEMO

SHEET NUMBER

A1.0_D

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1	Roofing: Owens Corning Oakridge Amber Asphalt Shingles
2A	Exterior Wall: Cement Plaster, Color #1 of Framing
2B	Exterior Wall: Cement Plaster, Color #2 of Framing
3A	Exterior Cement Tiles, ZIA TAUPÉ 8x8 Square Cement or sim.
4	Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Concrete. Pavers Laid Out In a Decorative Pattern
5	Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
6	Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

31A	Hardwood Flooring o/Framing
31B	Ceramic Tile o/ Framing
31C	Cement Tile o/ Slab
32A	Gyp. Board Ceiling, Painted
33A	Gyp. Board Interior Wall, Painted
33B	Ceramic Tile Wall o/ Cement Backer
34	Door: See Door Schedule

S1 (E) Conc. Continuous Footing

**MECHANICAL/ELECTRICAL/
PLUMBING**


M1 Exhaust Fan, Energy Star Compliant,
Directly Vented to Exterior and
Humidistat Controlled

M2 Condenser

P1 Water Heater

3,114 SF - SFD + GARAGE
3,289 SF - LANDSCAPE
1,697 SF - HARDSCAPE

 LANDSCAPED AREAS

 CEILING MOUNTED SMOKE & CARBON MONOXIDE
DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2		4		5		0
S	L	E	E	P	Y	
H	O	L	L	O	W	
2	4	5	0	S	L	E
D		R		I	V	E
6	L	E	N	D	A	L
9		1		2		0
						6

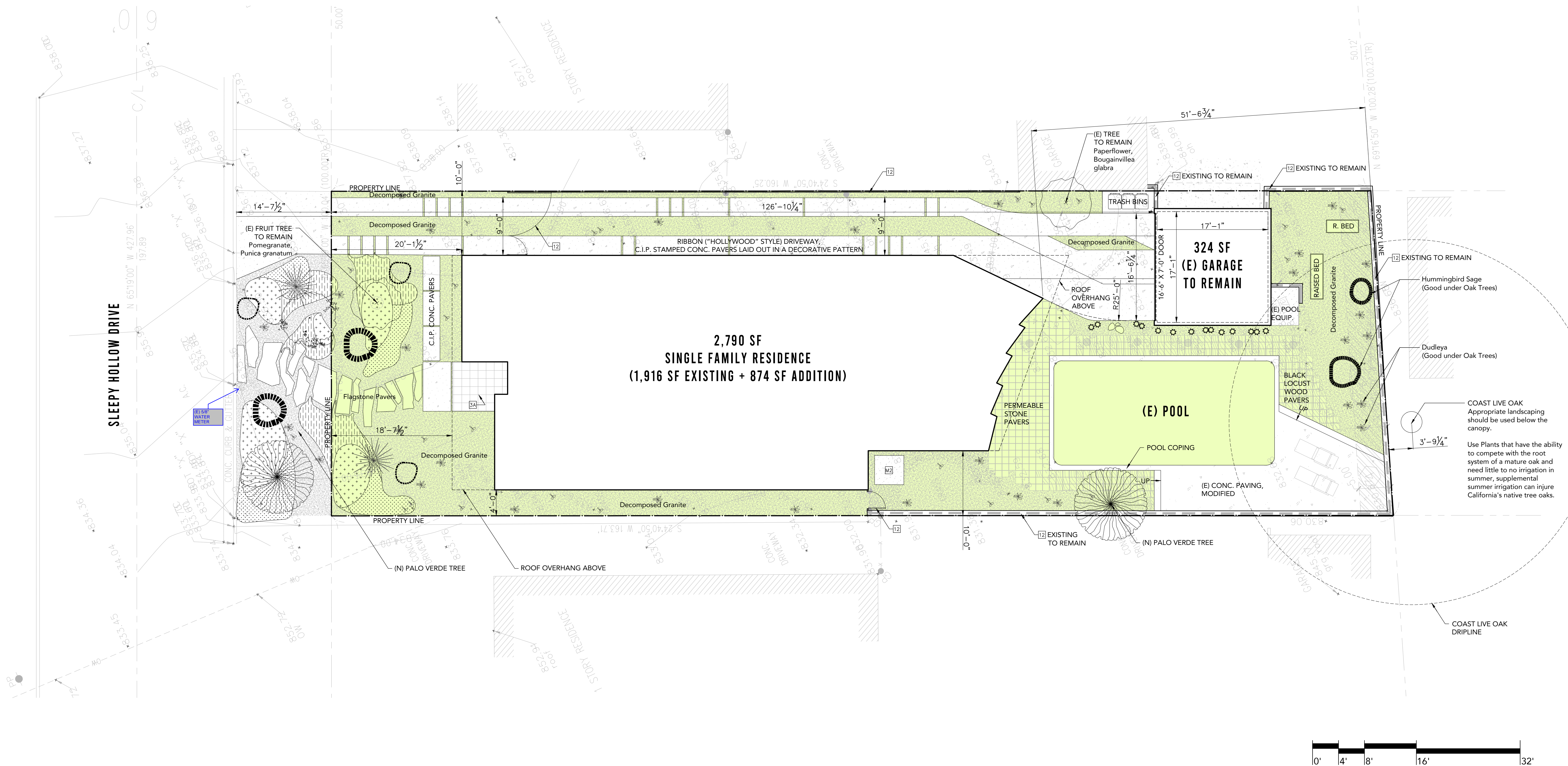
DATE	SCALE
12/10/24	

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT
5201 MONTE VISTA ST
LOS ANGELES, CA 90042
DGNZLZ@GMAIL.COM
626.318.2719

OWNER
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027



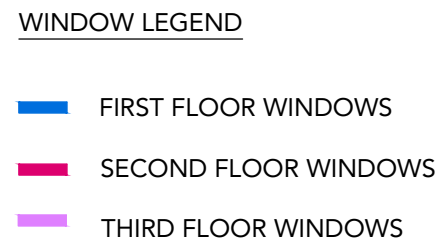
SEAL



SHEET TITLE

SHEET NUMBER
A1.0

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TO BE USED ON ANY OTHER PROJECT
AND IS TO BE RETURNED ON REQUEST.



2		4		5		0
S	L	E	E	P	Y	
H	O	L	L	O	W	
2	4	5	0	S	L	E
D		R		I		V
G	L	E	N	D	A	L
9		1		2		0
						6

DATE	SCALE
2/10/24	

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT
5201 MONTE VISTA ST
LOS ANGELES, CA 90042
DGNZLZ@GMAIL.COM
326.318.2719

OWNER
BURAG CELIK
20318 HAMLIN ST.
WINNETKA, CA 91306

LEGAL DESCRIPTION
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#:
6672024027

SEAL



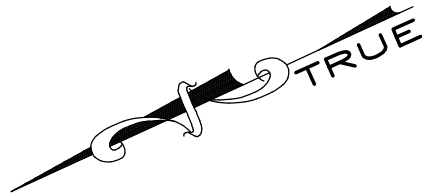
SHEET TITLE

NEIGHBORING PROPERTIES

SHEET NUMBER

A1.0_A

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NEIGHBORING PROPERTIES
SCALE: 1/16"=1'-0"

EXTERIOR

- 1

Roofing: Owens Corning Oakridge Amber Asphalt Shingles
- 2A

Exterior Wall: Cement Plaster, Color #1 o/ Framing
- 2B

Exterior Wall: Cement Plaster, Color #2 o/ Framing
- 3A

Exterior Cement Tiles, ZIA TAUPE 8x8 Square Cement or sim.
- 4

Ribbon ("Hollywood" Style) Driveway, C.I.P. Stamped Conc. Pavers Laid Out In a Decorative Pattern
- 5

Door, Windsor PINNACLE Clad, Sage Brown, See Schedule
- 6

Window, Windsor PINNACLE Clad, Sage Brown, See Schedule

7

Line of Building Above

8

Line of Building Below

9

Line of Existing Grade

10

Line of New Grade, See Civil

11

Gutter/Drain

12

Fencing:18"x 6" thk. Conc. Wall w/ Vertical Accoya Wood Slats, & Gate: Vertical Wood Slats & Weathered Mtl. Panels

13

(N) Skylight

14

Wood Clad Eave, Treat w/ a Class A Fire Retardant, THERMORY Benchmark Ash

INTERIOR

- 31A

Hardwood Flooring o/Framing
- 31B

Ceramic Tile o/ Framing
- 31C

Cement Tile o/ Slab
- 32A

Gyp. Board Ceiling, Painted
- 33A

Gyp. Board Interior Wall, Painted
- 33B

Ceramic Tile Wall o/ Cement Backer
- 34

Door: See Door Schedule

35

Kitchen Cabinets

36

Custom Built Millwork

STRUCTURAL

- S1

(E) Conc. Continuous Footing

MECHANICAL/ELECTRICAL/
PLUMBING

- M1

Exhaust Fan, Energy Star Compliant, Directly Vented to Exterior and Humidistat Controlled
- M2

Condenser
- P1

Water Heater

LOT COVERAGE QUANTITIES

3,114 SF - SFD + GARAGE
3,289 SF - LANDSCAPE
1,697 SF - HARDSCAPE

LANDSCAPED AREAS LEGEND



CEILING MOUNTED SMOKE & CARBON MONOXIDE DETECTOR HARD WIRED, TYP. W/ BATTERY BACKUP

2 4 5 0
S L E E P Y
H O L L O W
2 4 5 0 S L E E P Y H O L L O W
D R I V E
G L E N D A L E
9 1 2 0 6

DATE
12/10/24

SCALE

#	DATE	ISSUE
1	12/10/24	PRE-APPLICATION
2	02/16/25	ADR SUBMITTAL

DAVID GONZALEZ ROJAS ARCHITECT

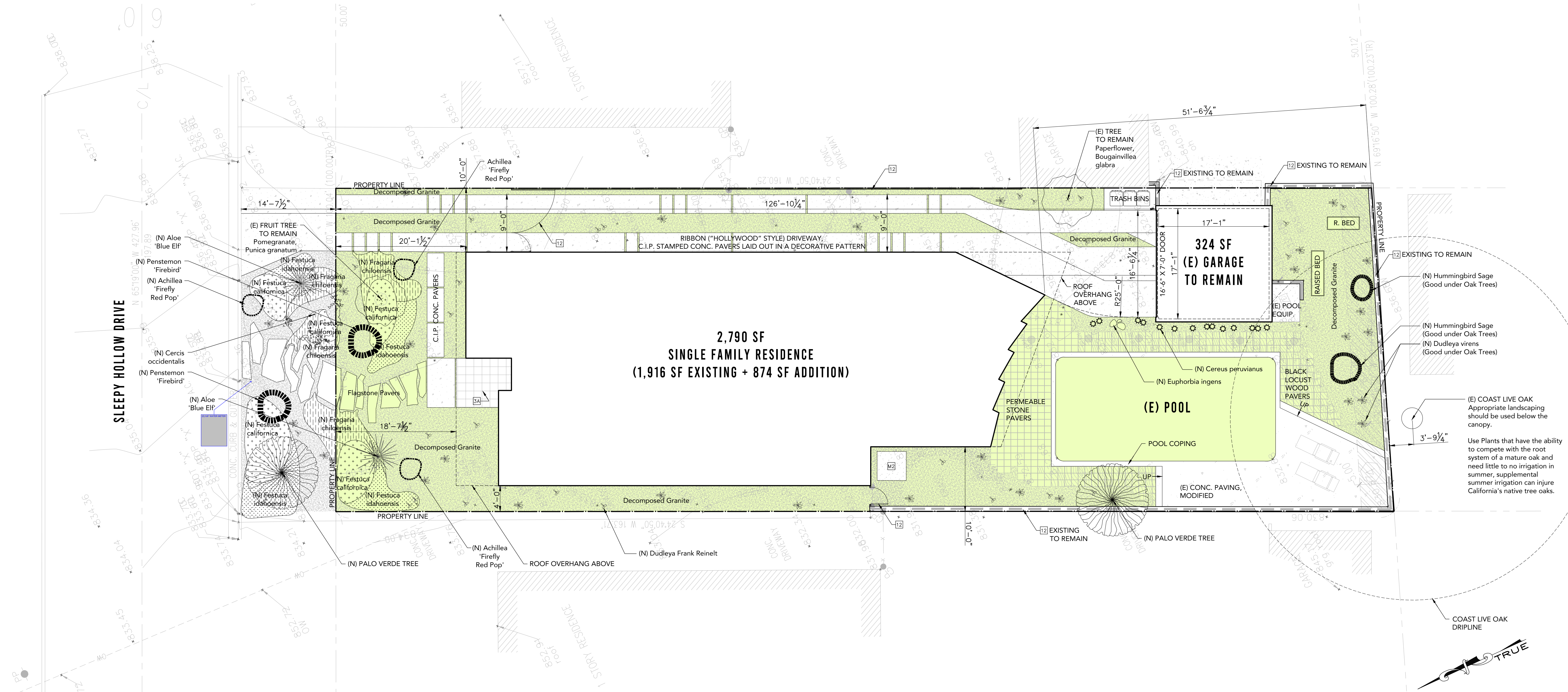
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OWNER

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LEGAL DESCRIPTION

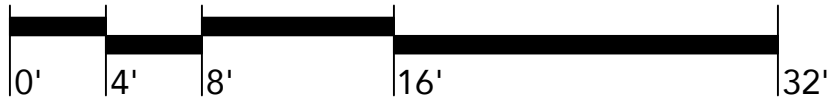
TRACT # 6324
LOT: 27
ASSESSOR PARCEL#: 5672024027



SYMBOL	NAME	QUANTITY	SIZE	WUCOLS PLANT FACTOR
	EXISTING TREES TO REMAIN	2		
	BLUE PALO VERDE PARKINSONIA FLORIDA (CERCIDIUM FLORIDA)	2		VERY LOW .2
	WESTERN REDBUD CERCIS OCCIDENTALIS	1		LOW .4

SYMBOL	NAME	QUANTITY	SIZE	WUCOLS PLANT FACTOR
	BEARD TONGUE PENSTEMON 'FIREBIRD'	2		LOW .4
	HUMMINGBIRD SAGE SALVIA SPATHACEA	2		LOW .4
	YARROW ACHILLEA 'FIREFLY RED POP'	3		LOW .4
	DUDLEYA VIRENS DUDLEYA VIRENS	20		VERY LOW .2
	DUDLEYA FRANK REINELT DUDLEYA FRANK REINELT	15		VERY LOW .2

SYMBOL	NAME	QUANTITY	SIZE	WUCOLS PLANT FACTOR
	CEREUS PERUVIANUS PERUVIAN APPLE CACTUS	10		VERY LOW .2
	EUPHORBIA INGENS CANDELABRA TREE	1		LOW .4
	FESTUCA CALIFORNICA CALIFORNIA FESCUE			LOW .4
	FESTUCA IDAHOENSIS IDAHO FESCUE			LOW .4
	Fragaria chiloensis Wild Strawberry			MODERATE .6



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

SEAL



SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.0

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CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: February 24, 2025

DUE DATE: **March 10, 2025**

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Wyatt Berger (Planner)

Tel. # x8171

PROJECT ADDRESS: 2450 Sleepy Hollow Drive

Applicant: David Gonzalez Rojas

Property Owner: Burag Celikian

PROJECT DESCRIPTION: To construct a new 874 square foot (SF) addition to an existing 1,916 SF single-family dwelling (built in 1929) totaling 2,790 SF on an 8,105 SF lot zoned R1R (Floor Area District II).

PLEASE CHECK:

<p><input type="checkbox"/> A. CITY ATTORNEY</p> <p><input type="checkbox"/> B. COMMUNITY DEVELOPMENT:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Building & Safety<input checked="" type="checkbox"/> (2) Neighborhood Services<input type="checkbox"/> (3) Design Review & Historic<input type="checkbox"/> (4) Economic Development<input type="checkbox"/> (5) Housing<input type="checkbox"/> (6) Urban Design & Mobility<input type="checkbox"/> (7) Long Range Planning <p><input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:</p> <p><input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)</p> <p><input type="checkbox"/> F. GLENDALE WATER & POWER:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Water<input checked="" type="checkbox"/> (2) Electric	<p><input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><input type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Engineering & Land Development<input type="checkbox"/> (2) Traffic<input type="checkbox"/> (3) Facilities (city projects only)<input type="checkbox"/> (4) Integrated Waste<input checked="" type="checkbox"/> (5) Maintenance Services/Urban Forester <p><input type="checkbox"/> J. GLENDALE POLICE</p> <p><input type="checkbox"/> K. OTHER:</p> <ul style="list-style-type: none"><input type="checkbox"/> (1) STATE-Alcohol Beverage Control (ABC)<input type="checkbox"/> (2) Tribal Consultations (EIFs)<input type="checkbox"/> (3) City Clerk's Office
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ENTITLEMENT(S) REQUESTED

Variance Case No.: _____

AUP/CUP Case No.: _____

ADR/DRB Case No.: PADR-004557-2025

Tentative Tract/Parcel Map No.: _____

Zone Change/GPA: _____

Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 2450 Sleepy Hollow Drive

Project
Case No.: PADR-004557-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☒ This office **DOES NOT** have any comment.

☐ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date:02/28/2025

Print Name: Jessica Sada

Title: Admin. Assoc. Dept. CDD, NS Tel.: (818) 937-8167

a. ADDITIONAL COMMENTS:

☐ 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: February 24, 2025

DUE DATE: **March 10, 2025**

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Wyatt Berger (Planner)

Tel. # x8171

PROJECT ADDRESS: 2450 Sleepy Hollow Drive

Applicant: David Gonzalez Rojas

Property Owner: Burag Celikian

PROJECT DESCRIPTION: To construct a new 874 square foot (SF) addition to an existing 1,916 SF single-family dwelling (built in 1929) totaling 2,790 SF on an 8,105 SF lot zoned R1R (Floor Area District II).

PLEASE CHECK:

<input type="checkbox"/> A. CITY ATTORNEY	<input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)
<input checked="" type="checkbox"/> B. COMMUNITY DEVELOPMENT:	<input checked="" type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):
<input checked="" type="checkbox"/> • (1) Building & Safety	<input type="checkbox"/> • (1) Engineering & Land Development
<input type="checkbox"/> • (2) Neighborhood Services	<input type="checkbox"/> • (2) Traffic
<input type="checkbox"/> • (3) Design Review & Historic	<input type="checkbox"/> • (3) Facilities (city projects only)
<input type="checkbox"/> • (4) Economic Development	<input type="checkbox"/> • (4) Integrated Waste
<input type="checkbox"/> • (5) Housing	<input checked="" type="checkbox"/> • (5) Maintenance Services/Urban Forester
<input type="checkbox"/> • (6) Urban Design & Mobility	
<input type="checkbox"/> • (7) Long Range Planning	
<input type="checkbox"/> D. COMMUNITY SERVICES/PARKS:	<input type="checkbox"/> J. GLENDALE POLICE
<input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)	<input type="checkbox"/> K. OTHER:
<input type="checkbox"/> F. GLENDALE WATER & POWER:	<input type="checkbox"/> • (1) STATE-Alcohol Beverage Control (ABC)
<input checked="" type="checkbox"/> • (1) Water	<input type="checkbox"/> • (2) Tribal Consultations (EIFs)
<input checked="" type="checkbox"/> • (2) Electric	<input type="checkbox"/> • (3) City Clerk's Office

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____

AUP/CUP Case No.: _____

ADR/DRB Case No.: PADR-004557-2025

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Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

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COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 3/6/2025

Print Name: Jose A. Muñoz

Title: Arborist Technician **Dept.** PW Forestry **Tel.:** x.3402

a. ADDITIONAL COMMENTS:

☐ 1. **SUMMARY**

The subject property is single family residence located in the Glenoaks Canyon neighborhood in Glendale, 91206. Plans include an 874 square foot addition to existing structure and proposed re-finishing to existing garage. Landscape/Hardscape improvements are also depicted on plans. Two fruit trees exist within City Right of Way (ROW) and must be removed/replaced with designated street species (please see below). Proposed landscaping improvements in the back will encroach on an abutting *Quercus agrifolia* (coast live oak), thusly requiring a private arborist report for complete review and determination of subsequent steps. Provided plans will require further information for complete review. Please see below.

INDIGENOUS TREE ORDINANCE

One *Quercus agrifolia* (coast live oak) may be encroached upon due to proposed landscaping improvements. A private arborist report inclusive of all proposed construction (including landscaping) must be submitted to Forestry for complete review and a determination of subsequent steps will be provided thereafter. Please visit www.GlendaleTrees.org for an overview of plan review submittals as they relate to protected trees.

CITY STREET TREES

There are currently no City Street Trees on adjacent City ROW. Two fruit trees within City ROW have been planted and shall be removed/replaced with correct Designated Street Tree Species. As a condition of approval, Forestry will require installation of two (2) new City Street Trees planted on adjacent City ROW, of the designated street tree species: *Quercus agrifolia* (coast live oak) with a minimum 24" root ball diameter. An automatic irrigation

system will be required to adequately water new trees. Applicant will require a STREE Permit prior to mobilization. New trees must be planted to City Standard (see provided diagram) Please see recommendations below.

RECCOMENDATIONS

1. Submit a Private Arborist Report drafted by an ISA Certified Arborist inclusive of all proposed construction (including landscaping) encroaching on Indigenous Protected Tree(s) on site and within 20' of subject property. Subsequent steps will be provided upon review of Private Arborist Report.
 2. Accurately represent proposed location for two (2) new City Street Trees on plans. For more information, please visit www.glendaletrees.org.
 3. New City Street Trees must be 24" root ball diameter minimum. Designated tree species for street is *Quercus agrifolia* (coast live oak)
 4. Automatic irrigation must be provided to water newly planted trees (bubbler, drip, etc.)
 5. Apply for and obtain a STREE Permit, and ITOB Permit prior to commencement of work.
 6. Contact Forestry at least 48 hours prior to receiving delivery of new trees, to schedule a tree inspection before they are planted on site.
- After trees have been planted, applicant may request a final Forestry inspection to finalize permit.

I can be contacted at JoseMunoz@GlendaleCa.Gov or x. 3402

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

- 1.

TREE PLANTING STANDARDS AND SPECIFICATIONS

Nursery Stock Standards. The City shall make every effort to insure that it plants only vigorous, healthy trees which can easily be trained into an attractive natural form, with strong roots and good crown development. The specifications for acceptable nursery stock shall be as follows:

- All trees shall be true to type or botanical name as ordered or shown on planting plans.
- All trees should be of a size equivalent to that of a twenty four-inch (24") box sized containerized tree with a trunk caliper of one and one half inches (1 ½"), or greater, measured at six (6") inches above soil grade.
- All trees shall have a single, fairly straight trunk with a good taper and good branch distribution vertically, laterally and radially.
- All trees shall be healthy, have a form typical for the species or cultivar, be well rooted, and shall be properly trained.
- The root ball of all trees shall be moist throughout and the crown shall show no sign of moisture stress.
- All trees shall comply with Federal and State laws requiring inspection for plant diseases and pest infestations.
- No tree shall be accepted that has been severely topped, headed back, pollarded or lion-tailed.
- No tree shall be accepted that has co-dominant stems or excessive weak branch attachments that cannot be trained out without jeopardizing the natural form of the species.
- No tree shall be accepted that is root bound, shows evidence of girdling or kinking roots, or has "knees" (roots) protruding above the soil.

The City shall reserve the right to refuse any nursery stock that does not meet these standards, and may require any person who has planted such sub-standard trees, on City property or within City right-of-ways, to have these trees removed and replaced at that person's own expense.

Planting Material Standards. Unless otherwise approved by the Urban Forester, all City trees shall be planted using materials that meet the following criteria:

- Tree Stakes - Shall be two (2) sturdy, ten (10') foot long lodge pole pine stakes. Stakes will be placed on the outer edge of the root ball on either side of the tree, parallel to the curb or walkway or perpendicular to prevailing winds.
- Staking Ties - Shall be sixteen (16") to eighteen (18") inch rubber cinch ties to be fastened to each stake with galvanized roofing nails. Ties will be pulled around the tree's trunk in a manner that supports the top-heaviness of the canopy, but is loose enough to allow for free movement of the tree in the wind.
- Trunk Guards - An approved trunk guard shall be placed around the base of the trunk just above the soil grade. A trunk guard is a device used to deter mechanical damage, as a result of wounds inflicted on a tree's trunk by such devices as weed whips and lawnmowers.
- Wood Chip Mulch – All mulch shall be of a medium to fine grade, and shall be clean and free of rocks and debris.

Tree Planting Specifications. Most nursery tree stock in California is sold in a containerized form. The following guidelines are specific for containerized stock. If utilizing bare root or balled and burlaped trees, refer to the appropriate ISA guidelines for planting instructions.

All trees shall be planted immediately after the planting container has been removed. Containers shall not be cut or otherwise damaged prior to delivery of trees to the planting area.

The planting hole is one of the most important factors in establishing a healthy tree. Measure the width and depth of the root ball prior to digging. The diameter of the planting hole shall be dug at least two (2) times wider than that of the root ball. The depth of the planting hole shall be dug slightly shallower than the depth of the root ball to allow for the top two (2") inches of the root crown to remain above the finished grade of soil.

Before placing the tree into the planting hole, tamp down the base of the hole to allow the tree to stand straight and to avoid the potential of the tree settling below the finish grade. Scarify or scrape the sides of the planting hole to break down any glazing or compaction that may have occurred as a result of digging.

Position the tree in the hole so that the tree stands upright and the top of the root crown is slightly exposed above the grade. Then, backfill the planting hole with clean, native soil no higher than halfway up the rootball. Slightly tamp the soil to remove air pockets, but be sure not to compact the soil too much. Complete the backfilling to the finish grade. Once again, tamp the soil slightly to remove air pockets.

For planting in parkways, form a watering basin out of backfill material, approximately six (6") inches high. The basin shall be installed four (4") inches outside of and around the edge of the planting hole. This basin is not necessary when planting in tree wells.

Remove all nursery stakes, ties and ribbons from the tree, and install the planting materials as specified above.

A three (3") to four (4") inch layer of City approved wood chip mulch shall be placed within the planting basin/well of the tree. A space of three (3") inches shall be left between the tree's stem and the mulch layer to allow airflow and to restrict moisture from remaining static around the base of the trunk.

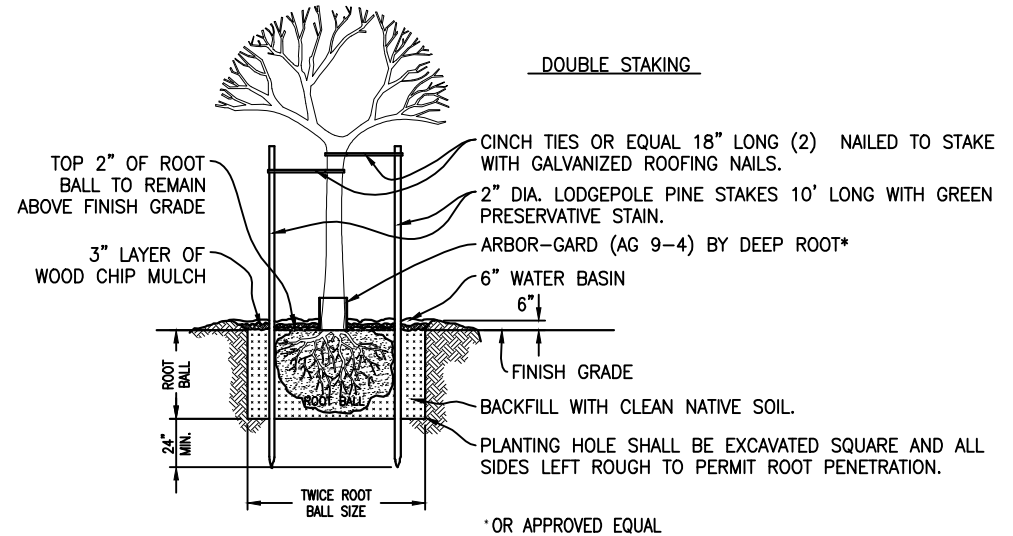
All new trees shall be given an initial deep watering, and provisions shall be made in the construction maintenance period for watering any new trees every seven (7) days or less as needed to keep the root zone moist, of an amount ranging from 5-20 gallons per watering, as needed to achieve deep root watering.

Tree stakes and ties should be removed from the tree within three years after planting, or when the circumference of the tree's trunk is equal to or exceeds the circumference of the stakes.

For specific details on proper planting procedures refer to the attached Standard for Tree Planting and Staking.

TREE PLANTING NOTES:

1. DIG THE DIAMETER OF THE PLANTING HOLE AT LEAST TWO (2) TIMES WIDER THAN THAT OF THE ROOT BALL.
2. DIG THE DEPTH OF THE PLANTING HOLE SHALLOW ENOUGH TO ALLOW FOR THE TOP TWO (2") INCHES OF THE ROOT CROWN TO REMAIN ABOVE THE FINISH GRADE.
3. TAMP DOWN THE BASE OF THE HOLE TO ALLOW THE TREE TO STAND STRAIGHT AND TO AVOID THE POTENTIAL OF THE TREE SETTLING BELOW THE FINISH GRADE.
4. POUND TWO (2) LODGEPOLE PINE TEN (10') FOOT LONG STAKES TO A DEPTH OF TWENTY-FOUR (24") INCHES BELOW BOTTOM OF PLANTING HOLE. ENSURING THAT THE TOP OF THE STAKE IS SLIGHTLY BELOW THE LOWEST LATERAL LIMBS OF THE CANOPY.
5. ATTACH A MINIMUM OF TWO (2) INCH TIES TO TIE THE TREE TO THE STAKES, LEAVING THE TIES LOOSE ENOUGH AROUND THE TRUNK TO ALLOW THE TREES TO SWAY SLIGHTLY.
6. SCARIFY OR SCRAPE THE SIDES OF THE PLANTING HOLE.
7. BACKFILL THE PLANTING HOLE WITH CLEAN, NATIVE SOIL NO HIGHER THAN HALFWAY UP THE ROOTBALL. SLIGHTLY TAMP THE SOIL TO REMOVE AIR POCKETS, BUT BE SURE NOT TO COMPACT THE SOIL TOO MUCH.
8. COMPLETE THE BACKFILLING TO THE FINISH GRADE. ONCE AGAIN, TAMP THE SOIL SLIGHTLY TO REMOVE AIR POCKETS.
9. FORM A WATERING BASIN OUT OF BACKFILL MATERIAL, APPROXIMATELY SIX (6) INCHES HIGH. THE BASIN SHALL BE INSTALLED FOUR (4") INCHES OUTSIDE OF AND AROUND THE EDGE OF THE PLANTING HOLE.
10. REMOVE ALL NURSERY STAKES, TIES AND RIBBONS FROM THE TREE.
11. INSTALL A THREE (3") TO FOUR (4") INCHES LAYER OF CITY APPROVED WOOD CHIP MULCH WITHIN THE PLANTING BASIN OF THE TREE. A SPACE OF THREE (3") INCHES SHALL BE LEFT BETWEEN THE TREE'S STEM AND THE MULCH LAYER TO ALLOW AIRFLOW AND TO RESTRICT MOISTURE FROM REMAINING STATIC AROUND THE BASE OF THE TRUNK.
12. GIVE THE NEW TREE AN INITIAL DEEP WATERING.
13. ALL SPECIMEN PLANT MATERIALS, SHRUBS AND LAWN SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION.
14. SPECIMEN TREES IN BOXES SHALL BE GUARANTEED FOR (2) YEAR. UPON COMPLETION OF WORK APPROVED BY THE CITY OF GLENDALE, THE CONTRACTOR SHALL PERFORM A TWO-YEAR (2) MAINTENANCE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SKATING ALL SEWER, ELECTRICAL, WATER MAIN LINES, AND UTILITIES PRIOR TO PLANTING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
16. THE CONTRACTOR SHALL EXERCISE CARE WHILE WORKMEN ARE DIGGING AROUND.



PLANTING TREE IN PARKWAY

NOT TO SCALE