



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

April 7, 2025

Applicant:

Khan Consulting Inc.
Attn: Rodney Khan
2033 Oak Valley Road
Glendale, CA 91208

**RE: ADMINISTRATIVE USE PERMIT CASE NO. PAUP-004407-2025
515-523 NORTH CENTRAL AVENUE
(Hotel Indigo)**

The Director of Community Development will render a final decision on or after April 23, 2025, for the following project:

Project proposal: Application for an Administrative Use Permit (AUP) to allow the on-site sale, service, and consumption of beer, wine, and distilled spirits in the restaurant, bar, pool service, and in-room mini bar areas of a new hotel (Hotel Indigo) located in the "DSP/TD" (Downtown Specific Plan/Transitional District) Zone.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

DRAFT CONDITIONS OF APPROVAL

1. That the development shall be in substantial accord with the plans submitted with the application except for any modifications as may be required to meet specific code standards or other conditions stipulated herein to the satisfaction of the Director of Community Development.
2. That the on-site sale, service, and consumption of alcoholic beverages shall be ancillary to the hotel use.
3. That all necessary licenses, approvals, and permits as required from Federal, State, County, or City authorities, including the City Clerk, shall be obtained and kept current at all times.
4. That the sale of alcoholic beverages shall be in full accord with the regulations and conditions established by the State Department of Alcoholic Beverage Control.

5. That an Alcoholic Beverage Control (ABC) License shall be applied for and issued for a hotel with on-site sale, service, and consumption of alcoholic beverages, subject to the findings and conditions outlined in this decision letter.
6. That access to the premises shall be made available to all City of Glendale Planning Division, Neighborhood Services Division, Police Department, and Fire Department staff upon request for the purpose of verifying compliance with all laws and conditions of this approval.
7. That a Business Registration Certificate shall be obtained for the operation of the hotel use with on-site sale, service, and consumption of alcoholic beverages, subject to the findings and conditions of approval.
8. No lighting shall be installed or maintained that shines or reflects onto adjacent properties.
9. That no alcoholic beverages shall be sold to be taken from the premises by guests and patrons for off-site consumption.
10. That the premises shall be maintained in a clean and orderly condition, free of weeds, trash, and graffiti.
11. That all signs displayed shall conform to the requirements of the Glendale Municipal Code.
12. That no exterior signs advertising the sale and service of alcoholic beverages shall be permitted.
13. That there shall be no video machine(s) and/or video game(s) maintained upon the premises.
14. That music or noise shall be contained within the edifice of the establishment. The business shall comply with the state and local noise ordinances concerning excessive noise and disturbing the peace.
15. That the proprietor and employees shall make an active and conscientious effort to keep customers and employees from trespassing on other nearby properties or otherwise making disturbances in the area.
16. That the hotel shall adhere to the City's Fresh Air Ordinance, Title 15, Chapter 8.52 of the Glendale Municipal Code.
17. That the development shall comply with the conditions of approval as specified in the Standards Variance Case No. PVAR-003543-2024 decision letter, dated January 23, 2025.

18. That the development shall comply with the conditions of approval as specified in the Administrative Exception Case No. PAE 2118587 decision letter, dated February 15, 2022.
19. That any expansion or modification of the facility or use which intensifies this Administrative Use Permit shall require a new Administrative Use Permit application. An expansion shall constitute adding floor area, changes to the use or operation, or any physical change as determined by the Planning Hearing Officer, with concurrence from the Director of Community Development.

PROJECT BACKGROUND

Related Concurrent Permit Application(s):

On June 9, 2020, Stage II Design Review Case No. PDR 2005010 was approved with conditions by the City Council for the development of a new seven-story (plus mezzanine) hotel.

On February 15, 2022, Administrative Exception Case No. PAE 2118587 was granted with conditions by the Planning Hearing Officer to allow an approximately four-foot increase from the 95-foot maximum height permitted in conjunction with development of the hotel.

On October 28, 2022, Building Permit No. BB 2104337 was originally issued to construct the Hotel Indigo and is currently in revision.

On January 23, 2025, Standards Variance Case No. PVAR-003543-2024 was approved with conditions by the Planning Hearing Officer to allow a floor area ratio (FAR) of approximately 3.1 which exceeds the maximum FAR allowance of 3.0 in the DSP/TD Zone.

Environmental Determination:

The project is exempt from CEQA review as a Class 32 "Infill Development Projects" exemption pursuant to Section 15332 of the State CEQA Guidelines. The project meets all the findings required by Section 15332 to qualify for this categorical exemption.

General Plan:

DSP/TD—Downtown Specific Plan/Transitional District.

Zone:

DSP/TD—Downtown Specific Plan/Transitional District Zone.

Description of Existing Property and Uses:

The subject site is approximately 23,309 square feet in area and is located at the southwest corner of North Central Avenue and West Doran Street. The project site is

under construction with an approximately 72,597 square-foot, seven-story (plus mezzanine) hotel with three levels of subterranean parking and 122 guest rooms. As discussed above, Building Permit No. BB 2104337 for the construction of the hotel was previously issued and is currently in revision. The subject site was previously occupied by fast food restaurant and medical office uses which were demolished to allow the construction of the Hotel Indigo.

Neighboring Zones and Uses:

Direction	Zone	Existing Land Use
North	DSP/TD	Five-story multi-family residential
South	DSP/TD	Three-story multi-family residential
East	DSP/OC	Eight-story multi-family residential
West	R-1250 PS	Four-story multi-family residential
Project Site	DSP/TD	Hotel (currently under construction)

COMMENTS FROM OTHER CITY DEPARTMENTS:

No major concerns were received from the various city divisions/departments. Conditions have been received from the Police Department to ensure that any potential negative impact will be appropriately mitigated. These conditions will be made part of the decision letter if the Administrative Use Permit (AUP) is approved.

PROJECT ANALYSIS

The applicant is requesting an AUP to allow the on-site sale, service, and consumption of beer, wine, and distilled spirits in the restaurant, bar, pool service, and in-room mini bar areas of a new hotel (Hotel Indigo) located in the “DSP/TD” (Downtown Specific Plan/Transitional District) Zone. The Land Use Element of the General Plan designates the subject site as Downtown Specific Plan/Transitional District, which is intended to encourage the location of a wide range of activities to maintain a dynamic environment. The Circulation Element of the General Plan also designates North Central Avenue as a Major Arterial street and West Doran Street as an Urban Collector street.

The request to provide alcoholic beverages in the restaurant, bar, pool service, and in-room mini bar areas at the Hotel Indigo is consistent with the objectives of the Land Use Element because the sale and service of alcoholic beverages will be ancillary to the hotel use. Further, the sale and service of alcoholic beverages for hotel guests and patrons will be an enhancement to the lodging experience. The incidental provision of alcoholic beverages also complies with the Circulation Element of the General Plan because the adjacent streets are fully developed and are expected to accommodate any traffic impact generated by the Hotel Indigo. The on-site sale, service, and consumption of alcoholic beverages in conjunction with the primary hotel use is not intended to affect other elements of the General Plan, including Housing, Noise, Safety, and Recreation.

The Hotel Indigo does not currently have an “active” or “pending” ABC License. However, according to the Glendale Police Department, the subject site is in census tract 3018.01, where the suggested limit for on-site establishments is six. There are currently 18 on-site establishments in this census tract. With the proposed hotel, the total number of on-site licenses in this census tract will increase to 19 on-site establishments. Based on arrests and Part I crime statistics for census tract 3018.01 in 2023, there were 291 crimes, 8% under the city-wide average of 317. Within the last year, there were no calls for police service at the subject site. The Glendale Police Department did not cite any concerns about the request.

The request will not be detrimental to public health and safety because the on-site sale, service, and consumption of alcoholic beverages will be ancillary to the primary hotel use. There are also other similar uses within the immediate area that provide incidental alcoholic beverage components and do not appear to have a detrimental effect on surrounding uses. While there are several public facilities, schools, and churches within the immediate area of the subject site, the request will not adversely impact these sensitive land uses because the on-site sale, service, and consumption of alcoholic beverages will be incidental to the primary hotel use.

The request to provide alcoholic beverages as ancillary to the primary hotel use will also not result in inadequate public or private facilities. The subject site will be fully developed once construction of the Hotel Indigo is completed. Adequate landscaping, traffic circulation measures, and parking will also be provided in accordance with the Zoning Code and the Downtown Specific Plan. The subject site is also an infill project and will be fully serviced with gas, electricity, water, and sewer infrastructure. As such, the request will not result in inadequate public and private facilities such as utilities, landscaping, parking circulation, and traffic circulation measures.

In summary, the request for the on-site sale, service, and consumption of alcoholic beverages in the restaurant, bar, pool service, and in-room mini bar areas at the Hotel Indigo is supportable based on the facts surrounding this application and findings. Conditions of approval are recommended to ensure that any potential negative impacts will be appropriately mitigated.

DRAFT FINDINGS

A. That the existing use will be consistent with the various elements and objectives of the general plan.

The request to sell and serve alcoholic beverages to hotel guests and patrons will be consistent with the various elements and objectives of the General Plan. The subject site is zoned “DSP/TD” (Downtown Specific Plan/Transitional District) and is within the Downtown Specific Plan/Transitional District designation of the Land Use Element of the General Plan. The subject site is also located at the southwest corner of North Central Avenue and West Doran Street. The Circulation Element of the General Plan

designates North Central Avenue as a Major Arterial street and West Doran Street as an Urban Collector street. Both streets are fully improved and service many surrounding residential and commercial developments.

A hotel is a permitted use in the DSP/TD zone; however, the on-site sale, service, and consumption of alcoholic beverages in the restaurant, bar, pool service, and in-room mini bar areas requires approval of an AUP. The request to sell and serve alcoholic beverages to hotel guests will be ancillary to the primary hotel use. The project site is currently under construction and will feature a new 72,597 square-foot, seven-story (plus mezzanine) hotel with 122 guest suites. Vehicular access to the hotel will be provided via Central Avenue leading to a passenger drop-off zone and a vehicular ramp to three levels of subterranean parking.

The on-site sale, service, and consumption of alcoholic beverages in the restaurant, bar, pool service, and in-room mini bar areas at the Hotel Indigo will be incidental to the primary hotel use and will be consistent with the elements and objectives of the General Plans. The “Downtown Specific Plan/Transitional District” land use designation is intended to provide an important transition between the high-density, mixed-use activity of Downtown Glendale and a higher density residential neighborhood to the west. In addition, a vibrant array of retail, service, office, and entertainment uses is also encouraged in the Downtown Specific Plan area in which the subject site is located. The Hotel Indigo, with incidental sale and service of alcoholic beverages, will be integral to the establishment of Downtown Glendale as a destination. Further, the primary hotel use will provide lodging for guests and patrons visiting Glendale. The on-site sale, service, and consumption of alcoholic beverages is appropriate in an area of the city zoned for mixed uses and will also be an enhancement of the lodging experience. No additional public or private improvements to comply with the Circulation Element of the General Plan are required for the incidental sale and service of alcoholic beverages at the subject site. Other elements of the General Plan such as Housing, Noise, Safety, and Recreation, will not be impacted by the request.

B. That the use and its associated structures and facilities will not be detrimental to the public health or safety, the general welfare, or the environment.

The request to sell and serve alcoholic beverages to hotel guests will not be detrimental to the public health or safety, the general welfare, or the environment. The on-site sale, service, and consumption of alcoholic beverages in the restaurant, bar, pool service, and in-room mini bar areas at the Hotel Indigo is incidental to the primary use of the subject site. The surrounding area includes a variety of commercial establishments and businesses, such as restaurant, retail, and office uses. Further, there are similar uses within the immediate area that have an ancillary alcoholic beverage component, and which do not appear to be detrimental to the public health or safety, the general welfare, or the environment.

The Hotel Indigo does not currently have an “active” or “pending” ABC License. However, according to the Glendale Police Department, the subject site is in census

tract 3018.01, where the suggested limit for on-site establishments is six. There are currently 18 on-site licenses in this tract. With the proposed hotel, the total number of on-site licenses will increase to 19 on-site establishments. However, the incidental sale and service of alcoholic beverages to hotel guests is unlikely to cause significant issues relating to public drunkenness or other alcohol-related crimes despite the overconcentration of on-site establishments.

Based on arrests and Part I crime statistics for census tract 3018.01 in 2023, there were 291 crimes, 8% under the city-wide average of 317. Within the last year, there were no calls for police service at the subject site. As noted above, the on-site sale, service, and consumption of alcoholic beverages in the restaurant, bar, pool service, and in-room mini bar areas at the Hotel Indigo is unlikely to pose or increase crime in the area. The Glendale Police Department did not cite any concerns about the proposed request as it relates to the number of establishments serving alcohol and to crime statistics.

C. That the use and facilities will not adversely affect or conflict with adjacent uses or impede the normal development of surrounding property.

The request to sell and serve alcoholic beverages to hotel guests will not adversely affect or conflict with adjacent uses or impede the normal development of surrounding property. The proposed Hotel Indigo is located in the DSP/TD zone which promotes a wide range of activities to maintain an active environment. The hotel will be the primary use of the subject site. As such, the sale and service of alcoholic beverages to hotel guests and patrons enhances the lodging experience and is ancillary to the primary hotel use.

There are several public and private facilities located within the immediate area of the subject site: Doran Mini-Park (<0.1 miles to the west); Columbus Elementary School (0.2 miles to the west); Glendale Church of the Brethren (0.3 miles to the west); Armenian Apostolic Saint Sarkis Church (0.4 miles to the southwest); First Baptist Church of Glendale (0.4 miles to the southeast); Glendale Community Church of God (0.5 miles to the southwest); Milford Mini-Park (0.5 miles to the west); and Allan F. Daily Continuation High School (0.5 miles to the southeast). While these facilities and uses are located within the immediate area, it is not anticipated that the on-site sale, service, and consumption of alcoholic beverages in the restaurant, bar, pool service, and mini-bar areas at the Hotel Indigo will adversely impact these adjacent uses. Further, while a multi-family residential use is located immediately south of the subject site, the request will be conditioned to ensure the operation will mitigate any potential adverse impacts on surrounding residents.

D. That adequate public and private facilities such as utilities, landscaping, parking spaces and traffic circulation measures are or will be provided for the proposed use.

The request to sell and serve alcoholic beverages to hotel guests will not result in

inadequate public and private facilities such as utilities, landscaping, parking spaces, and traffic circulation. This request does not propose to modify the site plan and design of the Hotel Indigo that was previously approved by the City Council. As part of the hotel development, the subject site will be fully improved with all necessary utilities. The subject site is also an infill project within an urban area that has existing gas, electricity, water, and sewer infrastructure and services. Glendale Water and Power did not cite any concerns relating to utility services and the request.

The subject site will be fully developed upon completion of the Hotel Indigo. Adequate landscaping, traffic circulation measures, and parking will also be provided in accordance with the Zoning Code and the Downtown Specific Plan. Further, it is not anticipated that this AUP will provide inadequate parking spaces and traffic circulation measures because the request is to allow the on-site sale, service, and consumption of alcoholic beverages as ancillary to the primary hotel use. North Central Avenue and West Doran Street are also designated as a Major Arterial street and an Urban Collector street, respectively, in the Circulation Element of the General Plan. Both adjacent streets are fully developed and are expected to accommodate any additional traffic impacts generated by the site and its users. In addition, the development will provide an additional parking space that exceeds the number of spaces required for the Hotel Indigo project. As such, the request to sell and serve alcoholic beverages to hotel guests will not result in inadequate public and private facilities.

REQUIRED ADDITIONAL FINDINGS OF FACT FOR AN AUP FOR ALCOHOL SALES, SERVICE AND CONSUMPTION:

That all the criteria set forth in Section 30.49.030 (E) to be considered in making the findings in subsection A. through D. above have all been met and thoroughly considered:

1. That where an existing or proposed on-site use is located in a census tract with more than the recommended maximum concentration of on-site uses or that where an existing or proposed off-site use is located in a census tract with more than the recommended maximum concentration of offsite uses, both as recommended by the California Department of Alcoholic Beverage Control, such use does not or will not tend to intensify or otherwise contribute to the adverse impacts on the surrounding area caused by such over concentration. While the request proposes to further exacerbate the recommended maximum concentration of on-site establishments in this census tract, the Glendale Police Department did not cite any concerns relating to the request.
2. That where the existing or proposed use is located in a crime reporting district with a crime rate which exceeds 20 percent of the city average for Part I crimes, as reported by the Glendale Police Department, such use does not or will not tend to encourage or intensify crime within the district. The project site is not located in a crime reporting district with a crime rate which exceeds 20 percent of the city

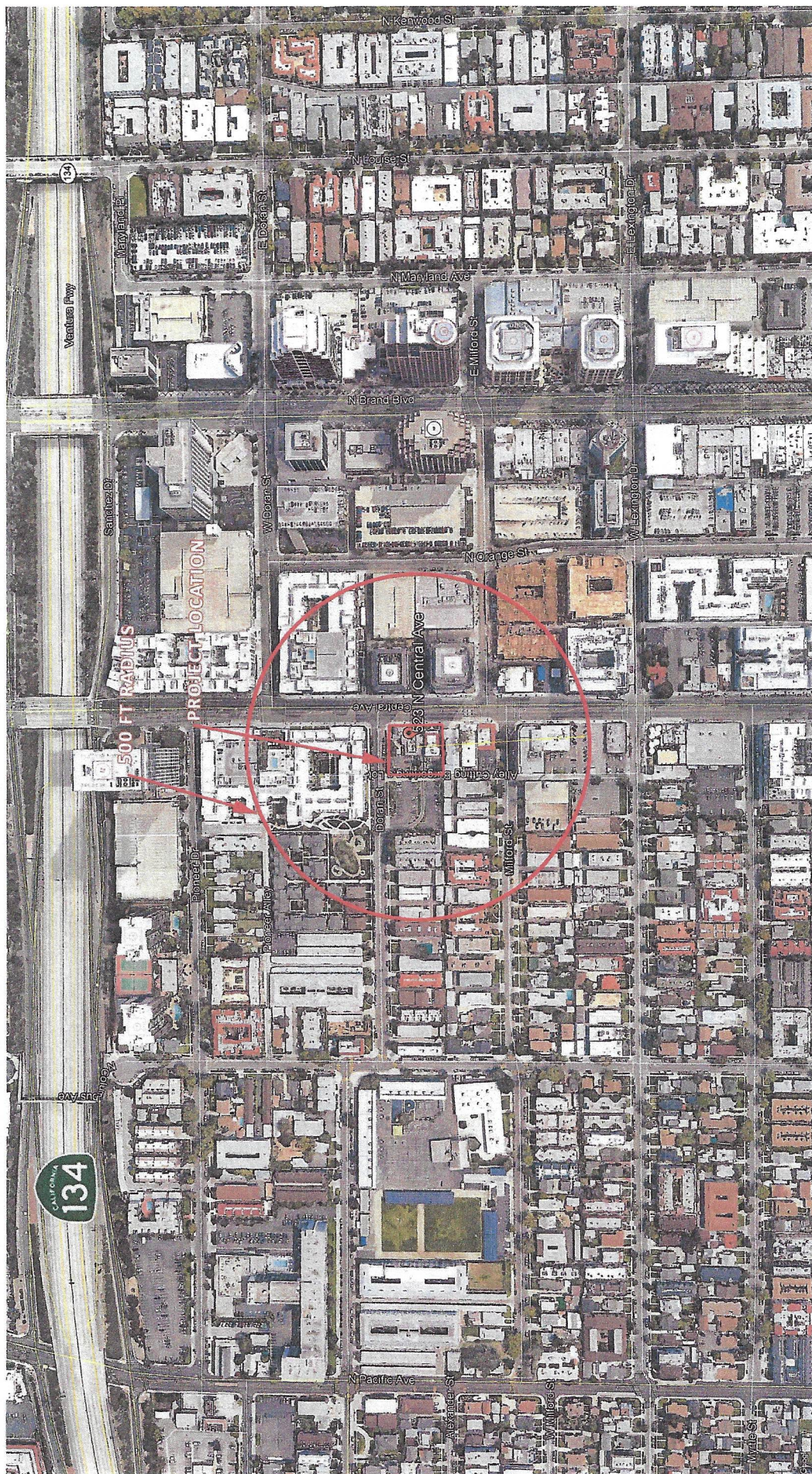
average for Part I crimes.

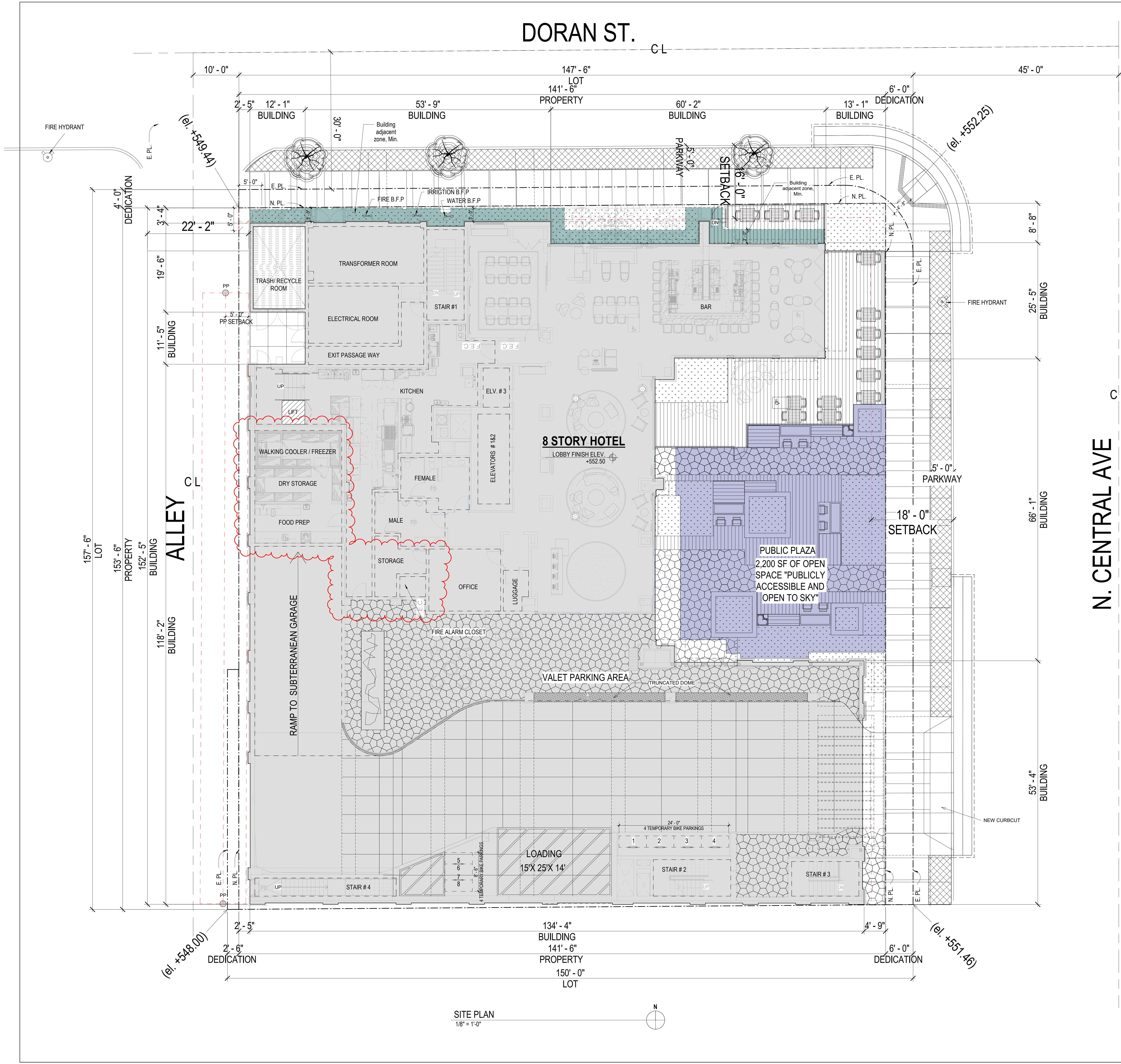
3. That the existing or proposed use does not or will not adversely impact any church, public or private school or college, day care facility, public park, library, hospital or residential use within the surrounding area. The proposed on-site sale, service, and consumption of alcoholic beverages in the restaurant, bar, pool service, and in-room mini bar areas are ancillary to the hotel use and are not anticipated to adversely impact any adjacent uses.
4. That adequate parking and loading facilities are or will be provided for the existing or proposed use, or other reasonable alternatives satisfy the transportation and parking needs of the existing or proposed use. The Hotel Indigo will provide the number of parking spaces required.
5. That notwithstanding consideration of the criteria in subsections 1. through 4. above, the existing or proposed use does or will serve a public necessity or provide public convenience purpose for the area. Conditions placed on the approval of the project will ensure that it will not adversely impact nearby businesses and residential uses.

For more information or to submit comments, please contact the case planner, Wyatt Berger, at 818-937-8171 or WBerger@glendaleca.gov.

ATTACHMENTS:

1. Location Map
2. Reduced Plans
3. Interdepartmental Comments





NOTES

1. FOR ALL GRADING, DRAINAGE, AND OFF-SITE IMPROVEMENTS, SEE APPROVED GRADING BG2104339

2. UPGRADE FIRE HYDRANT ON DORAN STREET, TO 2 1/2 X 4 X 4

PUBLIC WORKS ENGINEERING

-Land Development Section-

☒ Comments/Conditions

☐ No Comments

1. The project shall comply with all National Pollutant Discharge Elimination System (NPDES) requirements. In addition, the applicant shall submit a Low Impact Development (LID) drainage system to the Building and Safety Division for review and approval.

2. The applicant shall enter into a Covenant & Agreement with the City for the replacement, installation, and continued maintenance of all NPDES-related drainage devices on the property and granting inspection rights to the City.

3. The proposed sewer lateral connection(s) shall be of adequate size to accommodate the needs of the proposed development.

A sewage capacity increase fee in the amount of **\$25,251** will be assessed. The fee is based on the increase in sewage flow generated by the project compared to the sewage flow from the current use of the site.

4. The applicant shall dedicate to the City a portion of Lot 9, for alley use purposes, a strip of land **2.5-foot** wide. The newly dedicated alley shall be constructed to conform with a City standard City Alley Section.

5. The applicant shall dedicate to the City for street use purposes, a portion of the property at the northeast corner of the property, of sufficient area, in order to accommodate a minimum 4-foot access clearance between the existing ADA handicap ramp and property line.

6. The applicant shall dedicate to the City for street use purposes, a strip of land **6-foot** wide, for the entire frontage of the property along Central Avenue.

7. Remove all sidewalks and construct new parkway and sidewalk for the entire frontage of the property along Central Avenue in accordance with the Glendale Downtown Specific Plan.

8. The applicant shall dedicate to the City for street use purposes, a strip of land **4-foot** wide, for the entire frontage of the property along Doran Street.

9. Remove all sidewalks and construct new parkway and sidewalk for the entire frontage of the property along Doran Street in accordance with the Glendale Downtown Specific Plan.

10. All roof and on-site drainage shall be conveyed to the street via cast iron pipes and/or parkway drains from the property line and exiting through the curb.

11. Remove and reconstruct the alley apron on Doran Street.

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12. Remove all broken curb and gutter along the entire street frontages of the property and construct new concrete integral curb and gutter.

13. The proposed driveway apron shall be constructed per SPPWC Standard Plan No. 110-2. Any unused driveway apron shall be removed and replaced with new integral curb and gutter, sidewalk, landscaping, and irrigation as necessary.

14. Contact the City Arborist for review and approval of landscaping on the parkway.

15. The asphalt concrete roadway and concrete alley pavements within the vicinity of the properties will be inspected after the completion of the construction of the project. In the event of damage, as a result of construction-related activities, the applicant may be required to perform additional street/alley improvement repairs, up to the reconstruction of the pavements, at no cost to the City, and to the satisfaction of the Director of Public Works.

16. All existing street appurtenances including traffic striping, utilities, street signs, curb paintings, landscaping, and tree wells within the public right-of-way that were damaged, removed, or relocated during construction shall be restored to the satisfaction of the Director of Public Works.

17. The applicant shall bear all costs involved in the relocation/reconstruction and/or adjustment to new finished grade of all utilities (underground and overhead) within the public right-of-way that may be affected by the project. The applicant shall coordinate all such work with the respective utility owners.

18. Separate permits are required for all work within the public-right-of-way. All applicable construction work shall conform to the SPPWC manual. The applicant shall bear all fees for the necessary permits and construction inspections for work within the public right-of-way.


19. Traffic comments shall be provided separately.

20. Additional requirements may apply after the initial submittal of the final engineering plans for building plan checking.

Case No.: **None provided**

Address: **523 N. Central Avenue (Proposed Hotel Indigo)**

Case Planner: **Mark Berry/Vista Ezzati**

Signature:  Date: **3/20/2020**

Yazdan T. Emrani, P.E.
Director of Public Works

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LEGEND

N. PL

NEW PROPERTY LINE

E. PL

EXISTING PROPERTY LINE

URBAN DESIGN SPECIALISTS

4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292

TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

HOTEL INDIGO

122-ROOM HOTEL

515 N. CENTRAL AVENUE

GLENDALE, CA 91203

DEVELOPER: VK GROUP

700 N. BRAND BLVD,

SUITE 600

GLENDALE, CA 91203

ARCHITECT

YASDAN T. EMRANI

No. C21065

Rev. 11/20/20

STATE OF CALIFORNIA

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SUBMITTAL

1ST PLAN CHECK SUBMITTAL 3-15-21

2ND PLAN CHECK SUBMITTAL 3-30-21

CONSTRUCTION BID SET 11-01-21

3RD PLAN CHECK SUBMITTAL 12-15-21

4TH PLAN CHECK SUBMITTAL 4-1-22

JOB NUMBER:

DATE

REVISIONS:

Pool / 1st kitchen / bath

08-15-23

4 Plan changes

Date 4

SHEET TITLE:

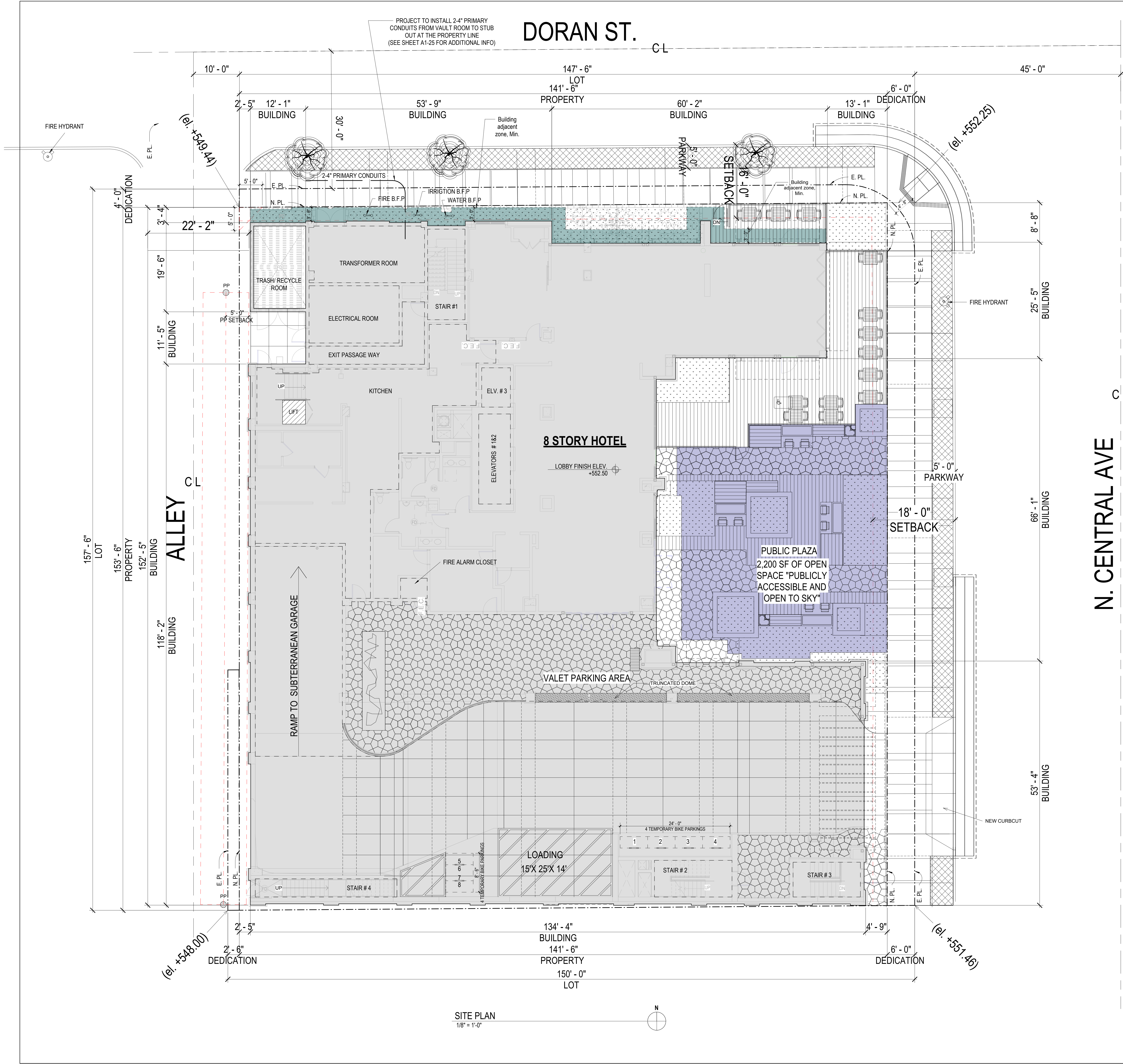
SITE PLAN

SHEET NUMBER:

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NOTES

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5. The applicant shall dedicate to the City for street use purposes, a portion of the property at the northeast corner of the property, of sufficient area, in order to accommodate a minimum 4-foot access clearance between the existing ADA handicap ramp and property line.

6. The applicant shall dedicate to the City for street use purposes, a strip of land **6-foot** wide, for the entire frontage of the property along Central Avenue.

7. Remove all sidewalks and construct new parkway and sidewalk for the entire frontage of the property along Central Avenue in accordance with the Glendale Downtown Specific Plan.

8. The applicant shall dedicate to the City for street use purposes, a strip of land **4-foot** wide, for the entire frontage of the property along Doran Street.

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17. The applicant shall bear all costs involved in the relocation/reconstruction and/or adjustment to new finished grade of all utilities (underground and overhead) within the public right-of-way that may be affected by the project. The applicant shall coordinate all such work with the respective utility owners.

18. Separate permits are required for all work within the public-right-of-way. All applicable construction work shall conform to the SPPWC manual. The applicant shall bear all fees for the necessary permits and construction inspections for work within the public right-of-way.


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Case No.: **None provided**

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Case Planner: **Mark Berry/Vista Ezzati**

Signature:  Date: **3/20/2020**

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08-15-23

2. Plan changes

06-14-24

3. Added Floor Area

07-24-24

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A2-1

2/14/2025 2:01:26 PM

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ZONING NOTES

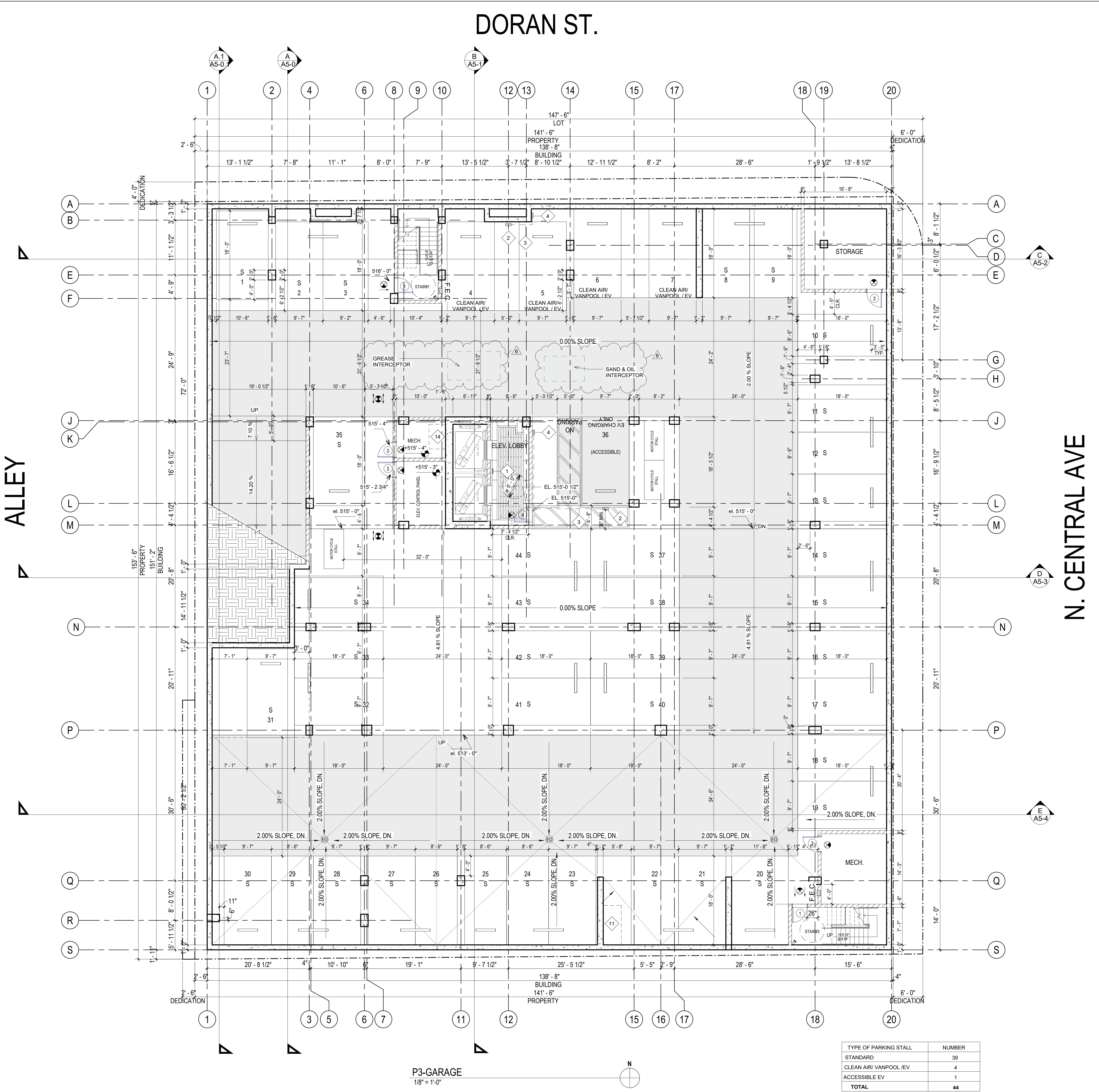
a. On June 9, 2020 the Glendale City Council approved the Stage II Design for this project with conditions. This plan has been given a Design Review approval and must be constructed in conformance with these approved plans. ANY deviation from the plans is at the discretion of and must be approved by the Glendale City Council as Design Review authority, or Design Review staff PRIOR to construction or installation. ANY changes without prior approval are at the owner's/ builder's risk and will be required to be corrected prior to occupancy.

b. The project shall also comply with Administrative Exception Case No. PAE 2118587 as it relates to the building height.

c. The proposed Publicly Accessible Open Space area shall comply with the provisions of the DSP, including Section 5.4.1 which specifies required standards for size, accessibility, materials, landscaping, and amenities.

d. No other approvals are granted. Any construction or land use contradictory to the Glendale Municipal Code and Downtown Specific Plan is not approved by this permit.

e. Signage shall require a separate building permit, and if proposed for more than one (1) tenant on-site, a sign program shall also be required in accordance with GMC 30.33.220.



- NOTES**
- ALL DIMENSIONS ARE TO FACE OF STUD / CONCRETE / CMU, UNLESS NOTED OTHERWISE
 - ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
 - ALL DIMENSIONS INDICATED AS "BUILDING" OR "SETBACK" ARE FROM FINISH TO FINISH.
 - EXHAUST LOUVERS TO BE MIN 3'-0" AWAY FROM OUTSIDE AIR INLETS
 - CONTROL JOINTS AT MAX 144SF AND 12'-0" OC
 - ALL UNIT MECHANICAL EXHAUST PENETRATIONS THROUGH WALLS SHALL TERMINATE WITH SEIHO ALUMINUM VENT CAPS
 - GARAGE HEADROOM CLEARANCE MUST BE MINIMUM 7'-0", UNLESS NOTED OTHERWISE
 - GARAGE HEADROOM CLEARANCE MUST BE MINIMUM 8'-2", FOR ACCESSIBLE STALLS AND THEIR ACCESS DRIVEWAY
 - EXIT DOORS AND GRILLS SHALL BE OPENABLE FROM WITHIN WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE SPACE IS OCCUPIED. (1010.1.4.4 & 1010.9.3 #2 CBC)
 - LIGHTING AND MECHANICAL FIXTURES MUST BE SUPPORTED BY ADDITIONAL INDEPENDENT NO.12 GAUGE WIRES ATTACHED TO EACH CORNER OF FIXTURE. (ASCE 7-16 SECTION 1.5.6, ASTM)
 - FIRE/SMOKE DAMPERS ARE REQUIRED, WHEN DUCTS PENETRATING RATED CORRIDOR WALLS
 - A CALIFORNIA PERMIT IS REQUIRED FOR ELEVATORS OR WHEELCHAIR LIFTS. THIS MAYBE OBTAINED FROM THE THE STATE DIVISION OF OCCUPATIONAL SAFETY & HEALTH -CAL OSHA ELEVATOR UNIT. CALL (626) 471-6911

KEYNOTES

1	TWO WAY COMMUNICATION SYSTEM, PER CBC 1009.8
2	FUTURE ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE)
3	RACEWAY
4	SERVICE PANEL
5	F.D.C (FIRE DEPARTMENT CONNECTION) PROVIDE A SIX FOOT CLEAR PATHWAY FROM FDC TO SIDEWALK. FDC AND ALL OTHER UTILITY BOXES SHALL BE STAINLESS STEEL AND WALL MOUNTED, PER SECTION 4.2.21 OF DSP
6	BACK FLOW PREVENTER (SEE CIVIL DRAWINGS)
7	FIRE SPRINKLER RISER
8	FIRE ALARM CONTROL PANEL & SPRINKLER SHUT-OFF
9	PROPOSED LOCATION FOR GAS METER. FINAL LOCATION TO BE DETERMINED BY GAS COMPANY.
10	KNOX BOX - CITY OF GLENDALE 3200 SERIES NOTE: GENERAL CONTRACTOR SHALL ORDER THE KNOX BOX EITHER AT THE FIRE DEPARTMENT COUNTER OR ONLINE AT WWW.KNOXBOX.COM NOTE: KNOX BOX SHOULD BE RECESSED INTO THE WALL
11	GARAGE EXHAUST
12	GENERATOR IN-TAKE AIR
13	GENERATOR VENT
14	BUILDING IN-TAKE AIR
15	GENERATOR REMOTE FILL STATION
16	TRUNCATED DOME (YELLOW COLOR)
17	36" HIGH MTL BARRIER, PER ABC (ALCOHOLIC BEVERAGE CONTROL). SEE LANDSCAPE FOR DETAIL
18	GFRG WALL BASE
19	6" DIA. 42" HIGH METAL BOLLARD
20	12" SQUARE. 36" TALL CONCRETE COLUMN BASE
21	STOP SIGN PER GMC 30.32.100. G.
23	VENT PIPES FROM GENERATOR RM (SEE GENERATOR DWG)

LEGEND

	2-HR FIRE RATED CMU WALL. SEE ENLARGED FLOOR PLANS / DETAILS FOR DIM. AND THICK.
	3-HR FIRE RATED LOAD BEARING CONCRETE WALL/ COLUMN. SEE STRUCTURAL FOR DIM. AND THICK.
	EMERGENCY DRAIN, SLOPE TO DRAIN
	EXIT SIGN
	STANDPIPE
	8'-2" MIN. HEIGHT CLEARANCE
	F.E.C. FIRE EXTINGUISHER CABINET.
	DOOR TAG, SEE SHEET A6-0
	WALL TAG
	KEYNOTE TAG

TYPE OF PARKING STALL

TYPE OF PARKING STALL	NUMBER
STANDARD	39
CLEAN AIR/ VANPOOL /EV	4
ACCESSIBLE EV	1
TOTAL	44

URBAN DESIGN SPECIALISTS
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

HOTEL INDIGO
122-ROOM HOTEL
515 N. CENTRAL AVENUE
GLENDALE, CA 91203

DEVELOPER: VK GROUP
700 N. BRAND BLVD,
SUITE 600
GLENDALE, CA 91203

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SUBMITTAL
1ST PLAN CHECK SUBMITTAL: 3-15-21
2ND PLAN CHECK SUBMITTAL: 9-30-21
CONSTRUCTION BID SET: 11-01-21
3RD PLAN CHECK SUBMITTAL: 12-15-21
4TH PLAN CHECK SUBMITTAL: 4-1-22
JOB NUMBER:

DATE:

REVISIONS:

Pool / 1st kitchen / bath	08-15-23
Plan changes	06-14-24
Plan changes	11-15-24

SHEET TITLE:
P3-GARAGE PLAN

SHEET NUMBER:
A3-1
2/14/2025 2:01:31 PM

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ZONING NOTES

a. On June 9, 2020 the Glendale City Council approved the Stage II Design for this project with conditions. This plan has been given a Design Review approval and must be constructed in conformance with these approved plans. ANY deviation from the plans is at the discretion of and must be approved by the Glendale City Council as Design Review authority, or Design Review staff PRIOR to construction or installation. ANY changes without prior approval are at the owner's/ builder's risk and will be required to be corrected prior to occupancy.

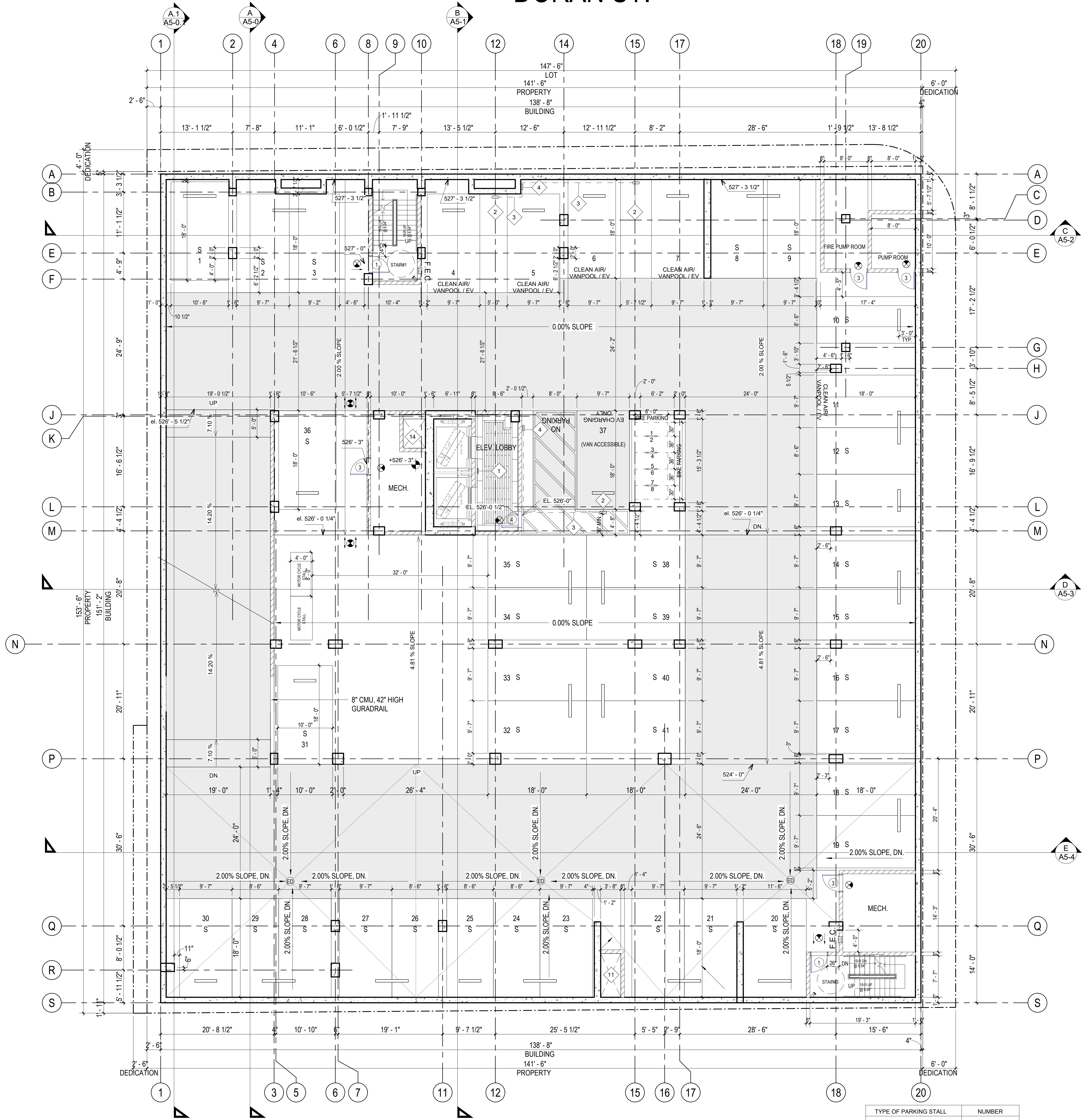
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ALLEY



P2-GARAGE
1/8" = 1'-0"

TYPE OF PARKING STALL	NUMBER
STANDARD	35
CLEAN AIR/ VANPOOL /EV	5
VAN ACCESSIBLE EV	1
TOTAL	41

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GLENDALE, CA 91203

DEVELOPER: VK GROUP
700 N. BRAND BLVD,
SUITE 600
GLENDALE, CA 91203

DATE: 08-15-23
REVISIONS:
1. Pool / 1st kitchen / bath 08-15-23
2. Plan changes 06-14-24

SHEET TITLE:
P2-GARAGE PLAN

SHEET NUMBER:
A3-2
2/14/2025 2:05:26 PM

100% ARCHITECT
URBAN DESIGN SPECIALISTS
No. C21005
Rev. 1/23/23
STATE OF CALIFORNIA

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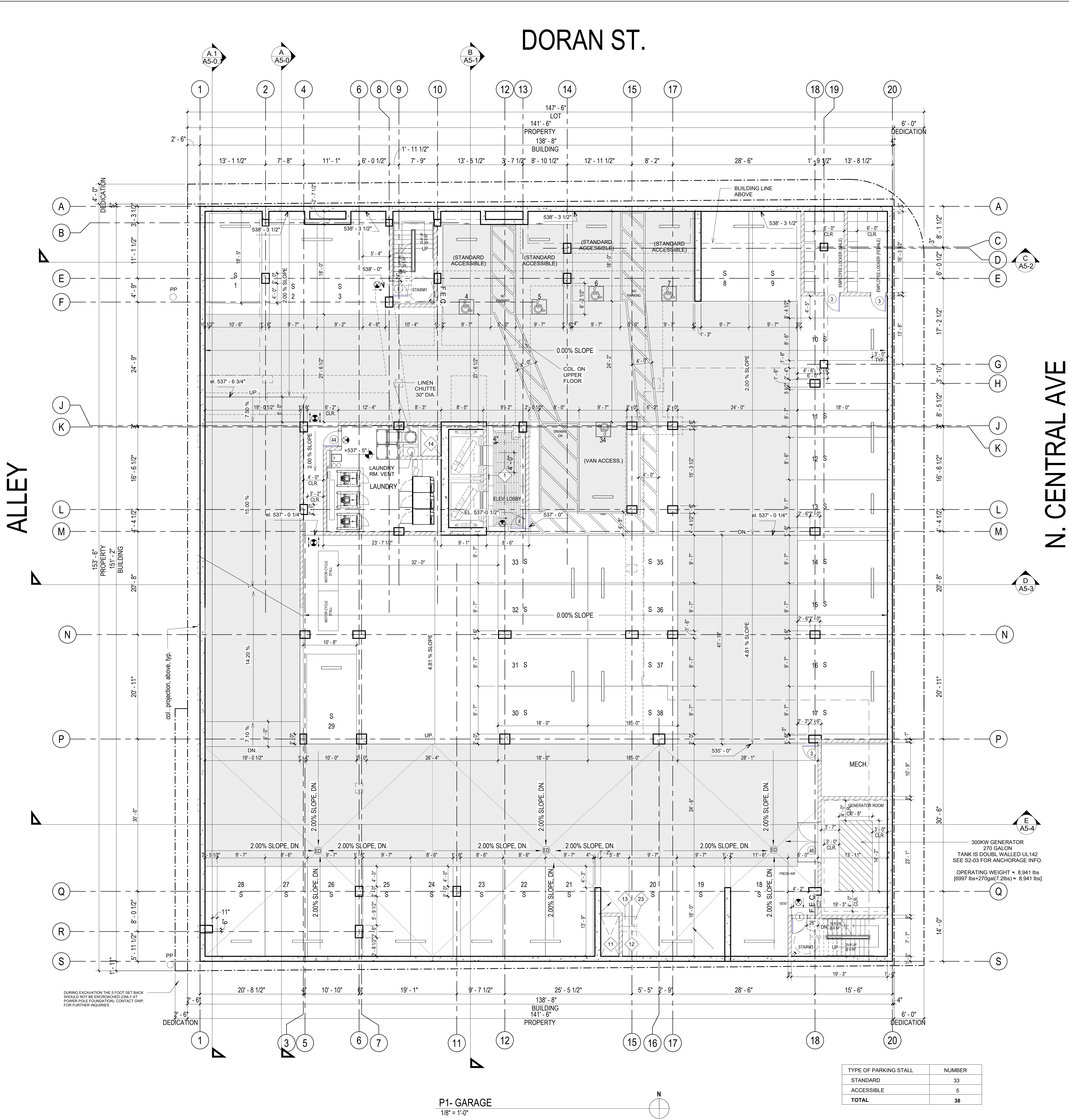
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P1-GARAGE PLAN

A3-3

2/14/2025 2:05:29 PM

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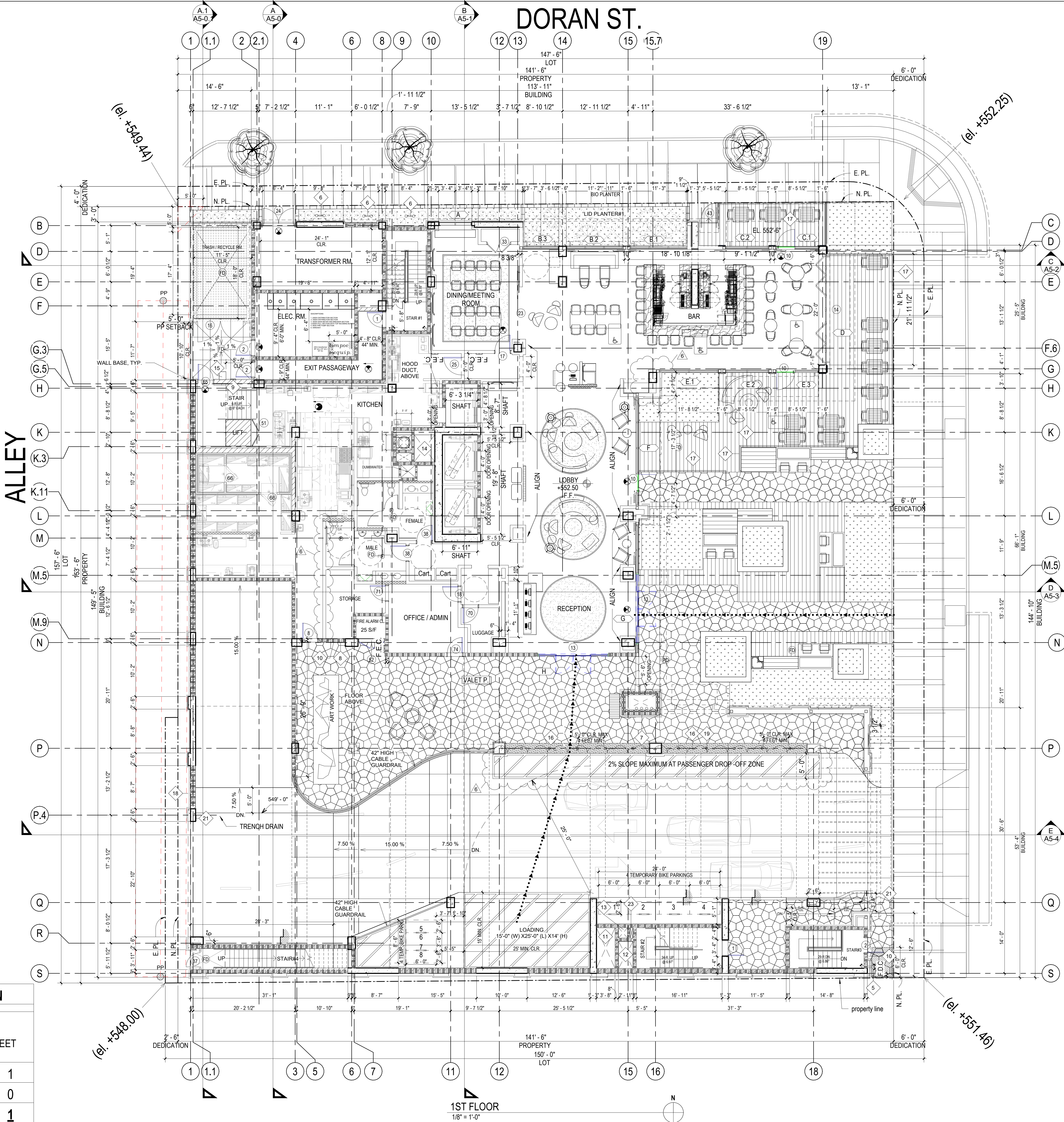
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LOADING AREA CALCULATION	
REQUIRED PER TABLE 30.32-C OF GMC MINIMUM DIMENSION OF (15) FEET BY (25) FEET BY (14) FEET HEIGHT	
HOTELS, (50,001-200,000 S/F)	1
RESTAURANTS, (0 - 12,500 S/F)	0
TOTAL REQUIRED	1
SEE FLOOR AREA CALCULATION ON SHEETS A1-10, A1-11	
TOTAL PROVIDED (15) FEET BY (25) FEET BY (14) HEIGHT	1



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	FLOOR DRAIN
	PLANTER DRAIN
	EXIT SIGN
	CLASS-1 STANDPIPE
	DOOR TAG, SEE SHEET A6-0
	STOREFRONT TAG, SEE SHEET A6-1
	STOREFRONT TAG AT 1ST FLOOR, SEE SHEET A6-2
	WALL TAG
	KEYNOTE TAG
	GUESTROOMS WITH COMM & VISIBLE ALARM FEATURE
	MOBILITY GUESTROOMS
	MOBILITY GUESTROOM, WITH COMMUNICATION FEATURES & VISIBLE ALARM FEATURES
	ACCESSIBLE PATH OF TRAVEL
	FIRE EXTINGUISHER CABINET
	3-HOUR FIRE RATED WALL, (SEE LSP-7 TO LSP -14 FOR JUSTIFICATION)
	2-HOUR FIRE RATED WALL, (SEE LSP-7 TO LSP -14 FOR JUSTIFICATION)
	1-HOUR FIRE RATED WALL, (SEE LSP-7 TO LSP -14 FOR JUSTIFICATION)
	SPRINKLER HEAD
	HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP
	HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP. SMOKE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.
	FAN / VENTILATION 1. ENERGY STAR COMPLIANT 2. DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING 3. CONTROL BY HUMIDITY CONTROLLER

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REGISTERED ARCHITECT
VINAY SINGH KHIMPA
No. C21065
Exp. 11/29/23
STATE OF CALIFORNIA

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SHEET TITLE:
1ST FLOOR PLAN

SHEET NUMBER:
A3-4

2/14/2025 2:01:52 PM

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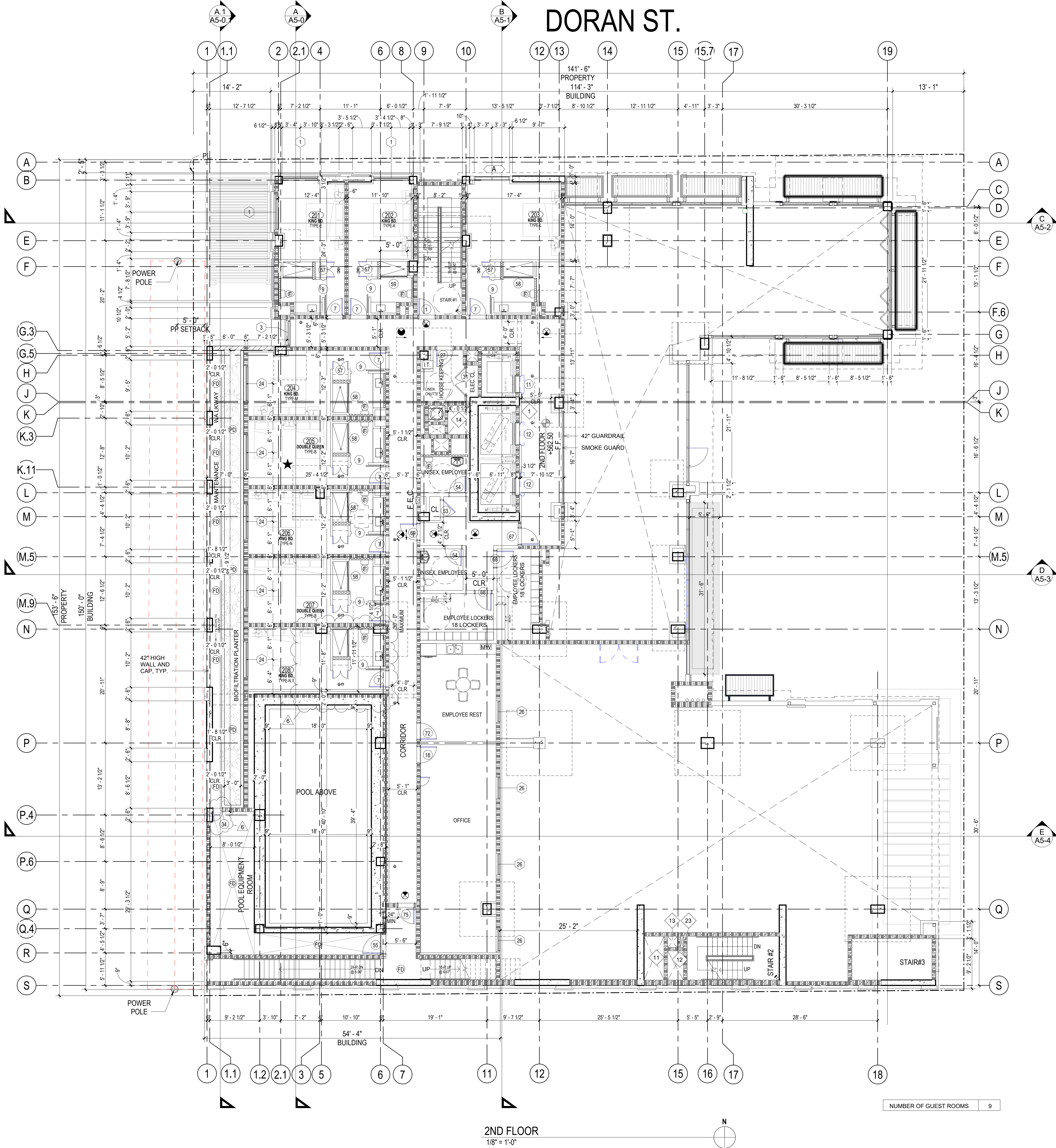
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ALLEY



2ND FLOOR
1/8" = 1'-0"

NUMBER OF GUEST ROOMS 9

NOTES	
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122-ROOM HOTEL
515 N. CENTRAL AVENUE
GLENDALE, CA 91203

DEVELOPER: VK GROUP
700 N. BRAND BLVD,
SUITE 600
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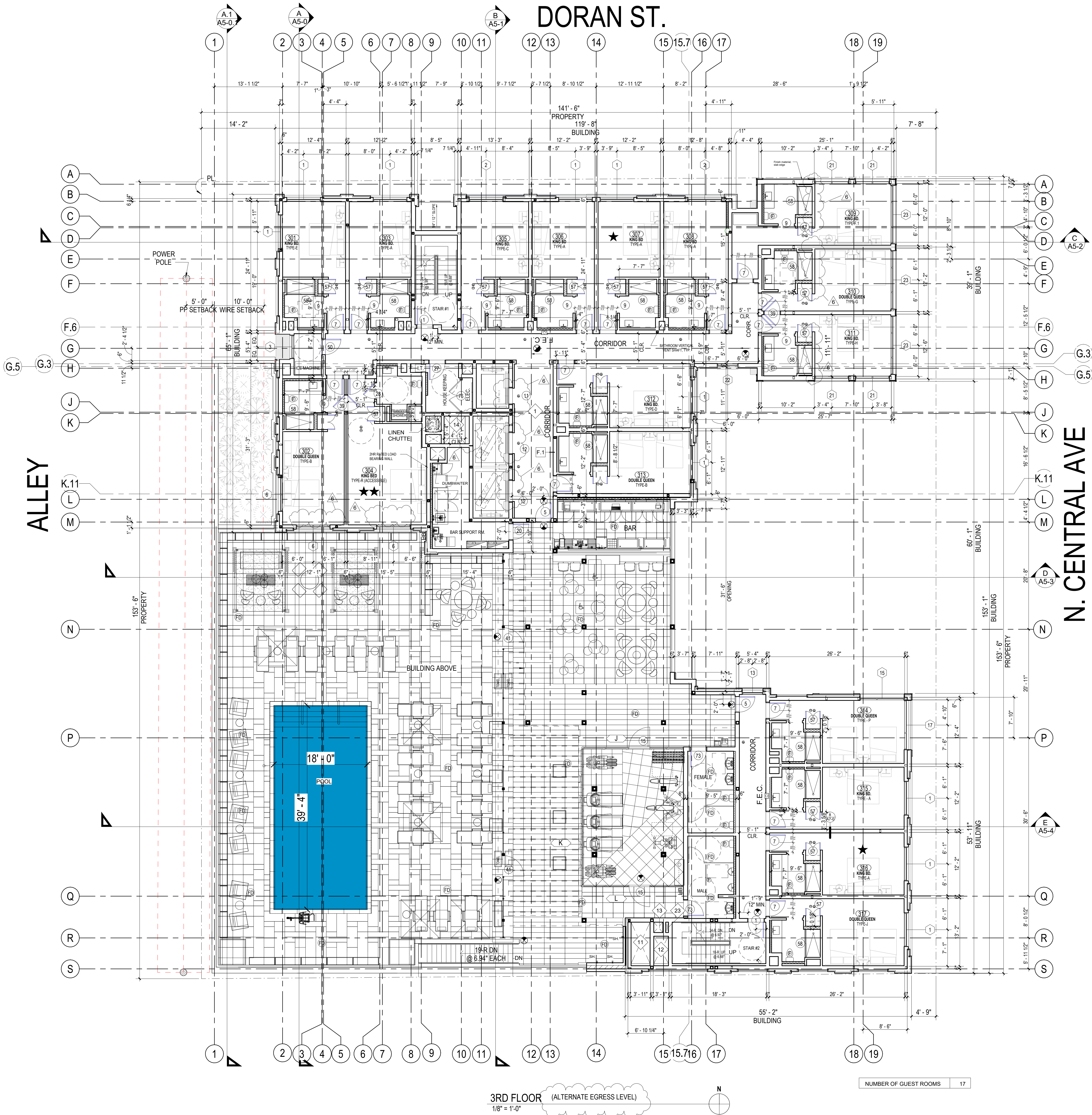
SHEET TITLE:
2ND FLOOR PLAN

SHEET NUMBER:
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100% ARCHITECT
V. SINGH ARCHITECTS
No. C21065
Exp. 11/29/23
STATE OF CALIFORNIA

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SHEET TITLE:
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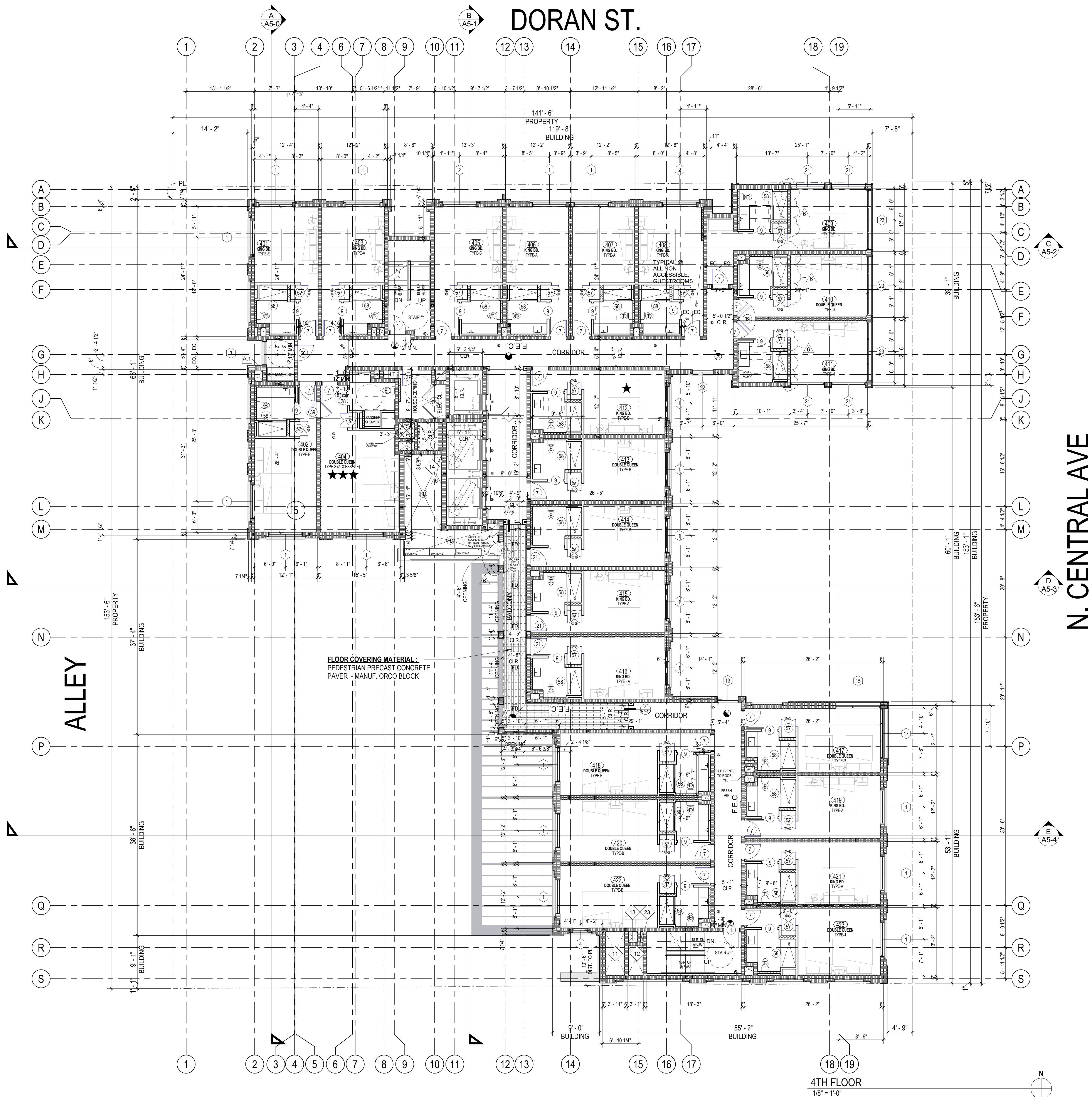
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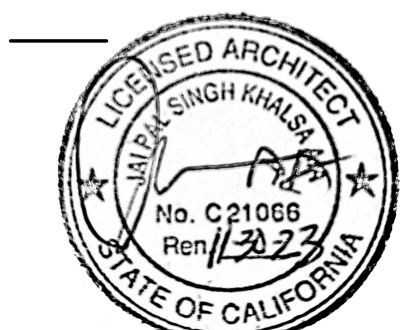
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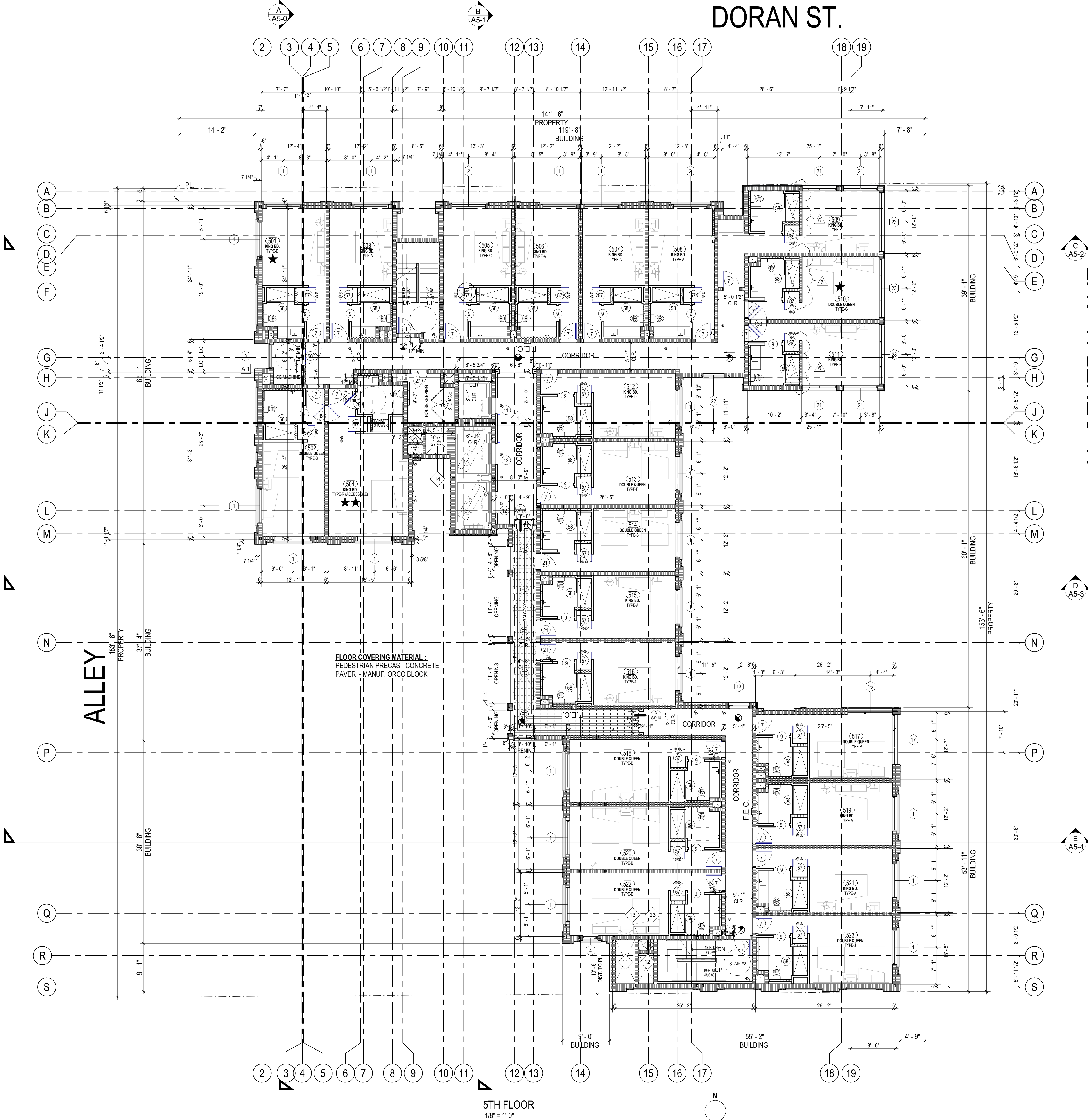
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4TH FLOOR
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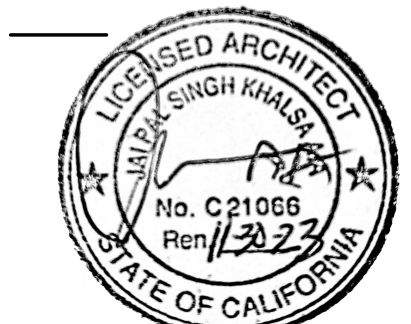
LEGEND

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| | CMU WALL, SEE ENLARGED FLOOR PLANS / DETAILS FOR DIMENSION AND THICKNESS |
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122-ROOM HOTEL
515 N. CENTRAL AVENUE
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DEVELOPER: VK GROUP
700 N. BRAND BLVD,
SUITE 600
GLENDALE, CA 91203



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CONSTRUCTION BID SET, 11-31-21
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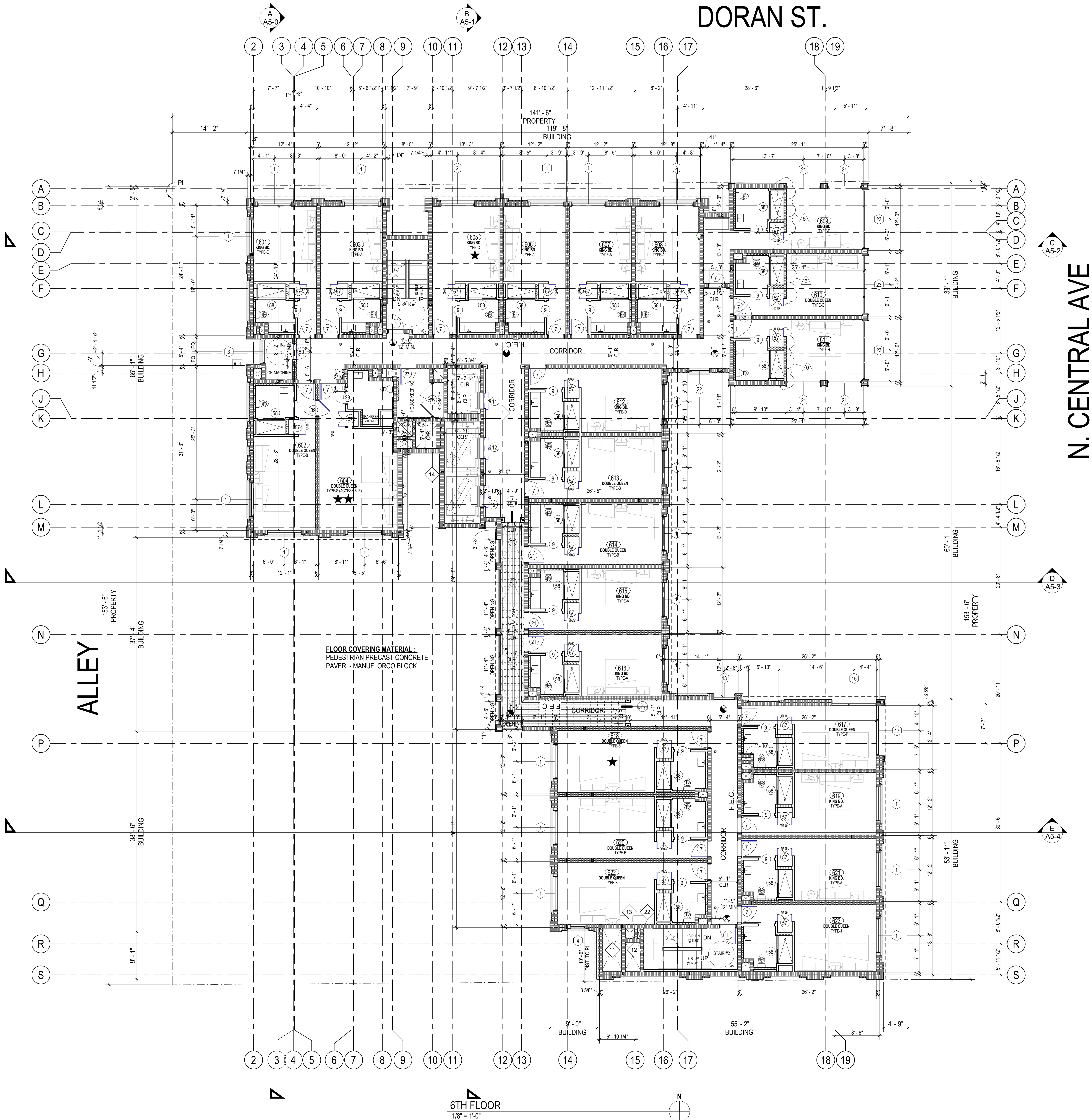
SHEET TITLE:
5TH FLOOR
PLAN

SHEET NUMBER:
A3-8

2/14/2025 2:02:14 PM

ZONING NOTES

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- b. The project shall also comply with Administrative Exception Case No. PAE 2118587 as it relates to the building height.
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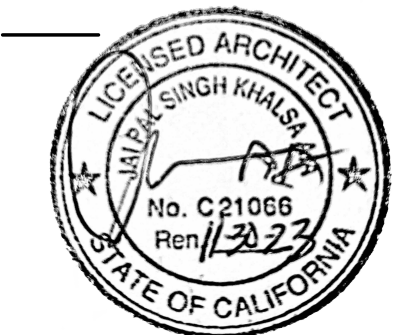
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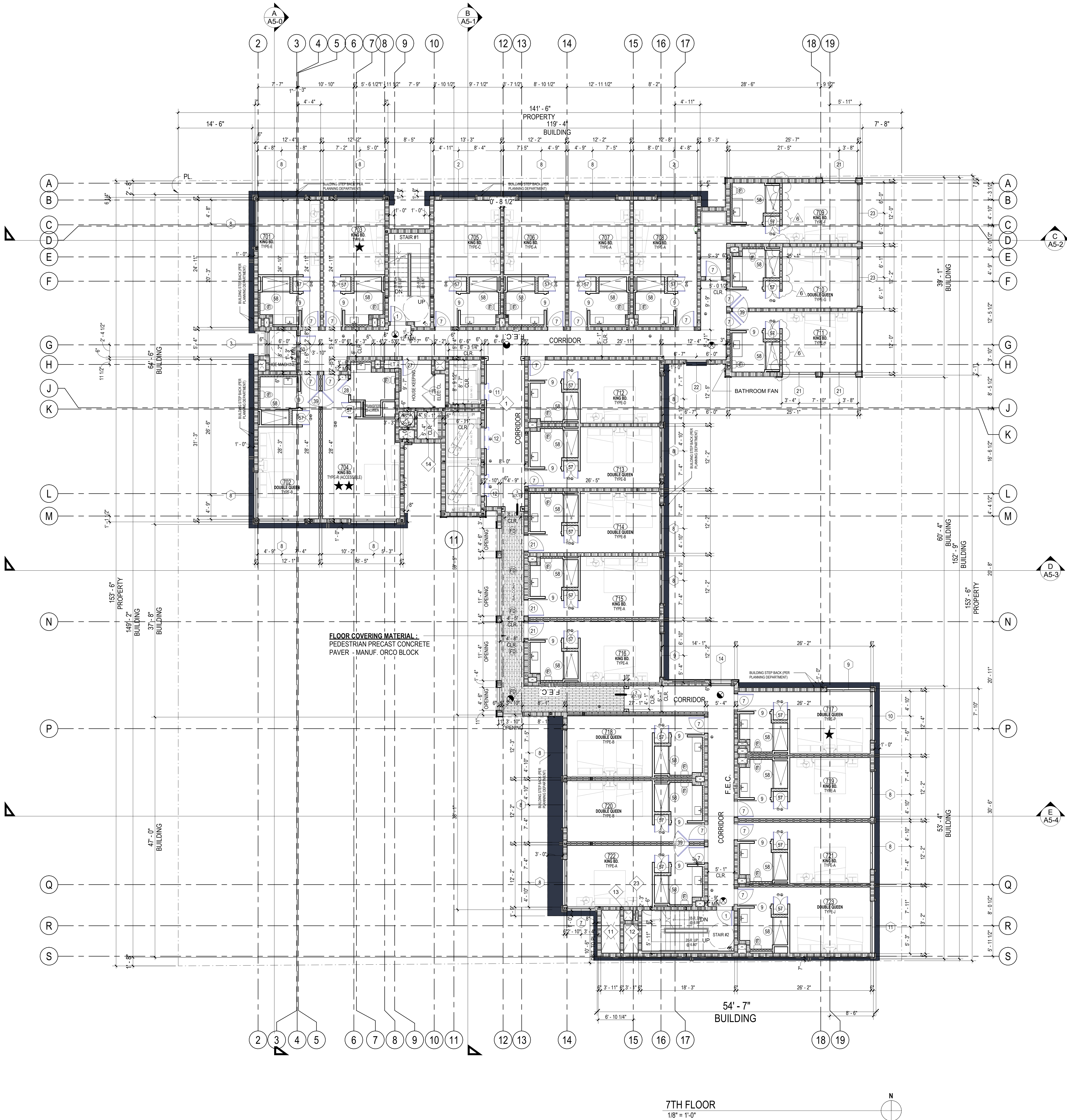
SHEET TITLE:
6TH FLOOR
PLAN

SHEET NUMBER:
A3-9

2/14/2025 2:02:19 PM

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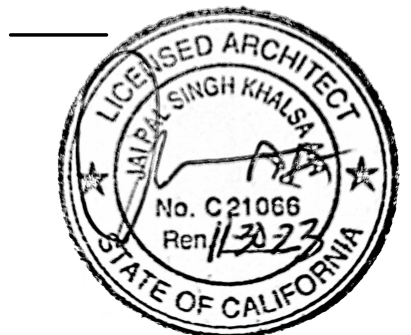
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REVISIONS:
1. Plan changes 06-14-24
6. Plan changes 11-15-24

SHEET TITLE:
7TH FLOOR
PLAN

SHEET NUMBER:
A3-10
2/14/2025 2:01:36 PM

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**ONLINE CERTIFICATIONS DIRECTORY**

Page Bottom

See General Information for Roofing Systems

BISON INNOVATIVE PRODUCTS, A UNITED CONSTRUCTION PRODUCTS COMPANY
2395 West 4th Ave
Denver, CO 80223 USA

TGFR.R38623
Roofing Systems

Class A - Ballasted
Incline: 1
Surfacing: — Concrete, natural stone, porcelain or ceramic pavers weighing 10 lb/ft/sq (minimum) and spaced 3/16 in., (maximum) apart placed on pedestals identified as Bison "Versajust", "Level-It", "Screwjack" or "Low Height".
Maintenance & Repair

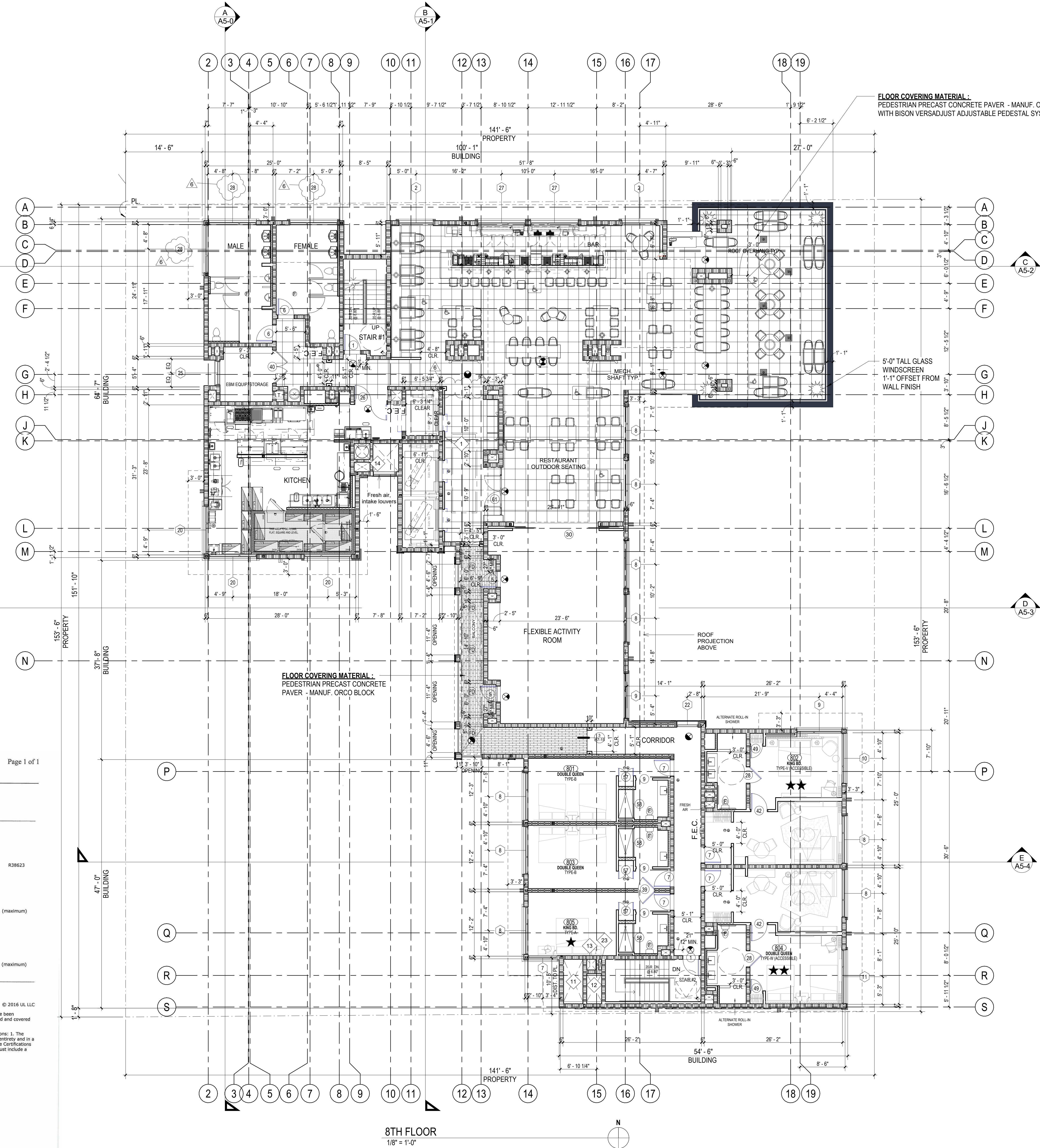
Class A
Incline: 1
Existing Roof Systems: — Any Class A, B or C covered with:
Surfacing: — Concrete, natural stone, porcelain or ceramic pavers weighing 10 lb/ft/sq (minimum) and spaced 3/16 in., (maximum) apart placed on pedestals identified as Bison "Versajust", "Level-It", "Screwjack" or "Low Height".
Last Updated on 2016-01-25

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JOB NUMBER:

DATE:

REVISIONS:

1	Pool / 1st kitchen / bath	08-15-23
2	Plan changes	06-14-24
3	Plan changes	11-15-24

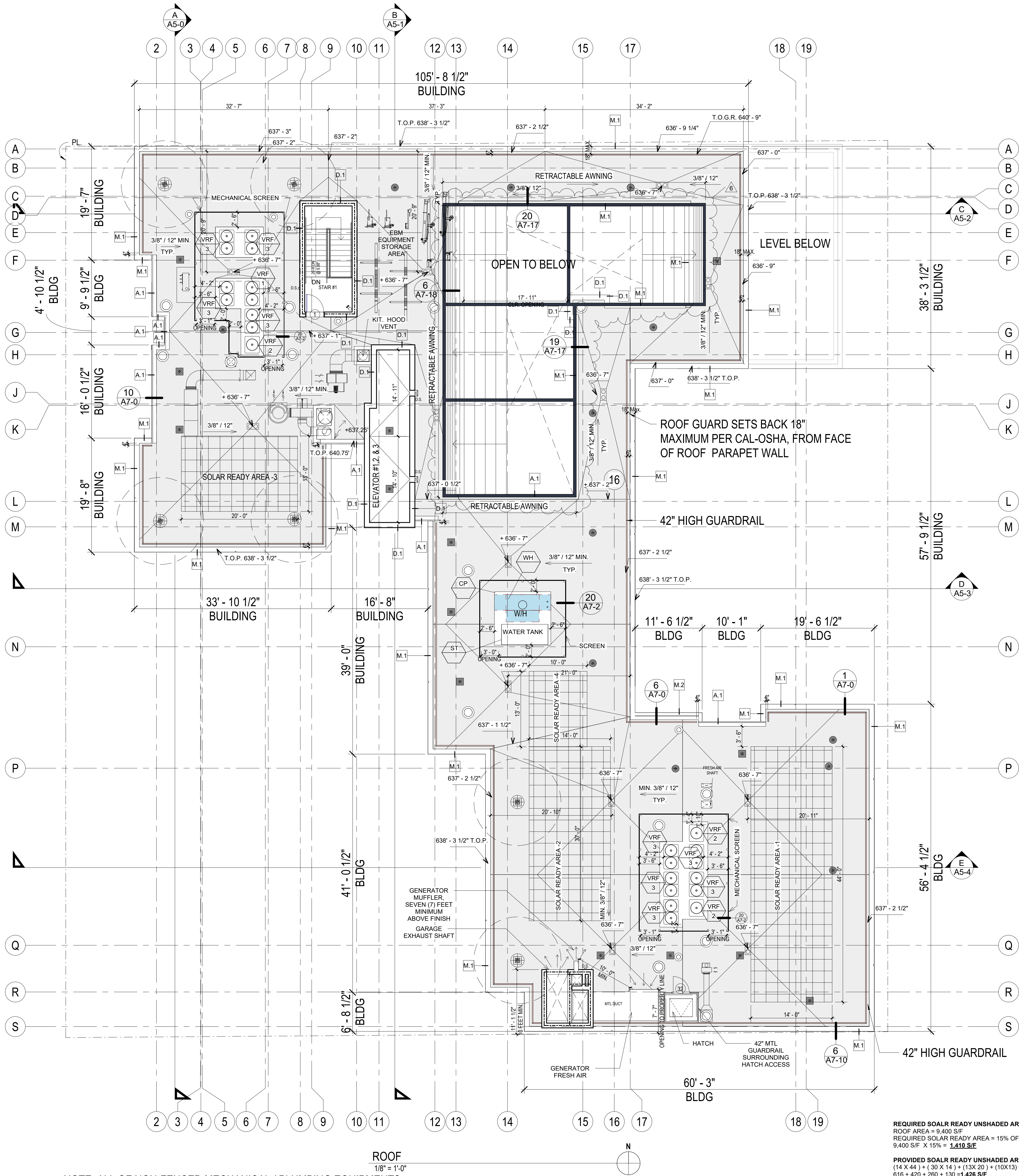
SHEET TITLE:
8TH FLOOR PLAN

SHEET NUMBER:
A3-11
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ZONING NOTES

- a. On June 9, 2020 the Glendale City Council approved the Stage II Design for this project with conditions. This plan has been given a Design Review approval and must be constructed in conformance with these approved plans. ANY deviation from the plans is at the discretion of and must be approved by the Glendale City Council as Design Review authority, or Design Review staff PRIOR to construction or installation. ANY changes without prior approval are at the owner's/ builder's risk and will be required to be corrected prior to occupancy.
- b. The project shall also comply with Administrative Exception Case No. PAE 2118587 as it relates to the building height.
- c. The proposed Publicly Accessible Open Space area shall comply with the provisions of the DSP, including Section 5.4.1 which specifies required standards for size, accessibility, materials, landscaping, and amenities.
- d. No other approvals are granted. Any construction or land use contradictory to the Glendale Municipal Code and Downtown Specific Plan is not approved by this permit.
- e. Signage shall require a separate building permit, and if proposed for more than one (1) tenant on-site, a sign program shall also be required in accordance with GMC 30.33.220.



NOTES

- 1 -ALL DIMENSIONS ARE TO FACE OF STUD / CONCRETE / CMU, UNLESS NOTED OTHERWISE
- 2 -ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- 3 -ALL DIMENSIONS INDICATED AS "BUILDING" OR "SETBACK" ARE FROM FINISH TO FINISH.
- 4 -EXHAUST LOUVERS TO BE MIN 3'-0" AWAY FROM OUTSIDE AIR INLETS
- 5 -CONTROL JOINTS AT MAX 144SF AND 12'-0" OC
- 6 -ALL UNIT MECHANICAL EXHAUST PENETRATIONS THROUGH WALLS SHALL TERMINATE WITH SEIHO ALUMINUM VENT CAPS
- 7 -GARAGE HEADROOM CLEARANCE MUST BE MINIMUM 7'-0", UNLESS NOTED OTHERWISE
- 8 -GARAGE HEADROOM CLEARANCE MUST BE MINIMUM 8'-2", FOR ACCESSIBLE STALLS AND THEIR ACCESS DRIVEWAY
- 9 -EXIT DOORS AND GRILLS SHALL BE OPENABLE FROM WITHIN WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE SPACE IS OCCUPIED. (1010.1.4.4 & 1010.9.3 #2 CBC)
- 10 -LIGHTING AND MECHANICAL FIXTURES MUST BE SUPPORTED BY ADDITIONAL INDEPENDENT NO.12 GAUGE WIRES ATTACHED TO EACH CORNER OF FIXTURE. (ASCE 7-16 SECTION 13.5.6, ASTM)
- 11 -FIRE/SMOKE DAMPERS ARE REQUIRED, WHEN DUCTS PENETRATING RATED CORRIDOR WALLS
- 12 -A CAL/OSHA PERMIT IS REQUIRED FOR ELEVATORS OR WHEELCHAIR LIFTS. THIS MAYBE OBTAINED FROM THE THE STATE DIVISION OF OCCUPATIONAL SAFETY & HEALTH -CAL OSHA ELEVATOR UNIT. CALL (626) 471-6911

ROOFING MATERIAL

CLASS "A" MINIMUM

TYPE OF ROOFING: PVC, SINGLE PLY

MANUFACTURER: SIKA

PRODUCT: SARNAFIL G410 FELTBACK

COLOR: BRIGHT WHITE

LADBS RESEARCH REPORT: RR24852

LADBS CSI # 07540

EQUIPMENT OPERATING WEIGHT

OPERATING WEIGHT	
WH	1300 LBS, (PER SHEET P1.0)
ST	2000 LBS, (PER SHEET P1.0)
CP	35 LBS, (PER SHEET P1.0)
VRF 1	425.5 LBS, (PER SHEET M1.0)
VRF 2	535.3 LBS, (PER SHEET M1.0)
VRF 3	535.3 LBS, (PER SHEET M1.0)

LEGEND

- BATHROOM FAN, SEE MECHANICAL
- ROOF DRAIN AND OVERFLOW
- STAND PIPE
- SOLAR PANEL READY UNSHADED AREA, FOR FUTURE
- AIR CONDITIONING UNIT, SEE MECHANICAL FOR SIZES
- ROOF HATCH ACCESS
- WALL TAG, SEE WALL TYPE SHEETS A7-0, A7-0.1

URBAN DESIGN SPECIALISTS

4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292

TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

HOTEL INDIGO

122-ROOM HOTEL

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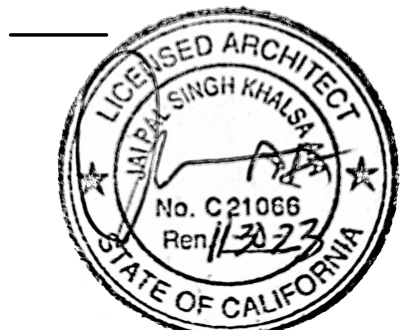
GLENDALE, CA 91203

DEVELOPER: VK GROUP

700 N. BRAND BLVD,

SUITE 600

GLENDALE, CA 91203



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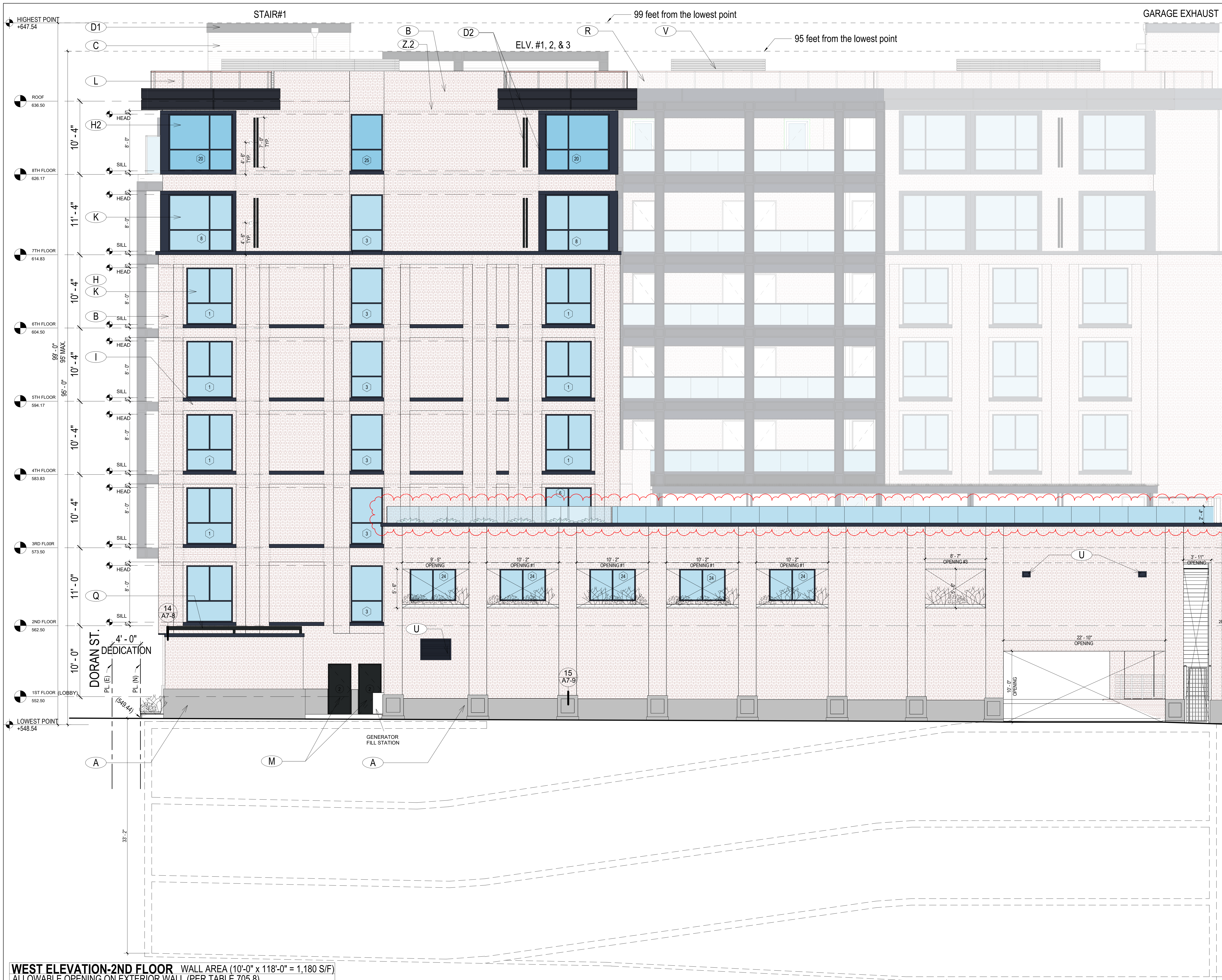
SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A3-12

2/14/2025 2:01:47 PM



WEST ELEVATION-2ND FLOOR									
WALL AREA (10'-0" x 118'-0" = 1,180 S/F)									
ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)									
DISTANCE OF OPENING FROM CENTER OF ALLEY IS (12'-0" TO 12'-6")									
10 FT. TO < 15FT.									
= 45% UNPROTECTED, SPRINKLERED (UP,S)									
1,180 S/F X 45% = 531 S/F ALLOWABLE OPENING									
OPENING	H	X	W	AREA	QUANTITY	SUBTOTAL			
OPENING #1	5.5	X	10.16	56 S/F	X 4	=	224 S/F		
OPENING #2	5.5	X	9.42	52 S/F	X 1	=	52 S/F		
OPENING #3	5.5	X	8.58	48 S/F	X 1	=	48 S/F		
OPENING #4	8.92	X	3.75	33.45 S/F	X 1	=	33.45 S/F		
TOTAL @ 2ND FLOOR							=	357.45 S/F	
OPENING RATIO:	357.45	/	1,180	=	30%	<	45%		

WEST ELEVATION-1ST FLOOR										WALL AREA (10'-0" x 118'-0" = 1,180 S/F)			
ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)													
DISTANCE OF OPENING FROM CENTER OF ALLEY IS (12'-0" TO 12'-6")													
10 FT. TO < 15FT.				=	45%		UNPROTECTED, SPRINKLERED (UP,S)						
1,180 S/F		X	45%		=	531 S/F		ALLOWABLE OPENING					
OPENING		H	X	W	AREA	QUANTITY	SUBTOTAL						
OPENING #1		10 <td>X</td> <td>22.83</td> <td>228 S/F</td> <td>X 1</td> <td>=</td> <td colspan="6">228 S/F</td>	X	22.83	228 S/F	X 1	=	228 S/F					
OPENING #2		13.75	X	4	23 S/F	X 1	=	55 S/F					
TOTAL @ 1ST FLOOR							=	283 S/F					
OPENING RATIO:		283	/	1,180		=	24%	<	45%				

WEST ELEVATION (ALLEY)									
3/16" = 1'-0"									
WEST ELEVATION-3RD TO ROOF									
ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)									
DISTANCE OF OPENING FROM CENTER OF ALLEY IS (20'-0" OR GREATER)									
20 FT. OR GREATER	=	NO LIMIT	UNPROTECTED, SPRINKLERED (UP,S)						

DESIGNATION	BUILDING COMPONENT/SPECIFICATION
A	GFRC WALL BASE NATURAL FINISH POLISHED LIGHT GRAY
B	THIN BRICK VENEER SYSTEM TRADITIONAL BRICK FACE WEATHERED RED CLAY BELDEN "BELCREST 500/530-A" OR SIM.
C	NATURAL STONE THIN BRICK MODERN LEDGE SPLIT FACE CREAM STELLA NEO LEDGE : SPLIT, OR SIMILAR
D1	METAL CLADDING - STRUCTURAL STYLE ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR BLACK
D2	METAL CLADDING - MODERN STYLE ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR BLACK
E	AUTOMATIC SLIDING DOOR SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR BLACK / DARK GRAY
F	LARGE OPENING SLIDING DOOR SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR BLACK / DARK GRAY
G	STOREFRONT SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY
H	STOREFRONT SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY
H2	BLOCK FRAME WINDOW SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY OPAQUE
I	METAL LEDGE ACCENT ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY
J	CLEAR VISION GLAZING - AMENITIES DUAL PANE LOW REFLECTIVITY - LOW E INSULATED SPANDREL TO MATCH COLOR
k	CLEAR VISION GLAZING - GUESTROOMS DUAL PANE LOW REFLECTIVITY - LOW E INSULATED SPANDREL TO MATCH COLOR
L	3'-0" HIGH METAL FENCE ALCOHOL BARRIER, SEE LANDSCAPE DETAIL C/L3.3 FOR MORE INFO.
M	STEEL DOOR & FRAME SYSTEM FACTORY PAINTED DARY GRAY
N	METAL LOUVERS FACTORY PAINTED DARK GRAY
O	METAL CANOPY W/LOUVERS ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY
P	METAL CANOPY W/LOUVERS ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY / ENGINEERED WOOD PANEL
Q	METAL CANOPY OVER TRASH ROOM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY
R	42" TALL GUARD RAIL, ADHESAR BRICK VENEER TO THE FACE METAL PANELS EXPANDING BETWEEN SUPPORTS AT 4'-0" APART.
S	CATENARY CABLE SUSPENDED LUMINARE, SEE LIGHTING PLANS
T	STRUCTURAL GLAZED GUARDRAIL 1/2" TEMPERED CLEAR VISION GLAZING METAL BASE RAIL SYSTEM FACTORY APPLIED FINISH - PPG/DURANAR
U	MECHANICAL LOUVER ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR BLACK
V	CEMENT BOARD SCREEN
Z.2	PLASTER CONTROL JOINT, (THIS IS NOT VISIBLE ON FACADE AND IS SHOWN AS REFERENCE FOR CONTRACTOR ONLY)

URBAN DESIGN SPECIALISTS

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HOTEL INDIGO

122-ROOM HOTEL

515 N. CENTRAL AVENUE

GLENDALE, CA 91203

DEVELOPER: VK GROUP

700 N. BRAND BLVD,

SUITE 600

GLENDALE, CA 91203

ARCHITECT

URBAN DESIGN SPECIALISTS

STATE OF CALIFORNIA

NO. C21068

EXP. 12/31/22

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JOB NUMBER:

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REVISIONS:

1. Plan changes

Date 4

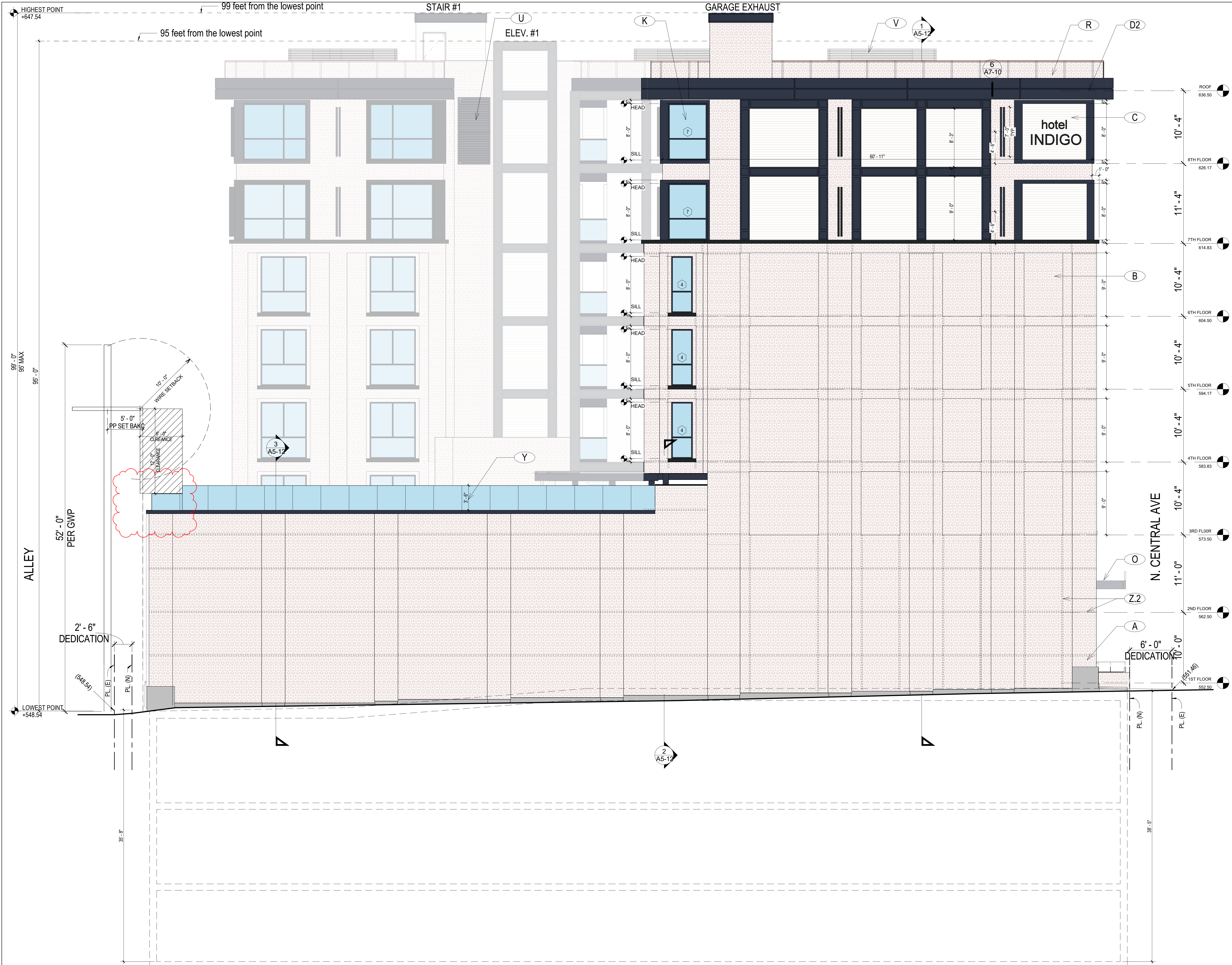
SHEET TITLE:

WEST ELEVATION (ALLEY)

SHEET NUMBER:

A4-3

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SOUTH ELEVATION, 4TH-6TH FLOORS									
WALL AREA (10'-4" x 64'-4" = 664 S/F)									
ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)									
DISTANCE OF OPENING FROM PROPERTY LINE IS (10'-3")									
10 FT. TO < 15FT. = 45% UNPROTECTED, SPRINKLERED (UP,S)									
664 S/F	X	45%	=	299 S/F	ALLOWABLE OPENING				
OPENING	H	X	W	AREA	QUANTITIY	SUBTOTAL			
WINDOW #4	8	X	3	24 S/F	X 1	= 24 S/F			
TOTAL @ 3RD-5TH FLOORS						=	24 S/F		
OPENING RATIO:	24	/	664	=	4%	<	45%		

SOUTH ELEVATION, 7TH-8TH FLOORS									
WALL AREA (10'-4" x 60'-10" = 628 S/F)									
ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)									
DISTANCE OF OPENING FROM PROPERTY LINE IS (10'-3")									
10 FT. TO < 15FT. = 45% UNPROTECTED, SPRINKLERED (UP,S)									
628 S/F	X	45%	=	283 S/F	ALLOWABLE OPENING				
OPENING	H	X	W	AREA	QUANTITIY	SUBTOTAL			
WINDOW #7	8	X	5.5	44 S/F	X 1	= 44 S/F			
TOTAL @ 6TH-7TH FLOORS						=	44 S/F		
OPENING RATIO:	44	/	628	=	7%	<	45%		

SOUTH ELEVATION
3/16" = 1'-0"

DESIGNATION	BUILDING COMPONENT/SPECIFICATION
A	GFRC WALL BASE NATURAL FINISH POLISHED LIGHT GRAY
B	THIN BRICK VENEER SYSTEM TRADITIONAL BRICK FACE WEATHERED RED CLAY BELDEN "BELCREST 500/530-A" OR SIM.
C	NATURAL STONE THIN BRICK MODERN LEDGE SPLIT FACE CREAM STELLA NEO LEDGE : SPLIT, OR SIMILAR
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E	AUTOMATIC SLIDING DOOR SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR BLACK / DARK GRAY
F	LARGE OPENING SLIDING DOOR SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR BLACK / DARK GRAY
G	STOREFRONT SYSTEM ALUMINUM FACTORY APPLIED FINISH - PPG/DURANAR DARK GRAY
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J	CLEAR VISION GLAZING - AMENITIES DUAL PANE LOW REFLECTIVITY - LOW E INSULATED SPANDREL TO MATCH COLOR
k	CLEAR VISION GLAZING - GUESTROOMS DUAL PANE LOW REFLECTIVITY -LOW E INSULATED SPANDREL TO MATCH COLOR
L	3'-0" HIGH METAL FENCE ALCOHOL BARRIER, SEE LANDSCAPE DETAIL C/L3.3 FOR MORE INFO.
M	STEEL DOOR & FRAME SYSTEM FACTORY PAINTED DARY GRAY
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R	42" TALL GUARD RAIL, ADHEAR BRICK VENEER TO THE FACE METAL PANELS EXPANDING BETWEEN SUPPORTS AT 4'-0" APART.
S	CATENARY CABLE SUSPENDED LUMINARE , SEE LIGHTING PLANS
T	STRUCUTRAL GLAZED GUARDRAIL 1/2" TEMPERED CLEAR VISION GLAZING METAL BASE RAIL SYSTEM FACOTRY APPLIED FINISH - PPG/DURANAR
U	MECHANICAL LOUVER ALUMINUM, FACTORY APPLIED FINISH - PPG/DURANAR BLACK
V	CEMENT BOARD SCREEN
Y	42" TALL GLASS WINDSCREEN
Z.2	PLASTER CONTROL JOINT, (THIS IS NOT VISIBLE ON FACADE AND IS SHOWN AS REFERENCE FOR CONTRACTOR ONLY)

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HOTEL INDIGO

122-ROOM HOTEL
515 N. CENTRAL AVENUE
GLENDALE, CA 91203

DEVELOPER: VK GROUP
700 N. BRAND BLVD,
SUITE 600
GLENDALE, CA 91203

REGISTERED ARCHITECT

UNILAKSH KUMAR

No. C21068

Exp. 12/31/23

STATE OF CALIFORNIA

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JOB NUMBER:

DATE:

REVISIONS:

1. Plan changes

Date 4

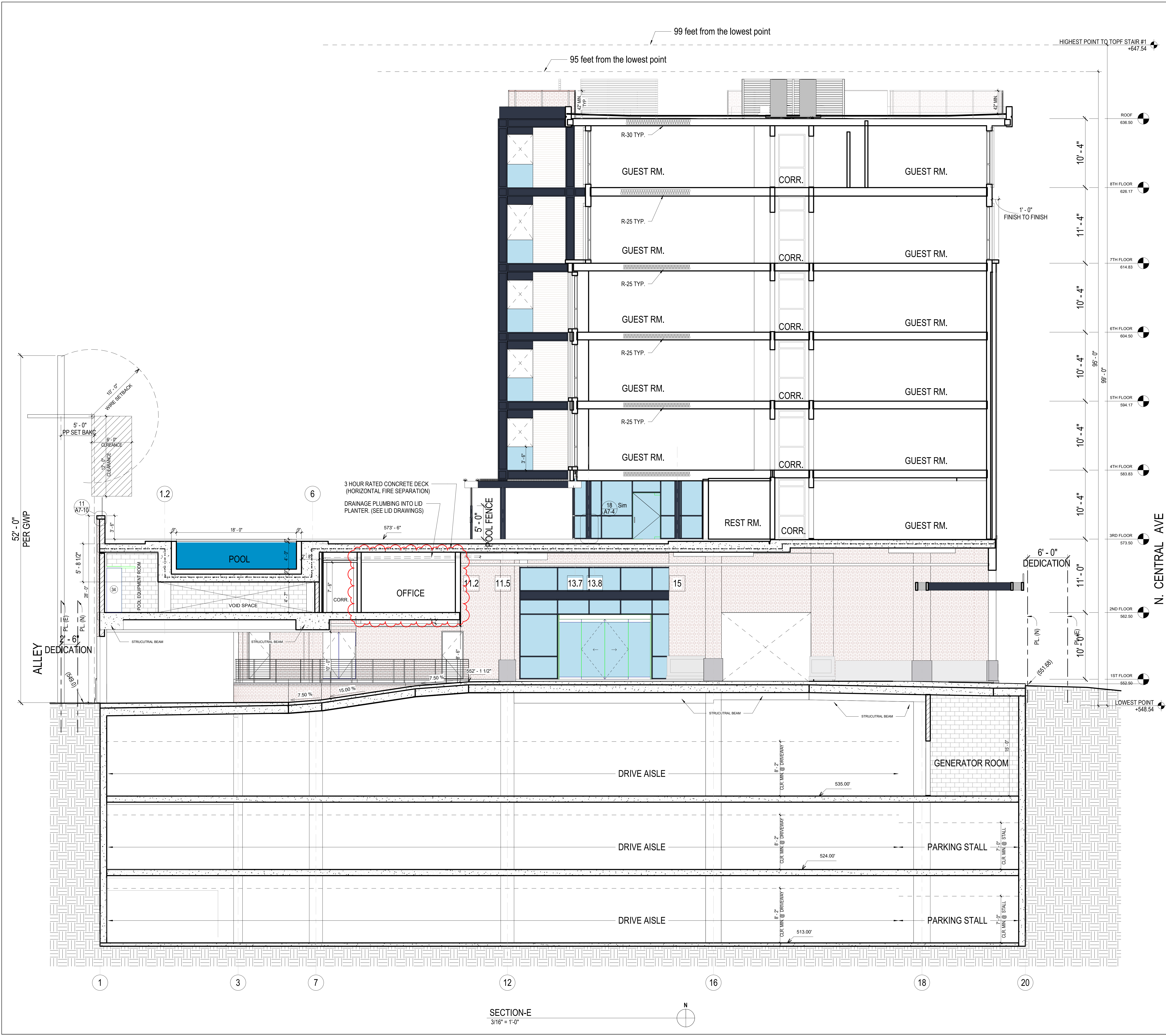
SHEET TITLE:

SOUTH
ELEVATION

SHEET NUMBER:

A4-4

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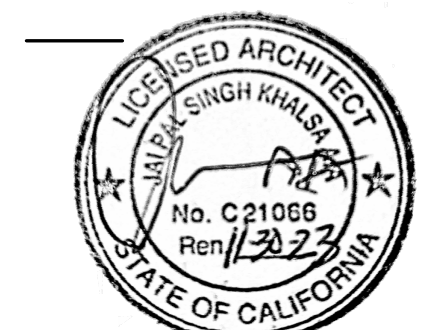
NOTES

- 1. SEE CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATIONS
- 2. SEE STRUCTURAL FOUNDATION PLAN FOR ADDITIONAL INFORMATION
- 3. SEE LANDSCAPE / STRUCTURAL FOR INFORMATION ABOUT BUILT-UP AREAS AND HOW TO RETAIN THEM.

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JOB NUMBER:

DATE:

REVISIONS:
1. Pool / 1st kitchen / bath 08-15-23
4 Plan changes Date 4

SHEET TITLE:
SECTION-E

SHEET NUMBER:
A5-4

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CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 2/4/2025

DUE DATE: 2/18/2025

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Wyatt Berger (Planner)

Tel. # x8171

PROJECT ADDRESS: 515-523 N Central Ave

Applicant: Rodney Khan (Khan Consulting Inc.)

Property Owner: VK Central LLC

PROJECT DESCRIPTION:

To allow the on-site sales, service, and consumption of alcoholic beverages (beer, wine, and distilled spirits) at the new Hotel Indigo restaurant, bar, pool service, and in-room mini bar.

PLEASE CHECK:

<input type="checkbox"/> A. CITY ATTORNEY	<input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)
<input checked="" type="checkbox"/> B. COMMUNITY DEVELOPMENT:	<input type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):
<input checked="" type="checkbox"/> • (1) Building & Safety	<input checked="" type="checkbox"/> • (1) Engineering & Land Development
<input type="checkbox"/> • (2) Neighborhood Services	<input checked="" type="checkbox"/> • (2) Traffic
<input type="checkbox"/> • (3) Design Review & Historic	<input type="checkbox"/> • (3) Facilities (city projects only)
<input type="checkbox"/> • (4) Economic Development	<input checked="" type="checkbox"/> • (4) Integrated Waste
<input type="checkbox"/> • (5) Housing	<input type="checkbox"/> • (5) Maintenance Services/Urban Forester
<input type="checkbox"/> • (6) Urban Design & Mobility	
<input type="checkbox"/> • (7) Long Range Planning	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> D. COMMUNITY SERVICES/PARKS:	<input type="checkbox"/> J. GLENDALE POLICE
<input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)	<input checked="" type="checkbox"/> K. OTHER:
<input type="checkbox"/> F. GLENDALE WATER & POWER:	<input type="checkbox"/> • (1) STATE-Alcohol Beverage Control (ABC)
<input checked="" type="checkbox"/> • (1) Water	<input type="checkbox"/> • (2) Tribal Consultations (EIFs)
<input checked="" type="checkbox"/> • (2) Electric	<input type="checkbox"/> • (3) City Clerk's Office

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____

AUP/CUP Case No.: PAUP-004407-2025

ADR/DRB Case No.: _____

Tentative Tract/Parcel Map No.: _____

Zone Change/GPA: _____

Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 515-523 N Central Ave

Project
Case No.: PAUP-004407-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☒ This office **DOES NOT** have any comment.

☐ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 2/18/2025

Print Name: Celine Sarkisloo

Title: Building Code Specialist III Dept. Building and Safety Tel.: 818-937-8101

a. ADDITIONAL COMMENTS:

☐ 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
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<p><u> </u> A. CITY ATTORNEY</p> <p><u> </u> B. COMMUNITY DEVELOPMENT:</p> <p><u> X </u></p> <p><u> X </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> X </u> D. COMMUNITY SERVICES/PARKS:</p> <p><u> X </u> E. FIRE ENGINEERING (PSC)</p> <p><u> </u> F. GLENDALE WATER & POWER:</p> <p><u> X </u></p> <p><u> X </u></p>	<p><u> </u> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><u> </u> H. PUBLIC WORKS (ADMINISTRATION):</p> <p><u> X </u></p> <p><u> X </u></p> <p><u> X </u></p> <p><u> </u></p> <p><u> X </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> </u></p> <p><u> </u> J. GLENDALE POLICE</p> <p><u> X </u> K. OTHER:</p> <p><u> </u></p> <p><u> </u></p> <p><u> </u></p>
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Zone Change/GPA: _____

Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 515-523 N Central Ave

Project
Case No.: PAUP-004407-2025

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☒ This office **DOES NOT** have any comment.

☐ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 02-07-2025

Print Name: Jessica Sada

Title: Admin. Assoc. Dept: Neighborhood Services. CDD Tel.: 818-937-8167

a. ADDITIONAL COMMENTS:

☐ 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 2/4/2025

DUE DATE: 2/18/2025

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Wyatt Berger (Planner)

Tel. # x8171

PROJECT ADDRESS: 515-523 N Central Ave

Applicant: Rodney Khan (Khan Consulting Inc.)

Property Owner: VK Central LLC

PROJECT DESCRIPTION:

To allow the on-site sales, service, and consumption of alcoholic beverages (beer, wine, and distilled spirits) at the new Hotel Indigo restaurant, bar, pool service, and in-room mini bar.

PLEASE CHECK:

<p><input type="checkbox"/> A. CITY ATTORNEY</p> <p><input type="checkbox"/> B. COMMUNITY DEVELOPMENT:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Building & Safety<input checked="" type="checkbox"/> (2) Neighborhood Services<input type="checkbox"/> (3) Design Review & Historic<input type="checkbox"/> (4) Economic Development<input type="checkbox"/> (5) Housing<input type="checkbox"/> (6) Urban Design & Mobility<input type="checkbox"/> (7) Long Range Planning <p><input checked="" type="checkbox"/> D. COMMUNITY SERVICES/PARKS:</p> <p><input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)</p> <p><input type="checkbox"/> F. GLENDALE WATER & POWER:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Water<input checked="" type="checkbox"/> (2) Electric	<p><input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><input type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Engineering & Land Development<input checked="" type="checkbox"/> (2) Traffic<input type="checkbox"/> (3) Facilities (city projects only)<input checked="" type="checkbox"/> (4) Integrated Waste<input type="checkbox"/> (5) Maintenance Services/Urban Forester <p><input checked="" type="checkbox"/> J. GLENDALE POLICE</p> <p><input checked="" type="checkbox"/> K. OTHER:</p> <ul style="list-style-type: none"><input type="checkbox"/> (1) STATE-Alcohol Beverage Control (ABC)<input type="checkbox"/> (2) Tribal Consultations (EIFs)<input type="checkbox"/> (3) City Clerk's Office
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ENTITLEMENT(S) REQUESTED

Variance Case No.:

AUP/CUP Case No.: PAUP-004407-2025

ADR/DRB Case No.:

Tentative Tract/Parcel Map No.:

Zone Change/GPA:

Other:

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 515-523 N Central Ave

Project
Case No.: PAUP-004407-2025

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COMMENTS:

☒ This office **DOES NOT** have any comment.

☐ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 2/4/25

Print Name: Tereza Aleksanian

Title: Assistant Director of CSP **Dept.:** CSP **Tel.:** x4303

a. ADDITIONAL COMMENTS:

☐ 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION

DATE: February 11, 2025

TO: Wyatt Berger, Community Development Department

FROM: Kevin Runzer, GWP Water Engineering
Catherine Babakhanlou, GWP Electric Engineering

**SUBJECT: AUP-004407-2025 - Indigo Hotel
515-523 N Central Avenue**

Glendale Water & Power (GWP) Engineering has reviewed the plans.
Requirements are as follows:

Electric Engineering

Customer Service (818) 548-3921

- No conflict.

Fiber Optics (818) 548-3923

- No conflict.

Street Lighting (818) 548-4877

- No Conflict

Transmission & Distribution (818) 548-3923

- No conflict.

Water Engineering

Recycled Water (818) 548-2062

- No conflict.

Backflow Prevention (818) 548-2062

- No conflict.

Potable Water (818) 548-2062

- No conflict.

Catherine Babakhanlou
Principal Electrical Engineer

Kevin Runzer
Senior Civil Engineer

CB/KR:sb/eh



Re: 515-523 North Central Avenue - PAUP-004407-2025 request for comments

From Villaluna, Ruel <RVillaluna@Glendaleca.gov>

Date Wed 2/26/2025 4:31 PM

To Berger, Wyatt <WBerger@Glendaleca.gov>; Leung, Colin <CLEung@Glendaleca.gov>; Sargsyan, Ara <ASargsyan@Glendaleca.gov>; Sarkisloo, Celine <CSarkisloo@Glendaleca.gov>; Sada, Jessica <jsada@Glendaleca.gov>; Aleksanian, Tereza <TAleksanian@Glendaleca.gov>; Diaz, Jovan <jodiaz@Glendaleca.gov>; Partamian, Sita <SPartamian@GlendaleCA.gov>; Stimson, Dave <DStimson@Glendaleca.gov>; Boghosian, Seda <SBoghosian@Glendaleca.gov>; Hakoupiani, Eden <EdenHakoupiani@Glendaleca.gov>; Runzer, Kevin <KRunzer@Glendaleca.gov>; Babakhanlou, Catherine <CBabakhanlou@Glendaleca.gov>; Wofford, Joshua <JWofford@Glendaleca.gov>; Avila, Zazil <ZFernandez@GlendaleCA.GOV>; Avazian, Armen <AAvazian@Glendaleca.gov>; Oganessian, Sarkis <soganesyan@Glendaleca.gov>; Sheikhlari, Soroush <SSheikhlari@Glendaleca.gov>; Casanova, Pastor <PCasanova@Glendaleca.gov>; Harmandayan, Arek <AHarmandayan@Glendaleca.gov>

Hi Wyatt,

PW-Land Development have no comments.



Ruel Villaluna | Senior Civil Engineer

Public Works

633 E. Broadway, Room 205, Glendale, CA 91204

P: +1 (818) 937-8251

rvillaluna@GlendaleCA.gov | GlendaleCA.gov | **Follow us!**

From: Berger, Wyatt <WBerger@Glendaleca.gov>

Sent: Tuesday, February 4, 2025 9:03 AM

To: Leung, Colin <CLEung@Glendaleca.gov>; Sargsyan, Ara <ASargsyan@Glendaleca.gov>; Sarkisloo, Celine <CSarkisloo@Glendaleca.gov>; Sada, Jessica <jsada@Glendaleca.gov>; Aleksanian, Tereza <TAleksanian@Glendaleca.gov>; Diaz, Jovan <jodiaz@Glendaleca.gov>; Partamian, Sita <SPartamian@GlendaleCA.gov>; Stimson, Dave <DStimson@Glendaleca.gov>; Boghosian, Seda <SBoghosian@Glendaleca.gov>; Hakoupiani, Eden <EdenHakoupiani@Glendaleca.gov>; Runzer, Kevin <KRunzer@Glendaleca.gov>; Babakhanlou, Catherine <CBabakhanlou@Glendaleca.gov>; Wofford, Joshua <JWofford@Glendaleca.gov>; Avila, Zazil <ZFernandez@GlendaleCA.GOV>; Avazian, Armen <AAvazian@Glendaleca.gov>; Oganessian, Sarkis <soganesyan@Glendaleca.gov>; Sheikhlari, Soroush <SSheikhlari@Glendaleca.gov>; Villaluna, Ruel <RVillaluna@Glendaleca.gov>; Casanova, Pastor <PCasanova@Glendaleca.gov>; Harmandayan, Arek <AHarmandayan@Glendaleca.gov>; Patricia.Halpin@abc.ca.gov <Patricia.Halpin@abc.ca.gov>

Subject: 515-523 North Central Avenue - PAUP-004407-2025 request for comments

Good morning, all,

Your comments are requested for the following Administrative Use Permit for alcoholic beverage sales. Please note the comment deadline in red below.

1. **Location:** 515-523 North Central Avenue
2. **Case Number:** PAUP-004407-2025
3. **Project Description:** To allow the on-site sales, service, and consumption of alcoholic beverages (beer, wine, and distilled spirits) at the new Hotel Indigo restaurant, bar, pool service, and in-room mini bar.

Requested comment deadline: **February 18, 2025**

Attachments:

- Architectural plan set
- Photographic survey
- Location/zoning map

Your assistance is greatly appreciated.

Thank you,



Wyatt Berger | Planner

Community Development

633 E. Broadway, Room 103, Glendale, CA 91206

P: +1 (818) 937-8171

wberger@GlendaleCA.gov | GlendaleCA.gov | Follow us!

CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: 2/4/2025

DUE DATE: 2/18/2025

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Wyatt Berger (Planner)

Tel. # x8171

PROJECT ADDRESS: 515-523 N Central Ave

Applicant: Rodney Khan (Khan Consulting Inc.)

Property Owner: VK Central LLC

PROJECT DESCRIPTION:

To allow the on-site sales, service, and consumption of alcoholic beverages (beer, wine, and distilled spirits) at the new Hotel Indigo restaurant, bar, pool service, and in-room mini bar.

PLEASE CHECK:

<p><input type="checkbox"/> A. CITY ATTORNEY</p> <p><input type="checkbox"/> B. COMMUNITY DEVELOPMENT:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Building & Safety<input checked="" type="checkbox"/> (2) Neighborhood Services<input type="checkbox"/> (3) Design Review & Historic<input type="checkbox"/> (4) Economic Development<input type="checkbox"/> (5) Housing<input type="checkbox"/> (6) Urban Design & Mobility<input type="checkbox"/> (7) Long Range Planning <p><input checked="" type="checkbox"/> D. COMMUNITY SERVICES/PARKS:</p> <p><input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)</p> <p><input type="checkbox"/> F. GLENDALE WATER & POWER:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Water<input checked="" type="checkbox"/> (2) Electric	<p><input type="checkbox"/> G. INFORMATION SERVICES (Wireless Telecom)</p> <p><input type="checkbox"/> H. PUBLIC WORKS (ADMINISTRATION):</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Engineering & Land Development<input checked="" type="checkbox"/> (2) Traffic<input type="checkbox"/> (3) Facilities (city projects only)<input type="checkbox"/> (4) Integrated Waste<input type="checkbox"/> (5) Maintenance Services/Urban Forester <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/> J. GLENDALE POLICE</p> <p><input type="checkbox"/> K. OTHER:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) STATE-Alcohol Beverage Control (ABC)<input type="checkbox"/> (2) Tribal Consultations (EIFs)<input type="checkbox"/> (3) City Clerk's Office
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ENTITLEMENT(S) REQUESTED

Variance Case No.:

AUP/CUP Case No.: PAUP-004407-2025

ADR/DRB Case No.:

Tentative Tract/Parcel Map No.:

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Other:

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project
Address: 515-523 N Central Ave

Project
Case No.: PAUP-004407-2025

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COMMENTS:

☐ This office **DOES NOT** have any comment.

☒ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: February 13, 2025

Print Name: Josh Wofford

Title: Lieutenant **Dept.:** Police **Tel.:** 818-548-3142

a. ADDITIONAL COMMENTS:

- ☒ 1. Rodney Khan from Khan Consulting Inc. is in the process of obtaining an Administrative Use Permit to allow the on-site sales, service and consumption of alcoholic beverages (beer, wine and distilled spirits) at the new Hotel Indigo Restaurant bar, pool service and in-room mini bar located at 515-523 N. Central Avenue in the City of Glendale.

Hotel Indigo Restaurant is located in census tract 3018.01 which allows for 6 On-Sale establishments. There are currently 18 On-Sale licenses in this tract. Based on arrests and Group A crime statistics for census tract 3018.01 in 2023 there were 291 crimes, 8% below the city-wide average of 317.

Per the ABC website, Hotel Indigo Restaurant does not have an "active" or "pending" ABC license.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

- ☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☒ 1.

1. At all times when the premises are open for business, the service of any alcoholic beverage shall be made only in the areas designated with an ABC license. Consumption of alcoholic beverages will only be on those same licensed areas.
2. Sales, service or consumption of alcoholic beverages shall be permitted only between the hours of _____ to _____ each day of the week (*hours to be determined by the Planning / Zoning Administrator – week night and weekend restrictions may be considered*).
3. No patron to any of the business establishments will be allowed to bring into any establishment or maintain in the establishments, any alcoholic beverage unless that alcoholic beverage was purchased within that same establishment unless the facility has an established corkage policy allowing and regulating such.
4. The restaurant shall remain open to the public during business hours. If the establishment has a private party during normal business hours, the restaurant still needs to remain open for business to regular customers.
5. That the proprietor and his/her employees shall make an active and conscientious effort to keep customers and employees from trespassing on other nearby properties or otherwise making disturbances in the area.
6. Those premises may be utilized for banquets, private parties, or other events, provided that all events comply with the provisions of the applicant's Alcoholic Beverage Control license, and provided they have appropriate Conditional Use Permits and Use Variances if required.
7. There shall be no video machine maintained upon the premises.
8. Dancing is only allowed on the premises in designated dance floor areas, with a proper "Dance" permit.
9. No live entertainment is permitted without a "Live Entertainment Permit". No karaoke, no bikini activities or events, no lingerie activities or events, no swimwear activities or events, nor any similar activities or events be allowed where partial clothing of male, female or any individual for entertainment is provided.
10. Music or noise shall be contained within the edifice of the establishment. The business shall comply with all state and local laws and ordinances concerning excessive noise and disturbing the peace.
11. The front and back doors of the establishment shall be kept closed at all times while the location is open for business, except in case of emergency.
12. An establishment that primarily provides for the on-premises sale, serving and consumption of alcoholic beverages and that derives more than fifty (50) percent of gross revenues from the sale of alcoholic beverages is by definition of the code a "tavern" and requires approval of a separate conditional use permit. Taverns include bars, pubs, cocktail lounges and similar establishments.

13. Any establishment serving alcoholic beverages which has a dance floor of greater than 200 square feet is considered a nightclub and will require a separate conditional use permit.
14. The sale of beer, wine, and/or distilled spirits for consumption off the premises is strictly prohibited.
15. The Manager and or Staff should be proactive in the enforcement of the City of Glendale Fresh Air Ordinance (Title 8, Chapter 8.52 of the Glendale Municipal Code).