



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – COMMERCIAL / INDUSTRIAL / MIXED USE

<b>April 14, 2025</b> <i>Decision Date</i>	<b>712, 714 and 716 Ivy Street</b> <i>Address</i>
<b>Administrative Design Review (ADR)</b> <i>Review Type</i>	<b>5695-009-005 and 5695-009-006</b> <i>APN</i>
<b>PADR-003896-2024</b> <i>Case Number</i>	<b>Alex Albarian</b> <i>Applicant</i>
<b>Columba Diaz</b> <i>Case Planner</i>	<b>Alex Albarian</b> <i>Owner</i>

#### Project Summary

To construct a new two-story, approximately 4,580 square-foot detached commercial building (warehouse) at the rear of an existing 3,046 square-foot one-story commercial building (warehouse and dental office), located on two adjoining lots, totaling 14,557 square feet, zoned IMU (Industrial/Commercial Mixed Use). The project includes 18 new surface parking spaces.

#### Environmental Review

The project is exempt from CEQA review as a Class 3 "New construction or conversion of small structures", exemption pursuant to Section 15303 (b) of the State CEQA Guidelines because the proposed construction of a new commercial building, located in an urbanized area and does not exceed 10,000 square feet in area; and it does not involve the use of significant amounts of hazardous substances where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

#### Existing Property/Background

The project site was originally developed in 1946, with additions and remodeling completed in 1951 and 2011. It consists of two adjoining, rectangular-shaped, relatively flat interior lots, totaling 14,557 square feet, located on the south side of Ivy Street in the Riverdale neighborhood. The site features a surface parking and an existing 3,046-square-foot, one-story commercial building (medical/dental office and a warehouse).

#### Staff Recommendation

Approve with Conditions

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#### Last Date Reviewed / Decision

First time submittal for final review.

**Zone:** IMU - Ind./Comm'I Mixed Use

**Height District:** N/A

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

None.

**Site Slope and Grading**

None proposed.

**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

☒ **yes**    ☐ **n/a**    ☐ **no**

*If "no" select from below and explain:*

- ☐ Located at or near front property line
- ☐ Conforms to prevailing setbacks on the street
- ☐ Maintains appropriate sidewalk width

**Usable Open Space**

☐ **yes**    ☒ **n/a**    ☐ **no**

*If "no" select from below and explain:*

- ☐ Incorporates outdoor pedestrian space
- ☐ Integrated with design and overall context
- ☐ Appropriate relationship with adjoining properties

The proposed project is not required to provide common open space.

**Access and Parking**

☐ **yes**    ☐ **n/a**    ☒ **no**

*If "no" select from below and explain:*

- ☐ Parking location is appropriate to the site and its neighborhood context
- ☐ Appropriate pedestrian and vehicle access points
- ☐ Appropriate service and loading locations
- ☐ Landscape screening for street-facing parking
- ☐ Techniques employed to reduce stormwater runoff
- ☒ Decorative or colored paving to delineate pedestrian areas

The proposed parking lot restriping will replace the existing concrete slabs and surface parking spaces. A condition of approval is added to update the design to include decorative or colored paving materials at building entries to delineate pedestrian areas.

**Landscape Design**

☐ yes   ☐ n/a   ☒ no

*If “no” select from below and explain:*

- ☐ Complementary to building design
- ☒ Appropriately sized and located

The proposed trees and shrubs are adequately located adjacent to the sidewalk, appropriately screening the street front surface parking lot. A condition of approval is added to update plans to include the required street trees per Public Works – Urban Forestry requirements and obtain the required permits for the installation of two new street trees. The proposed site plan and landscape plan shall be updated to clearly show the required two (2) street trees.

**Walls, Fences, and Retaining Walls**

☐ yes   ☐ n/a   ☒ no

*If “no” select from below and explain:*

- ☐ Minimize use whenever possible
- ☒ Use decorative material to complement building and/or landscape design
- ☒ Provide landscaping to minimize visual impact

The project is proposing street-facing fences and gates. A condition of approval is added to provide the design and materials for the proposed fence and gates to be appropriate to the overall design concept and that they be set back behind landscaped areas to help minimize the visual impact.

**Screening**

☒ yes   ☐ n/a   ☐ no

*If “no” select from below and explain:*

- ☐ Mechanical equipment appropriately screened
- ☐ Trash bins appropriately located and screened

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed site planning is consistent with the existing front building and compatible with the vicinity, which consists primarily of commercial and industrial buildings that utilize similar materials, finishes, and an architectural style. Approximately 300 feet east of the subject site, the multifamily zone primarily features traditional-style multifamily buildings and single-story traditional residences.
- The proposed parking lot will replace the existing concrete slabs and surface parking spaces. The outdoor pedestrian areas connect to the proposed entrances of the new

building and the loading zone is located at the rear of the site, partially behind the existing building. The parking design and location are appropriate to the site and its neighborhood context. However, a condition of approval is added to update the design to include decorative or colored paving materials at building entries to delineate pedestrian areas.

- The project is proposing street-facing fences and gates. A condition of approval is added to provide the design and materials for the proposed fence and gates to be appropriate to the overall design concept and that they be set back behind landscaped areas to help minimize the visual impact.
- The proposed trees and shrubs are adequately located adjacent to the sidewalk, appropriately screening the street front surface parking lot. A condition of approval is added to update plans to include the required street trees per Public Works – Urban Forestry requirements and obtain the required permits for the installation of two new street trees. The proposed site plan and landscape plan shall be updated to clearly show the required two (2) street trees.
- The proposed parapets and screening hide the rooftop mechanical equipment from public view. The trash enclosure is appropriately located at the rear of the site, enclosed by block walls, and behind the existing building for adequate screening.

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### **Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

#### **Building Relates to its Surrounding Context**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Appropriate proportions and transitions
- ☐ Articulation, solid/void balance, and open space relate to predominant pattern

#### **Building Relates to Existing Topography**

☐ **yes**   ☒ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope to minimize height

The existing site is flat, and no grading is proposed.

#### **Consistent Architectural Concept**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Concept governs massing and height

#### **Scale and Proportion**

☒ **yes**   ☐ **n/a**   ☐ **no**



*If "no" select from below and explain:*

- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located

**Massing**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Larger masses broken into separate volumes
- ☐ Long, unbroken street walls avoided
- ☐ Visual impact of larger building minimized

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed two-story commercial building (warehouse) at the rear of the site aligns with the immediate vicinity, which includes one- and two-story commercial and industrial buildings that feature similar materials, finishes, and architectural style. The design incorporates patterns and material texture variation, which helps reduce the visual massing of the structure.
- The proposed building, with an overall height of 26'-6", will be located at the rear of the property and is designed in a contemporary style, representing an industrial design concept, using exposed split-face and standard concrete block walls in a warm neutral color palette that is compatible with the existing building on site and neighboring context.
- The entry is a prominent architectural element, defined by a two-story storefront system that aligns appropriately with the overall scale and proportions of the building.
- The variation in the proposed building height from 26'-6" to 20'-0" helps reduce the overall massing. Additionally, the scale and proportion of the main entry door and roll-up curtain door are well-integrated into the design.

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**Design and Detailing**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Overall Design and Detailing**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

**Entryway**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Well integrated into design
- ☐ Location promotes pedestrian activity
- ☐ Design provides appropriate focal point

### **Storefronts and Windows**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Maximize transparency at ground floor
- ☐ 12-15’ floor-to-floor height at ground-floor is encouraged
- ☐ Coordinate design with overall style of building
- ☐ Use durable materials for windows, such as aluminum or steel
- ☐ Locate security gates/grilles inside commercial spaces, preferably set back from storefront

### **Awnings and Canopies**

☐ **yes**   ☒ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Integrate awnings and canopies into overall building design
- ☐ Avoid long treatments spanning multiple openings
- ☐ Back-lit awnings are not allowed

The are no proposed awnings or canopies.

### **Lighting**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Light fixtures are appropriate to the building design
- ☐ Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- ☐ Utilize shielded fixtures to avoid light spillover onto adjacent properties

### **Finish Materials and Color**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Textures and colors reinforce design
- ☐ High-quality, durable materials used, especially facing the street
- ☐ Materials appropriately enhance articulation and façade hierarchies
- ☐ Wrap corners and terminate cladding appropriately
- ☐ Cladding is well detailed, especially at junctions between materials
- ☐ Foam trim, finished on site, is prohibited

**Paving Materials**

☐ yes   ☐ n/a   ☒ no

*If "no" select from below and explain:*

- ☒ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☒ Material and color related to design

The proposed parking lot will replace the existing concrete slabs and surface parking spaces. A condition of approval is added to update the design to include decorative or colored paving materials at building entries to delineate pedestrian areas.

**Roof Forms**

☒ yes   ☐ n/a   ☐ no

*If "no" select from below and explain:*

- ☐ Configure roofline to provide visual interest and deemphasize mass
- ☐ Roof forms are consistent with overall design
- ☐ Continue roofs and parapets around building or terminate in logical manner

**Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed commercial building, designed in a contemporary style, features an industrial design concept, using exposed split-face and standard concrete block walls in a warm neutral color palette, which is compatible with existing building on site and neighboring context.
- The main entrance of the new commercial building appropriately serves as a focal point, framed by a two-story storefront system, ensuring high visibility and easy identification from the public right-of-way.
- The main entrance consists of a durable anodized aluminum storefront system that is compatible with the overall design concept.
- The proposed wall-mounted lighting fixtures will have LED lights with a die-cast housing for durability. The three light fixtures are appropriately placed on the main façade, with housing designed to prevent light spillover onto adjacent properties and the public right-of-way.
- The proposed finishes of the new building include split-face and standard durable concrete block walls in a warm tan color palette. The design incorporates patterns and material texture variation, which helps reduce the visual massing of the structure.
- The proposed parking lot will replace the existing concrete slabs and surface parking spaces. A condition of approval is added to update the design to include decorative or colored paving materials at building entries to delineate pedestrian areas.
- Roof parapets with scored concrete block ridge coping are proposed along the entire roof perimeter, maintaining consistency with the project's architectural style.

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**Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following conditions:

**Conditions:**

1. Update plans to include the required street trees per Public Works – Urban Forestry requirements and obtain the required permits for the installation of two new street trees.
2. Update the site plan and landscape plan to clearly show the required two (2) street trees.
3. Provide the design and materials for the proposed fence and gates (street facing) to be appropriate to the overall design concept.
4. Update plans to set back the street facing fences and gates to locate behind the landscaped areas to help minimize the visual impact.
5. Update the design to include decorative or colored paving materials at building entries to delineate pedestrian areas.

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**Attachments**

1. Project Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

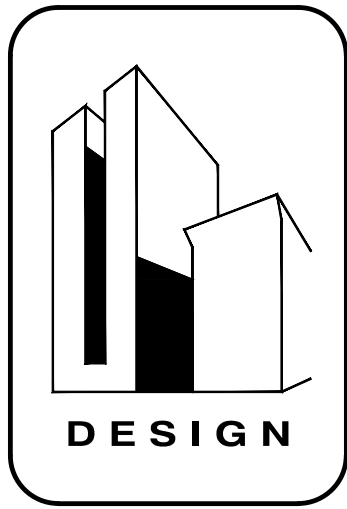


# 716 IVY STREET Glendale , California

## NEW 2-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

THESE PLANS HAVE BEEN DEVELOPED UNDER MY SUPERVISION AND ARE IN FULL COMPLIANCE WITH THE TITLE 24 DISABLED ACCESS REQUIREMENTS.

REVISIONS	BY
SUBMITTAL 1-9-24	XT
PLANNING REV. 2-2-24	XT
WATER & POWER REV. 5-2-24	XT
PLANNING REV. 7-17-24	XT



SCOPE OF WORK:  
- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

CONTACT PERSON:  
XIMENA TIPAN (562) 714-7196

PROJECT ADDRESS:  
NEW 2 - STORY BUILDING  
716 IVY STREET  
GLENDALE, CA 91204

TITLE  
COVER SHEET/  
PROJECT  
INFORMATION

DATE  
1-9-24

SCALE  
AS SHOWN

DRAWN  
AT

JOB  
24-01-01

SHEET  
T-1  
SHEET OF

ABBREVIATIONS		SYMBOLS		CONSULTANTS		PROJECT DATA		SHEET INDEX	
A		O			STRUCTURAL ENGINEER:	PROJECT ADDRESS	712, 714 & 716 IVY STREET CITY OF GLENDALE, CA 91204	T-1	COVER SHEET & PROJECT INFORMATION
A & B	ABOVE AND BELOW	O.C.	ON CENTER		RAMZY C. SAIWAYA, SE	SCOPE OF WORK	NEW 2-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE	A-1	SITE PLAN
A.B.	ANCHOR BOLTS	O.H.	OPPOSITE HAND		CONSULTING STRUCTURAL ENGINEER	OWNER	ALEX ALBARIAN 712 IVY STREET GLENDALE, CA 91204 (818) 919-2007	A-2	EXISTING / DEMO SITE PLAN
ABV	ABOVE	OPEN'G	OPENING		1960 SANTA ANITA AVE SIERRA MADRE, CA 91024 TEL (213) 478-0918 EMAIL: rcsaiwaya@aol.com CONTACT PERSON: RAMZY SAIWAYA	LEGAL DESCRIPTION	LOT 31 OF MOORPARK TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 20 PAGE 148 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	A-3	FLOOR PLAN
ADJ	ADJACENT	OPT.	OPTIONAL			CODE	2022 CBC	A-4	NOT USED
A.F.F.	ABOVE FINISH FLOOR	O.S.B.	OREGON STANDARD BOARD			OCCUPANCY	B (OFFICE & SI (WAREHOUSE))	A-5	ROOF PLAN
ARCH	ARCHITECTURAL	P				TYPE OF CONSTRUCTION	TYPE III-B CMU BUILDING	A-6	NOT USED
B		R				NO. OF STORIES	TWO STORY - +/-20 FT. HIGH	A-7	EXTERIOR ELEVATIONS
B.F.W.	BALLOON FRAMED WALL	PC'S	PIECES			APN	5695-009-005 & 5695-009-006	A-71	EXISTING BUILDING EXTERIOR ELEVATIONS
BLDG.	BUILDING	P.E.N.	PLYWOOD EDGE NAILING			ZONE	IMU - INDUSTRIAL MIXED USE	A-8	BUILDING SECTIONS
BLK'G	BLOCKING	PERIM.	PERIMETER			LOT AREA	+/- 14,557 S.F.	A-9	DOOR SCHEDULE, WINDOW SCHEDULE & DETAILS
BM.	BEAM	PLT.	PLATE					3	L-1 PRELIMINARY LANDSCAPE PLAN
BW.	BOTTOM	PLC'S	PLACES						
BRG	BEARING	PLYD.	PLYWOOD						
		P.T.	PRESSURE TREATED						
C		R							
C	CAMBER	RAF.	RATERS						
CANT.	CANTILEVER	RDWD.	REDWOOD						
C.J.	CEILING JOIST	REQ'D	REQUIRED						
CLG	CEILING	REQ'T	REQUIREMENT						
CTR	CENTER	RET.	RETAINING						
CLR	CLEARANCE	RF.	ROOF						
CONC	CONCRETE	S							
C.M.U.	CONC. MASONRY UNIT	S							
CONN	CONNECT, CONNECTION	S							
CONST	CONSTRUCTION	S							
CONT	CONTINUOUS	S							
CS'K	COUNTERSINK	S							
C.T.	COLLAR TIE	S							
D		S							
DBL.	DOUBLE	S							
DET	DETAIL	S							
D.F.	DOUGLAS FIR	S							
DIA	DIAGONAL	S							
DIAPH	DIAPHRAGM	S							
DIM	DIMENSION	S							
DIR	DIRECTION	S							
DR.	DOOR	S							
D.F.	DOOR FRAME	S							
DWG	DRAWING	S							
E		S							
E	EAST	S							
EA	EACH	S							
E.F.	EACH FACE	S							
ELEV	ELEVATION	S							
EMB	EMBEDMENT	S							
E.N.	EDGE NAILING	S							
EQ.	EQUAL	S							
E.W.	EACH WAY	S							
EXP	EXPANSION	S							
(E)	EXISTING	S							
F		S							
F.F.	FINISH FLOOR	S							
F.HT.	FULL HEIGHT	S							
F.H.O.B.	FULL HEIGHT OF BLDG.	S							
F.W.O.B.	FULL WIDTH OF BUILDING	S							
FIN	FINISH	S							
FLR	FLOOR	S							
F.J.	FLOOR JOIST	S							
F.L.O.M.	FULL HEIGHT OF MEMBER	S							
F.N.	FACE NAILED	S							
F.O.S.	FACE OF STUDS	S							
F.O.C.	FACE OF CONCRETE	S							
FNDN.	FOUNDATION	S							
F.P.	FIREPLACE	S							
FRAM'G	FRAMING	S							
FT.	FEET	S							
FTG.	FOOTING	S							
G		S							
GALV.	GALVANIZED	S							
GAR.	GARAGE	S							
GEN.	GENERAL	S							
G.L.B.	GLU-LAM BEAM	S							
GR.	GRADE	S							
H		S							
HDR.	HEADER	S							
HT.	HEIGHT	S							
I		S							
INFO.	INFORMATION	S							
INT.	INTERIOR	S							
J		S							
J.H.	JOIST HANGER	S							
JNT	JOINT	S							
JST	JOIST	S							
K		S							
K.P.	KING POST	S							
L		S							
LOC.	LOCATION	S							
M		S							
MANU.	MANUFACTURER	S							
MAT'L	MATERIAL	S							
MAX.	MAXIMUM	S							
M.B.	MACHINE BOLT	S							
MEZZ.	MEZZANINE	S							
MFG.	MANUFACTURING	S							
M.I.	MALLEABLE IRON	S							
MIN.	MINIMUM	S							
MTD.	MOUNTED	S							
N		S							
(N)	NEW	S							
N	NORTH	S							
N/A	NOT APPLICABLE	S							
NAIL'G	NAILING	S							
N.E.	NORTHEAST	S							
N.T.S.	NOT TO SCALE	S							
N.W.	NORTHWEST	S							

	DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE
	EXTERIOR ELEVATION REFERENCE
	SECTION CUT
	GRID LINE
	KEYNOTE REFERENCE NUMBER
	WINDOW REFERENCE NUMBER
	DOOR REFERENCE NUMBER
	ROOM REFERENCE NUMBER
	REVISIONS REFERENCE NUMBER
	TILT-UP PANEL REFERENCE NUMBER
	SHEAR WALL REFERENCE NUMBER

OCCUPANT LOAD		ALLOWABLE AREA																																													
<u>OCCUPANT LOAD FOR PLUMBING AND EXITING</u>		<u>ALLOWABLE AREA CALCULATION</u>																																													
<table><tr><td colspan="4">TABLE 104.5 - CBC 2022 &amp; TABLE 4-1 - CFC 2022</td></tr><tr><td>OFFICE (B)</td><td>= 1:150</td><td></td><td></td></tr><tr><td></td><td>= 1,382/1,000</td><td>= 10</td><td></td></tr><tr><td>WAREHOUSE (S1)</td><td>= 1:500</td><td></td><td></td></tr><tr><td></td><td>= 3,501/500</td><td>= 7</td><td></td></tr><tr><td colspan="4">• 50% MAN &amp; 50% WOMEN</td></tr></table>		TABLE 104.5 - CBC 2022 & TABLE 4-1 - CFC 2022				OFFICE (B)	= 1:150				= 1,382/1,000	= 10		WAREHOUSE (S1)	= 1:500				= 3,501/500	= 7		• 50% MAN & 50% WOMEN				<table><tr><td colspan="2"><u>ONE-STORY BUILDING</u></td><td></td><td></td></tr><tr><td colspan="2">(SECTION 505.2.2)</td><td></td><td></td></tr><tr><td colspan="2">TABLE 506.2 - FOR TYPE III-B</td><td></td><td></td></tr><tr><td colspan="2">(ALLOWABLE AREA PER STORY)</td><td></td><td></td></tr><tr><td>WAREHOUSE (S1 OCCUP.)</td><td>A1 = 17,500 S.F.</td><td></td><td></td></tr></table>		<u>ONE-STORY BUILDING</u>				(SECTION 505.2.2)				TABLE 506.2 - FOR TYPE III-B				(ALLOWABLE AREA PER STORY)				WAREHOUSE (S1 OCCUP.)	A1 = 17,500 S.F.		
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PROJECT ADDRESS	712, 714 & 716 IVY STREET CITY OF GLENDALE, CA 91204
SCOPE OF WORK	NEW 2-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE
OWNER	ALEX ALBARIAN 712 IVY STREET GLENDALE, CA 91204 (818) 919-2007
LEGAL DESCRIPTION	LOT 31 OF MOORPARK TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 20 PAGE 148 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
CODE	2022 CBC
OCCUPANCY	B (OFFICE & SI (WAREHOUSE))
TYPE OF CONSTRUCTION	TYPE III-B CMU BUILDING
NO. OF STORIES	TWO STORY - +/-20 FT. HIGH
APN	5695-009-005 & 5695-009-006
ZONE	IMU - INDUSTRIAL MIXED USE
LOT AREA	+/- 14,557 S.F.

PROJECT ANALYSIS	
TRUCK LOADING : 8 SPACES ON GRADE	
SPRINKLER: AUTOMATIC FIRE SPRINKLER (MONITORED SYSTEM) - (NFPA 13)	
LANDSCAPE BUFFER: 5 FT.	
CONSTRUCTION TYPE: CMU BUILDING	
LOT AREA: 5695-009-005: 1289 S.F. 5695-009-006: 1268 S.F. TOTAL LOT AREA = 14,557 S.F.	
<u>BUILDING AREAS</u>	
EXISTING BLDG. USE:	
712 IVY - DENTAL OFFICE:	1,481.0 S.F.
714 IVY - WAREHOUSE:	1,628.0 S.F.
TOTAL BUILDING GROSS AREA:	3,046.0 S.F.
PROPOSED BLDG. USE:	
FIRST FLOOR	
WAREHOUSE AREA:	3,501.0 S.F.
OFFICE AREA:	489.0 S.F.
FIRST FLOOR AREA:	3,994.0 S.F.
SECOND FLOOR	
OFFICE AREA:	589.0 S.F.
TOTAL BUILDING GROSS AREA:	4,583.0 S.F.
TOTAL ALL BUILDINGS AREA:	7,629.0 S.F.

<u>PARKING CALCULATION</u>	
REQUIRED PARKING	13 SPACES
PARKING REQUIRED FOR EXISTING BUILDING: 8 SPACES	
EXISTING PROVIDED: 5 SPACES (PER PLANS APPROVED 11/14/2011)	
PARKING REQUIRED FOR NEW BUILDING:	
WAREHOUSE USES AND OFFICES, BUSINESS, COMMERCIAL AND RESEARCH (SAME AS PRIMARY USE WHEN OFFICE AREA NOT EXCEEDS 40% OF BUILDING AREA) 1 PER 1000 S.F. FOR THE FIRST 25,000 S.F. 4,583 / 1,000 = 4.5 = 5 SPACES	
PROVIDED PARKING	18 SPACES
(E) STANDARD STALLS	16 SPACES
(N) HANDICAP STALLS	2 SPACE
LANDSCAPE REQUIRED: 5% OF PARKING AREA: 6,431.5% = 321 S.F.	
LANDSCAPE PROVIDED: 489 S.F. (INCLUDING BLDG. FRONTAGE) AT PARKING AREA 401 S.F.	

VICINITY MAP	

1

I

STRUCTURAL ENGINEER:  
RAMZY C. SAWAYA, SE  
CONSULTING STRUCTURAL ENGINEER  
1960 SANTA ANITA AVE  
SIERRA MADRE, CA 91024  
TEL (213) 479-0918  
EMAIL: rcsawaya@aol.com  
CONTACT PERSON: RAMZY SAWAYA

1

I

MECHANICAL ENGINEER:  
N/A

1

I

ELECTRICAL ENGINEER:  
N/A

1

I

PLUMBING ENGINEER:  
N/A

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I

FIRE SPRINKLER DESIGN:  
DESIGN BUILD - UNDER SEPARATE PERMIT

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I

PROJECT DATA

1

I

PROJECT ADDRESS  
712, 714 & 716 IVY STREET  
CITY OF GLENDALE, CA 91204

1

I

SCOPE OF WORK  
NEW 2-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

1

I

OWNER  
ALEX ALBARIAN  
712 IVY STREET  
GLENDALE, CA 91204  
(818) 919-2007

1

I

LEGAL DESCRIPTION  
LOT 31 OF MOORPARK TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 20, PAGE 148 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

1

I

CODE  
2022 CBC

1

I

OCCUPANCY  
B (OFFICE & SI WAREHOUSE)

1

I

TYPE OF CONSTRUCTION  
TYPE III-B  
CMU BUILDING

1

I

No. OF STORIES  
TWO STORY - +/-20 FT. HIGH

1

I

APN  
5695-009-005 & 5695-009-006

1

I

ZONE  
IMU - INDUSTRIAL MIXED USE

1

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LOT AREA  
+/- 14,557 S.F.

1

I

PROJECT ANALYSIS

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TRUCK LOADING : 8 SPACES ON GRADE

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SPRINKLER: AUTOMATIC FIRE SPRINKLER (MONITORED SYSTEM) - (NFPA 13)

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LANDSCAPE BUFFER: 5 FT.

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CONSTRUCTION TYPE: CMU BUILDING

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LOT AREA: 5695-009-005: 7,289 SF.  
5695-009-006: 7,268 SF.  
TOTAL LOT AREA = 14,557 SF.

1

I

BUILDING AREAS

1

I

EXISTING BLDG. USE:  
712 IVY - DENTAL OFFICE: 1,481.0 SF.  
714 IVY - WAREHOUSE: 1,628.0 SF.  
TOTAL BUILDING GROSS AREA: 3,109.0 SF.

1

I

PROPOSED BLDG. USE:  
FIRST FLOOR  
WAREHOUSE AREA: 3,501.0 SF.  
OFFICE AREA: 489.0 SF.  
FIRST FLOOR AREA: 3,990.0 SF.

1

I

SECOND FLOOR  
OFFICE AREA: 589.0 SF.

1

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TOTAL BUILDING GROSS AREA: 4,583.0 SF.

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TOTAL ALL BUILDINGS AREA: 7,679.0 SF.

1

I

PARKING CALCULATION

1

I

REQUIRED PARKING 13 SPACES  
PARKING REQUIRED FOR EXISTING BUILDING: 8 SPACES  
EXISTING PROVIDED: 5 SPACES (PER PLANS APPROVED 11/4/2011)

1

I

PARKING REQUIRED FOR NEW BUILDING:  
WAREHOUSE USES AND OFFICES, BUSINESS, COMMERCIAL AND RESEARCH (SAME AS PRIMARY USE WHEN OFFICE AREA NOT EXCEEDS 40% OF BUILDING AREA) 1 PER 1,000 SF. FOR THE FIRST 25,000 SF.  
4,583 / 1,000 = 4.5 = 5 SPACES

1

I

PROVIDED PARKING 18 SPACES  
(E) STANDARD STALLS 16 SPACES  
(N) HANDICAP STALLS 2 SPACE

1

I

LANDSCAPE REQUIRED:  
5% OF PARKING AREA: 6,431.5% = 321 SF.

1

I

LANDSCAPE PROVIDED: 489 SF. (INCLUDING BLDG. FRONTAGE) AT PARKING AREA 401 SF.

1

I

SHEET INDEX

1

I

T-1  
COVER SHEET & PROJECT INFORMATION

1

I

A-1  
SITE PLAN

1

I

A-2  
EXISTING / DEMO SITE PLAN

1

I

A-3  
FLOOR PLAN

1

I

A-4  
NOT USED

1

I

A-5  
ROOF PLAN

1

I

A-6  
NOT USED

1

I

A-7  
EXTERIOR ELEVATIONS

1

I

A-7.1  
EXISTING BUILDING EXTERIOR ELEVATIONS

1

I

A-8  
BUILDING SECTIONS

1

I

A-9  
DOOR SCHEDULE, WINDOW SCHEDULE & DETAILS

1

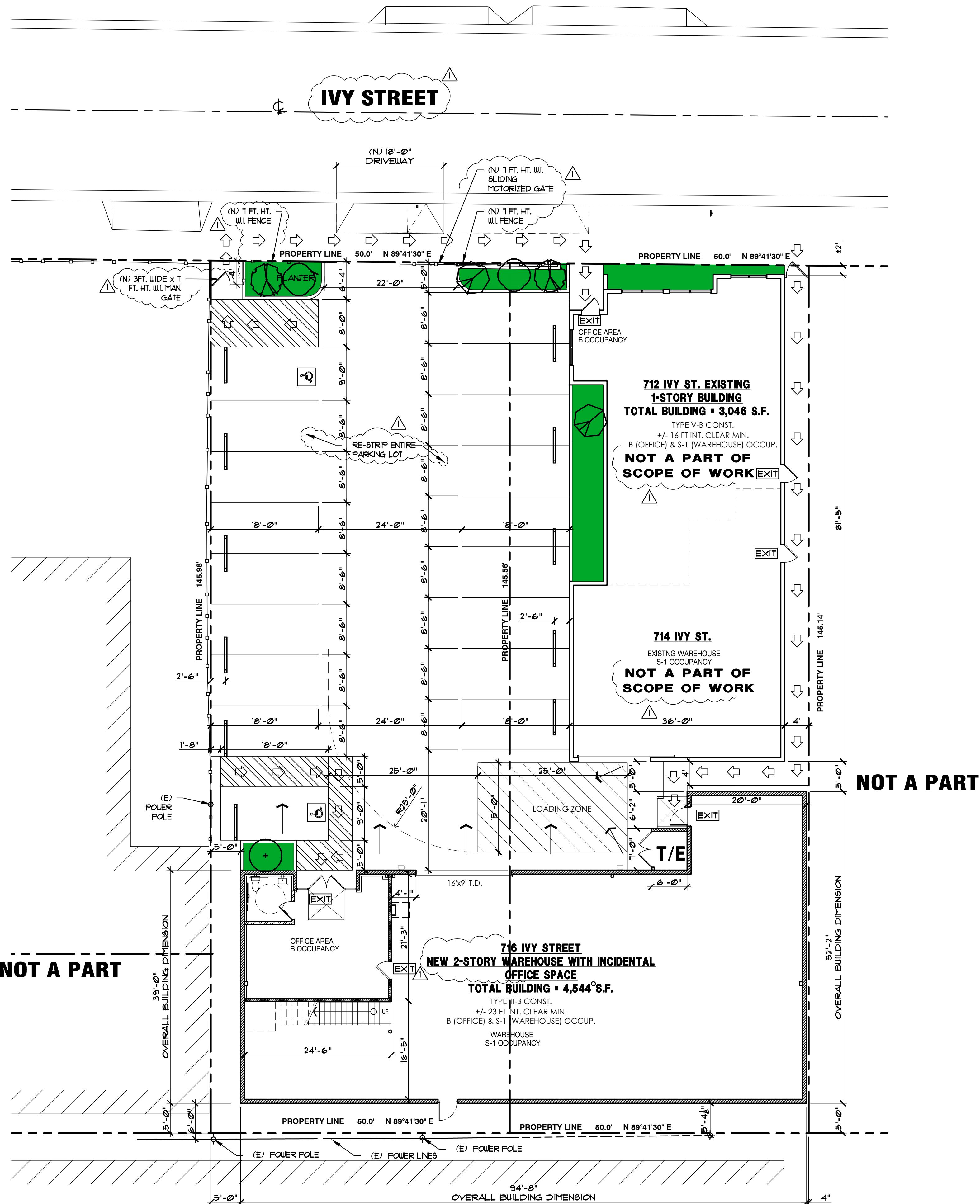
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A-9.1  
PRELIMINARY LANDSCAPE PLAN

### VICINITY MAP







PLANNING NOTES:

- RE-STRIP ENTIRE PARKING LOT
- NO OTHER APPROVALS. NO OTHER APPROVALS ARE GRANTED. ANY CONSTRUCTION OR LAND USE CONTRADICTORY TO THE GMC IS NOT APPROVED BY THIS PERMIT.
- ANY NEW FENCES, GATES, OR WALLS FOR WHICH A BUILDING PERMIT IS NOT REQUIRED SHALL REQUIRE ZONING/DESIGN REVIEW APPROVAL, PRIOR TO CONSTRUCTION.
- IN ACCORDANCE WITH GMC 30.60.040B3, IF DEMOLITION OF THE EXISTING OUTSIDE WALLS AND ROOF AREA EXCEEDS 50% DURING CONSTRUCTION, THE BUILDING LOSES ITS NONCONFORMING STATUS AND MUST BE BROUGHT INTO COMPLIANCE WITH THE CURRENT ZONING CODE. THIS MAY INCLUDE, BUT IS NOT LIMITED TO, REQUIRED SETBACKS, PARKING, AND DESIGN REVIEW BOARD APPROVAL.
- RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE SEPARATE PERMITS.
- E, IF THERE ARE NO INDIGENOUS TREES ON OR WITHIN TWENTY (20) FEET OF THE LOT, PROVIDE THE FOLLOWING NOTE: 'THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY (20) FEET OF THE SITE.'

PROJECT ANALYSIS

ADDRESS: 712, 714 & 716 IVY STREET, GLENDALE, CA 91204  
CONSTRUCTION TYPE: EXISTING: V-B NEW: III-B  
HEIGHT RESTRICTION: - FEET  
TRUCK LOADING: SPACES ON GRADE  
SPRINKLER: AUTOMATIC FIRE SPRINKLER (MONITORED SYSTEM) - (NFPA 13)  
LANDSCAPE BUFFER: 5 FT.  
CONSTRUCTION TYPE: NEW BUILDING: CMU BUILDING  
LOT AREA: 5695-009-005: 1289 S.F.  
5695-009-006: 1268 S.F.  
TOTAL LOT AREA = 14557 S.F.  
ZONING: IMU - INDUSTRIAL MIXED USE

**BUILDING AREAS**  
EXISTING BLDG. USE:  
712 IVY - DENTAL OFFICE: 14810 S.F.  
714 IVY - WAREHOUSE: 16280 S.F.  
TOTAL BUILDING GROSS AREA: 30460 S.F.

**PROPOSED BLDG. USE:**  
FIRST FLOOR  
WAREHOUSE AREA: 34620 S.F.  
OFFICE AREA: 4930 S.F.  
FIRST FLOOR AREA: 39550 S.F.

**SECOND FLOOR**  
OFFICE AREA: 5890 S.F.  
TOTAL BUILDING GROSS AREA: 45440 S.F.  
TOTAL ALL BUILDINGS AREA: 75900 S.F.

PARKING CALCULATION

**REQUIRED PARKING 13 SPACES**  
PARKING REQUIRED FOR EXISTING BUILDING: 8 SPACES  
EXISTING PROVIDED: 9 SPACES (PER PLANS APPROVED 11/14/2011)

PARKING REQUIRED FOR NEW BUILDING:  
WAREHOUSE USES AND OFFICES, BUSINESS, COMMERCIAL AND RESEARCH (SAME AS PRIMARY USE WHEN OFFICE AREA NOT EXCEEDS 40% OF BUILDING AREA) 1 PER 1000 S.F. FOR THE FIRST 25,000 S.F.  
4583 / 1000 = 4.5 = 5 SPACES

**PROVIDED PARKING 18 SPACES**  
(E) STANDARD STALLS 16 SPACES  
(N) HANDICAP STALLS 2 SPACE

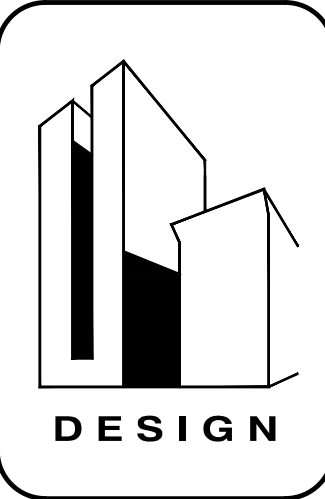
LANDSCAPE REQUIRED:  
5% OF PARKING AREA: 6,431.5% = 321 S.F.

LANDSCAPE PROVIDED: 489 S.F. (INCLUDING BLDG. FRONTAGE)  
AT PARKING AREA 401 S.F.

LEGEND

- DENOTES ACCESSIBLE ROUTE OF TRAVEL FROM STREET AND ACCESSIBLE PARKING TO THE PRIMARY ENTRANCE. SLOPE NOT TO EXCEED 5% WIDTH 48" (MIN.) 4 1/4" PER FOOT CROSS SLOPE. AN INTERNATIONAL ACCESSIBILITY SYMBOL AT ENTRANCE
- DENOTES SITE DRAINAGE SLOPE PER GRADING PLAN
- DENOTES TRASH BIN LOCATION
- DENOTES FINISH SURFACE ELEVATION

REVISIONS	BY
SUBMITTAL 1-9-24	XT
PLANNING REV. 2-2-24	XT
WATER & POWER REV. 5-2-24	XT
PLANNING REV. 7-17-24	XT



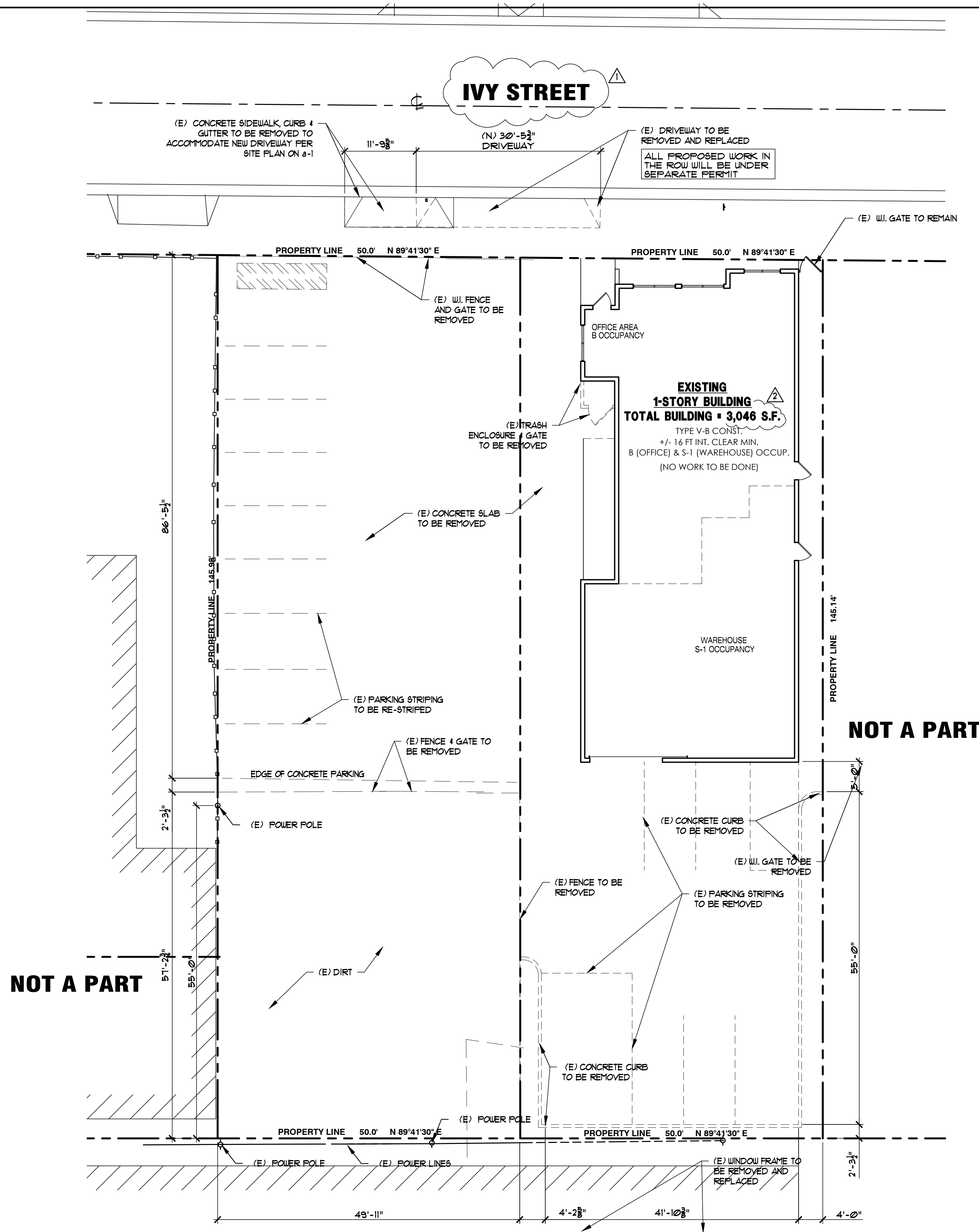
PROJECT ADDRESS:  
NEW 2-STORY BUILDING  
NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE  
CONTACT PERSON: XIMENA TIPAN (562) 714-7196

PROJECT ADDRESS:  
NEW 2-STORY BUILDING  
716 IVY STREET  
GLENDALE, CA 91204

TITLE
SITE PLAN
DATE 1-9-24
SCALE AS SHOWN
DRAWN AT
JOB 24-01-01
SHEET
A-1
SHEET OF

PROPOSED SITE PLAN

SCALE 1"=10'-0"



**WALL LEGEND**

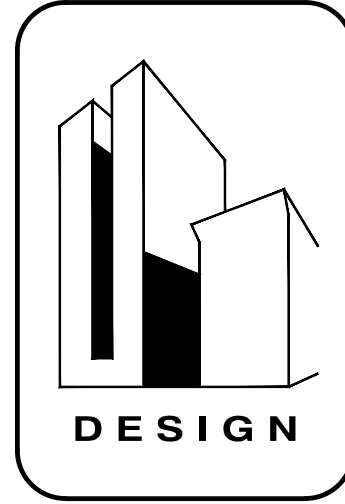
[Solid Line] (E) CONCRETE WALL

[Dashed Line] (E) CONCRETE WALL TO BE REMOVED

(E) DENOTES EXISTING



REVISIONS	BY
SUBMITTAL 1-9-24	XT
PLANNING REV. 2-2-24	XT
WATER & POWER REV. 5-2-24	XT
PLANNING REV. 7-17-24	XT



PROJECT ADDRESS

**NEW 2 -STORY BUILDING**

716 IVY STREET  
GLENDALE, CA 91204

SCOPE OF WORK:

- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

CONTACT PERSON:

XIMENA TIPAN (562) 714-7196

TITLE
EXISTING/ DEMO PLAN
DATE
1-9-24
SCALE
AS SHOWN
DRAWN
AT
JOB
24-01-01
SHEET
<b>A-2</b>
SHEET OF



EXIT SIGN NOTES:

1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. (1013.3)
2. EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54lux)
3. INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS AND SECTION 2102
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (1013.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL BE PROVIDED AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1013.6.3)
6. EGRESS DOORS SHALL READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1010.13.3 FOR EXCEPTIONS
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN 34" AND A MAX. 48" ABOVE THE FINISH FLOOR.
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED
9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.13 - 1010.13.12
10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED
11. THE MEANS OF EGRESS, ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATED ALL OF THE FOLLOWING AREAS:
- a. AISLES AND UNCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS
- b. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- c. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNIT EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
- d. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1010.2, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- e. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.16, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2102.
13. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (1 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG A PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

GLAZING NOTES

- EACH PANE OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATION SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARDS. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF SAFETY GLAZING. GLAZING IN: SECTION 2406
- A. SWINGING DOORS
- B. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.
- C. STORM DOORS.
- D. UNFRAMED SWINGING DOORS.
- E. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
- F. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- G. FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS:
1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
3. EXPOSED TOP EDGE GRATER THAN 36 INCHES ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
- H. GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACES. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL IN-FILL PANELS.
- I. WALLS AND FENCES INCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
1. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.
2. THE GLAZING IS WITHIN 60 INCHES OF A SWIMMING POOL OR SPA WATER'S EDGE.
- J. ADJACENT TO STAIRWAY, LANDINGS AND RAFTERS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE, WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- K. ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.

IMPORTANT NOTES

- 1.- FOR GENERAL NOTES SEE SHT. A-N1
- 2.- FOR HANDICAP NOTES SEE SHT. A-N2 & A-N3
- 3.- VERIFY WITH A.D.A. REQUIREMENTS SHOWN ON SHT. A-N4

NOTE: BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65dB LEQ-1-HR DURING ANY HOUR OF OPERATION

FLOOR PLAN KEYNOTES :

- 1 CMU WALL (TYP.), (PAINT - COLOR SELECTED BY OWNER)
- 2 PILASTER
- 3 STEEL COLUMN
- 4 CONCRETE SLAB (SEALED, SEE FINISH SCHEDULE ON SHT. A-
- 5 FURRED WALL CONSTRUCTION SHALL BE 3 5/8" THICK METAL STUD W/ 5/8" THICK GYPSUM BOARD. - SEE
- 6 METAL STUD WALL W/ 5/8" THK GYPSUM BOARD EA. SIDE. SEE WALL LEGEND BELOW
- 7 WOOD STAIRS - SEE ENLARGED STAIR PLAN
- 8 BUILDING ENTRANCE, PROVIDE 6" SQUARE DISABLE ACCESS SYMBOL AT DOOR - SEE
- 9 LIGHTED EXIT SIGN ABOVE (COMPLY WITH SECTION 1011 OF C.B.C.), SEE EXIT NOTES # 11, 13 & 14 ON SHT. A-N1 AND EXIT SIGN NOTES ON THIS SHEET, PROVIDE BRAILLE SIGN IN COMPLIANCE WITH THE CBC SECTION 10113 WITH THE WORD "EXIT" UNO. AND SHALL BE MOUNTED 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN. CBC SECTION 1117B.1
- 10 PROVIDE EMERGENCY EGRESS ILLUMINATION PER C.B.C SEC. 1006.3
- 11 3'-0" X 1'-0" HOLLOW METAL MAN DOOR & FRAME, SEE DOOR SCHEDULE ON SHT. A-3
- 12 TRUCK DOOR, INSTALLED IN EXISTING OPENING, CONTRACTOR TO VERIFY DIMENSIONS, SEE DOOR SCHEDULE ON SHEET A-3
- 13 WINDOW, CONTRACTOR TO VERIFY DIMENSION, SEE WINDOW SCHEDULE ON SHT. A-
- 14 (N) STEEL LADDER TO ROOF - SEE
- 15 INTERIOR DRAIN & EXTERIOR OVERFLOW - SEE ROOF PLAN SHT.
- 16 METAL CANOPY, SEE STRUCTURAL DUGGS
- 17 NON ABSORBENT FLOORING (MIN. 2 FT. AROUND AND PERPENDICULAR TO EXTERIOR ENTRIES - CONCRETE SLAB

GENERAL NOTES:

1. ALL INTERIOR EXPOSED CMU WALL TO RECEIVE ONE COAT OF HIGH HIDE PRIMER AND ONE COAT OF FLAT INTERIOR PAINT.
2. ALL INTERIOR GYPSUM BOARD WALLS TO RECEIVED MIN. TWO COATS OF PAINT.
3. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR STUDS, STRUCTURAL GRID LINES, OR CENTERLINE OF COLUMNS.
4. CONTRACTOR SHALL PROVIDE SOLID BACKING FOR ALL WALL MOUNTED EQUIPMENT.
5. CONTRACTOR TO PROTECT FLOOR SLAB DURING CONSTRUCTION AND KEEP CLEAN AT ALL TIMES.
6. SEE SHEET A-3 FOR DOOR SCHEDULE.
7. DEAD END CORRIDORS AND EXIT BALCONIES MUST NOT EXCEED 20 FEET.
8. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 802. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803 & 804.
9. ALL NEW DOORS ARE SELF-CLOSING
10. THE MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6" MIN. (10093.2)
11. FOR STUD/TRACK SPLICE - SEE

GREEN BUILDING NOTES

1. A FINAL REPORT FOR THE TESTING AND ADJUSTING OF ALL NEW SYSTEMS SHALL BE COMPLETED PRIOR TO FINAL APPROVAL BY THE FIELD INSPECTOR. THIS REPORT SHALL BE SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.
2. AN OPERATION & SYSTEM MANUAL SHALL BE PROVIDED TO THE OWNER OR REPRESENTATIVE AND TO THE FIELD INSPECTOR AT THE TIME OF FINAL INSPECTION.

WALL LEGEND

- (N) CMU WALL
- 3 5/8" METAL STUD (EXTEND WALL TO UNDERSIDE OF ROOF FRAMING ABOVE) (15'-0") W/5/8" TYPE "X" GYP. BRD. AT EA. SIDE FULL HT. & R-13 BATT INSULATION
- SEE METAL STUD SCHEDULE
- TOP & BOTTOM CONNECTION - SEE
- 3 5/8" METAL STUD (EXTEND WALL 8" ABOVE CEILING) (+ 10'-0") W/5/8" TYPE "X" GYP. BRD. AT EA. SIDE & R-13 BATT INSUL.
- SEE METAL STUD SCHEDULE
- BOTTOM CONNECTION - SEE
- TOP CONNECTION - SEE
- (N) PLUMBING WALL - SEE

(E) DENOTES EXISTING

(N) DENOTES NEW

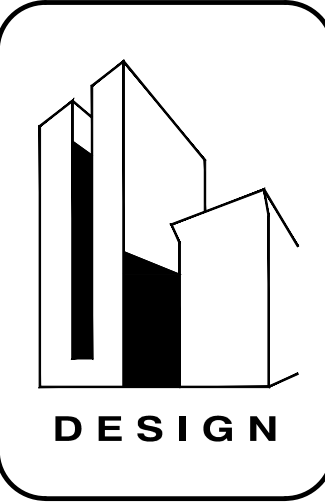


FLOOR PLAN

SCALE 1/8"=1'-0"

1

REVISIONS	BY
SUBMITTAL 1-9-24	XT
PLANNING REV. 2-2-24	XT
WATER & POWER REV. 5-2-24	XT
PLANNING REV. 7-17-24	XT



SCOPE OF WORK:  
- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

CONTACT PERSON: XIMENA TIFAN (562) 714-7196

PROJECT ADDRESS:  
NEW 2 - STORY BUILDING  
716 IVY STREET  
GLENDALE, CA 91204

FLOOR PLAN

DATE 1-9-24

SCALE AS SHOWN

DRAWN AT

JOB 24-01-01

SHEET

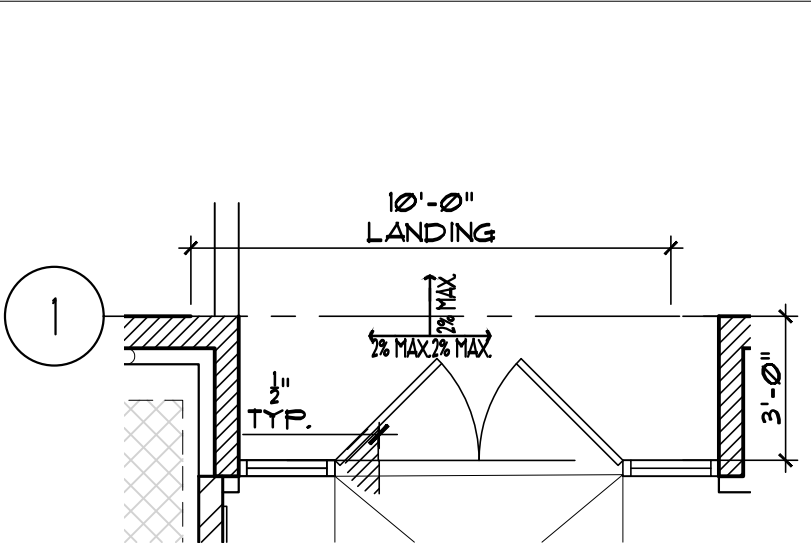
A-3

SHEET OF

TYP. ENTRY

SCALE 1/4"=1'-0"

2







ROOF DRAIN CALCULATIONS:

ROOF AREA #1 = 2,091 S.F. = Ø23 DRAIN  
9,200 S.F.  
PER C.F.C. TABLE 110.12 FOR 2" RAINFALL AND A 4"Ø DRAIN OR 12.56 SQUARE INCHES  
MIN. DRAIN REQUIRED: = Ø23 DRAIN  
DRAINS PROVIDED: (1) 5"Ø ROOF DRAIN  
OVERFLOW PROVIDED: (1) 5"Ø ROOF DRAIN

ROOF AREA #2 = 1,054 S.F. = Ø11 DRAIN  
9,200 S.F.  
PER C.F.C. TABLE 110.12 FOR 2" RAINFALL AND A 4"Ø DRAIN OR 12.56 SQUARE INCHES  
MIN. DRAIN REQUIRED: = Ø11 DRAIN  
DRAINS PROVIDED: (1) 5"Ø ROOF DRAIN  
OVERFLOW PROVIDED: (1) 5"Ø ROOF DRAIN

ROOF AREA #3 = 653 S.F. = ØØ1 DRAIN  
9,200 S.F.  
PER C.F.C. TABLE 110.12 FOR 2" RAINFALL AND A 4"Ø DRAIN OR 12.56 SQUARE INCHES  
MIN. DRAIN REQUIRED: = ØØ1 DRAIN  
DRAINS PROVIDED: (1) 5"Ø ROOF DRAIN  
OVERFLOW PROVIDED: (1) 5"Ø ROOF DRAIN

ROOF DRAIN TABLE

NOTE:  
SEE PLUMBING DRAWINGS FOR ACTUAL SIZES.  
CFC 2017 TABLE 110.121 REQUIREMENTS BASED ON 2"/HR. RAINFALL:

DIAMETER SIZE OF ROOF DRAIN	ALLOWABLE HORIZONTAL PROJECTED AREA
4"	9,200 S.F.
5"	17,300 S.F.
6"	27,000 S.F.

NOTE: EXTERIOR OVERFLOW AREA SHALL BE 3 X EQUAL REQUIREMENT AREA OF ROOF DRAIN

NOTES :

- ALL THE ROOF ELEVATIONS MEASURED FROM TOP OF SHEATHING TO TOP OF FINISHED FLOOR SLAB
- VERIFY & COORDINATE ALL DUGS, WITH ALL TRADES INVOLVED IN THE CONSTRUCTION PROCESS (CIVIL, ARCH'L, STRUCT, MECH, ELECT., ETC.) PRIOR TO THE FABRICATION AND OR CONSTRUCTION OF ALL ITEMS AS CALLED ON THE DUGS.
- OWNER OR TENANT SHALL MAINTAIN ROOF DRAINS AND SCUFFERS SO THAT THEY ARE FREE OF DEBRIS OR ANY BLOCKAGE
- SEE GENERAL NOTES ON SHT. A-N1

SKYLIGHT NOTES

- 48"x36" SMOKE HATCH VENTILATING SKYLIGHT BY BRISTOLITE MODEL 4836 ECO-SV64-CM-1-H81-M1-MF WITH RAIN GUARD OR APPROVED EQUIVALENT. UL 793 / ICC REPORT: E8R 3111
- PROVIDE EXTERIOR MANUAL RELEASE
- INSTALL FLYWD. CRICKET ON HIGH SIDE OF CURBS 24" OR WIDER - MITER PLYWOOD CRICKET TO MEET FLUSH W/DECK. RAISE CURB TO MAINTAIN MIN. 1 1/2" CLR. ABOVE TOP OF CRICKET.
- ALL SKYLIGHT HINGES SHALL BE MOUNTED TOWARDS THE WINDS
- SKYLIGHTS SHALL NOT BE WITHIN 20' OF THE PARAPET (AT PROPERTY LINE)

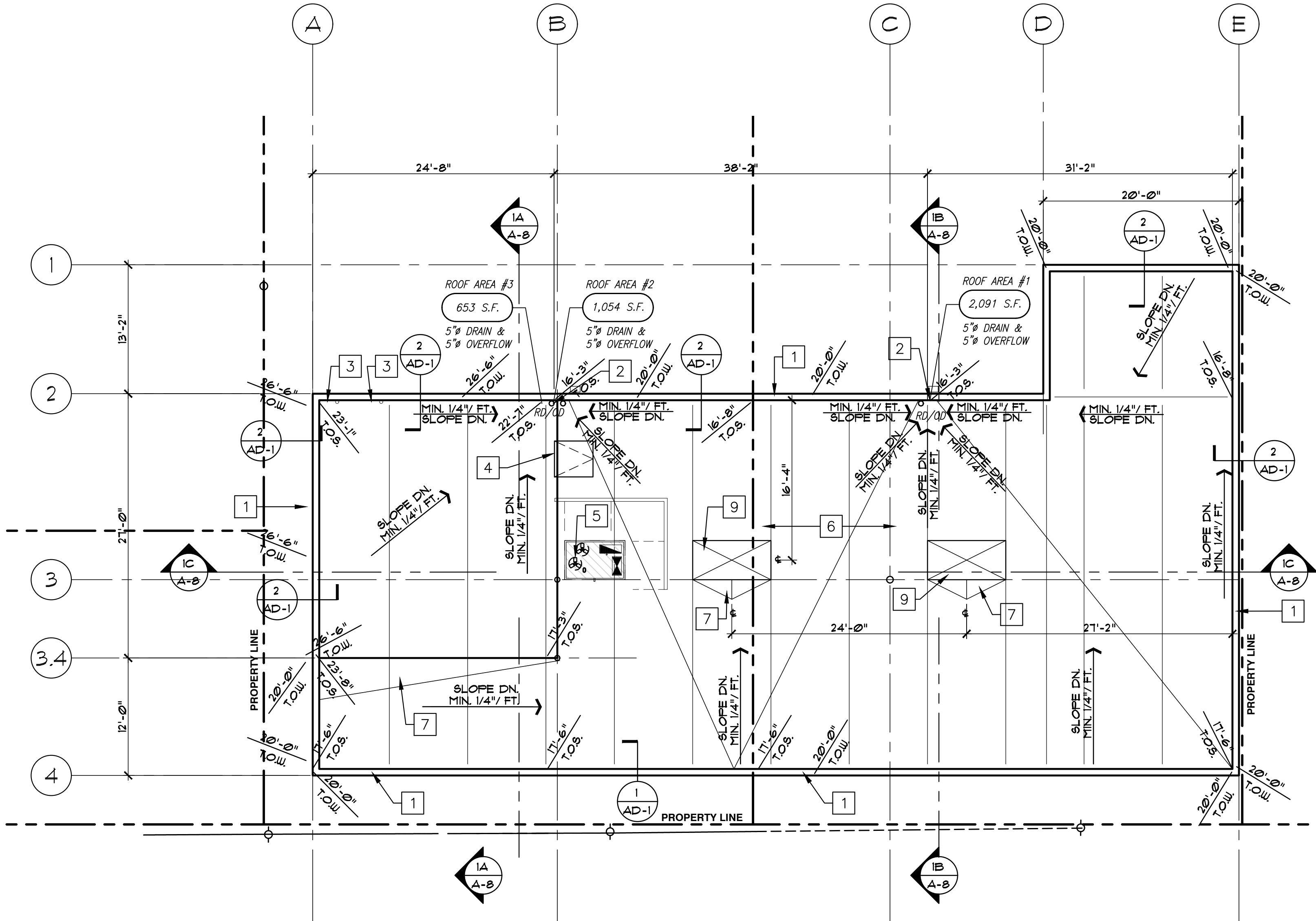
SMOKE/HEAT VENT CALCULATIONS:

SMOKE HATCH/SKYLIGHT AREA/FLOOR AREA RATIO:  
SKYLIGHT AREA: 4' X 8' = 32 S.F.  
WAREHOUSE AREA: 3,168 SQ. FT.  
TOTAL SKYLIGHT AREA: 22 X 3,168 / 32 = 138

SMOKE HATCH/SKYLIGHTS REQUIRED: 2  
SMOKE HATCH/SKYLIGHTS PROVIDED: 2

LEGEND:

T.O.S. TOP OF SHEATHING  
T.O.P. TOP OF PARAPET



ROOF PLAN KEYNOTES

- PARAPET WALL
- INTERIOR ROOF DRAIN & EXTERIOR OVERFLOW - SEE 3 AD-1
- VENT PIPE LOCATION OVER TOILET, SEE 5 AD-1  
3A FAN VENT LOCATION
- ROOF ACCESS HATCH BY BILCO WITH SAFETY EXTENSIONS POLE - SEE 9 AD-1
- MECHANICAL A/C PLATFORM LOCATION, SEE MECHANICAL DRAWINGS FOR EXACT LOCATION - SEE 8 AD-1
- CLASS A BUILT-UP COMPOSITION ROOF (SEE GENERAL NOTE #1 THIS SHEET)
- PLYWOOD BUILT-UP CRICKETS, PROVIDE MIN. 1/4" PER FOOT SLOPE
- CONDUIT TERMINATION FOR FUTURE ELECTRICAL SOLAR USE (1" MINIMUM)
- 48x36 SMOKE HEAT / VENT SKYLIGHT - TYPICAL, SEE 10 AD-1

GENERAL NOTES

- UNDERSIDE OF ROOF SHALL BE INSULATED WITH VENTED FOIL FACED AND KRAFT LINER CAPSHEET INSULATION THROUGHOUT. AT THE TIME OF TENANT IMPROVEMENTS IT SHALL BE REMOVED AND REPLACED WITH R-30 ABOVE CONDITIONED SPACES
- VERIFY THAT ALL AREAS HAVE 1/4"/FT. MIN. SLOPE TOWARDS THE ROOF DRAIN
- FOR TYPICAL ROOF PENETRATION SEE DETAIL 5 AD-1  
- FOR ROOF CLEARANCE PENETRATION SEE DETAIL 6 AD-1
- BUILT-UP ROOF TO BE INSTALLED FOR EXPOSURE "C" TO MPH WINDS
- ALL ROOF ELEVATIONS ARE FROM THE FINISH FLOOR TO THE TOP OF FRAMING MEMBER, REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION
- CLASS A BUILT-UP COMPOSITION ROOF 4 PLYES 15# ASPHALT FELTS AND 1 PLY 90# MINERAL CAP SHEET, HOT MOP EACH PLY WITH 25# ASPHALT MOPPING, 275#/SQFT. FIBERGLASS CAP SHEET. 3" FELT CANT AT ALL PROJECTIONS AT ROOF SUCH AS ROOF PARAPETS, EQUIPMENT PLATFORMS, CURBS, ETC. INSTALL PER MANUFACTURER SPECIFICATIONS. UL CLASS 1A FIRE RATING FH CLASS 1 FIRE RESISTANCE, ROOFING MAY BE GAF (UL R1306) OR EQUAL.
- CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF THE ROOF OPENINGS.
- PROVIDE SHAPED INSULATION CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN)
- CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/IRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. LOCATION ON DRAWINGS ARE APPROXIMATE.
- ROOF DRAINAGE AND OVERFLOW DRAINS TO BE 5" DIA. DRAINAGE SYSTEM SHALL COMPLY WITH CHAPTER 11 OF THE CFC, SYSTEM SHALL BE SIZED FOR A MINIMUM RAIN INTENSITY OF 2 INCHES PER HOUR.
- ROOFING MUST COMPLY WITH UL 55A TYPE 63, MEETING OR EXCEEDING ASTM-D 3909-91B.
- FIRE RETARDANT ROOFING SHALL COMPLY WITH ICC-ES E8101
- SECONDARY ROOF DRAINS HAVING THE SAME SIZE AS THE PRIMARY ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED A MINIMUM 2 INCHES ABOVE THE LOW POINT OF THE ROOF.
- SCUFFERS THROUGH PARAPET WALLS ADJACENT TO THE LOW POINT OF THE ROOF MAY BE USED AS SECONDARY ROOF DRAINAGE. SCUPPER OPENINGS SHALL BE A MINIMUM OF 4 INCHES HIGH AND HAVE A WIDTH EQUAL TO THE CIRCUMFERENCE OF ROOF DRAIN REQUIRED FOR THE AREA SERVED.

A/C SCREEN WALL NOTE

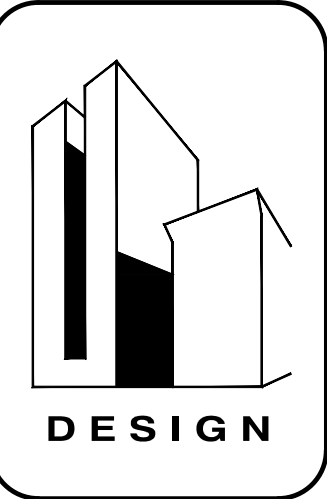
- (N) A/C SCREEN WALL HEIGHT & LENGTH TO BE FIELD VERIFY.
- SCREEN WALL SHOULD BE 6" ABOVE EXISTING A/C UNITS
- 4' CLEAR AROUND (E) A/C UNIT

ALL ROOF RUNOFF TO DRAIN TO STORMWATER INFILTRATION SYSTEM

A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT



REVISIONS	BY
SUBMITTAL 1-9-24	XT
PLANNING REV. 2-2-24	XT
WATER & POWER REV. 5-2-24	XT
PLANNING REV. 7-17-24	XT

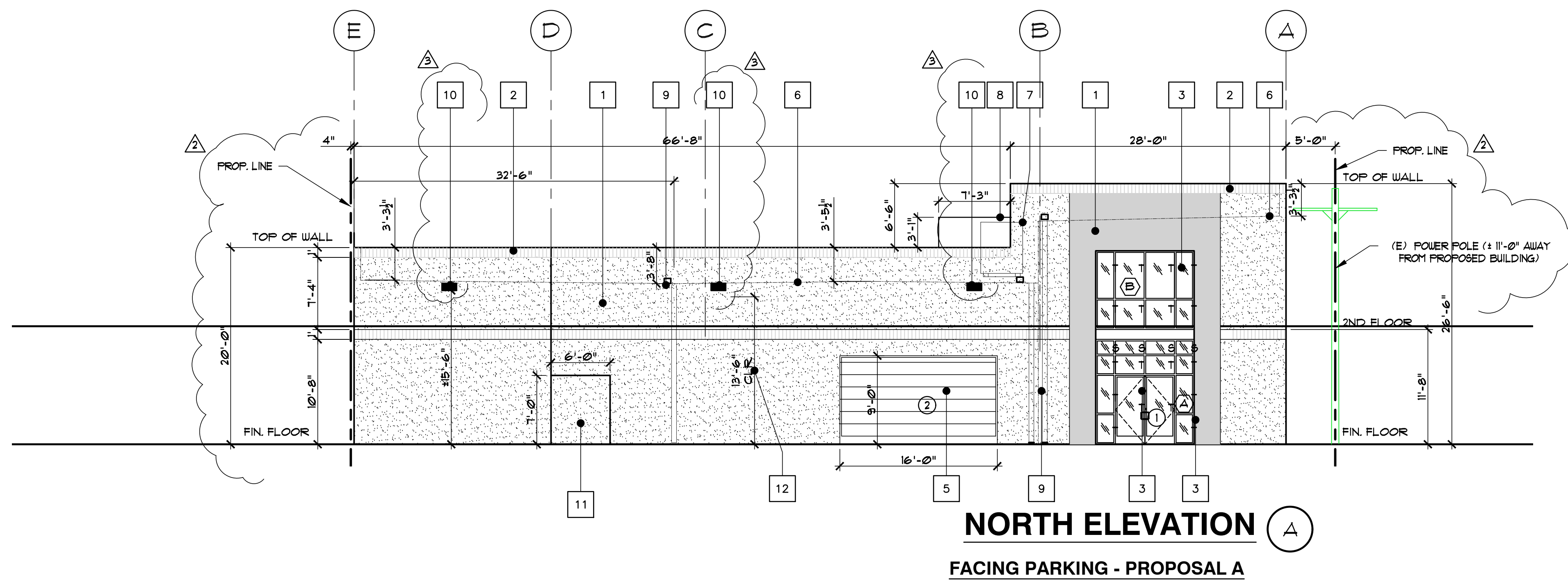


SCOPE OF WORK:  
- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE  
CONTACT PERSON: XIMENA TIPAN (562) 714-7196

PROJECT ADDRESS:  
NEW 2 -STORY BUILDING  
716 IVY STREET  
GLENDALE, CA 91204

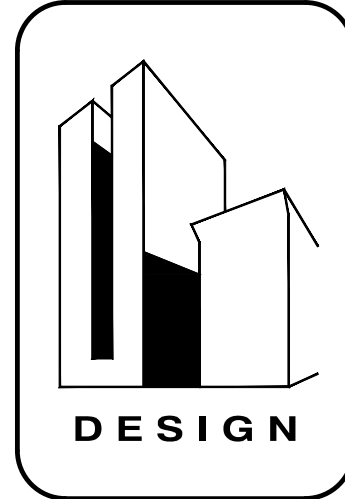
TITLE
ROOF PLAN
DATE 1-9-24
SCALE AS SHOWN
DRAWN AT
JOB 24-01-01
SHEET
A-5
SHEET OF





- ELEVATION KEYNOTES:**
- 1 BLOCK BACKED SMOOTH LOOK LIKE CONCRETE TILT-UP - (PAINT - COLOR SELECTED BY OWNER)
  - 2 12" HIGH x 8" WIDE SCORE BLOCK
  - 3 STOREFRONT 6'x1' GLASS DOOR & WINDOWS, SEE DOOR & WINDOW SCHEDULE ON SHEET A-9
  - 4 PAINTED HOLLOW METAL EXIT DOOR, SEE DOOR SCHEDULE ON A-9
  - 5 PREFINISH ROLL-UP DOOR TO MATCH BUILDING COLOR, CONTRACTOR TO VERIFY IN THE FIELD, SEE DOOR SCHEDULE ON SHEET A-9
  - 6 ROOF LINE, SEE ROOF PLAN SHEET A-5
  - 7 MECHANICAL UNIT PER MECHANICAL DRAWINGS
  - 8 A/C METAL SCREEN WALL, SEE (1) AD-1
  - 9 INTERIOR ROOF DRAIN & OVERFLOW DISCHARGE, ATTACH TO EXISTING DRAIN DISCHARGE (1) AD-1
  - 10 ALPHILITE INC. WFTA-F350-830 LED WALL PACKS OR EQUAL, SEE ELECTRICAL DRAWINGS, MOUNTED TO THE FACE OF THE BUILDING
  - 11 TRASH ENCLOSURE CMU WALL & METAL GATES
  - 12 REQUIRED MINIMUM WAREHOUSE CLEARANCE HEIGHT 15 FT.
  - 13 COMMON GREY BLOCK, UNPAINTED-STRIKE/TOOL ALL JOINTS
- T DENOTES TEMPERED  
S DENOTES SPANDREL

REVISIONS		BY
SUBMITTAL	1-9-24	XT
PLANNING REV.	2-2-24	XT
WATER & POWER	REV. 5-2-24	XT
PLANNING REV.	7-17-24	XT

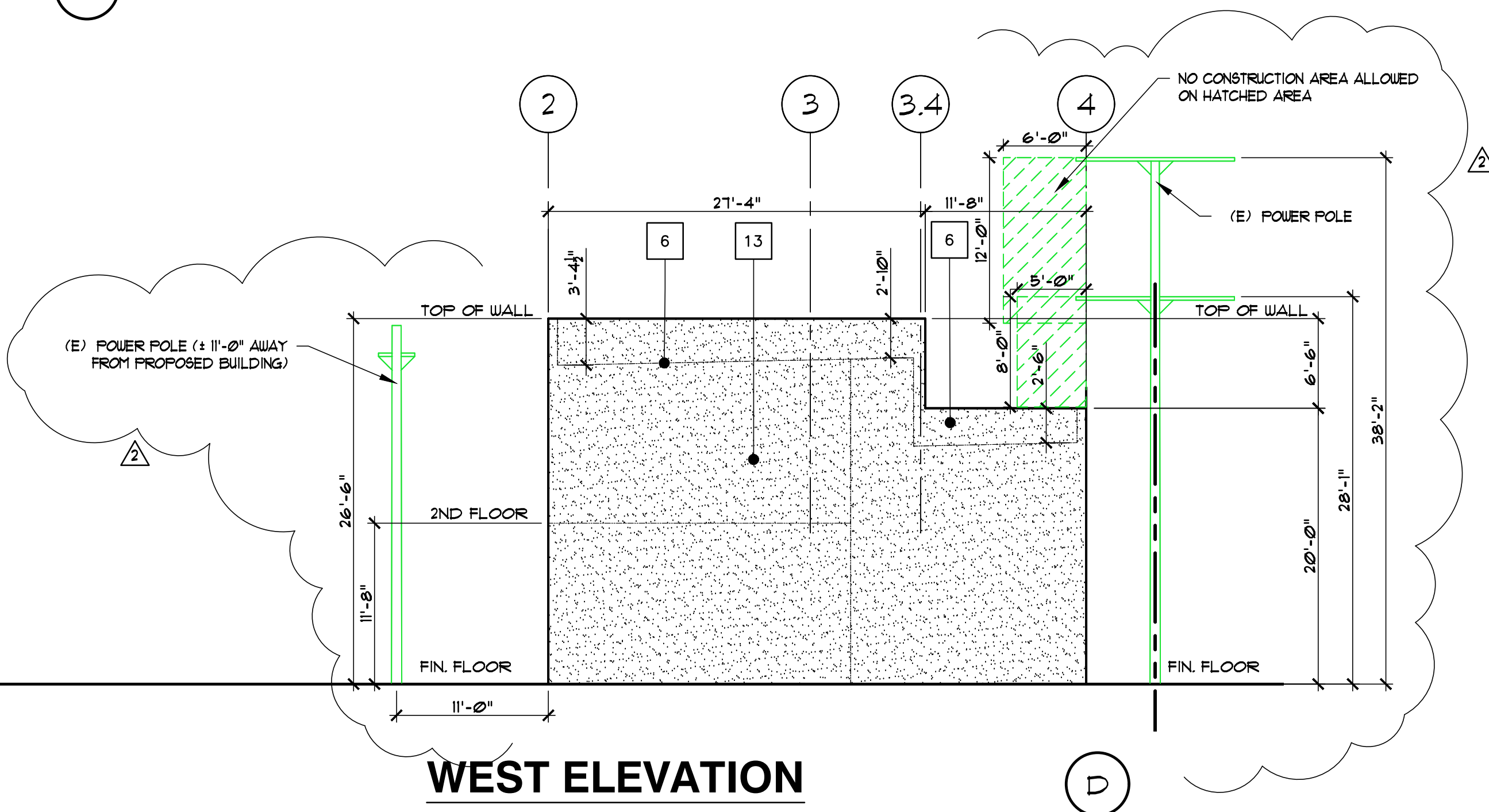
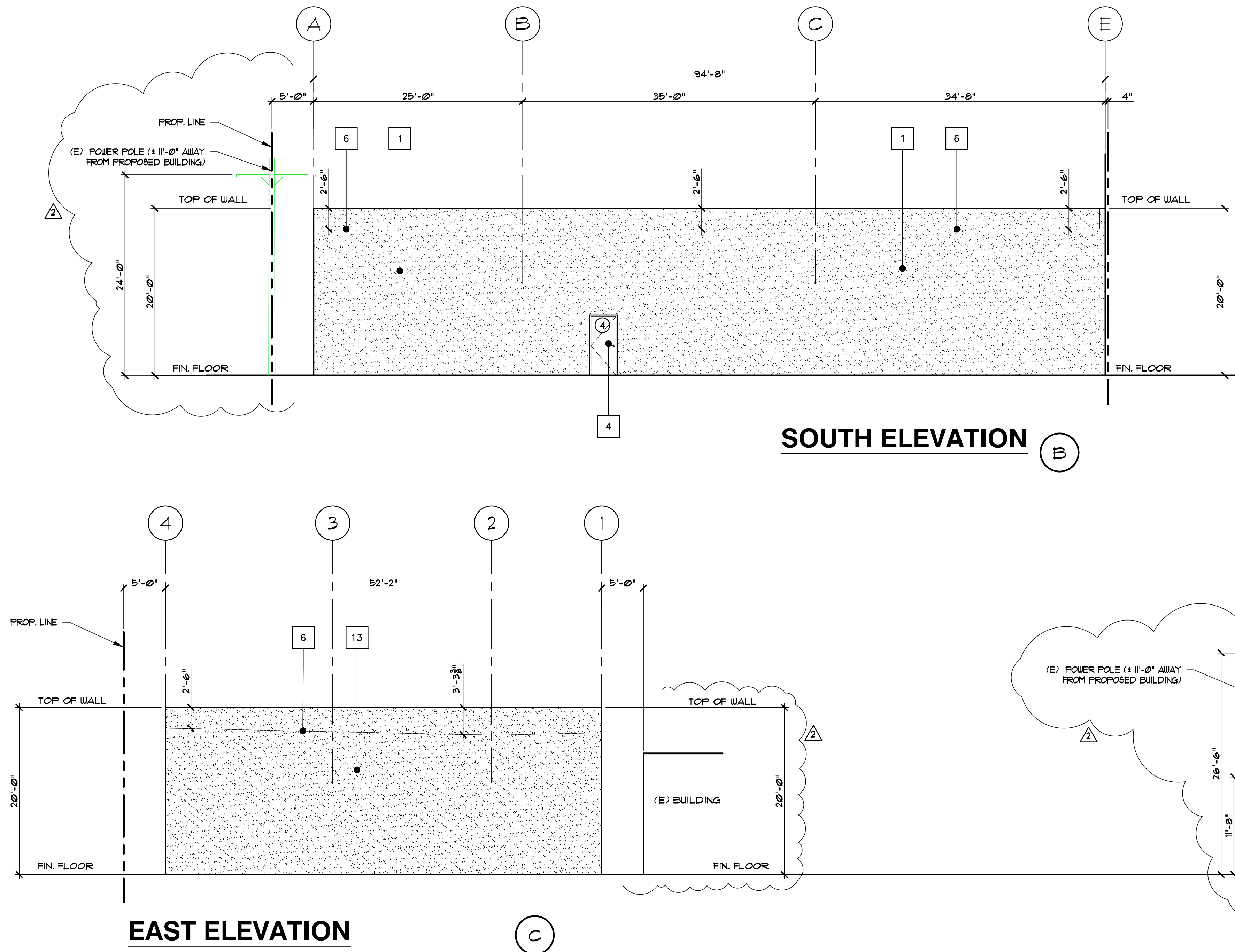


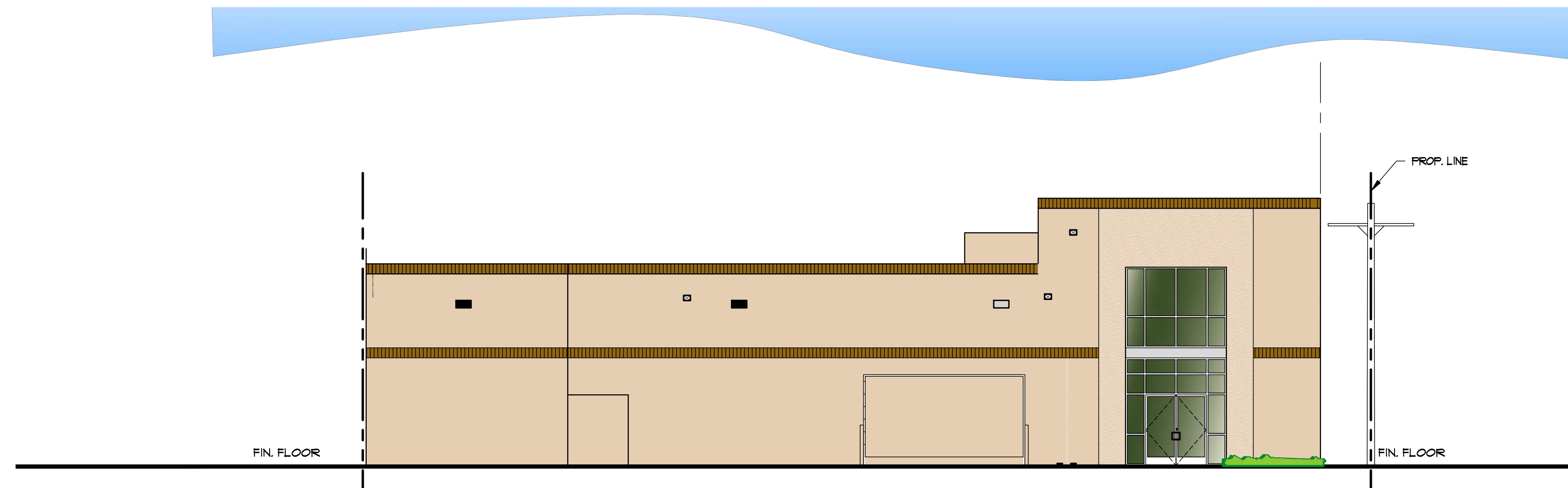
PROJECT ADDRESS  
**NEW 2-STORY BUILDING**  
716 IVY STREET  
GLENDALE, CA 91204

SCOPE OF WORK:  
- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

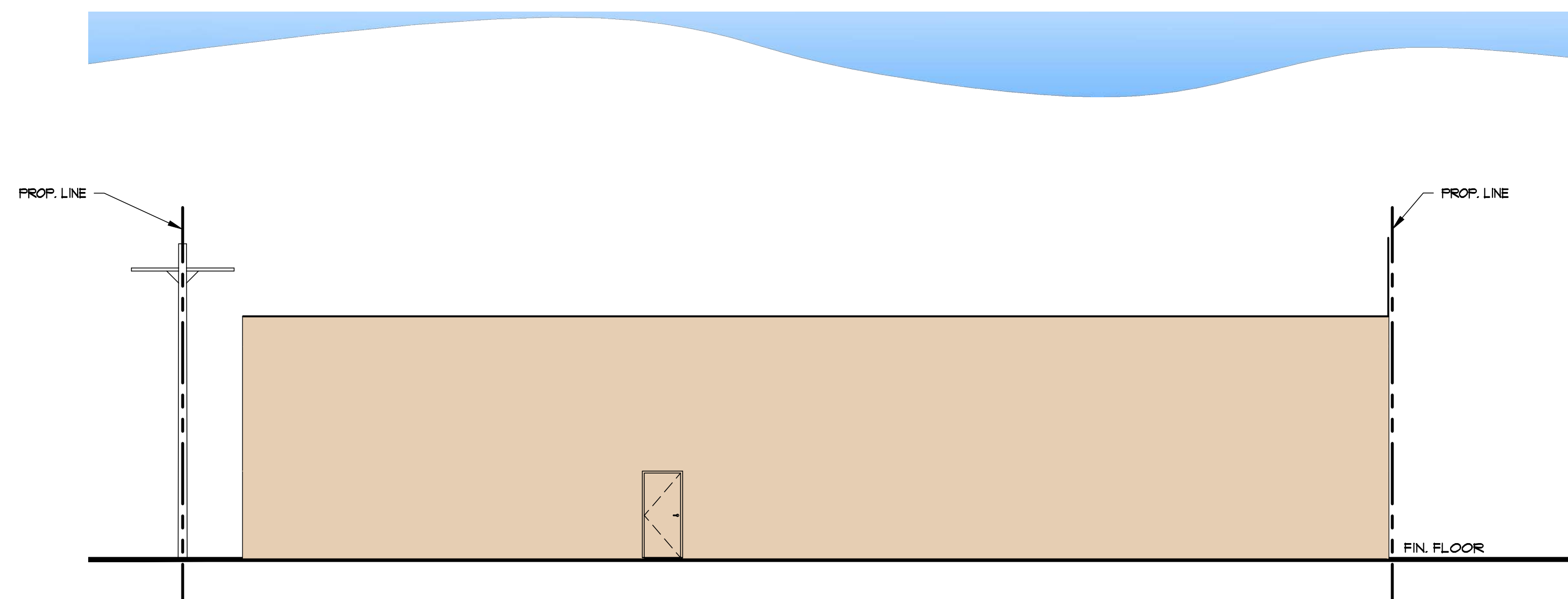
CONTACT PERSON:  
XIMENA TIPAN (562) 714-7196

TITLE	
EXTERIOR ELEVATIONS	
DATE	1-9-24
SCALE	AS SHOWN
DRAWN	AT
JOB	24-01-01
SHEET	<b>A-7</b>
SHEET OF	

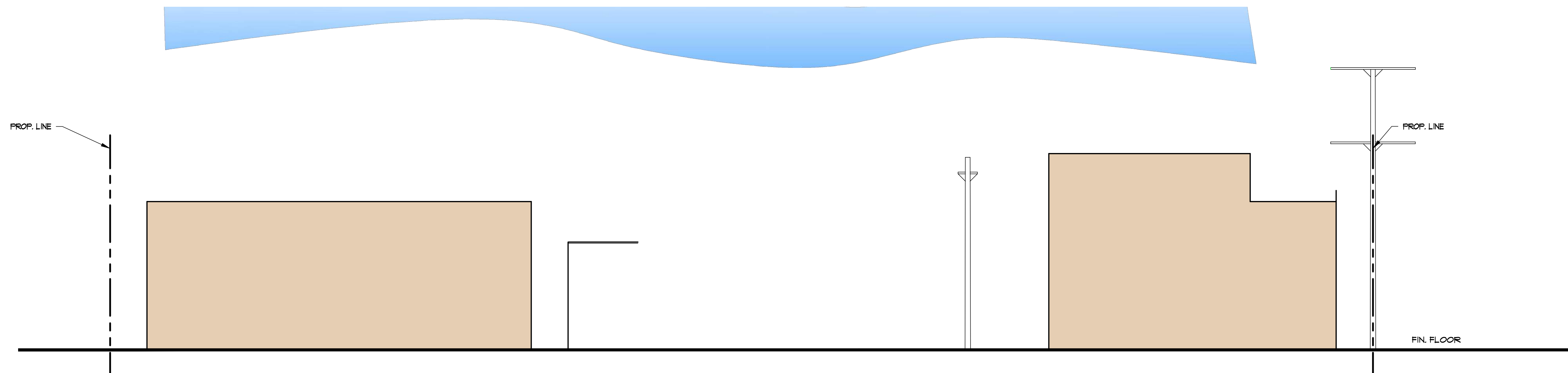




**NORTH ELEVATION**



**SOUTH ELEVATION**



**EAST ELEVATION**

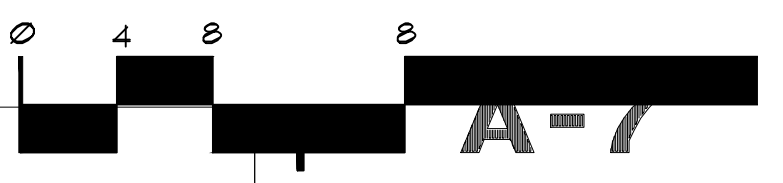
**WEST ELEVATION**

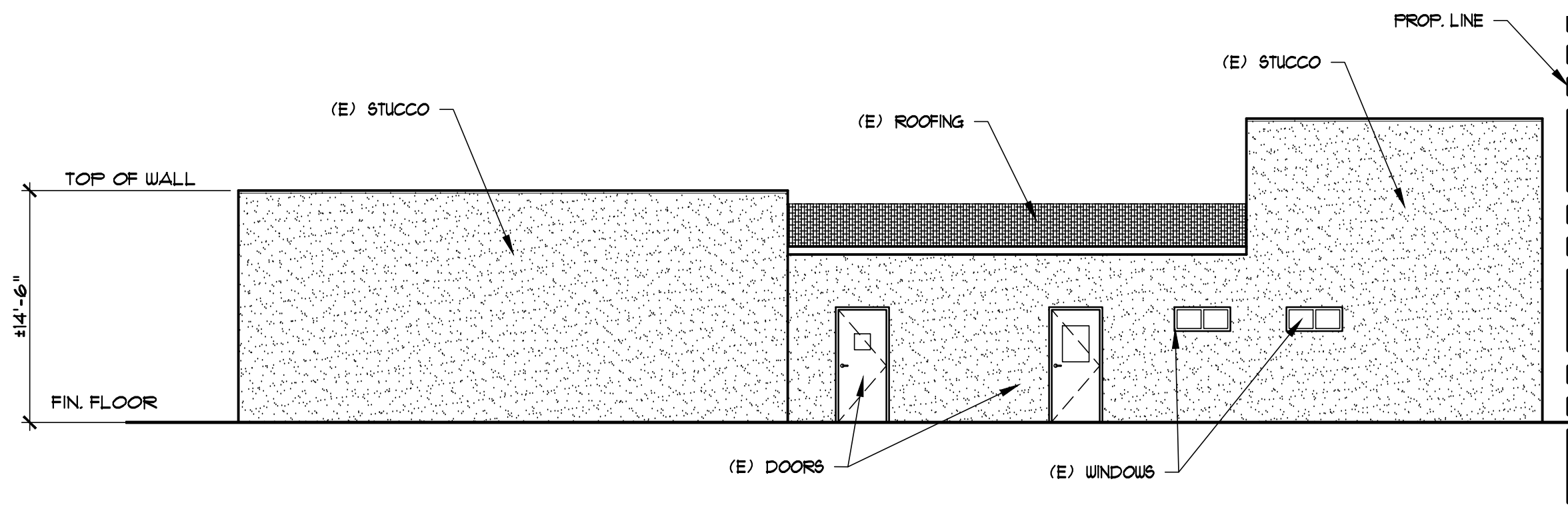
**716 Ivy Street**  
**Glendale, CA**

Owner: **ALEX ALBARIAN**

**COLOR ELEVATIONS**

EXTERIOR ELEVATIONS 8.6.24

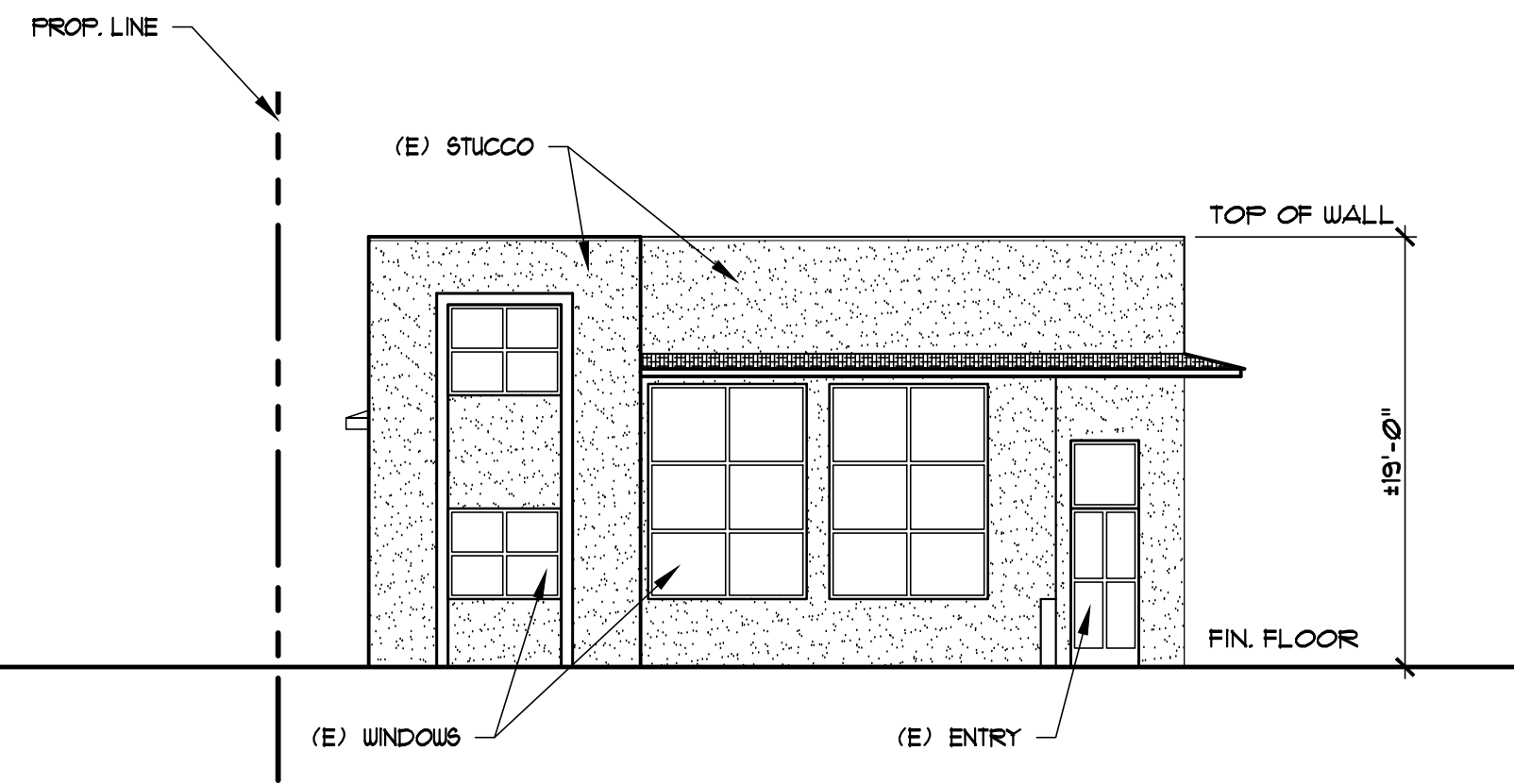




### EAST ELEVATION

A

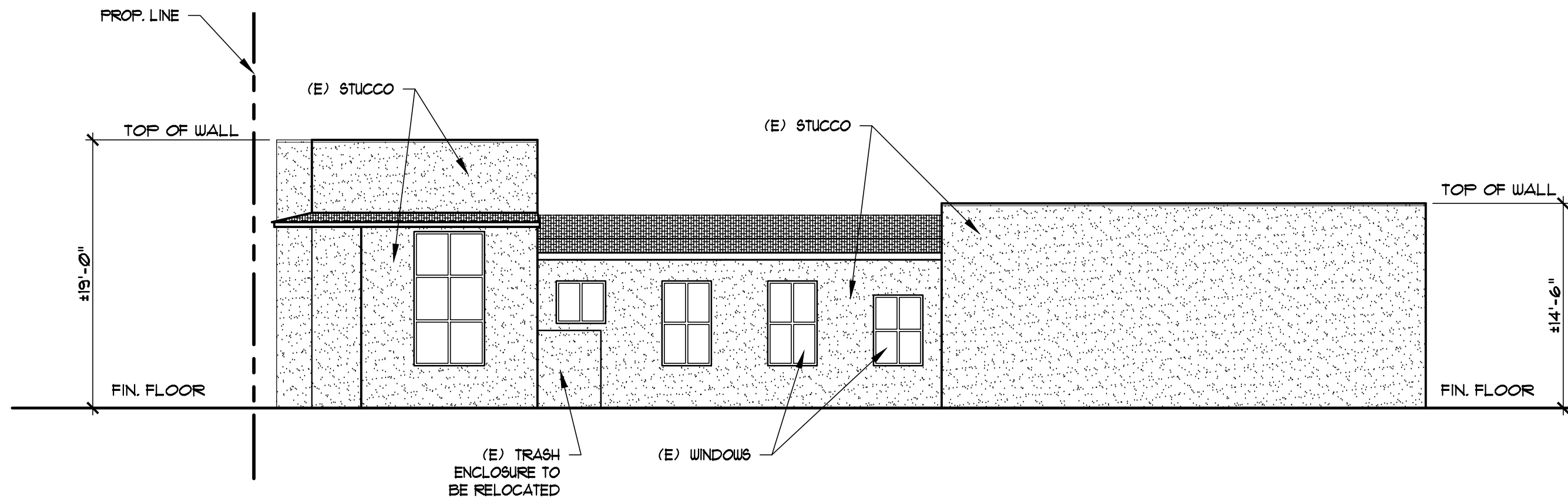
FACING PARKING - PROPOSAL A



### NORTH ELEVATION

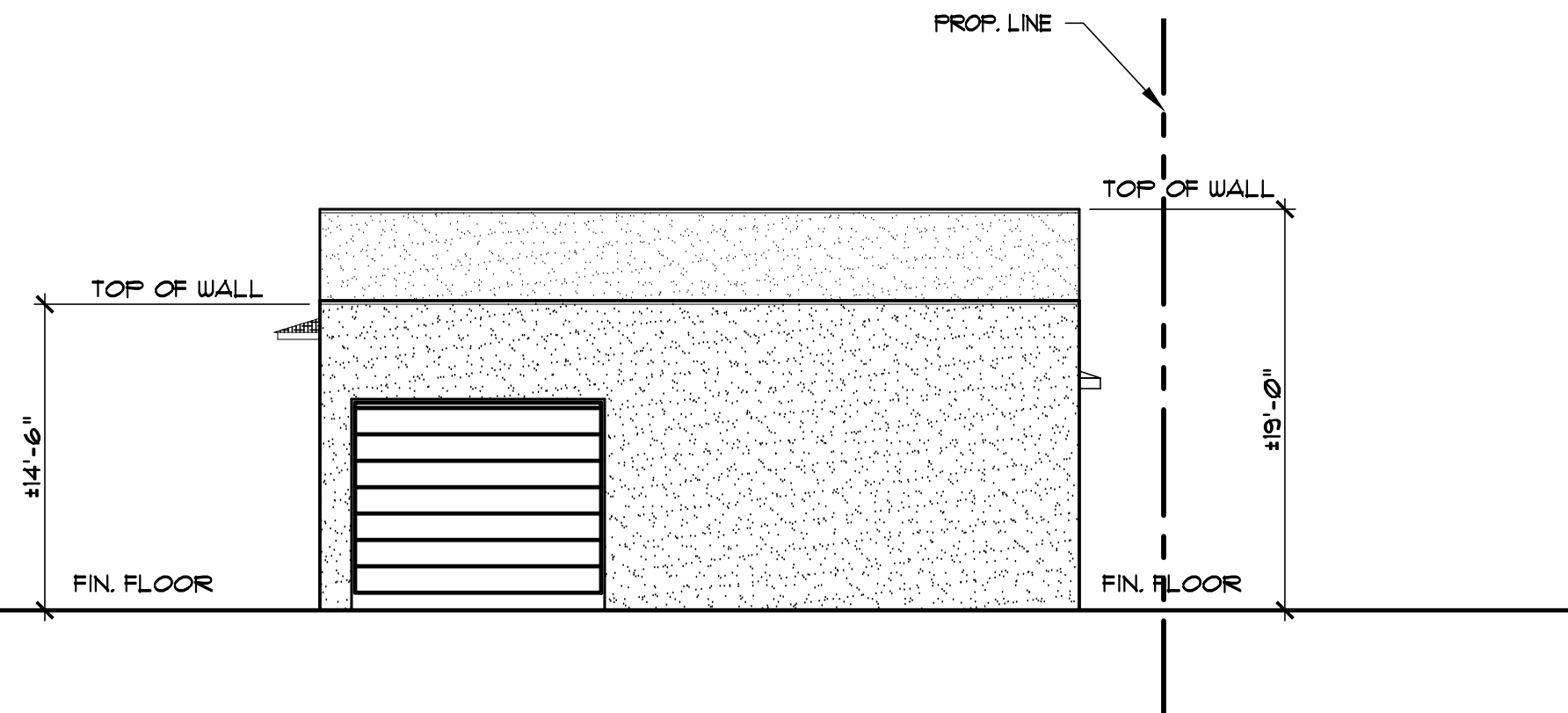
B

FACING IVY STREET



### WEST ELEVATION

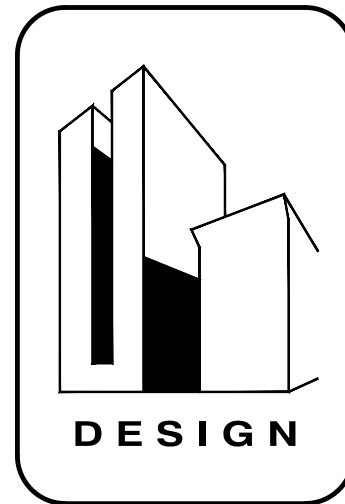
C



### SOUTH ELEVATION

D

REVISIONS	BY
SUBMITTAL 1-9-24	XT
PLANNING REV. 2-2-24	XT
WATER & POWER REV. 5-2-24	XT
PLANNING REV. 7-17-24	XT



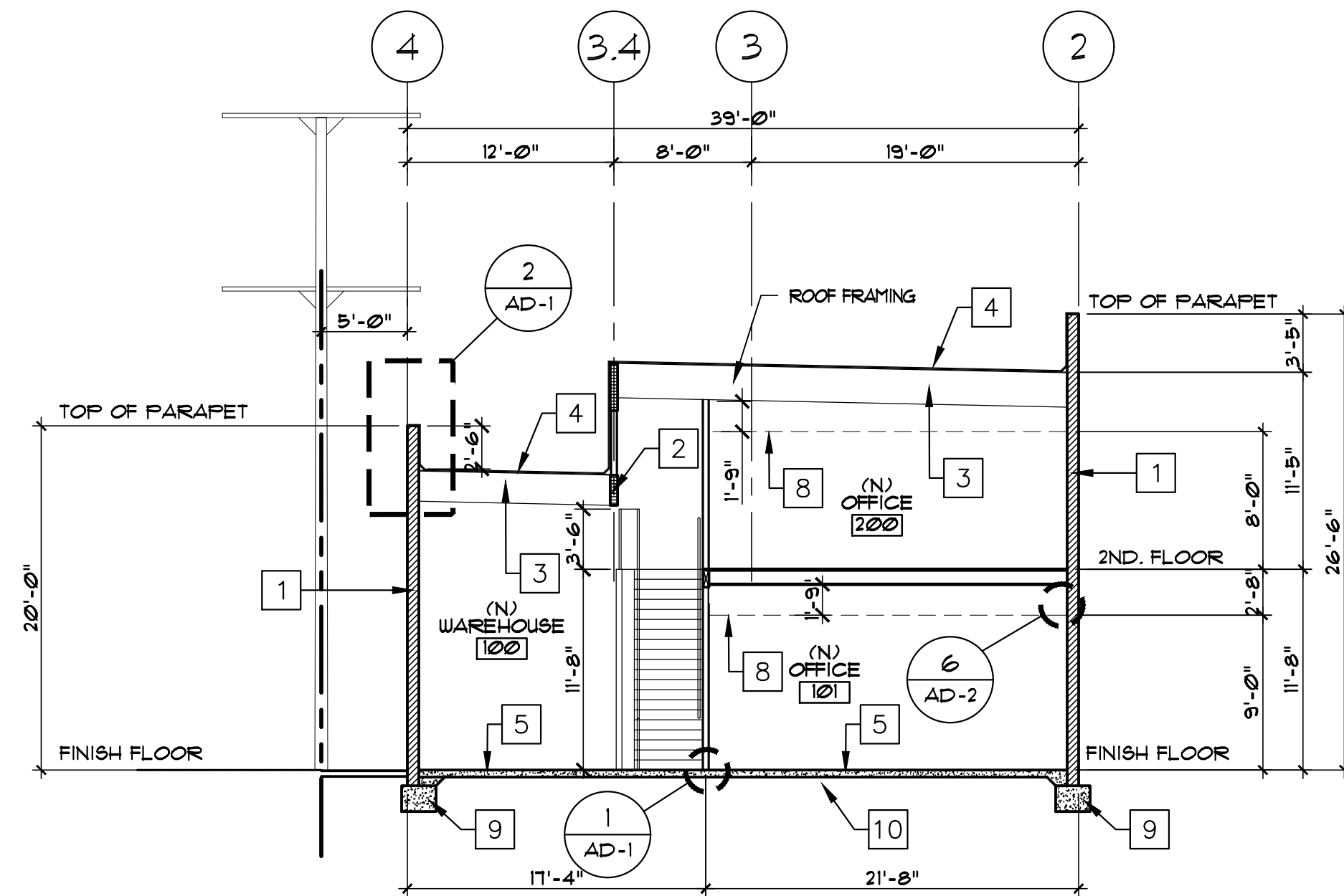
SCOPE OF WORK:  
- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

CONTACT PERSON:  
XIMENA TIPAN (562) 714-7196

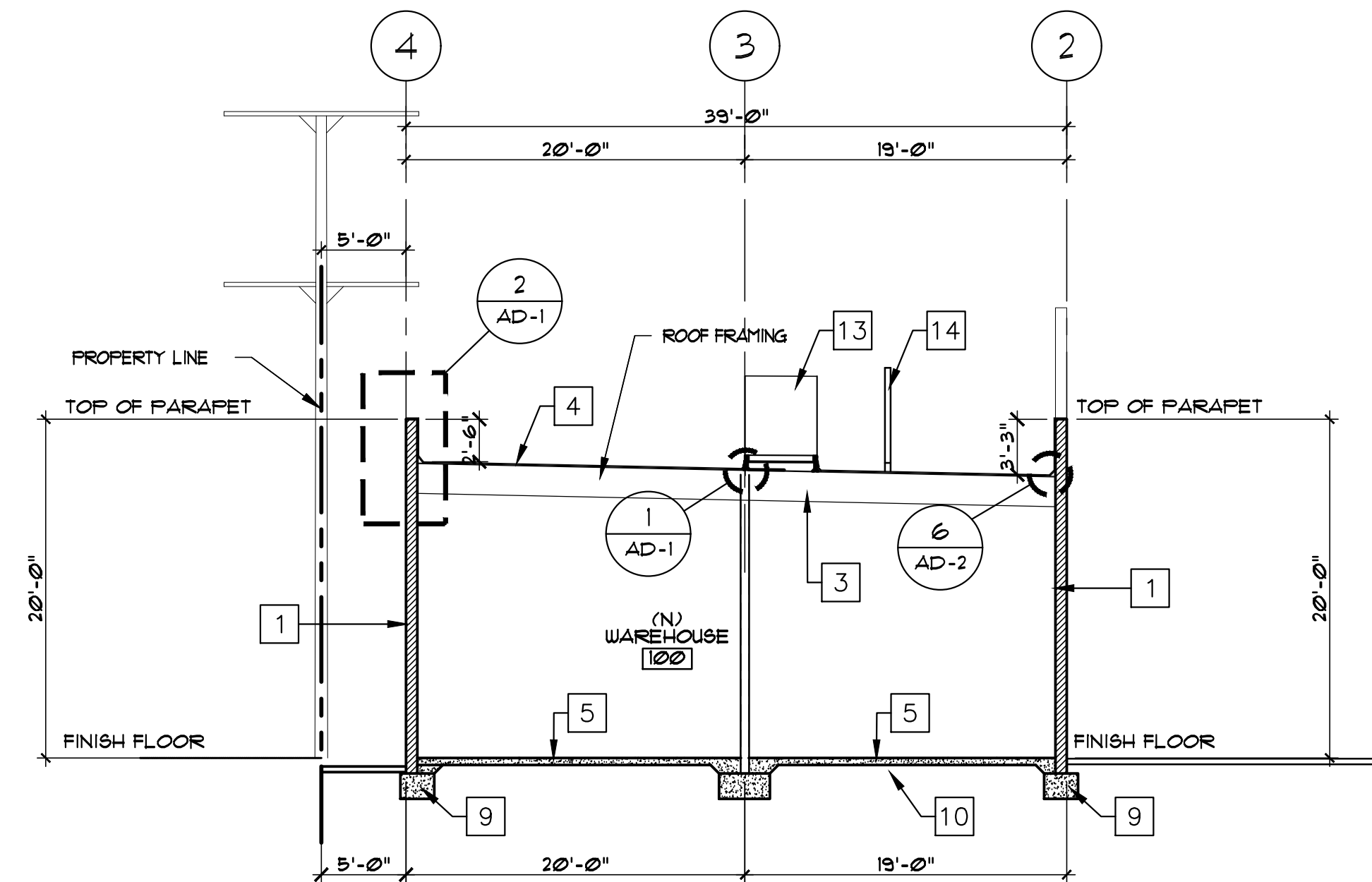
PROJECT ADDRESS:  
NEW 2 -STORY BUILDING  
716 IVY STREET  
GLENDALE, CA 91204

TITLE
EXISTING BUILDING EXTERIOR ELEVATIONS
DATE 1-9-24
SCALE AS SHOWN
DRAWN AT
JOB 24-01-01
SHEET A-7.1
SHEET OF

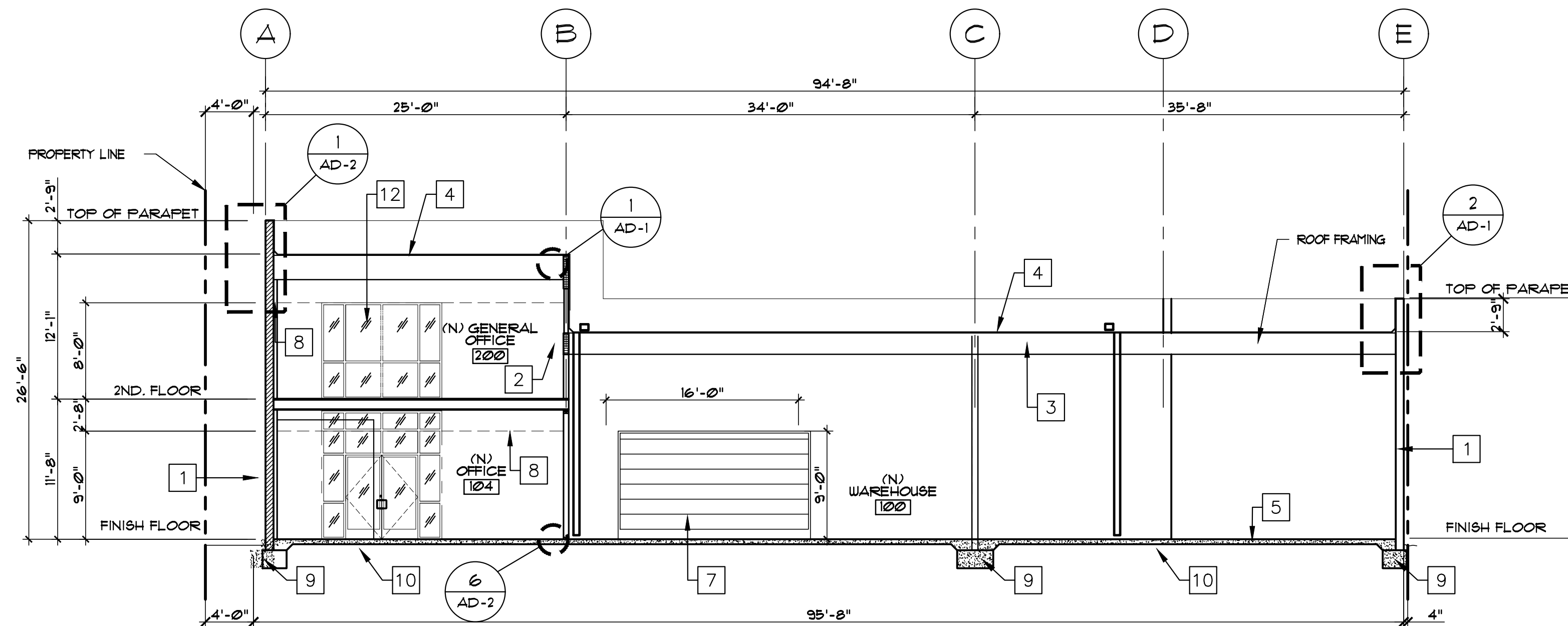




**SECTION A-A**



**SECTION B-B**

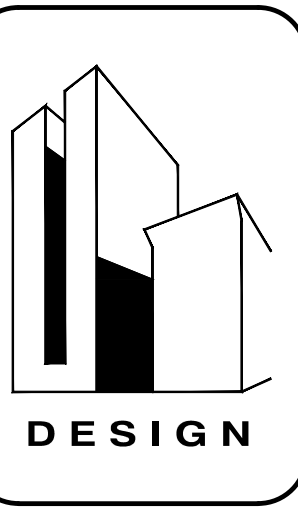


**SECTION C-C**

**SECTION KEYNOTES:**

- 1 CMU WALL PAINTED AT INTERIOR SIDE OF BUILDING
- 2 BEAM PER STRUCTURAL DRAWINGS
- 3 PURLINS PER STRUCTURAL DRAWINGS
- 4 1/4" ROOF SLOPE MINIMUM
- 5 REINFORCED CONCRETE SLAB
- 6 PREFINISH ROLL-UP DOOR TO MATCH BUILDING COLOR. CONTRACTOR TO VERIFY IN THE FIELD, SEE DOOR SCHEDULE ON SHEET A-3
- 7 METAL STUD WALL W/ 5/8" THK GYPSUM BOARD EA. SIDE. PROVIDE WATER RESISTANT GYPSUM BOARD ON INTERIOR WALL OF TOILET ROOMS.
- 8 T-BAR CEILING, SEE REFLECTED CEILING PLAN ON A-3
- 9 CONCRETE FOOTING
- 10 COMPACTED BACKFILL
- 11 CONCRETE FILASTER
- 12 WINDOW, SEE WINDOW SCHEDULE ON SHEET A-3
- 13 MECHANICAL UNIT, SEE MECHANICAL & STRUCTURAL DWGS.
- 14 A/C METAL SCREEN WALL, SEE (1) AD-1

REVISIONS	BY
SUBMITTAL 1-9-24	XT
PLANNING REV. 2-2-24	XT
WATER & POWER REV. 5-2-24	XT
PLANNING REV. 7-17-24	XT



SCOPE OF WORK:  
- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

CONTACT PERSON: XIMENA TIPAN (562) 714-7196

PROJECT ADDRESS:  
**NEW 2 -STORY BUILDING**  
716 IVY STREET  
GLENDALE, CA 91204

TITLE
<b>BUILDING SECTIONS</b>
DATE: 1-9-24
SCALE: AS SHOWN
DRAWN: AT
JOB: 24-01-01
SHEET

PROVIDE GLAZING WITH AN "U" VALUE = .32, & "SHGC" VALUE= 0.25 (VERIFY REQUIREMENTS WITH THE TITLE 24 CERTIFICATE OF COMPLIANCE CALCULATIONS ON THE MECH. DWGS.) ALL GLAZING SHALL COMPLY WITH CHAPTER 24 OF 2022 C.B.C.

## WINDOW TYPES

NOTE: FIELD MEASURED AND VERIFY ALL OPENING DIMENSIONS & PROVIDE SECURITY BARS IN ALL WINDOWS



1



1. GLAZING SHALL CONFORM WITH CHAPTER 24 OF THE 2013 CBC

## 2



1. CONCRETE WALK SHALL SLOPE AWAY FROM STOREFRONT (1/4"/FT.)
2. STOREFRONT AND GLAZING SHALL CONFORM WITH CHAPTER 24 OF THE 2013 CBC

## 3

## DOOR TYPES

\* PROVIDE A SIGN ABOVE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"  
WIDTH AND HEIGHT OF REQUIRED EXIT DOORWAYS TO COMPLY WITH TITLE 24, SECTION 1004.2.



A - ENTRY/EXIT DOOR - (PRE-FINISHED BLACK ANODIZED ALUMINUM DOOR)

GLASS ENTRY DOOR HAVING 5-1/16" NOMINAL WIDTH VERTICAL STYLE, 5-1/8" NOMINAL WIDTH HEAD, AND 9-1/2" NOMINAL SILL ON CONTINUOUS HINGES W/ CONCEALED CLOSER, BLUM PUSH/PULL CONTROL WITH 5 PIN HAGER LOCK. STANDARD 1" THRESHOLD, 5'-0" LONG, STAINLESS STEEL LADDER HANDLE ON EACH SIDE OF DOOR (INTERIOR & EXTERIOR)

B. - ROLL UP DOOR

FORVENE MODEL #424 OR EQUAL, 24 GA. FLAT TYPE STEEL SLATS ROLL UP DOOR, GRAY PRIMED FINISH, 3-PIECE STEEL ANGLE GUIDES, 2-PIECES STEEL ANGLE BOTTOM, BAR, FULL PERIMETER WEATHER STRIP

C. - HOLLOW METAL PRIVATE ENTRANCE

3'-0"x7'-0" HOLLOW METAL DOOR FRAME WITH MASONRY ANCHORS, 3'-0"x7'-0" HOLLOW METAL DOOR, (3) THREE BALL BEARING NRP HINGES, SCHLAGE L-9453 LOCKSET AND HANDLES, NORTON 8501 CLOSER, FEMKO THRESHOLD, SWEEP WITH RAIN DRIP, BLACK GUARD, FEMKO SMOKE SEAL, FEMKO DOOR DRIP AND CYLINDERS KEYED ALIKE

1. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND/OR SURFACE BOLTS ARE PROHIBITED PER U.B.C. SECTION 1004.3.

2. DOORS SHALL BE KEY OPERATED FROM THE OUTSIDE. ALL DOORS TO BE KEYS TO OWNERS KEY.

3. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN THE AREA SERVED HAS AN OCCUPANT LOAD OF 50 OR MORE. TITLE 24, 1004.2.

4. HARDWARE SHALL BE OF THE LEVER OR PUSH-PULL TYPE, MOUNTED NOT LESS THAN 30" OR MORE THAN 44" ABOVE FINISH FLOOR TO COMPLY WITH THE REQUIREMENTS OF C.B.C. SECTION 1004.

5. DOOR THRESHOLDS SHALL NOT EXCEED 1/2" HEIGHT WITH A MAX. BEVEL OF 45 DEGREES.

6. ALL DOORS SHALL COMPLY WITH HANDICAP REQUIREMENTS - SEE HANDICAP NOTES SHEET A-N2 & A-N4.

7. ALL EXTERIOR SWING DOORS SHALL BE EQUIPPED WITH A DEAD BOLT AND DEAD BOLT LOCKING LATCH (OUTSIDE) WITH PUSH-PULL TRIM.

8. PROVIDE A SIGN ABOVE MAIN EXIT DOORS STATING IN " HIGH LETTER WITH CONTRASTING BACKGROUND "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".

11. ALL REQUIRED EXIT DOORS SHALL NOT BE LESS THAN 3 FT. WIDE, 6'-8" HIGH, SHALL HAVE A CLEAR EXIT WAY WIDTH OF NOT LESS THAN 32" AND SHALL BE CAPABLE OF OPENING 90 DEGREES. THE MAXIM. DOOR LEAF WIDTH IS 4 FT. WHEN SERVING AN OCCUPANT LOAD OF 10 OR MORE.

12. EXIT ILLUMINATION SHALL HAVE A SEPARATE SOURCE OF POWER.

13. THIS STRUCTURE REQUIRES LIGHTED EXIT SIGNS, EXIT ILLUMINATION SEPARATE SOURCES OF POWER, AND EXIT SIGNS ON SEPARATE CIRCUITS AND INDEPENDENTLY CONTROLLED.

14. GLASS DOOR, ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.

15. EXIT DOORS SHALL BE PIVOTED, BALANCED OR SIDE-HINGED SWINGING TYPE.

16. PANIC HARDWARE SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 2011 SECTION 1008.1.9

a. THE ACTIVATING PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH. THE ACTIVATING MEMBER SHOULD BE MOUNTED BETWEEN 30" AND 44" ABOVE THE FLOOR.

b. THE MAXIMUM UNLATCHING FORCE SHALL NOT EXCEED 15 POUNDS (6.7N).

c. DOOR SHALL SWING IN THE DIRECTION OF EGRESS

1. THE WIDTH OF CLEAR AREA ON THE SWING SIDE OF DOOR SHALL BE EXTENDED 24" PAST STRIKE JAMB FOR EXTERIOR DOORS AND 18" PAST STRIKE JAMB FOR INTERIOR DOORS.

## 4

## 6

## DESIGN

- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

CONTACT PERSON:  
XIMENA TIPAN (562) 714-7196

PROJECT ADDRESS  
NEW 2 -STORY BUILDING

716 IVY STREET  
GLENDALE, CA 91204

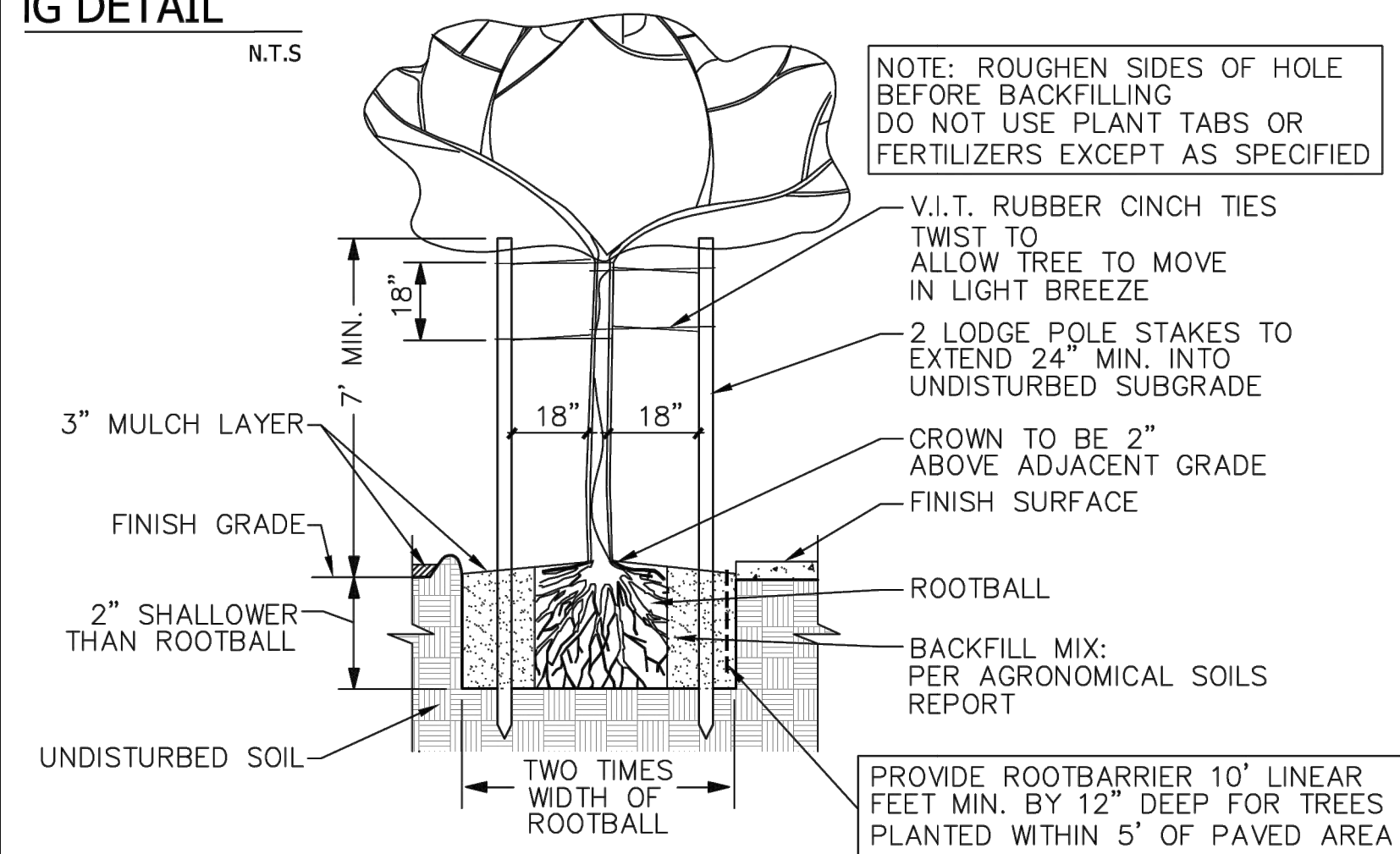
# DOR & WINDOW SCHEDULES

DATE	1-9-24
SCALE	AS SHOWN
DRAWN	AT
JOB	24-01-01
SHEET	<div style="border: 1px solid black; border-radius: 50%; padding: 10px; display: inline-block;"> <b>A-9</b> </div>

SHEET OF



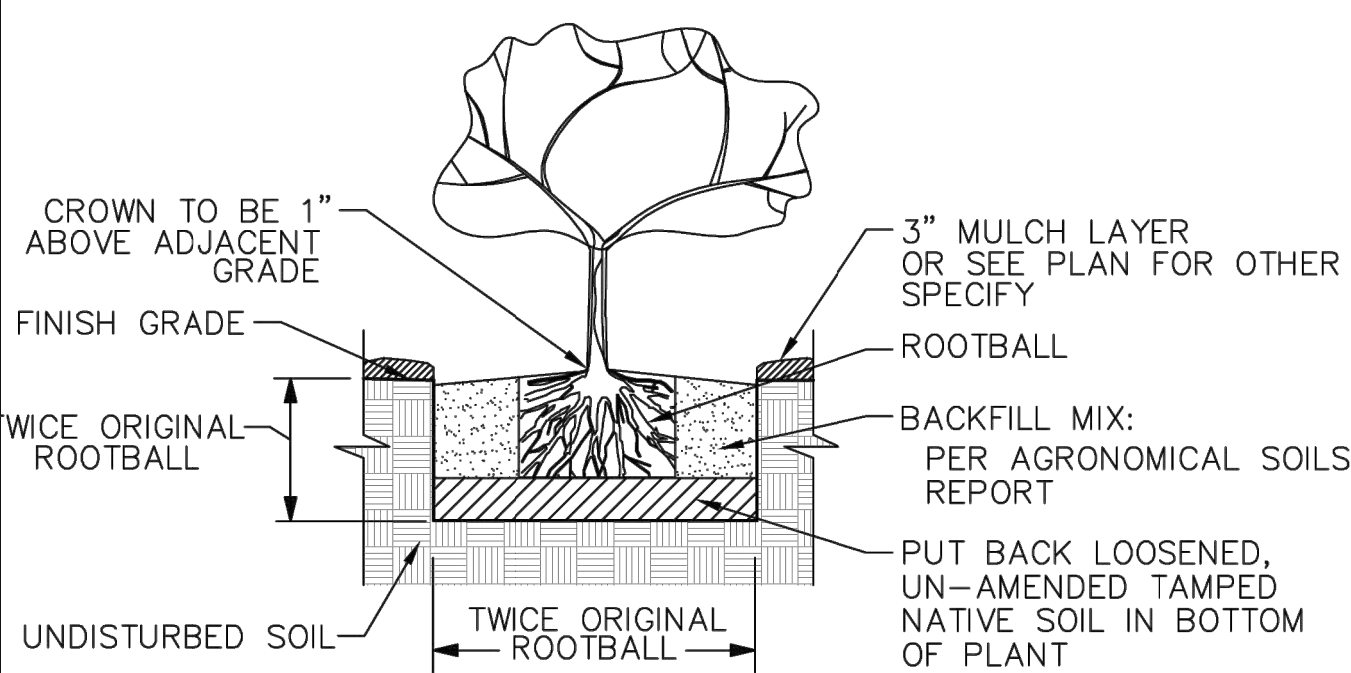
N.T.S



## 1 TREE PLANTING DETAIL

### SECTION VIEW

N.T.S

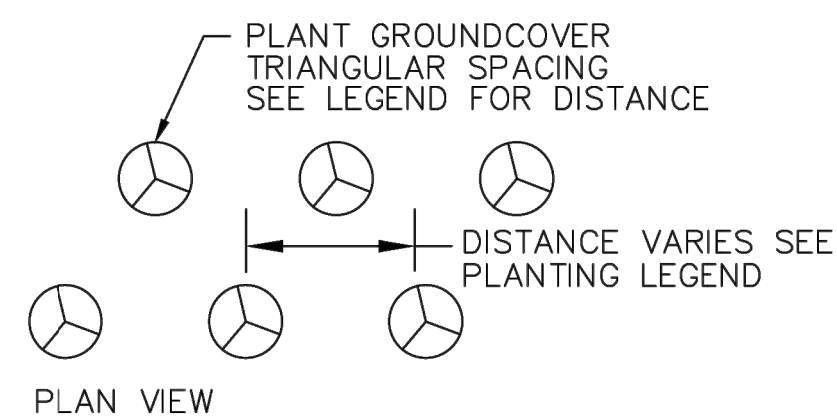


NOTE: PUDDLE AND SETTLE  
BACKFILL PRIOR TO SETTING  
SHRUB. ROUGHEN SIDES OF HOLE

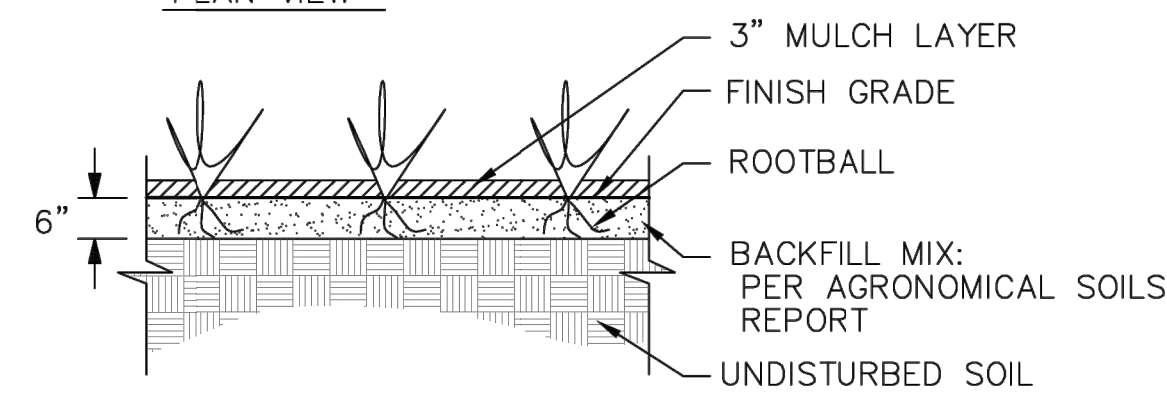
2 SHRUB PLANTING DETAIL

## SECTION VIEW

N.T.S



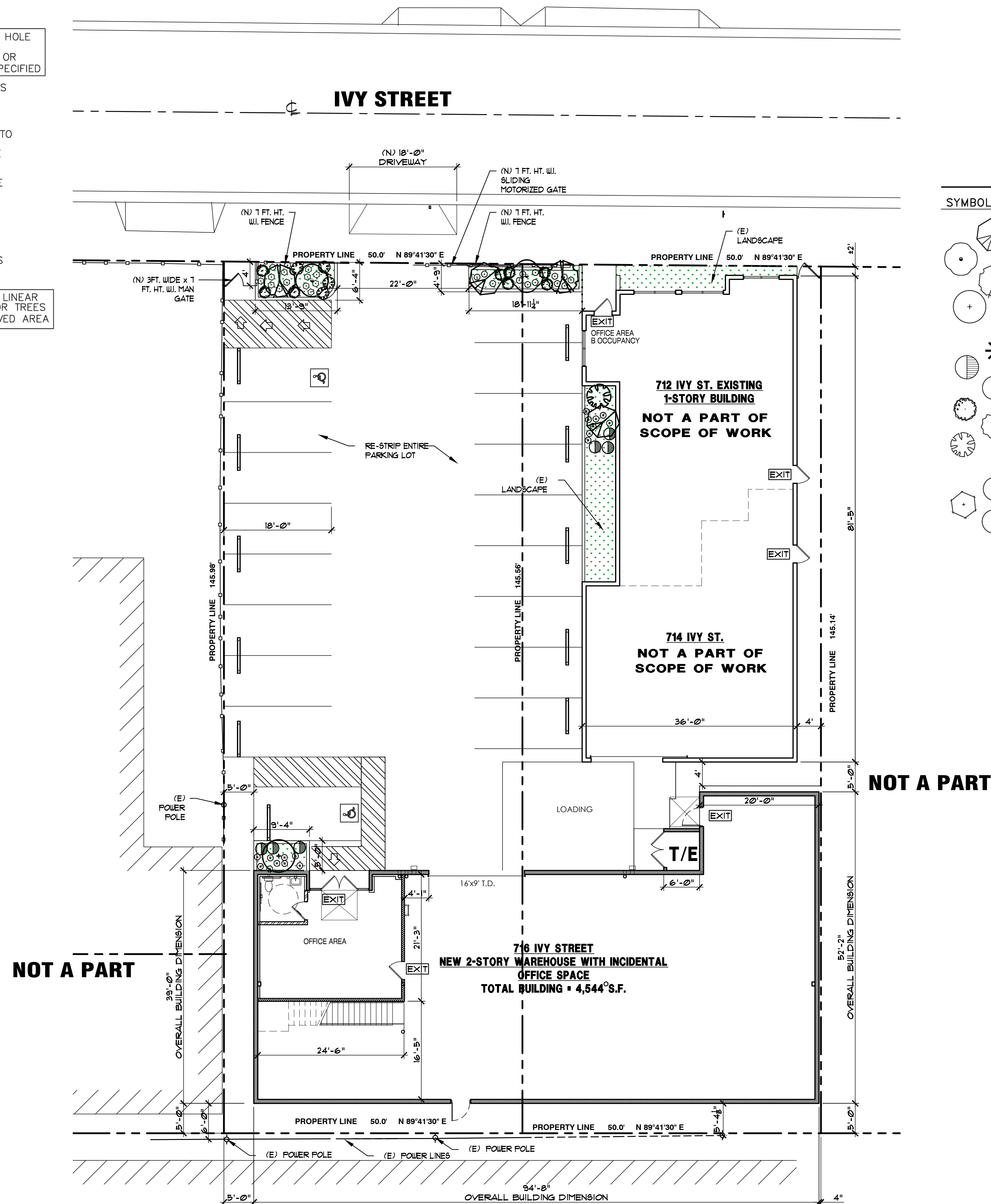
PLAN VIEW



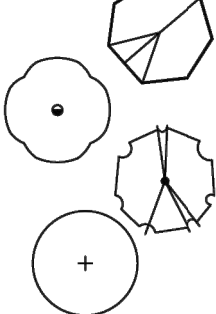
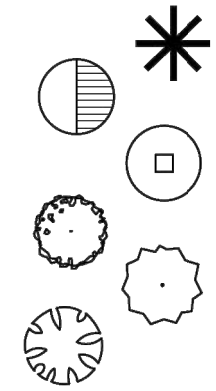
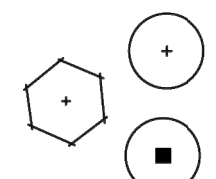
## 2 GROUND COVER PLANTING DETAIL

### SECTION VIEW

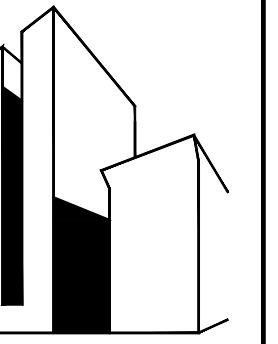
N.T.S

 LANDSCAPE AREA = 489 SF.

## PLANT LEGEND

<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
	<u>TREES</u> Cercis c. 'Forest Pansy'	Forest Pansy Redbud	24" box
	Geijera parvifolia	Australian Willow	24" box
	Lophostemon confertus	Brisbane box	24" box
	Lagestroemia i. 'Tuscarora'	Crape Myrtle	24" box
	<u>SHRUBS</u>		
	Agave attenuata	Foxtail Agave	5 gal
	Callistemon 'Little John'	Dwarf Bottlebrush	5 gal
	Carissa m. 'Emerald Blanket'	Dwarf Natal Plum	5 gal
	Ligustrum j. 'Texanum'	Texas Privet	5 gal
	Westringia fruticosa 'Smokey'	Dwarf Coastal Rosemary	5 gal
	Westringia fruticosa 'Mundi'	Mundi Coastal Rosemary	5 gal
	<u>PERENNIALS</u>		
	Sesleria autumnalis	Moor Grass	1 gal
	Dianella t. 'Variegata'	Variegated Flax Lily	1 gal
	Dianella r. 'Little Rev'	Little Rev Flax Lily	1 gal

REVISIONS		BY
SUBMITTAL 1-9-24		XT
1 PLANNING REV. 2-2-24		XT
2 WATER & POWER REV. 5-2-24		XT
3 PLANNING REV. 7-17-24		XT



DESIGN |

- NEW TWO-STORY WAREHOUSE WITH INCIDENTAL OFFICE SPACE

XIMENA TIPAN (562) 714-7196

 **NEW 2-STORY BUILDING**

[illegible]

FILE

# PRELIMINARY LANDSCAPE PLAN

DATE 1-9-74

SCALE	AS SHOWN
-------	----------

RAWN AT

24-01-01

HEET

(L-1) 

SHEET OF

---

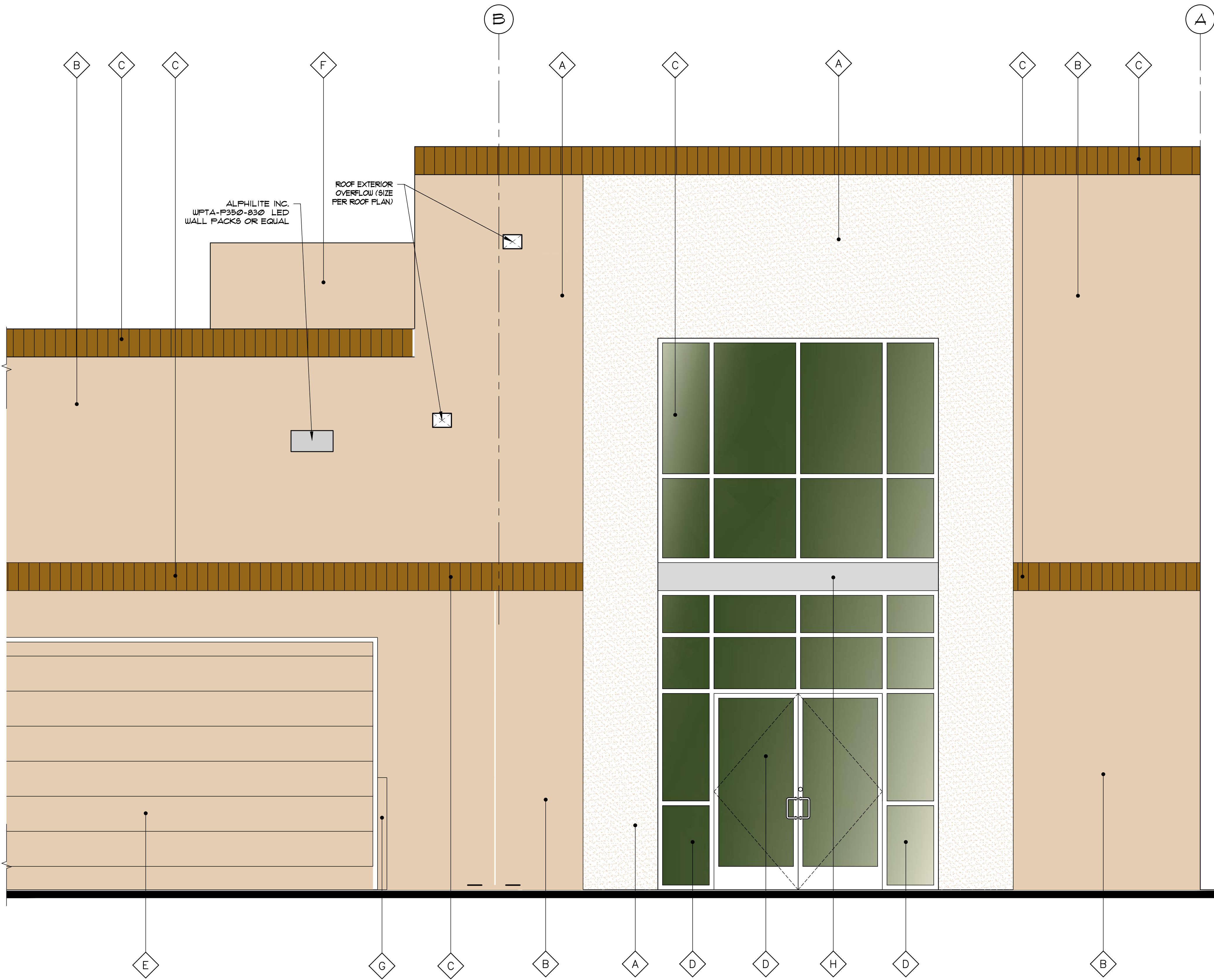
## PRELIMINARY LANDSCAPE PLAN

SCALE 1"=10'-0"

# 1

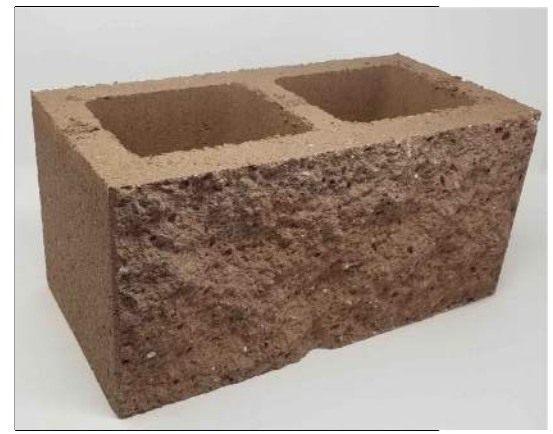






**NORTH ELEVATION**

**FACING PARKING - PROPOSAL A**



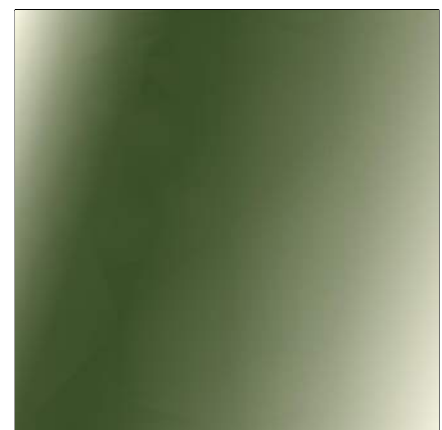
**A** SPLIT FACE CONCRETE BLOCK UNIT  
BY:  
COLOR: TAN



**B** STANDARD CONCRETE BLOCK UNIT  
BY:  
COLOR: TAN



**C** STANDARD CONCRETE BLOCK UNIT  
BY:  
COLOR: TAN



**D** ANODIZE ALUMINUM STOREFRONT SYSTEM  
BY: TRULITE  
COLOR: GLAZING: TEMPERED SOLAR GREEN,  
STOREFRONT SYSTEM: BLACK

**E** OVERHEAR ROLL-UP DOOR  
BY: FORVENE MODEL #424  
COLOR: PAINTED TO MATCH BUILDING

**F** SCREEN WALL (A/C)  
COLOR: PAINTED TO MATCH BUILDING

**G** 4 FT. HIGH STEEL DOOR PROTECTOR  
COLOR: PAINTED TO MATCH BUILDING

**H** STEEL BEAM (PER STRUCTURAL DRAWINGS)  
COLOR: PAINTED TO MATCH BUILDING (A)

**716 Yvi Street**  
Glendale, CA

Owner: **ALEX ALBARIAN**

**MATERIALS BOARD**



8.6.24



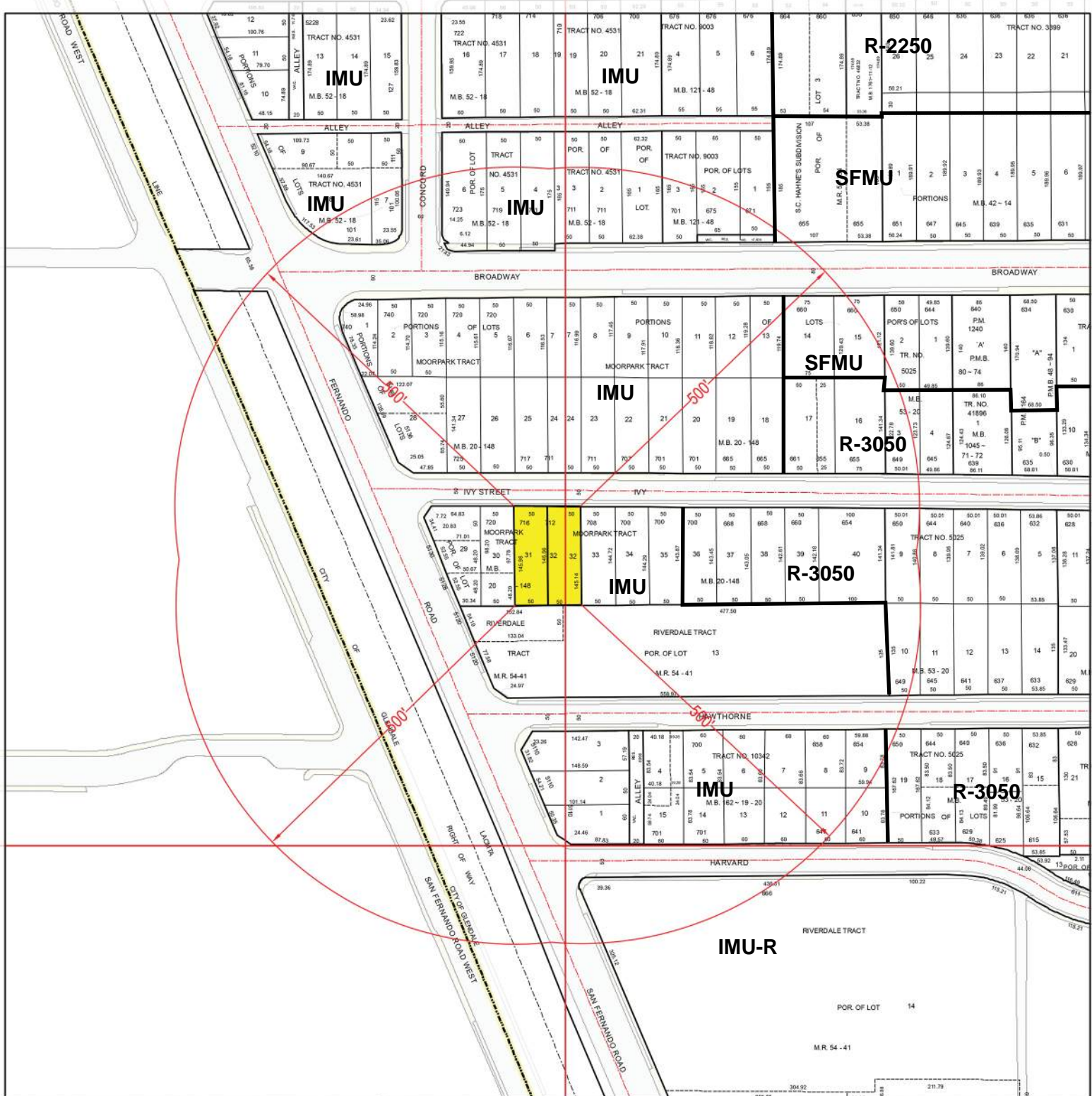


A. 712 IVY ST (PROJECT SITE)



B. 716 IVY ST (PROJECT SITE)





# 500' LOCATION MAP

## LEGEND

SUBJECT PROPERTY (IES)



SITE LOCATION: 712-716 IVY ST.  
GLENDALE, CA 91204

APN:

5695-009-005 & 5695-009-006

DATE: Jul 12, 2024



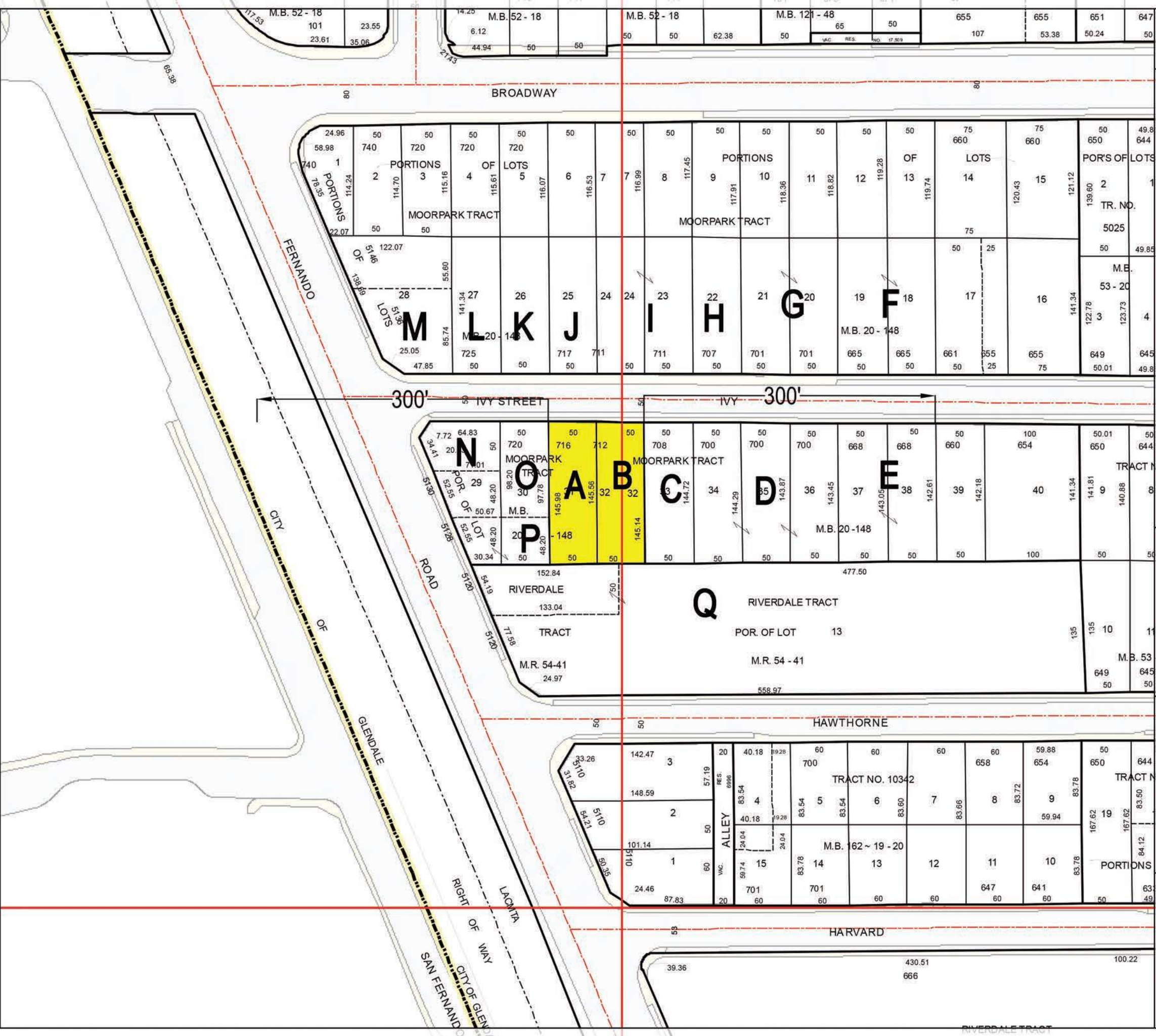
SCALE: 1"=200'

PREPARED BY:

artTECH  
DESIGN

412 W. BROADWAY STE 206  
GLENDALE, CA 91204  
818-409-8921





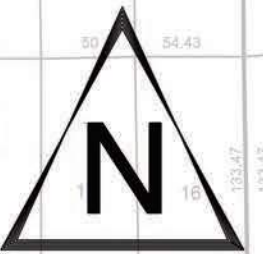
# VICINITY & PHOTOGRAPHIC SURVEY MAP

- A. 712 IVY ST (PROJECT SITE)
- B. 716 IVY ST (PROJECT SITE)
- C. 710 IVY ST
- D. 700 IVY ST
- E. 668 IVY ST
- F. 665-669 IVY ST
- G. 699-705 IVY ST
- H. 707 IVY ST
- I. 711 IVY ST
- J. 717 IVY ST
- K. 721 IVY ST (PARKING)
- L. 725 IVY ST (PARKING)
- M. 729 IVY ST
- N. APN # 5695-009-001 (PARKING)
- O. 720 IVY ST
- P. 5128 SAN FERNANDO RD
- Q. 5120 SAN FERNANDO RD

## LEGEND

PHOTO LABEL  
SUBJECT PROPERTY (IES)

A-Q



SCALE: 1"=100'

SITE LOCATION: 712-716 IVY ST  
GLENDALE, CA 91204

APN# 5695-009-005 & 5695-009-006

artTECH  
DESIGN

412 W. BROADWAY STE 206  
GLENDALE, CA 91204  
818-409-8921

DATE: Jul 12, 2024



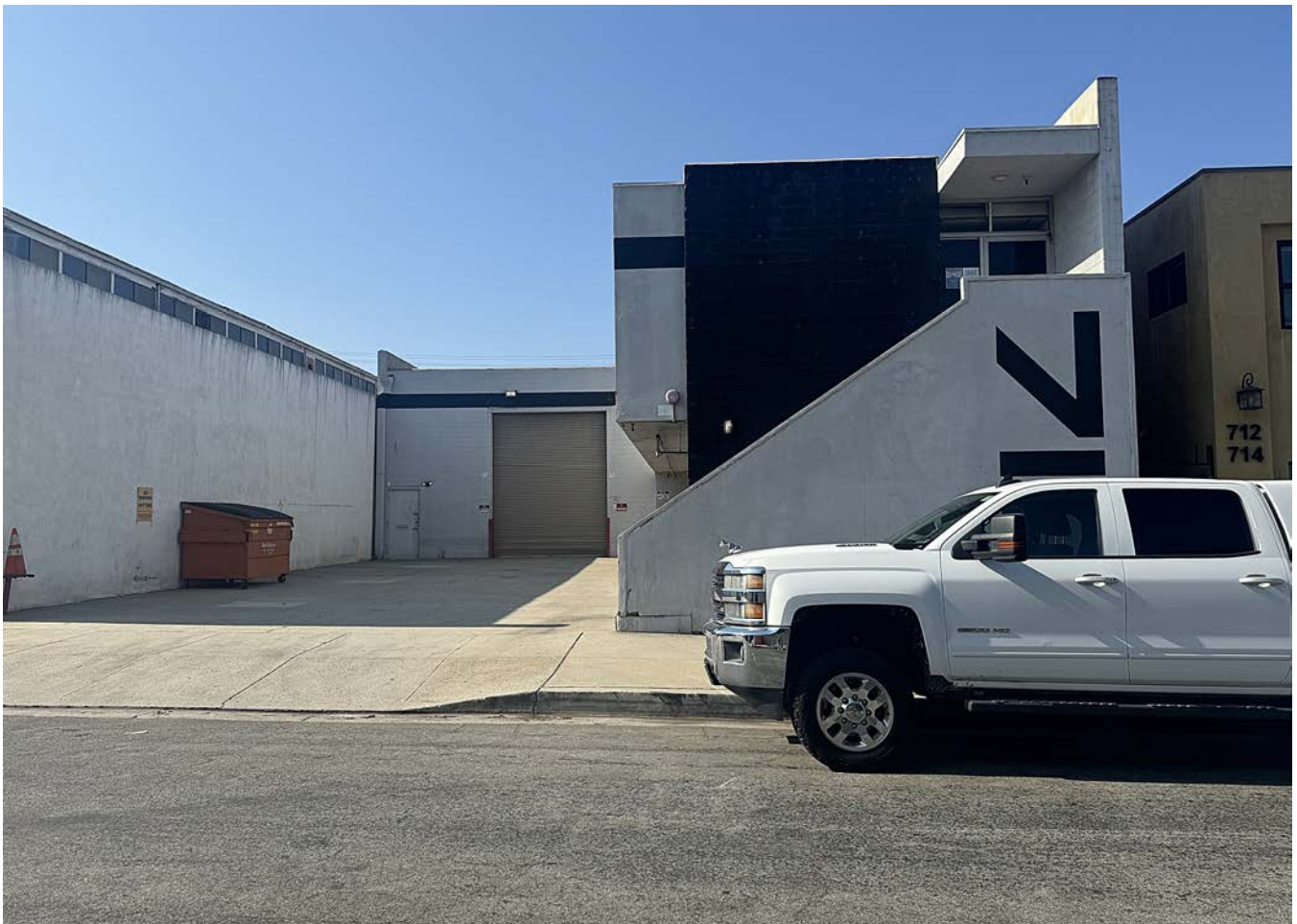


A. 712 IVY ST (PROJECT SITE)



B. 716 IVY ST (PROJECT SITE)





C. 710 IVY ST



D. 700 IVY ST





E. 668 IVY ST



F. 665-669 IVY ST





G. 669-705 IVY ST



H. 707 IVY ST





I. 711 IVY ST



J. 717 IVY ST





K. 721 IVY ST (PARKING)

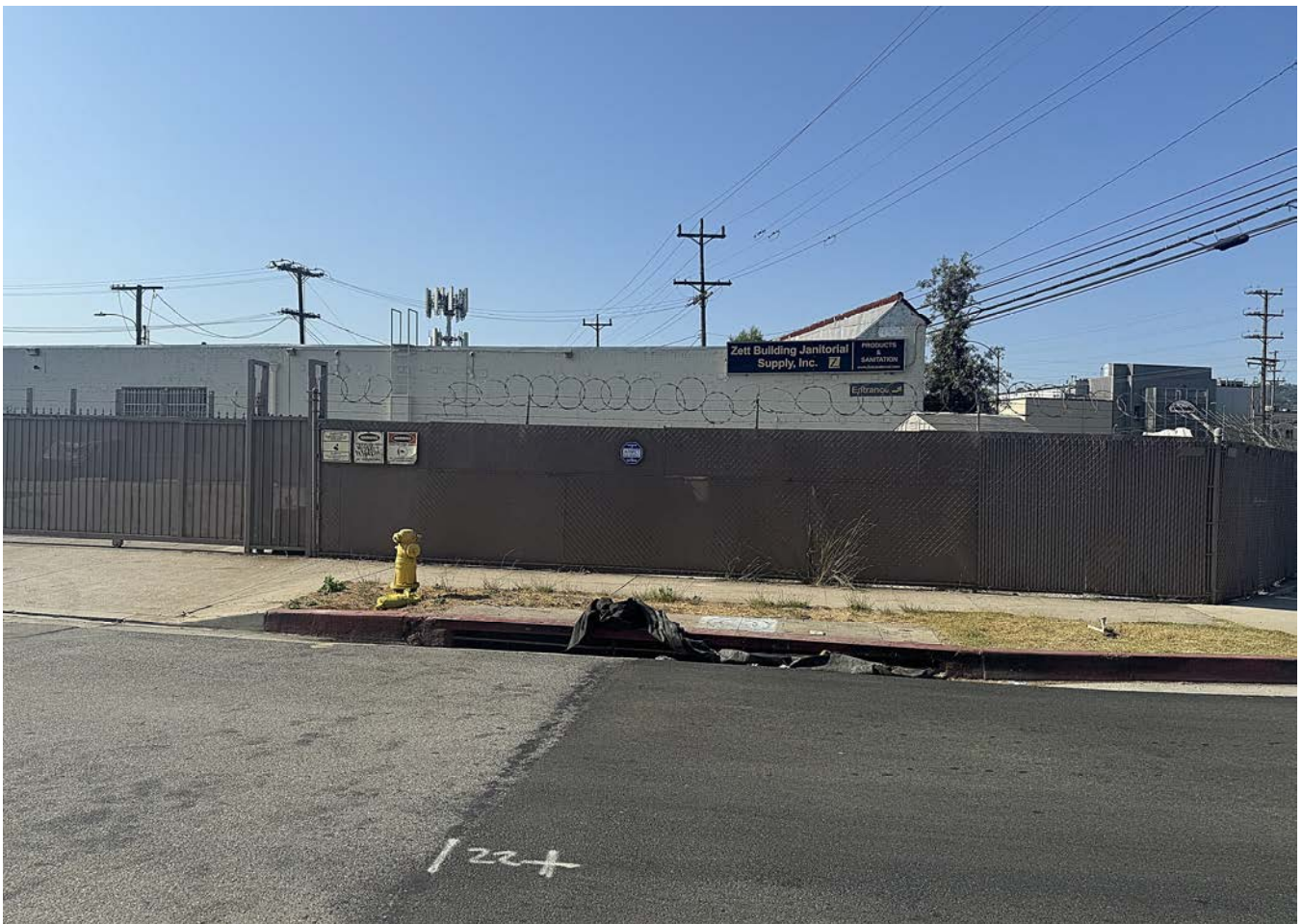


L. 725 IVY ST (PARKING)





M. 729 IVY ST



N. APN #5695-009-001 (NO ADDRESS AVAILABLE)





O. 720 IVY ST



P. 5128 SAN FERNANDO RD





Q. 5120 SAN FERNANDO RD