



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – MULTI-FAMILY / MIXED USE

**February 24, 2025**

*Decision Date*

**1035 Raymond Avenue**

*Address*

**Administrative Design Review (ADR)**

*Review Type*

**5623-021-044**

*APN*

**PADR-004032-2024**

*Case Number*

**Sevak Karabachian**

*Applicant*

**Columba Diaz, Planner**

*Case Planner*

**Daniel Del Bas**

*Owner*

#### **Project Summary**

To construct a new detached 1,038 square-foot one-story dwelling unit with two attached two-car garages at the rear of an existing 1,036 square-foot dwelling unit (built in 1924), located on a 7,700 square-foot lot in the R-2250 (Medium Density Residential) Zone. The project involves the demolition of an existing 274 square-foot detached one-car garage and demolition of existing detached 452 square-foot dwelling unit (built in 1947, alley facing unit).

#### **Environmental Review**

The project is exempt from CEQA review as a Class 3 "New construction or Conversion of Small Structures" exemption, pursuant to State CEQA Guidelines Section 15303(a), because the project involves the development of a second dwelling unit in a residential zone and will not result in more than four dwelling units.

#### **Existing Property/Background**

The subject multi-family property is a 7,700 square-foot interior lot that was originally developed in 1924 with an existing 1,036 square-foot, one-story, single-family residence with a detached 275 square-foot one-car garage. The existing detached 452 square-foot dwelling unit was constructed in 1947. The project site is located mid-block on the western side of Raymond Avenue, between West Glenoaks Avenue to the northeast, and North San Fernando Road to the southwest. Access to the property is from Raymond Avenue and a 20-foot wide alley at the rear (west) property line.

On September 20, 2024, Administrative Exception Case No. PAE-002971-2024 was approved, granting a one-foot reduction (20% deviation) from the minimum interior setback requirement of five-feet (5'-0") in conjunction with the construction of a new 1,038 square-

foot single-story dwelling unit with two attached two-car garages accessed from a new driveway at the rear alley.

On January 6, 2025, parking reduction request case no. PAB2097-004211-2024 was approved to permit the construction of a new second dwelling unit without meeting the parking standards for providing private and direct access from the parking spaces (garages) to the existing dwelling unit as required by the Glendale Municipal Code (GMC 30.32.040(B)(4)). This approval is in accordance with the AB2097 requirements.

Research and analysis conducted by the City's historic preservation staff finds that the rear unit, built in 1947, and the detached garage are not eligible for historic designation at the federal, state, or local level and are therefore not considered a historic resource under the California Environmental Quality Act (CEQA).

### **Staff Recommendation**

Approve with Conditions

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### **Last Date Reviewed / Decision**

First time submittal for final review.

### **Zone: R2250 - Medium Density Residential**

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes, and no inconsistencies have been identified.

### **Active/Pending Permits and Approvals**

Administrative Exemption Case No. PAE-002971-2024 was approved on September 20, 2024, for interior setback reductions (up to 20% deviations) to allow the reduced interior setbacks for the new garages where the minimum interior setback requirement is five (5) feet.

In accordance with Assembly Bill 2097, Parking Reduction Case No. PAB2097-004211-2024 was approved on January 6, 2025, to permit the construction of the new second dwelling unit without meeting the parking standards for providing private and direct access from the parking spaces (garages) to the existing dwelling unit as required by the Glendale Municipal Code (GMC 30.32.040(B)(4)).

Building Permit No. BSFD-016957-2024 is pending review, for the construction of a new 1,038 square-foot single-story dwelling unit with two attached two-car garages in conjunction with the demolition of an existing dwelling unit and a detached one-car garage.

### **Site Slope and Grading**

None proposed.

## **DESIGN ANALYSIS**

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### **Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street

**Yards and Usable Open Space**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Outdoor space integrated into site design and acknowledges adjacent development
- ☐ Common space easily accessible from all units
- ☐ Appropriate separation/screening from residential units
- ☐ Discrete seating and amenity areas allow for multiple users

**Garage Location and Driveway**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Garage fully integrated into overall structure
- ☒ Driveway and curb-cut widths minimized
- ☐ Grade-level garages and parking, if allowed, are appropriately screened from the street
- ☐ Decorative paving complements building design
- ☐ Stairs and lifts to subterranean garages incorporated into the design of the project

The two proposed attached garages do not provide direct access to the existing front dwelling unit per §30.32.040(B)(4). The project is located within a half-mile radius of a major transit stop or high-quality transit corridor, which qualifies it for the AB2097 requirement. The AB2097 application, with the case number PAB2097-004211-2024, was approved on January 6, 2025, to allow the construction of a second dwelling unit without requiring compliance with the zoning code related to parking requirements.

The proposed garages with access from the rear alley are well integrated into the overall design. The existing driveway off Raymond Avenue will no longer be used since the project is removing the existing detached garage with access from Raymond Avenue. A condition of approval is added to obtain the required permits from Public Works – Engineering Department to close the existing curb cut (driveway opening). The project’s plans shall be updated to show the removal of the existing driveway and driveway opening (apron/curb cut).

**Landscape Design**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☒ Complementary to building design
- ☐ Maintain existing trees when possible
- ☐ Provide landscaping adjacent to driveways and garages

- ☐ 20% of planting at above-grade common spaces is within 9 inches of finish floor
- ☐ Above-grade tree wells are at least 6 inches higher than box size of tree

The project's plans indicate that most of the existing landscaping will remain unchanged. However, the plans do not indicate the new plant types and quantity. A condition of approval is added to update the proposed project's plans to incorporate a landscape plan to include new drought tolerant plants, complementary to the overall design. A condition of approval is also added to update plans to include the required street trees per Public Works – Urban Forestry requirements and obtain the required permits for the installation of two new street trees. The proposed site plan and landscape plan shall be updated to clearly show the required two (2) street trees.

### **Walls and Fences**

☐ **yes**    ☒ **n/a**    ☐ **no**

*If "no" select from below and explain:*

- ☐ Appropriate style/color/material for building design
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

There are no proposed changes to the existing perimeter fences and walls.

### **Equipment, Trash, and Drainage**

☐ **yes**    ☐ **n/a**    ☒ **no**

*If "no" select from below and explain:*

- ☒ Equipment screened and well located
- ☒ Trash storage out of public view
- ☐ All screening integrated with overall building and/or landscape design
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

A condition of approval is added to update the proposed project's plans to show the appropriate location of the trash bins/storages to be out of public view and out of the required setbacks.

### **Lighting**

☒ **yes**    ☐ **n/a**    ☐ **no**

*If "no" select from below and explain:*

- ☐ Light fixtures are appropriate to the building and/or landscape design
- ☐ Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- ☐ Utilize shielded fixtures to avoid light spillover onto adjacent properties



## Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall site planning of the proposed second dwelling unit and two detached two-car garages at the rear of the existing dwelling unit is consistent with the existing dwelling unit's location and compatible with the surrounding neighborhood, which consists primarily of single-story and multi-family units, including two-story multi-family residential buildings, and single-family residences.
- The proposed second dwelling unit meets the street front and interior setbacks, while the two new two-car garages are set back adequately from the northerly property line (18-foot setback), their interior setbacks do not meet the minimum required 5-foot interior setbacks, resulting in a 4'-0" interior setback along the westerly property line and 4'-1" along the easterly interior property line. Administrative Exemption Case No. PAE-002971-2024 was approved on September 20, 2024, for interior setback reductions (up to 20% deviations) to allow the reduced interior setbacks for the new garages where the minimum interior setback requirement is five (5) feet. (See Attachment # 5).
- The proposed outdoor common space, located between the existing and proposed unit, is easily accessible and provides seating for multiple users.
- As the zoning code requires, the project appropriately and adequately proposes private open spaces as covered porches.
- The existing driveway off Raymond Avenue will no longer be used since the project is removing the existing detached garage with the access from Raymond Avenue. A condition of approval is added to obtain the required permits from Public Works – Engineering Department to close the existing curb cut (driveway opening). The project's plans shall be updated to show the removal of the existing driveway and driveway opening (apron/curb cut).
- The proposed garages will be accessed from a new driveway at the rear alley. The project will provide four (4) parking spaces; however, there is no private and direct access from the proposed parking garages to the existing front dwelling unit as required by §30.32.040(B)(4). The project is located within a half-mile radius of a major transit stop or high-quality transit corridor; therefore, it qualifies for parking reduction in accordance with Assembly Bill 2097. The AB2097 application, with the case number PAB2097-004211-2024, was approved on January 6, 2025, to allow the construction of a second dwelling unit without requiring compliance with the zoning code related to parking requirements.
- The project's plans indicate that most of the existing landscaping will remain unchanged. However, the plans do not indicate the new plant types and quantity. A condition of approval is added to update the proposed project's plans to incorporate a landscape plan to include new drought tolerant plants, complementary to the overall design. A condition of approval is also added to update plans to include the installation of the required street trees per Public Works – Urban Forestry requirements and obtain the required permits for the installation of two new street trees. The proposed site plan and landscape plan shall be updated to clearly show the required two (2) street trees.
- There are no proposed changes to the existing fences, perimeter walls, and gates.
- The roof of the proposed second dwelling unit will direct rainfall to two parapet gutter outlets, which will then channel the water through painted metal downspouts.

- The project plans show the trash bins/storages within the new garages with the minimum interior dimensions of 20 feet by 20 feet. A condition of approval is added to update the proposed project's plans to relocate the trash bins/storages to an appropriate location, outside of the garages, out of public view, and out of the required setback areas.

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## Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

### Building Relates to its Surrounding Context

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Relates to predominant pattern through appropriate proportions and transitions
- ☐ Impact of larger building minimized

### Building Relates to Existing Topography

☐ **yes**   ☒ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

### Consistent Architectural Concept

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Concept governs massing and height

### Scale and Proportion

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

### Roof Forms

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Roof reinforces design concept

☐ Configuration appropriate to context

### **Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the proposed single-story second dwelling unit and two attached two-car garages are consistent with the scale and architectural concept of the existing dwelling unit and its surrounding context of single-story and two-story residential buildings.
- The proposed single-story dwelling unit is a conceptualized Spanish style, compatible with the existing single-story Spanish dwelling unit's architectural style.
- The existing single-story street-front unit's overall height is approximately 13'-5", and the overall height of the proposed one-story second dwelling unit and two attached two-car garages is 15'-8", which is compatible with the front unit.
- The existing dwelling unit consists of a flat roof and terracotta roof tile as coping on the roof parapets. The proposed development will feature a flat roof with terracotta-colored metal coping caps on the roof parapets, matching the existing front dwelling unit.

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### **Design and Detailing**

Are the following items satisfactory and compatible with the project site and surrounding area?

#### **Overall Design and Detailing**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Design is compatible with neighborhood context
- ☐ Design is stylistically consistent
- ☐ Employs consistent vocabulary of forms and materials while expressing architectural variety
- ☐ Cladding materials and features such as balconies, canopies, and trim elements enhance the architectural concept and are applied around the building

#### **Entryway**

☒ **yes**   ☐ **n/a**   ☒ **no**

*If "no" select from below and explain:*

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

#### **Windows**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If "no" select from below and explain:*

- ☒ Appropriate to overall design
- ☐ Overall window pattern appropriate to style
- ☐ Window operation appropriate to style
- ☐ Recessed/flush window appropriate to style and/or location
- ☐ Openings are well detailed

The overall design and operation of the windows are appropriate; however, a condition of approval is added to ensure the windows are consistent in terms of the use of grids, and any new window visible from the street should not have internal grids.

### **Finish Materials and Color**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Textures and colors reinforce design
- ☐ High-quality materials, especially facing the street
- ☐ Materials appropriately enhance articulation and façade hierarchies
- ☐ Wrap corners and terminate appropriately
- ☐ Cladding is well detailed, especially at junctions between materials
- ☐ Foam trim, finished on site, is prohibited

### **Paving Materials**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

### **Ancillary Structures**

☐ **yes**   ☒ **n/a**   ☒ **no**

*If "no" select from below and explain:*

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates, fences, and/or walls complement primary structure

## **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the consistent use of materials and colors throughout the proposed second dwelling unit and attached garages is consistent with the architectural style of the existing dwelling unit, which is designed in the Spanish Colonial Revival architectural style.

- The proposed development will feature terracotta-colored metal coping caps on the roof parapets and a standing seam metal roof for the patio covers, smooth stucco (white color), and recessed aluminum/wood windows (dark color) with molded wood edge detail.
- The new windows are appropriately placed, and the proposed operation of casement (and fixed) windows is consistent with the architectural style. No new proposed windows directly face adjacent neighbors, so privacy is maintained.
- The overall design and operation of the windows are appropriate; however, a condition of approval is added to ensure the windows are consistent in terms of the use of grids, and any new window visible from the street should not have internal grids.
- New wall sconces are proposed on the northern wall alongside the garage doors at the rear of the property; the design does not overflow to the public right of way, and new recessed lighting under the patio covers. The design and placement are appropriate to the overall design concept.
- The new rooftop mechanical equipment is fully screened with low walls from the public right of way.

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### **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

#### **Conditions**

1. Update the proposed project's plans to relocate the trash bins/storages to an appropriate location outside of the minimum required spaces within the new garages, out of public view, and out of the required setbacks.
2. Update the proposed project's plans to incorporate a landscape plan to include new drought tolerant plants, complementary to the overall design.
3. Obtain the required permits from Public Works – Engineering Department to close the existing curb cut (driveway opening) along the street.
4. Update the project plans to show the removal of the existing driveway and driveway opening (apron/curb cut). The existing driveway curb cut shall be closed prior to the Final Design Review Inspection.
5. Update the new site plan to clearly show the required two (2) street trees.
6. Obtain the required permit(s) from Public Works – Urban Forestry for the installation of two new street trees.
7. Update plans for the windows to be consistent in terms of the use of grids. No new window visible from the street should have internal grids.

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### **Attachments**

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Administrative Exemption (Case No. PAE-002971-2024) Decision Letter

# 1035 RAYMOND AVE

GLENDAL, CA 91201



WWW.KARABACHIAN.COM



**KARABACHIAN ARCHITECTS, INC.**  
LA CRESCENTA, CALIFORNIA

# 1035 RAYMOND AVE

GLENDAL, CA 91201



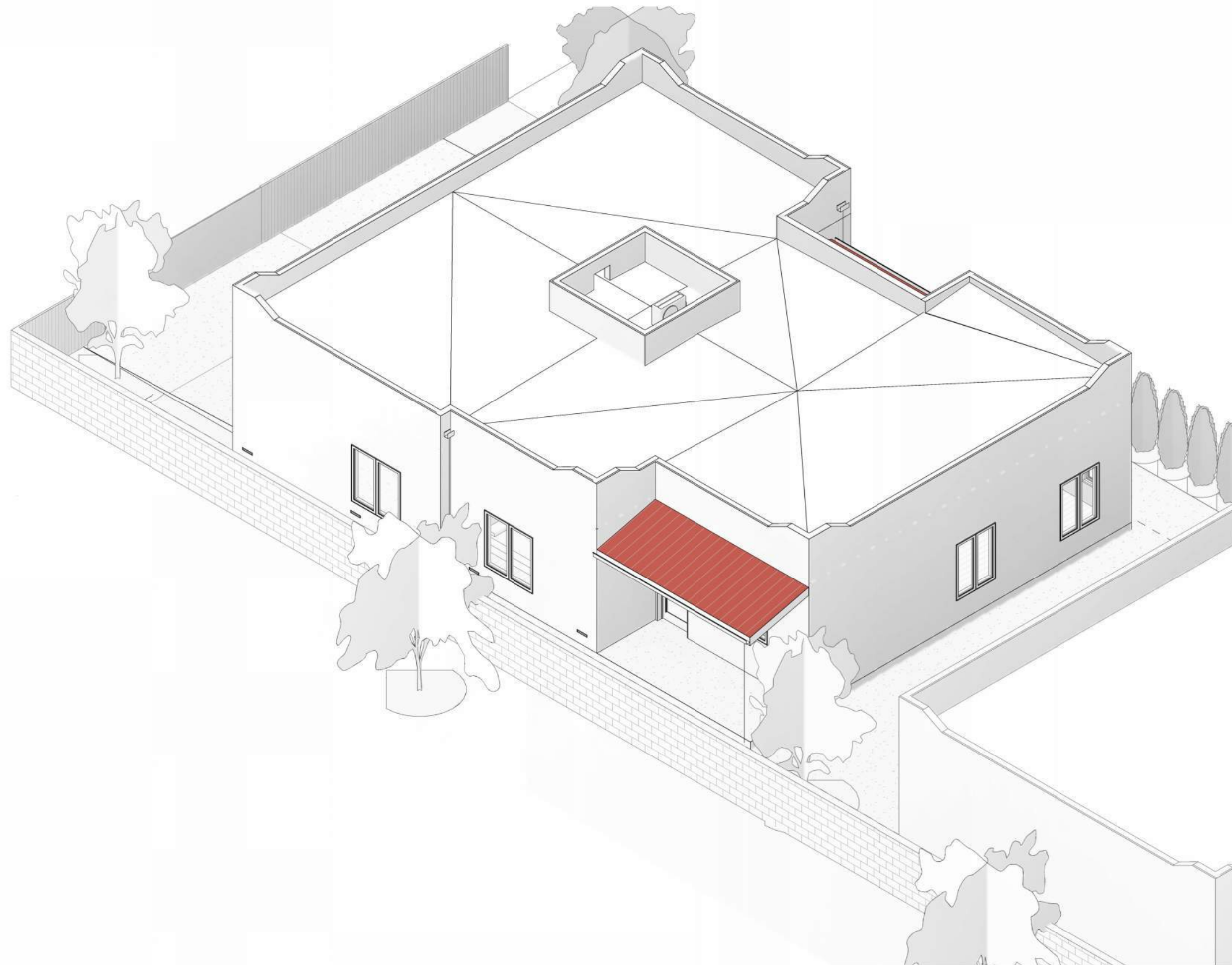
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LA CRESCENTA, CALIFORNIA



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PUBLIC WORKS ENGINEERING NOTES:

- THE PROJECT SHALL COMPLY WITH ALL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES REQUIREMENTS).
- ALL DRAINAGE FROM ROOF AND ON-SITE IMPROVEMENTS SHALL BE CONVEYED TO THE STREET BY GRAVITY FLOW VIA CAST-IRON PIPES/PARKWAYS DRAINS FROM THE PROPERTY LINE AND EXITING THROUGH THE CURB OR SHEET FLOW OUT THE ALLEY.
- THE UNUSED DRIVEWAY ON RAYMOND AVENUE SHALL BE REPLACED WITH CURB, GUTTER, LANDSCAPING, AND IRRIGATION.
- REMOVE ANY BROKEN CURB, GUTTER, SIDEWALK, LANDSCAPING, AND IRRIGATION ALONG THE ENTIRE FRONTAGE OF THE PROPERTY AND CONSTRUCT NEW CONCRETE INTEGRAL CURB AND GUTTER, SIDEWALK, LANDSCAPING, AND IRRIGATION.
- ALL EXISTING STREET APPURTENANCES INCLUDING TRAFFIC STRIPING, UTILITIES, STREET SIGNS, CURB PAINTINGS, LANDSCAPING, AND TREE WELLS WITHIN THE PUBLIC RIGHT-OF-WAY THAT WERE DAMAGED, REMOVED, OR RELOCATED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- SEPARATE PERMITS ARE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL APPLICABLE CONSTRUCTION WORK SHALL CONFORM TO THE LATEST EDITION OF THE SPPWC MANUAL. THEE APPLICANT SHALL BEAR ALL FEES FOR THE NECESSARY PERMITS AND CONSTRUCTION INSPECTIONS OF WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- RAYMOND AVE. (BTW SAN FERNANDO & GLENOAKS) IS PLANNED FOR RESURFACING AS PART OF PW SAN FERNANDO RD. BEAUTIFICATION PROJECT IN 2025, AND WILL PLACE A MIN. 3-YEAR MORATORIUM (NO WORK WILL BE ALLOWED IN THE RIGHT-OF-WAY FOR 3 YEARS STARTING IN 2025).
- ADDITIONAL REQUIREMENTS MAY APPLY AFTER THE INITIAL SUBMITTAL OF THE FINAL ENGINEERING PLANS FOR BUILDING PLAN CHECKING.

BUILDING DEPARTMENT NOTES:

- BUILDING COMBINATION PERMIT TO BE OBTAINED FROM BSD.
- NFPA 13D SPRINKLER SYSTEM PERMIT IS REQUIRED FROM GLENDALE FIRE DEPARTMENT.

COMMUNITY SERVICES & PARK NOTES:

- THIS PROJECT IS SUBJECT TO APPROPRIATE PROVISIONS OF THE PUBLIC USE FACILITIES DEVELOPMENT IMPACT FEE ORDINANCE WHICH REQUIRES THAT FEES BE PAID TO OFFSET IMPACTS ON PARKS, RECREATION AND LIBRARY FACILITIES. DEVELOPER SHOULD COMPLETE THE DEVELOPMENT IMPACT FEE FORMS FOR STAFF TO CALCULATE THE APPROPRIATE AMOUNT OF THE FEE DUE BASE UPON THE NET NEW SQUARE FOOTAGE AND/OR NEW UNITS ADDED.

FORESTRY NOTES:

- PROTECTED OAK, SYCAMORE, BAY TREES OR CITY STREET TREES ON THE PROPERTY AND WITHIN 20' OF THE PROPERTY ARE INACCESSIBLE TO THE PROPOSED CONSTRUCTION ACTIVITY AND WILL EXPERIENCE NO IMPACT. NO PROTECTIVE FENCING IS REQUIRED.DED.

VICINITY MAP



B BUS STOP



ARMCAT LLC

1035 RAYMOND AVE  
GLENDALE, CA 91201

NEW RESIDENTIAL UNIT  
TWO NEW 2-CAR GARAGE  
PLANNING REVIEW SET

DRAWING INDEX		
Sheet Number	Sheet Name	Current Revision
A0-100	PROJECT INFORMATION	
A0-200	GENERAL NOTES	
A0-201	ENERGY CALCULATIONS	
A0-202	ENERGY CALCULATIONS	
A0-300	RESIDENTIAL SECURITY NOTES	
A0-400	ADMINISTATIVE EXCEPTION LETTER	
A0-600	INTERIOR STANDARDS	
A1-101	SITE PLAN	
A1-102	SITE ELEVATION	
A1-103	AVERAGE SETBACK DIAGRAM	
A1-110	NEIGHBORING PLAN	
A1-200	LANDSCAPE PLAN	
A2-101	DEMO FLOOR PLAN	
A2-102	NEW FLOOR PLAN	
A2-103	ROOF PLAN	
A3-100	EXISTING ELEVATIONS	
A3-101	EXISTING ELEVATIONS	
A3-102	ELEVATIONS	
A3-103	BUILDING SECTIONS	
A4-100	EXTERIOR MATERIALS	
A4-101	EXTERIOR DETAILS	
A4-110	MATERIAL CUTSHEETS	
A4-301	WINDOW DETAILS	
A4-311	PLASTER - DETAILS	
A4-331	ROOF DETAILS	
A4-332	ROOF DETAILS	
A6-000	FINISH SCHEDULE	
A6-102	FIRST FLOOR RCP	
A6-301	PARTITION NOTES	
A6-302	PARTITION TYPE/DETAILS	
A6-303	PARTITION BASE DETAILS	
A6-401	WINDOW TYPE & SCHEDULES	
A6-402	DOOR TYPE & SCHEDULES	
A6-501	INTERIOR ELEVATIONS	
A6-601	INTERIOR DETAILS	
A6-603	WATERPROOFING DETAILS	
A6-801	EXTERIOR DOOR DETAILS	
A7-101	ELECTRICAL FLOOR PLAN	
HFX1	ANCHORAGE DETAILS	
HFX2	FRAMING DETAILS	
HFX3	FLOOR SYSTEM DETAILS	
S-0	GENERAL NOTES	
S-0.1	GENERAL NOTES	
S-1	FOUNDATION PLAN	
S-2	ROOF FRAMING PLAN	
SD-1	FOUNDATION DETAILS	
SD-1.1	FOUNDATION DETAILS	
SD-2	FRAMING DETAILS	
SD-2.1	FRAMING DETAILS	

PROJECT NOTES:

- ALL NEWLY CONSTRUCTED ADU'S SHALL BE AN "ALL ELETCRIC APPLIANCE" IN COMPLIANCE THE CITY OF GLENDALE REACH CODE ORDINANCE NO. 5999
- THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. FOR UNLICENSED DESIGNER, PLEASE COORDIATE WITH DESIGNATED LICENSED DESIGN PROFESSION. (GBSC [A] 107.3.4)
- NO CITY APPROVAL SHALL RELIEVE OR EXONERATE ANY PERSON FROM THE RESPONSIBILITY OF COMPLYING WITH THE PROVISIONS OF THIS CODE NOR SHALL ANY VESTED RIGHTS BE CREATED FOR ANY WORK PERFORMED IN VIOLATION OF THIS CODE. (GBSC 105.8 AND R105.8)
- OBTAIN SEPARATE APPLICATION ( WITH A SEPARATE PLAN REVIEW FEE) AND PERMIT(S) IS/ARE REQUIRED FOR THE FOLLOWING ITEMS:  
A. FIRE SPRINKLER SYSTEM  
B. ELECTRICAL METER  
C. SHORING  
D. GRADING  
E. MEHANICAL HVAC UNITS  
F. WATER HEATERS  
G. EACH SEPARATE STRUCTURE/BUILDING - SWIMMING POOL, ACCESSORY BUILDINGS, RETAINING WALLS,, CMU WALL, DETACHED PATIO COVERS ETC.  
H. NEW GARAGE  
I. SUMP PUMP AND SEWAGE EJECTOR PUMP.  
J. DEMOLITION OF EXISTING STRUCTURES/BUILDINGS ON SITE.
- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ALL NEW OCCUPANCIES INCLUDING ALL NEWLY CONSTRUCTED SFD/DUPLEX/ADU'S UNLESS EXEMPTED. GBC 903.2.21.1. SEE NOTE 2 BELOW.
- PROVIDE FIRE HYDRANT OR AS AN ALTERNATIVE, ADU'S MUST BE SPRINKLERED IF THE MAIN HOUSE IS SPRINKLERED OR IF THE MOST REMOTE LOCATION OF THE ADU IS MORE THAN 400 FEET FROM THE NEAREST FIRE HYDRANT. PLEASE CLEARLY SPECIFY/IDENTIFY ON THE COVER/TITLE SHEET IF THE MAIN HOUSE IS SPRINKLERED AND SPECIFY THE DISTANCE TO THE NEAREST ADJACENT FIRE HYDRANT FROM THE MOST REMOTE LOCATION OF THE ADU.
- CALL "DIG ALERT" PRIOR TO ANY GROUNDWORK OR EXCAVATION.
- THE CONSTRUCTOR MUST PROVIDE PUBLIC PROTECTION IN ACCORDANCE WITH CBC SECTION 3306.1 FOR WORK ON ANY BUILDING AND STRUCTURE ADJACENT TO THE PUBLIC WAY.

PROJECT INFORMATION

- OWER NAME: ARMCAT LLC
- PROJECT ADDRESS: 1035 RAYMOND AVE., GLENDALE CALIFORNIA 91201 TRACT NO 4516 LOT 39
- LEGAL DESCRIPTION: (E) 2, (N) 1
- NO. DWELLING UNITS: TYPE V-B
- TYPE OF CONSTRUCTION: R-3
- OCCUPANCY: 5623-021-044
- PARCEL NUMBER: R-2250
- PRIMARY ZONING: N/A
- OVERLAY DISTRICT: 1 STORY
- NO. OF STORIES: SEE A1-101
- SITE DIMENSIONS: 7,700 SF
- SITE AREA: 1,036 SF
- EXISTING BLD SIZE: MULTI FAMILY PROPERTY
- EXISTING PROGRAM: N/A
- ACCESSORY STR. PROPOSED: 2,965 SF
- TOTAL NEW BLD AREA: 3,310 SF
- TOTAL NEW LOT COVERAGE: (E) NO, (N) YES
- FIRE SPRINKLERS:

SCOPE OF WORK

DEMOLITION OF AN (E) 274 SQUARE FOOT DETACHED 1-CAR GARAGE AND AN (E) DETACHED 452 SQUARE FOOT DETACHED LIVING QUARTER, TO CONSTRUCT A NEW 1,042 SQUARE FOOT SECOND DWELLING UNIT WITH TWO ATTACHED 2-CAR GARAGES OF 426 SQUARE FEET EACH, DEMOING THE (E) STREET FRONT DRIVEWAY WITH A (N) DRIVEWAY ACCESSED FROM THE REAR ALLEY. PAE-002971-2024. PADR-004032-2024.

APPLICABLE CODES

2022 CALIFORNIA ADMINISTRATIVE CODE  
2022 CALIFORNIA BUILDING CODE VOL. 1&2  
2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 CALIFORNIA REFERENCED STANDARDS CODE  
2023 CITY OF GLENDALE BUILDING & SAFETY CODE

FRONT SETBACK REQUIREMENT

20 FEET MIN. AND AVERAGE IF 23 FEET FOR ANY GARAGE OR FIRST RESIDENTIAL FL.

MULTI - FAMILY INTERIOR SET BACK AVERAGING:

WEST SIDE SET BACK AVERAGE CALCULATION:

((5'-0" \* 15'-0") + ((11'-0" \* 15'-8")) / 30'-8" = AVG SIDE SETBACK  
(75 SF + 172.34 SF) / 30'-8" = AVG SIDE SETBACK  
247.34 SF / 30'-8" = 8.07 > REQ. AVG 8'

EAST SIDE SETBACK AVERAGE CALCULATION:

((10'-2" \* 14'-1") + (6'-0" \* 16'-7 ") / 30'-8" = AVG SIDE SETBACK  
(147.875 SF + 99.5 SF) / 30'-8" = AVG SIDE SETBACK  
247.375 SF / 30'-8" = 8.07 > REQ. AVG 8'

REAR SETBACK REQUIREMENT

8 FT MIN

PARKING

REQUIRED: 2 SPOTS PER RESIDENCE = 4 SPOTS PROVIDED:  
4 SPOTS TOTAL

FAR: 1,036 SF + 1,038 SF + 891 SF = **2,965 SF**

7,700 SF X 85% = 6,545 SF  
(E) 1,036 SF HOUSE  
(N) 1,038 SF NEW RESIDENCE (UNIT #2)  
(N) 891 SF ((2) 445.5 SF) GARAGES  
= 2,965 SF < 6,545 SF THEREFOR OKAY.

LANDSCAPE CALC.

25% OF LOT, 50% HAS TO BE LIVE PLANTS.  
LOT = 7,700 SF X 25% = 1,925 SF,  
1,925 SF = REQUIRED LANDSCAPE AREA  
1,925 SF X 50% = 963 SF  
963 SF = LIVE PLANTS ARE:  
PROVIDED: 2,252 SF  
**2,518 SF** OF LANDSCAPE AREA PROVIDED  
2,518 SF > 1,925 SF, THEREFORE OKAY.  
MIN. 963 SF TO BE LIVE PLANTS

LOT COVERAGE: 2,086 SF + 1,224 SF = **3,310 SF**

50% OF LOT  
LOT = 7,700 SF X 50% = 3,850 SF  
(E) 1,224 SF HOUSE  
(N) 1,038 SF NEW RESIDENCE (UNIT #2)  
(N) 891 SF PARKING GARAGES  
= 3,310 SF < 3,850 SF THEREFOR OKAY.

COMMON SPACE

200 SF PER UNIT = 400 SF  
PROVIDED 405 SF THEREFOR OKAY

PRIVATE SPACE

40 SF PER UNIT  
PROVIDED 40 SF PER UNIT THEREFOR OKAY

LANDSCAPE NOTES:

PROTECTED OAK, SYCAMORE, BAY TREES OR CITY STREET TREES ON THE PROPERTY AND WITHIN 20' OF THE PROPERTY ARE INACCESSIBLE TO THE PROPOSED CONSTRUCTION ACTIVITY AND WILL EXPERIENCE NO IMPACT. NO PROTECTIVE FENCING IS REQUIRED.

ELECTRIC ENGINEERING NOTES

EXISTING OVERHEAD SERVICE DROP TO FRONT HOUSE IN CONFLICT WITH NEW HOME CONSTRUCTION AT REAR OF LOT. EXISTING OVERHEAD DROP MUST BE RELOCATED TO PROVIDE CLEARANCES FOR NEW HOME. GWP WILL ONLY ALLOW ONE SERVICE DROP FOR THE ENTIRE LOT. A NEW 2-PACK METER PANEL WILL BE REQUIRED FOR THIS PROJECT. CONTACT GOP ELECTRIAL PLANNERS AT 818-548-3921 FOR THIS REQUIREMENT.

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

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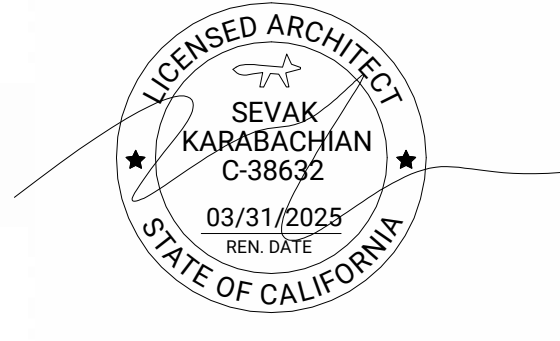
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NO.	ISSUE	DATE



PROJECT ADDRESS:

**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:

**PROJECT  
INFORMATION**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2023-028

SCALE:

As indicated

DRAWN BY:

DATE:

10/09/2024

SHEET NUMBER:

**A0-100**

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SYMBOLS

Y80

Y85

Y85

Y80

Y75

LEVEL

+182'-0"

+181'-6"

+181'-0"

PROJECT NORTH

ROOM NAME

000

ROOM NUMBER

LEVEL NUMBER

REFLECTED CEILING PLAN SYMBOL

ROOM NUMBER

CEILING FINISH AND ASSEMBLY

HEIGHT OF CEILING ABOVE FINISH FLOOR

STAIR NAME

S01

11

3

R 50

X168.29

Y128.76

31.05°

NOTE

1

COORDINATE GRID LINES

DATUM: PROJECT Z

FINISH FLOOR LEVEL

STRUCTURAL FLOOR LEVEL

ELEVATION AS MEASURED PER BENCHMARK DATA

PROJECT WORKPOINT (X=0, Y=0, Z=0)

PROJECT NORTH ARROW

LINE TYPES:

CENTER LINE

PROPERTY LINE

GRIDLINE

PROJECTION ABOVE/BELOW

BREAK LINE

ROOM SYMBOL

ROOM NUMBER LEVEL NUMBER

REFLECTED CEILING PLAN SYMBOL

ROOM NUMBER

CEILING FINISH AND ASSEMBLY

HEIGHT OF CEILING ABOVE FINISH FLOOR

STAIR SYMBOL

STAIR DESIGNATION

DIMENSIONING

LINEAR DIMENSION

RADIAL DIMENSION

POINT COORDINATES

ANGULAR DIMENSION

INDICATION ARROWS

REVISION SYMBOL

OPENING IN SLAB

OPENING IN SLAB ABOVE

1

A4-400

REFERENCE BUBBLE

1

A4-101

WALL SECTION

1

A5-010

BUILDING SECTION

1

A5-010

INDICATES A JOG IN THE BUILDING SECTION

1

A5-010

DETAIL AREA REFERENCE

1

A5-250

DETAIL REFERENCE

1

A4-001

BUILDING ELEVATION SYMBOL

1

A7-001

INTERIOR ELEVATION SYMBOL

2x4

WALL FRAMING TYPE ALL FRAMING IS 2x4 UNLESS NOTED OTHERWISE

001

DOOR SYMBOL (REF. A#-### FOR DOOR SCHED.)

W101

WINDOW SYMBOL (REF. A#-### FOR WINDOW SCHED.)

∠

∠

∠

∅

∥

#

=

⊥

ANGLE DEGREES CENTERLINE DIAMETER OR ROUND PARALLEL POUND OR NUMBER CHANNEL EQUAL PERPENDICULAR

⊗

HEAVY TIMBER STRUCTURE

↘

▼

WEEP

□

AIR TERMINAL

2%

GRADE SLOPE

3:12

ROOF SLOPE

NOTE ABBREVIATIONS

3D	THREE DIMENSIONAL	L	LENGTH
AD	AREA DRAIN	LAM	LAMINATE
AFF	ABOVE FINISH FLOOR	LAV	LAVATORY
ALT	ALTERNATE	LD	LEADER DRAIN
ALUM	ALUMINUM	LF	LINEAR FOOT
ANG	AVERAGE NATURAL GRADE	LL	LIVE LOAD
AP	ACCESS PANEL	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
AV	AUDIO VIDUAL	MIN	MINIMUM
		MIR	MIRROR
BLDG	BUILDING	N	NORTH
BO	BOTTOM OF	NO	NUMBER
		NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CBC	CALIFORNIA BUILDING CODE	OD	OUTSIDE DIAMETER (DIM)
CJ	CONTROL JOINT	OFD	OVERFLOW DRAIN
CL	CENTER LINE	OPP	OPPOSITE
CLG	CEILING		
CLR	CLEAR	PCF	POUNDS PER CUBIC FOOT
CMU	CONCRETE MASONRY UNITS	PERF	PERFORATE(D)
CO	CLEAN OUT	PL	PLATE
COL	COLUMN	PLUM	PLUMBING
CONC	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONT	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CPT	CARPET	PTN	PARTITION
CT	CERAMIC TILE	PTD.	PAINTED
CU	CONDENSER UNIT	PVC	POLYVINYL CHLORIDE
CW	COLD WATER	PWD	PLYWOOD
		R	RADIUS
DTL	DETAIL	RCP	REFLECTED CEILING PLAN
DIA	DIAMETER	RD	ROOF DRAIN
DIAG	DIAGONAL	REF	REFERENCE
DF	DOUGLAS FIR	REV	REVISION
DN	DOWN	RM	ROOM
DR	DOOR	RO	ROUGH OPENING
DS	DOWNSPOUT		
DWG	DRAWING	S	SOUTH
		SD	STORM DRAIN
E	EAST	SEC	SECURITY
EA	EACH	SCHED	SCHEDULE
EC	EXPOSED CONSTRUCTION	SECT	SECTION
EJ	EXPANSION JOINT	SF	SQUARE FEET
EL	ELEVATION	SHTG	SHEATHING
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATOR	SPEC	SPECIFICATION
EQ	EQUAL	SQ	SQUARE
EQPT	EQUIPMENT	ST.STL.	STAINLESS STEEL
EXT	EXTERIOR	STC	SOUND TRANSMISSION CLASS
		STD	STANDARD
		STL	STEEL
FA	FIRE ALARM	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURAL
FDN	FOUNDATION	T&B	TOP AND BOTTOM
FF	FINISH FLOOR	T&G	TONGUE AND GROOVE
FIXT	FIXTURE	TC	TOP OF CURB
FLR	FLOOR	TEMP	TEMPERATURE
FT	FOOT OR FEET	THK	THICKNESS
		THR	THRESHOLD
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZED	TOC	TOP OF CURB
GAW	GALVANIZED AFTER WELD	TP	TOP OF PAVING
GC	GENERAL CONTRACTOR	TV	TELEVISION
GL	GLASS	TW	TOP OF WALL
GND	GROUND	TYP	TYPICAL
GP	GYPSUM PLASTER		
GWB	GYPSUM WALL BOARD	UNO	UNLESS NOTED OTHERWISE
		UL	UNDERWRITERS'S LABORATORY
H	HEIGHT	VENT	VENTILATION
HDR	HEADER	VGDF	VERTICAL GRAIN DOUGLAS FIR
HW	HARDWOOD		
HWOD	HOT WATER	W	WEST
ID	INSIDE DIAMETER	W/	WITH
IV	INVERT ELEVATION	WC	WATER CLOSET
IN	INCH	WD	WOOD
INCL	INCLUDING	WDB	WOOD BASE
INT	INTERIOR	WDF	WOOD FLOOR
IV	IRRIGATION VALVE	WDP	WOOD PANELING
JT	JOINT	WIN	WINDOW
		W/O	WITHOUT
		WP	WATERPROOFING
		YD	YARD DRAIN

GENERAL NOTES - CONTINUED

- TOILETS SHALL HAVE 24" FRONT CLEARANCE AND A 30" MINIMUM WIDTH CLEARANCE.
- HOSE BIBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW PREVENTION VALVE.
- DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE APPLICABLE MECHANICAL CODE.
- ELEMENTS OF APPLIANCES WHICH CREATE A GLOW, SPARK, OR FLAME SHALL BE LOCATED A MINIMUM OF 18" ABOVE GARAGE FLOOR. (MC 308.1).
- PROVIDE PASSAGEWAY 24" WIDE OF SOLID CONTINUOUS FLOORING FROM ATTIC ACCESS TO FAU CONTROLS. LENGTH OF PASSAGEWAY SHALL NOT EXCEED 20 FEET. (MC 904.11).
- PROVIDE A MINIMUM 36 INCH LANDING MEASURED IN THE DIRECTION OF TRAVEL AT ALL EXTERIOR DOORS.
- CONTRACTOR TO PROVIDE KIT-KAT BARS AT ALL SITE VISITS PERFORMED BY ARCHITECT.
- REQUIRED EGRESS DOORS SHALL NOT SWING OVER A LANDING THAT IS MORE THAN 1.5 INCH IN EIGHT BELOW THE THRESHOLD.
- ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (11 LUX).
- IN ANY INTERIOR AREA USED FOR CHARGING ELECTRIC VEHICLES, ELECTRIC EQUIPMENT SHALL BE INSTALLED PER LOS ANGELES COUNTY ELECTRICAL CODE.
- UNDER-FLOOR VENTING ADDITIONAL NOTES - ONE VENTILATION OPENING SHALL BE PLACED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE CRAWL SPACE AREA. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH ¼ INCH MINIMUM AND ¼ INCH MAXIMUM OPENING. UN-VENTED UNDER-FLOOR SPACE SHALL COMPLY WITH SECTION 408.3.
- SPECIAL INSPECTOR MUST BE EMPLOYED BY THE OWNER OR DESIGN PROFESSIONAL IN CHARGE ACTING AS THE OWNER'S AGENT. SPECIAL INSPECTOR MAY NOT BE EMPLOYED BY THE CONTRACTOR (CBC 1704.2).
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY FIXTURES (CENC 150.0(K)1.A)
- FIXTURE WATER USE VALUES MAXIMUMS:  
SHOWERHEADS, RESIDENTIAL 2.0 GPM @80 PSI  
LAVATORY FAUCETS, RESIDENTIAL 0.8 GPM @ 20 PSI AND MAX 1.5 GPM @ 60 PSI  
KITCHEN FAUCETS 1.8 GPM @ 60 PSI  
WATER CLOSET 1.28 GALLONS / FLUSH

FIRE PROTECTION NOTES

- IF REQUIRED BY CITY ORDINANCES OR FIRE DEPARTMENT, FIRE SPRINKLERS SHALL BE INSTALLED AND ONE-HOUR FIRE SEPARATIONS SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE SPRINKLER PLAN TO FIRE MARSHALL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- SMOKE ALARM SHALL BE INTERCONNECTED HARDWIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. BATTERY SMOKE ALARM PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH 10 YEAR BATTERY AND HAVE A SILENCE FEATURE.

PLANNING NOTES:

- NO OTHER APPROVALS ARE GRANTED. ANY CONSTRUCTION OR LAND USE CONTRADICTORY TO THE GMC IS NOT APPROVED BY THIS PERMIT.
- ANY NEW FENCES, GATES, OR WALLS FOR WHICH A BUILDING PERMIT IS NOT REQUIRED SHALL REQUIRE ZONING/DESIGN REVIEW APPROVAL, PRIOR TO CONSTRUCTION.
- NO FIELD CHANGES TO THE EXTERIOR WILL BE ALLOWED UNLESS A PLAN REVISION IS FIRST APPROVED BY THE PLANNING DIVISION. ANY CHANGES WITHOUT PRIOR APPROVAL ARE AT THE OWNER'S/BUILDER'S RISK AND WILL BE REQUIRED TO BE CORRECTED PRIOR TO OCCUPANCY.
- IN ACCORDANCE WITH GMC 30.60.040.B.2, IF DEMOLITION OF THE EXISTING OUTSIDE WALLS AND ROOF AREA EXCEEDS 50% DURING CONSTRUCTION, THE BUILDING LOSES ITS NONCONFORMING STATUS AND MUST BE BROUGHT INTO COMPLIANCE WITH THE CURRENT ZONING CODE. THIS MAY INCLUDE, BUT IS NOT LIMITED TO, REQUIRED SETBACKS, PARKING, AND DESIGN REVIEW BOARD APPROVAL.
- RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE SEPARATE PERMITS.
- PROTECTED OAK, SYCAMORE, BAY TREES OR CITY STREET TREES ON THE PROPERTY AND WITHIN 20' OF THE PROPERTY ARE INACCESSIBLE TO THE PROPOSED CONSTRUCTION ACTIVITY AND WILL EXPERIENCE NO IMPACT. NO PROTECTIVE FENCING IS REQUIRED.
- PER GMC SECTION 12.040.030 (B), "ANY PERSON (INCLUDING, BUT NOT LIMITED TO, AN ARCHITECT, ENGINEER, CONTRACTOR OR DEVELOPER) WHO APPLIES FOR A CONSTRUCTION PERMIT SHALL SUBMIT AN ACCURATE PLAN SHOWING THE EXACT LOCATION OF EACH CITY TREE ADJACENT TO THE SUBJECT PROPERTY AND ALL CITY TREES WHOSE TRUNKS OR BRANCHES ARE LOCATED WITHIN 20 FEET OUTSIDE THE SUBJECT PROPERTY LINE. THE TREE'S SIZE, SPECIES, DIAMETER, AND DRIPLINE SHALL BE INCLUDED ON THIS PLAN."

GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT SITE AS DESCRIBED IN THE CONTRACT DOCUMENTS PRIOR TO STARTING CONSTRUCTION, AND SHALL CROSS-CHECK DETAILS AND DIMENSIONS ON THE CIVIL, ARCHITECTURAL, AND STRUCTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO CONSTRUCTION. ALL TRADES SHALL VERIFY AT THE PROJECT SITE, CONDITIONS AND MEASUREMENTS RELATED TO THEIR WORK AND COORDINATE THEIR WORK THROUGH THE GENERAL CONTRACTOR WITH ALL TRADES WORKING IN THE VICINITY OF THEIR WORK.
- ITEMS MARKED N.I.C. ON THE DRAWINGS ARE NOT PART OF THIS CONTRACT.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES, UNLESS SPECIFICALLY DETAILED OTHERWISE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.
- DO NOT SCALE DRAWINGS.
- NO OMISSIONS OR CHANGES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
- ALL DIMENSIONS ARE FACE OF STUD WALL, CENTERLINE OF COLUMN, OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
- NO MATERIALS FROM THE WORK ARE TO BE STOCK-PILED ON PUBLIC RIGHT-OF-WAYS ALL RUBBISH AND DEBRIS IS TO BE REMOVED FROM THE SITE.
- ALL WORKMANSHIP SHALL BE PERFORMED BY SKILLED LABORERS USING THE BEST STANDARD PRACTICE OF THE TRADE.
- DAMAGE DONE TO CITY AND/OR ADJOINING PROPERTY, OR EXISTING STRUCTURES NOT INCLUDED IN THIS CONTRACT, SHALL BE RESTORED TO EXISTING CONDITIONS AT THE EXPENSE OF THE CONTRACTOR.
- MECHANICAL SYSTEM SHALL BE DESIGN-BUILD BY THE CONTRACTOR AND SHALL CONFORM TO ALL TITLE 24 AND MECHANICAL CODE REQUIREMENTS. 1/150 SF OF ATTIC AREA IS TO BE VENTED. CONTRACTOR TO PROVIDE VENTILATION AS PER ELEVATIONS.
- PROVIDE GALVANIC INSULATION BETWEEN DISSIMILAR METALS.
- CLASS "A" ROOFING IS REQUIRED FOR FIRE PROTECTION.
- ALL GYPSUM BOARD SHALL BE ½" TYPE "X". WATER RESISTANT (W/R) SHALL BE ½" TYPE "X" WATER RESISTANT UNLESS OTHERWISE NOTED. USE MOLD-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
- CONTRACTOR SHALL VERIFY ALL UTILITIES AND NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
- WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 4" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN A 30 DEGREE POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE.
- WHERE THE CHOICE OF FINISH COLOR IS POSSIBLE, IT IS TO BE SELECTED BY THE OWNER.
- ABOVE GROUND GAS METERS, REGULATORS, AND PIPING EXPOSED TO VEHICULAR DAMAGE DUE TO THEIR PROXIMITY TO ALLYS, DRIVEWAYS, OR PARKING AREAS, SHALL BE PROTECTED IN AN APPROVED MANNER. (MC 308.1).
- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE LABELED AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AND UL LABELED FOR RATED DOORS AND/OR WINDOWS.
- ALL SLOPES ADJACENT TO BUILDINGS SHALL SLOPE AWAY AT A 2% GRADE MINIMUM FOR ALL GRADES, ELEVATIONS, AND DRAINAGE.
- PROPERTY ADDRESS SHALL BE NUMBERS IN CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF ¼".
- GLASS PANES WITHIN 18" ABOVE FINISH FLOOR OR LESS SHALL BE TEMPERED.
- RADIANT BARRIER REQUIRED AT ALL NEW ROOF CONSTRUCTION.
- WALL COVERINGS IN SHOWERS AND TUBS SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 70" ABOVE THE DRAIN. ENCLOSURES MUST BE APPROVED SAFETY GLAZING AND DOORS MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR A THERMOSTATIC MIXING VALVE. (PC 418).
- ADDITIONAL VENTING NOTES - A MINIMUM OF 1 INCH AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING. UN-VENTED ATTIC ASSEMBLIES SHALL MEET ALL THE CONDITIONS IN SECTION R806.4.
- PROVIDE A MINIMUM OF 30" VERTICAL CLEARANCE ABOVE COOK-TOP TO UNPROTECTED COMBUSTIBLE MATERIALS.
- CLOTHES DRYER SHALL BE VENTED TO EXTERIOR WITH 4" SMOOTH METAL DUCT AND BACK-DRAFT DAMPER. DUCT SHALL NOT EXCEED 14'-0" LENGTH WITH A MAXIMUM OF 2 ELBOWS. DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF THE TWO (MC 504.3.2).
- ALL BEDROOMS SHALL HAVE A WINDOW THAT IS DESIGNATED AN ESCAPE WINDOW. THE ESCAPE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.75 SF, WITH A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND HEIGHT OF 24". THE WINDOW SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR. (1026.1, 1026.2, 1026.2.1, 1026.3) CONTRACTOR TO VERIFY PROPER DIMENSIONS PRIOR TO ORDERING WINDOWS.
- AN ATTIC ACCESS OPENING SHALL BE PROVIDED INTO ALL ATTIC SPACES WITH A MINIMUM OPENING DIMENSION OF 22"x30". 30" MINIMUM CLEAR HEADROOM IS REQUIRED ABOVE THE OPENING. (R807.1) PROVIDE SWITCH AND LIGHT.

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NO.	ISSUE	DATE

PROJECT ADDRESS:

**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND RESIDENCE UNIT

TITLE:

GENERAL NOTES

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:  
**2023-028**  
SCALE:

DRAWN BY:

DATE:  
**10/09/2024**

SHEET NUMBER:

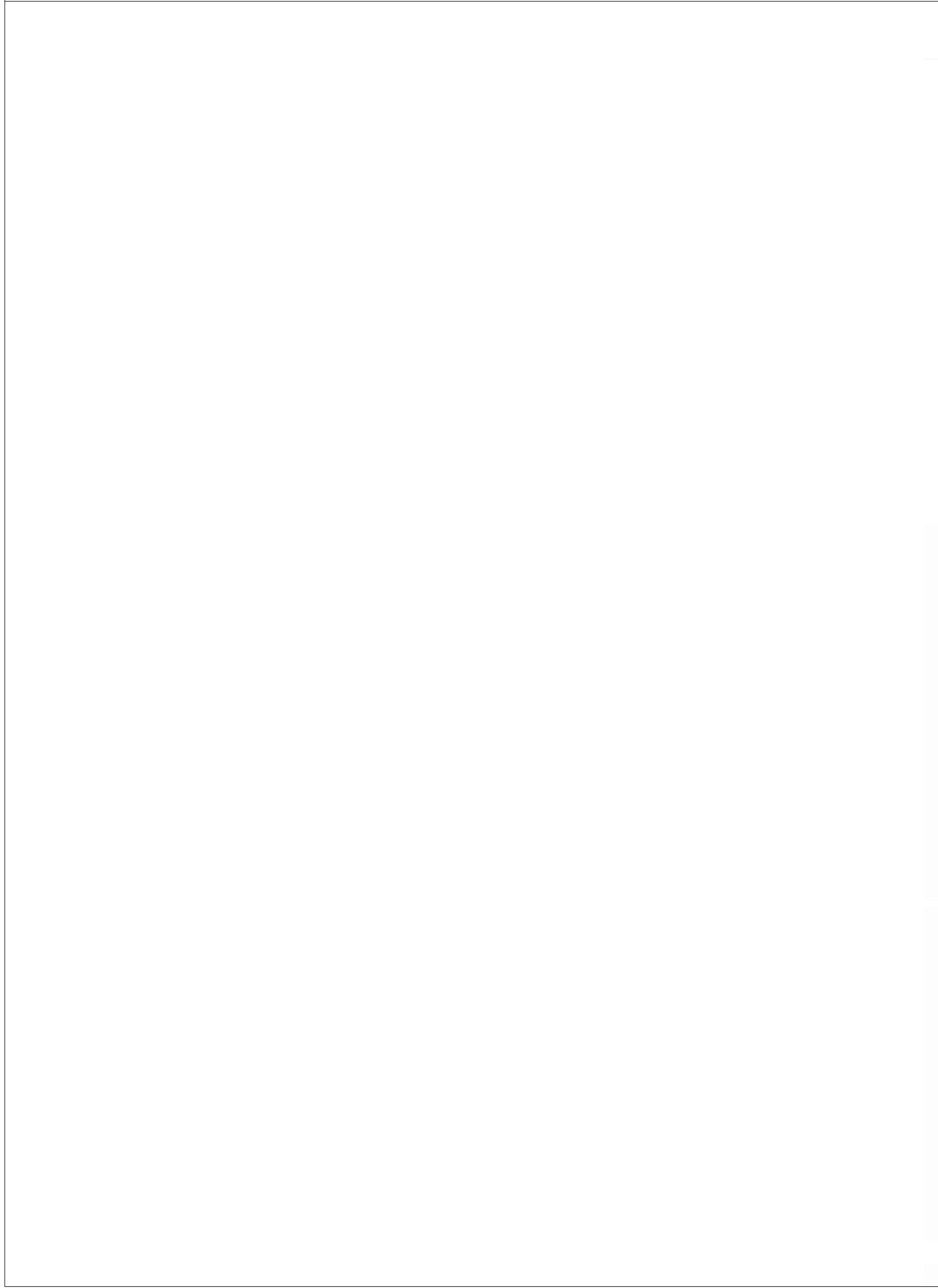
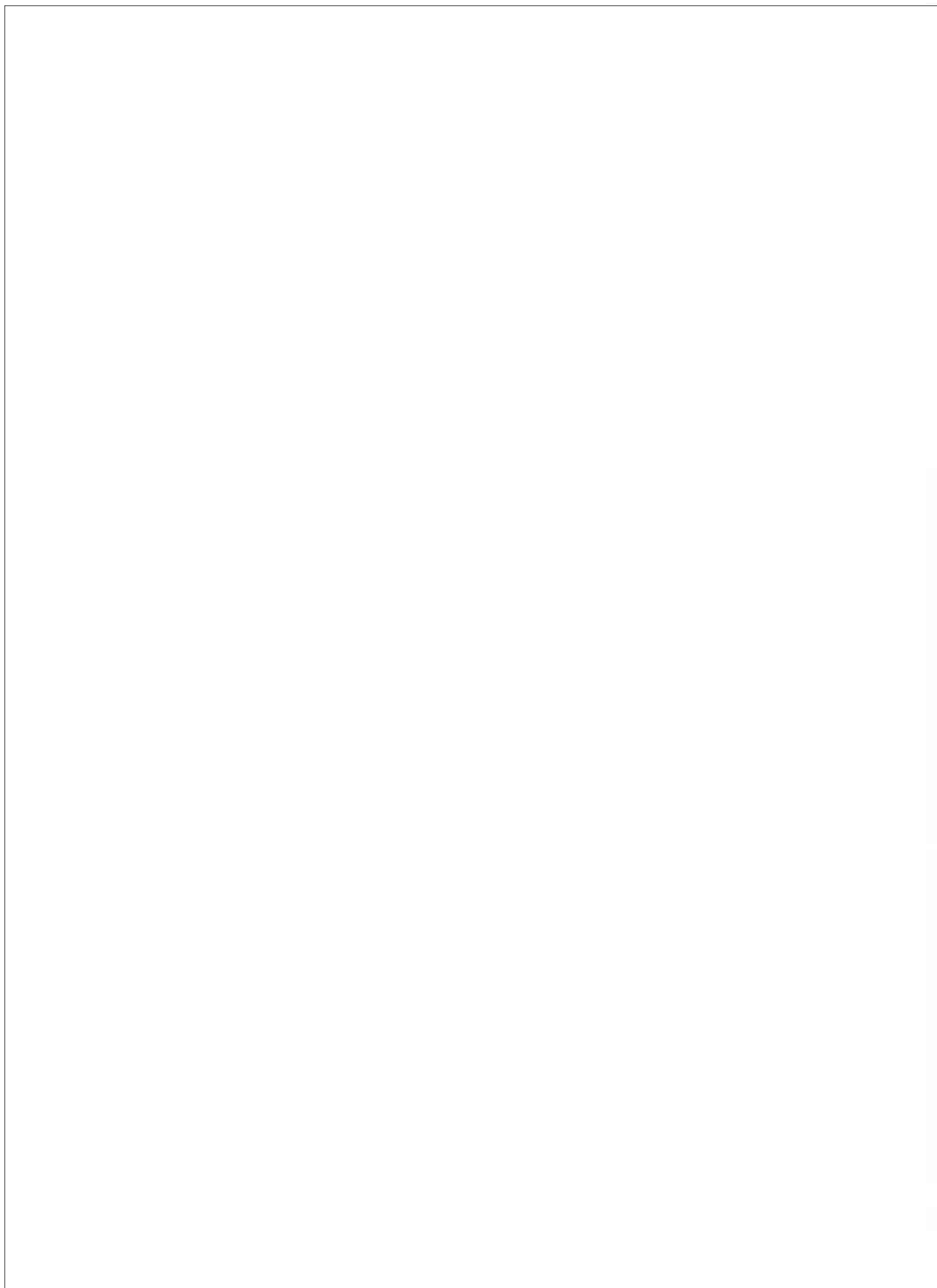
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K:\2023\028 1035 Raymond Ave\4 - 2024 Rev\1 - Mobile and Drawings\1035 Raymond Ave - M27.rvt



K:\0202\0201\008 Raymond Ave.v4 - 2016 Revit1 - Models and Drawings\003 Raymond Ave - MS7.rvt



- 12.6.

Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing.
- 12.7.

Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" min. bolt projection or hook shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard.
13.

**Address Number and Identifying Data:** Address numbers and other identifying data shall be displayed as follows:

13.1.

All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with rear vehicular access through any driveway, alleyway or parking lot shall also display the same numbers on the rear of the building.

13.2.

Multiple Family Dwelling: Illuminated Diagrams and Identification Numbers: There shall be positioned at each entrance of a multiple family dwelling complex an illuminated diagrammatic representation of the complex which shows the location of:

13.2.1.

The viewer;

13.2.2.

The unit designations within the complex.

13.2.3.

Each unit that is a "smoking unit and a "non smoking" unit (as governed by Chapter 8.52 of the Glendale Municipal Code, 1995, or any successor legislation);

13.2.4.

A smoking permitted area authorized under Section 8.52.130 of the GMC; and

13.2.5.

The complex's exits, stairwells, elevators, fire alarm annunciator panels, and standpipes.

In addition, each individual unit within the complex shall display a prominent identification number, not less than four (4) inches (102mm) in height, which is easily visible to approaching vehicular and/or pedestrian traffic. In addition, any multiple family dwelling with rear vehicular access shall also display the same numbers on the rear of the building.

14.

**Lighting; Multiple Family Dwelling.** Lighting in multiple family dwellings shall be as follows:

14.1.

Aisles, Passageways and Recesses: Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five hundredths (.25) of a footcandle (2.7 lux) at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.

14.2.

Parking Structures, Parking Lots and Carports: Parking structures, parking lots and carports shall be provided with a minimum of two (2) footcandles (21.5 lux) of light on the parking surface during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.

15.

**Note:** These notes are intended as a guide only. Contractor and supplier shall refer to the Glendale Building & Safety Code, Volume VII for more complete and specific details.

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There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestrian access door.

11.3.

Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1831 gram/m<sup>2</sup>) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1526 grams/m<sup>2</sup>).

11.4.

Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch (25.4mm).

11.5.

Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points or, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header; or, torsion spring counter balance type hardware may be used.

11.6.

Doors with slide bolt assemblies shall have frames a minimum of .120 inches (3mm) in thickness, with a minimum bolt diameter of one-half (½) inch (13mm) and protrude at least one and one-half (1½ ) inches (38mm) into the receiving guide. A bolt diameter of three-eighths (¾) inch (10mm) may be used in a residential building. The slide bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach slide bolt assemblies.

12.

**Swinging Exterior Doors:** All exterior swinging doors of any residential building and attached garages (Except for vehicular access doors), including the door leading from the garage area into the dwelling unit shall be equipped as follows:

12.1.

All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 ¾ inches (45mm), or with panels not less than nine-sixteenths (9/16) inch (15mm) thick.

12.2.

A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (¾) inch (19mm) into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one fourth (¼) inch (6.3mm) in diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.

12.3.

The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch (16mm) into the head and threshold or the door frame.

12.4.

Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing.

12.5.

Wide Angle Viewer: Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle (180") door viewer.

Rev 01/23 - Page 3 of 4

**CITY OF GLENDALE**  
**BUILDING AND SAFETY**  
633 EAST BROADWAY ROOM 101 (818) 548-3200

**SUPPLEMENTAL CORRECTION SHEET**  
**SECURITY STANDARDS – RESIDENTIAL**

1.

The following buildings shall comply with the Security Provisions:

a.

New residential buildings of all types.

b.

Additions or alterations to residential buildings of all types.

c.

Multiple family dwelling units converted to privately owned family units (condominiums or cooperatives).

2.

Identify all security openings clearly on plans. The symbol \* may be used, but any system which clearly defines security openings will be acceptable.

a.

Security Openings are defined as:

b.

All exterior doors of residential buildings.

c.

The door leading from garage into attached dwelling units.

d.

Entrance doors to individual apartments or condominiums from a public area.

e.

Any glazed opening within 40" of any door locking mechanism in the closed mechanism.

f.

Louvered windows within 12' vertically or 6' horizontally of an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.

g.

Openings or windows into public parking areas.

h.

All openable windows. See Item 4 below.

3.

Provide details and specifications for all swinging doors in security openings.

a.

Specify thickness, type, and materials as applicable for wood, metal, and glass doors.

b.

Specify deadbolts with hardened inserts; dead-locking latch key-operated locks on exterior; locks openable without key, special knowledge or special effort on interior; and type, throw, and embedment of deadbolts for single swing doors, active leaf of dutch door.

c.

Show means of securing inactive leaf of double door and upper leaf of dutch door.

4.

Architect shall specify sliding glass doors and openable security windows on plans by trade name. Architect shall provide plan checker with a copy of performance test report prepared by manufacturer or ICC number, indicating compliance with tests as required in the most recent edition of the California Building Code.

5.

Show the method of securing metal or wood overhead or sliding doors.

6.

For multiple family dwellings, show illuminated diagram on plans as specified in General Notes, item 12.2.3

Rev 01/23 - Page 1 of 4

Openings or windows referred to in item 2g above, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens, or grilles. The protective bars or grilles shall not interfere with the operation of opening windows if such windows are required to be openable by this Code.

7.

In addition to the details and specifications required by items 1 through 7 above, provide appropriate general notes and specifications to comply with Volume VII, Ordinance No. 5998. The following example notes may be used in part or in total as appropriate:

**GENERAL NOTES:**

All openings marked \* are security openings and the following notes shall apply:

1.

Each unit in a residential development shall be keyed differently than any other units under the same general plan. A certificate from the lock supplier declaring that all locks supplied to the project are keyed separately shall be acceptable as complying with the above requirements.

2.

Door jambs shall have a solid backing with no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.

3.

In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Jambs shall have solid backing against sole plates.

4.

Iron or steel screens shall be 1/8" thick with 2" mesh securely fastened.

5.

Iron bars shall be 1/2" diameter bars or 1" x 1/4" flat steel spaced at 5" max. securely fastened.

6.

Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to gripping tools.

7.

Door stops for in-swinging doors shall be integrated (rabetted) with the jamb. Jambs for all doors shall be constructed or protected so as to prevent violation of the strike.

8.

The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by a minimum of two screws.

9.

Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.

10.

Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.

11.

**Garage Door Types:** Rolling overhead, solid overhead, swing or sliding accordion garage-type doors shall conform to the following standards:

11.1.

Wood doors shall have panels a minimum of five-sixteenths (5/16) inch (8mm) in thickness with the locking hardware being attached to the support framing.

11.2.

Aluminum doors shall be a minimum thickness of .0215 inches (.546mm) and riveted together a minimum of eighteen (18) inches (458mm) on center along the outside seams.

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NO.	ISSUE	DATE

PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

**NEW CONSTRUCTION 2ND  
RESIDENCE UNIT**

TITLE:  
**RESIDENTIAL  
SECURITY NOTES**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:  
**2023-028**  
SCALE:

DRAWN BY:  
  
DATE:  
**10/09/2024**

SHEET NUMBER:

**A0-300**

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1035 Raymond Avenue  
PAE-002971-2024

You may contact the case planner, Columba Diaz, during normal business hours at (818) 937-8188 or via e-mail at [codiaz@glendaleca.gov](mailto:codiaz@glendaleca.gov).

Sincerely,  
Bradley Calvert  
Director of Community Development



Roger Kiesel  
Planning Hearing Officer

RK:CD:sm

CC: City Clerk (K.Cruz); Building and Safety (A. Sargsyan / C. Leung / C. Sarkisloo); Neighborhood Services Division (J. Sada); Design Review & Historic (J. Platt); Economic Dev. (M. Berry); Housing (P. Zovak / M. Fortney / Aaron Brownell); Urban Design and Mobility F. Zohrevand); Community Services and Park (T. Aleksanian/ A. Limayo); Information Services (G. Arnold); City Attorney's Dept. (G. Van Muyden / Y. Neukian / M. Yun); Fire Engineering Section-(J. Diaz / S. Partamian / D. Stimson); Traffic & Transportation Section (P. Casanova); Acting General Manager for Glendale Water and Power (M. Robledo); Glendale Water & Power – Water Section (S. Boghosian / E. Hakoupian) / K. Runzer); Glendale Water & Power – Electric Section (C. Babakhanlou/ S. Boghosian / E. Hakoupian); Police Dept. (Lt. A. Krikorian / Z. Avila); Interim Dir. Of Public Works (D. Hernandez); Engineering and Land Development (A. Avazian/ S. Oganessian / R. Villaluna); Integrated Waste Management Admin. (D. Hardgrove); Maintenance Services/Street and Field / Urban Forester (L. Klick / C. Linares / O. Urquidez); and case planner – Columba Diaz.

- 1035 Raymond Avenue  
PAE-002971-2024
- That Design Review approval or Exemption shall be obtained prior to the issuance of a Building Permit.
  - That any expansion or modification of the project which is different than what is represented as part of this Administrative Exception approval, shall require a new application, as determined by the Hearing Officer.
  - That the premise shall be maintained in a clean and orderly condition and free of weeds, trash and graffiti.
  - That the premises shall be made available to any authorized City personnel (Fire, Planning and Neighborhood Services, etc.), for inspection to ascertain that all conditions of approval of this administrative exception are complied with.

APPEAL PERIOD

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper City and public agency.

Under the provisions of the Glendale Municipal Code, Title 30, Chapter 30.62, any person affected by the above decision has the right to appeal said decision to the Planning Commission, if it is believed that the decision is in error or that procedural errors have occurred, or if there is substantial new evidence which could not have been reasonably presented. Any appeal must be filed online with the prescribed fee prior to expiration of the 15-day appeal period, on or before **OCTOBER 7, 2024**.


**All appeals must be filed using the City's online permit portal: [www.glendaleca.gov/Permits](http://www.glendaleca.gov/Permits). Create an account, click "Apply," type "appeal" in the search bar, and apply for "Appeal of Planning Decision." Any appeal must be filed within fifteen (15) days following the actual date of the decision with the prescribed fee prior to the expiration of the 15-day appeal period, on or before OCTOBER 7, 2024.**

Information regarding appeals and appeals and fees may be obtained by calling the Community Development Department staff by contacting the case planner, Columba Diaz at [codiaz@glendaleca.gov](mailto:codiaz@glendaleca.gov) or 818-937-8188.

GMC CHAPTER 30.41 PROVIDES FOR

TERMINATION

Every right or privilege authorized by an Administrative Exception shall terminate two (2) years after the granting of such, unless the exercise of such right or privilege has commenced in good faith prior to such time, except as otherwise provided for.



CITY OF GLENDALE, CALIFORNIA  
Community Development  
Planning

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[glendaleca.gov](http://glendaleca.gov)

September 20, 2024

Sevak Karabachian  
1035 Raymond Avenue  
Glendale, CA 91201

RE: 1035 RAYMOND AVENUE  
ADMINISTRATIVE EXCEPTION CASE NO. PAE-002971-2024

Dear Mr. Karabachian:

Pursuant to the provisions of the Glendale Municipal Code (GMC), Title 30, Chapter 30.44.020 (E), the Community Development Department has processed your application for an Administrative Exception to allow for a maximum twenty (20) percent deviation from one or more numeric standards in Title 30, to allow a one-foot reduction (20% deviation) from the minimum interior setback requirement of five-feet zero inches (5'-0") in conjunction with the construction of a new 1,038 square-foot single-story dwelling unit with two attached two-car garages accessed from a new driveway at the rear alley. Additionally, the development involves the demolition of an existing 274 square-foot detached one-car garage, an existing detached 452 square-foot structure, and the removal of the existing street front driveway located at **1035 Raymond Avenue**, in the "R-2250" - Medium Density Residential zone, and described as Lot 39, Tract No. 4516, in the City of Glendale, County of Los Angeles.

ENVIRONMENTAL DETERMINATION:

The project is exempt from CEQA review as a Class 3 "New construction or Conversion of Small Structures" exemption, pursuant to State CEQA Guidelines Section 15303(a), because the project involves the development of a second dwelling unit in a residential zone.

REQUIRED/MANDATED FINDINGS

After considering the evidence presented with respect to this application, the plans submitted therewith, the Community Development Department has **GRANTED WITH CONDITIONS**, your application based on the following findings:

A. The granting of the exception will result in design improvements, or there are space restrictions on the site that preclude full compliance with the Code requirements without hardship.

The subject property is a 7,700 square-foot lot that was originally developed in 1924 with an existing 1,036 square-foot, one-story, single-family residence with a detached 275 square-foot one-car garage. The project site is located mid-block on the western side of Raymond Avenue, between West Glenoaks Avenue to the northeast, and North San Fernando Road to the southwest. Access to the property is from Raymond Avenue and a 20-foot wide alley at the rear (west) property line. The proposed project involves the construction of a new 1,038 square-foot single-story dwelling unit with two attached 445.5 square-foot two-car garages and a new driveway accessed from the rear alley. Additionally, the project includes the demolition of the existing 274 square-foot detached one-car garage and a 452 square-foot structure and the removal of the existing driveway located along Raymond Avenue.

The space restriction that precludes the project from full compliance with the Zoning Code is the 50'-0" lot width. In accordance with Chapter 30.32.050 Table 30-32-A of the Zoning Code, each residential unit is required to provide a minimum of two off-street parking spaces that are fully enclosed with minimum interior clear dimensions of 20'-0" wide by 20'-0" deep, along with a minimum 16'-0" wide garage door. Based on the zoning code requirements, the total width of the two garages will be approximately 41'-1", resulting in a 4'-0" interior setback along the westerly property line and 4'-1" along the easterly interior property line. To require the applicant to meet the minimum interior setback requirement would result in substandard parking spaces and would prevent the project from providing the four code required off-street parking spaces (two spaces per residential unit). This results in significant hardship that would unduly restrict the flexibility for reasonable use and improvement of the property. Alternatively, modifying the orientation of the two garages to comply with the minimum interior setback requirement would not comply with the zoning code, because the 50-foot lot width would prevent the project from complying with the minimum 25'-0" backup requirement (GMC Chapter 30.32.180, Chart II). The applicant's proposal appears to be compatible with the existing architectural style and surrounding neighborhood and will be required to obtain design review approval prior to building permit issuance.

B. The granting of the exception will not be materially detrimental to the public welfare or injurious to the property or improvements in such zone or neighborhood in which the property is located.

The granting of the exception for a one-foot reduction (20% deviation) from the minimum interior setback requirement of five-feet zero inches (5'-0") would not be detrimental to the public welfare or injurious to the property or improvements in the R-2250 neighborhood in which the property is located. The intent of setback regulations is to establish reasonable standards of design for air, light, and ventilation between buildings. As discussed above, the request for reduced interior setbacks

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NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**ADMINISTATIVE  
EXCEPTION LETTER**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

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**2023-028**  
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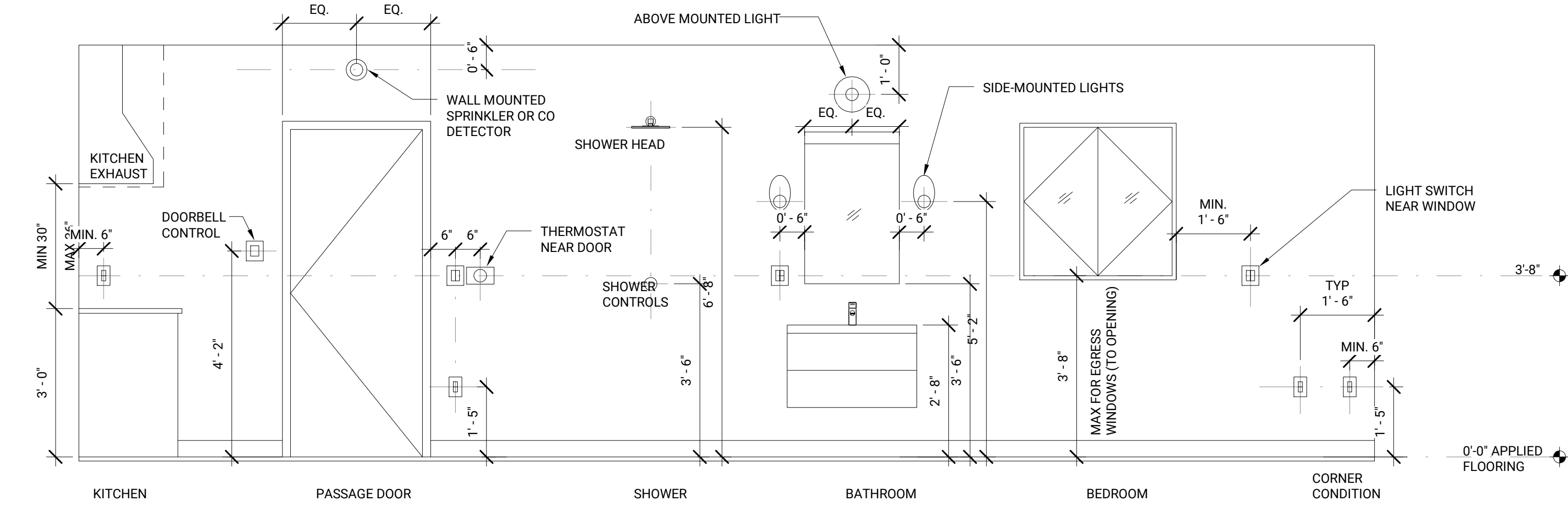
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**10/09/2024**

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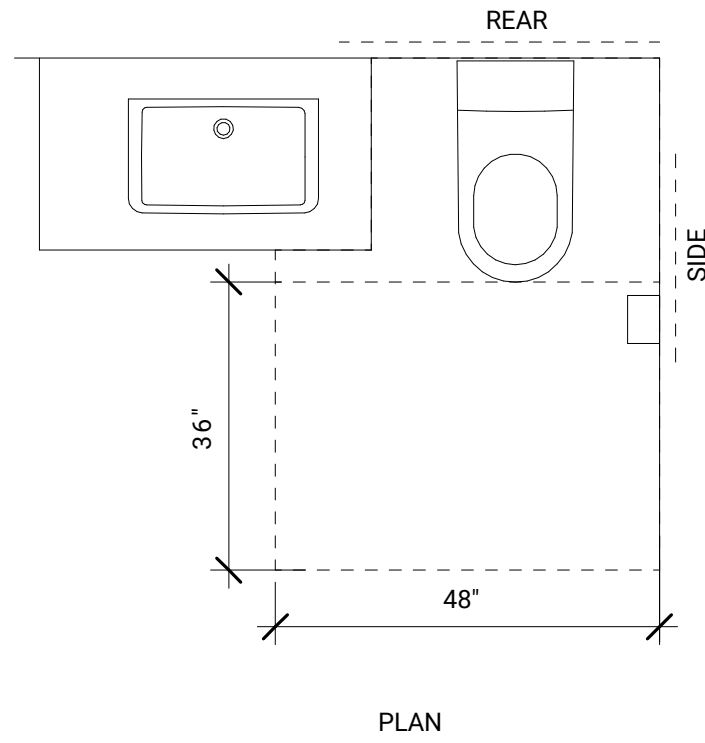
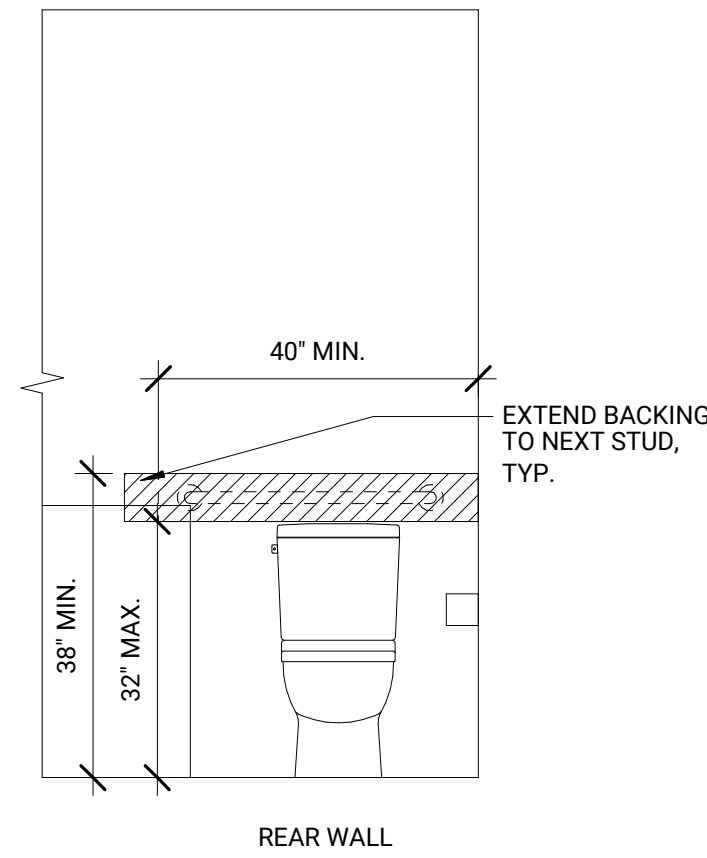
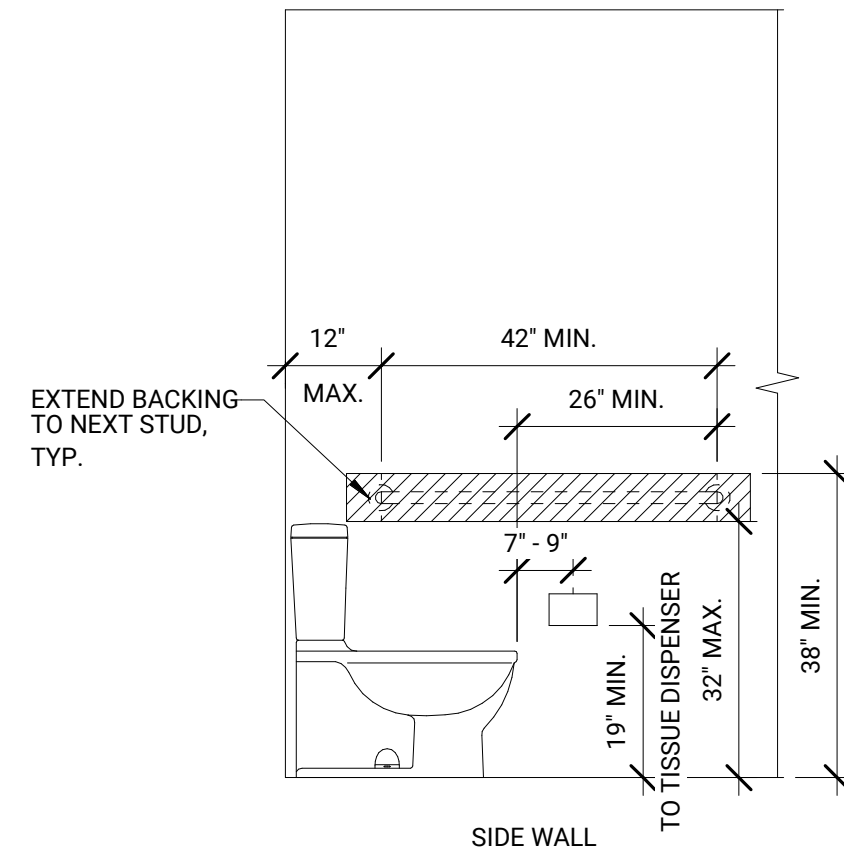
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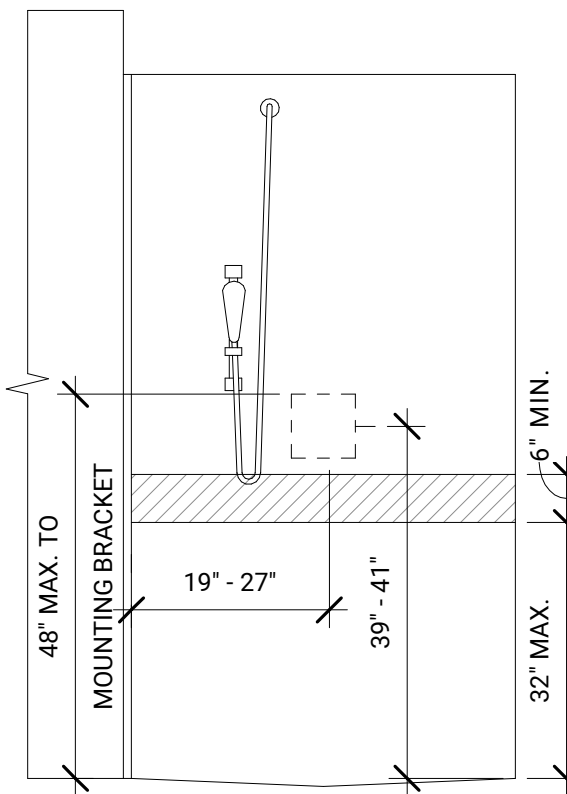




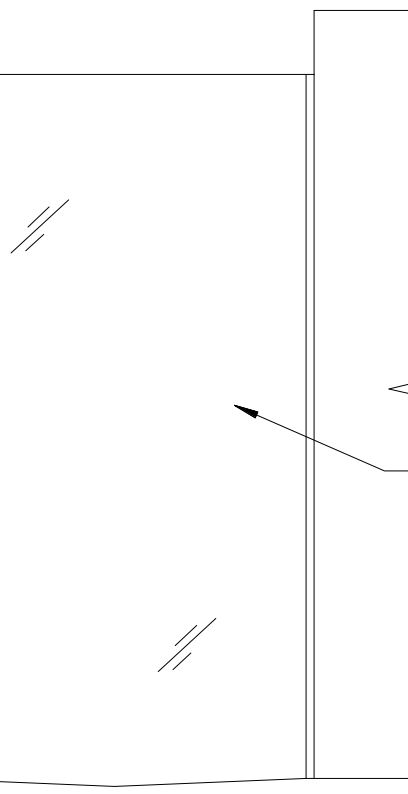
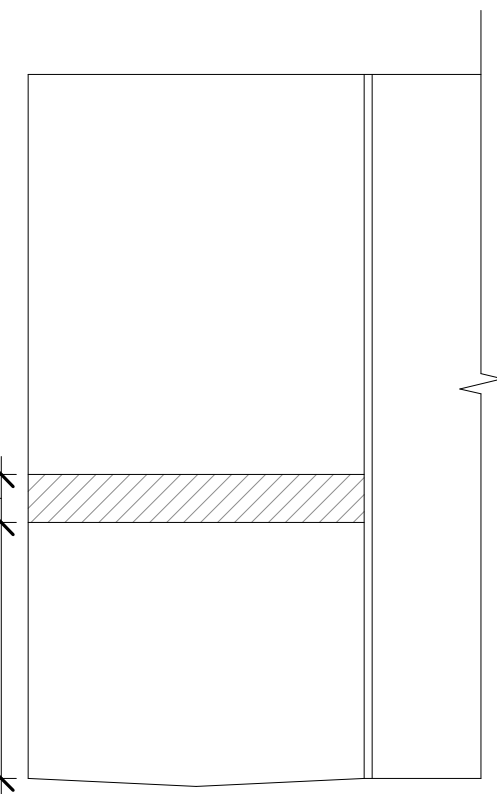
6 MOUNTING HIGHT DIAGRAM  
1/2" = 1'-0"



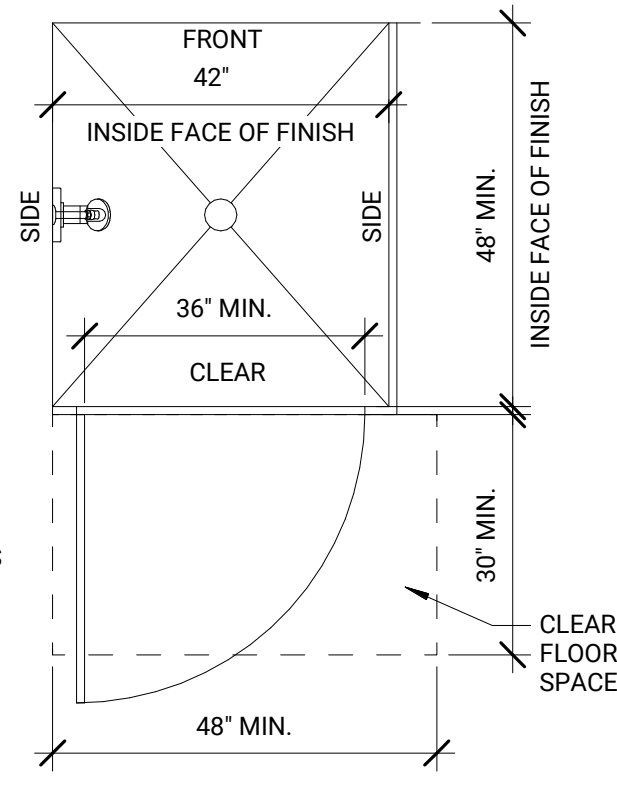
3 BACKING FOR ADAPTABLE TOILETS WITH WALL GRAB BAR  
SCALE: 1/2" = 1'-0"  
(CBC FIG. 11A-9G)



SIDE WALLFRONT WALL

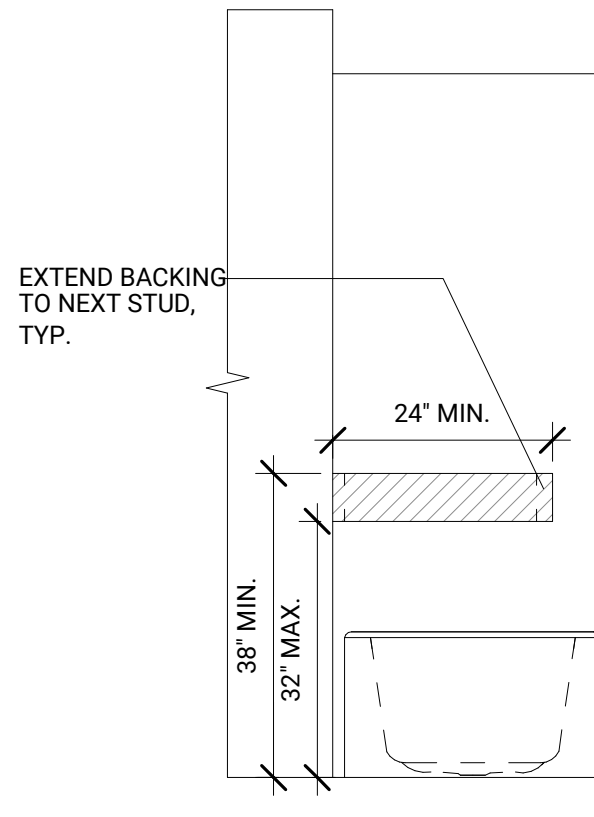


SIDE WALL

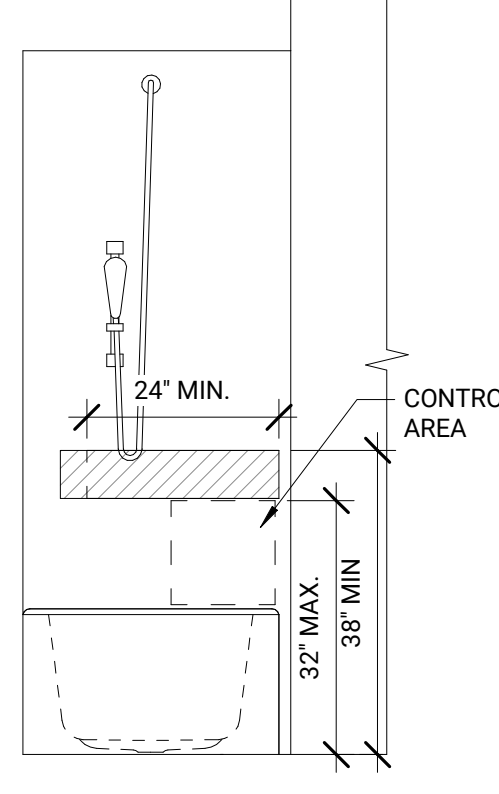
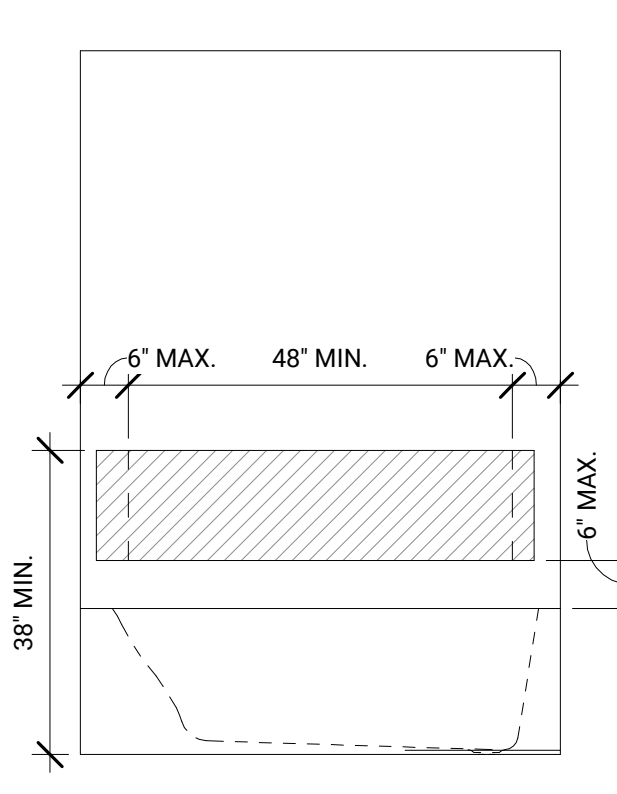


PLAN (A)

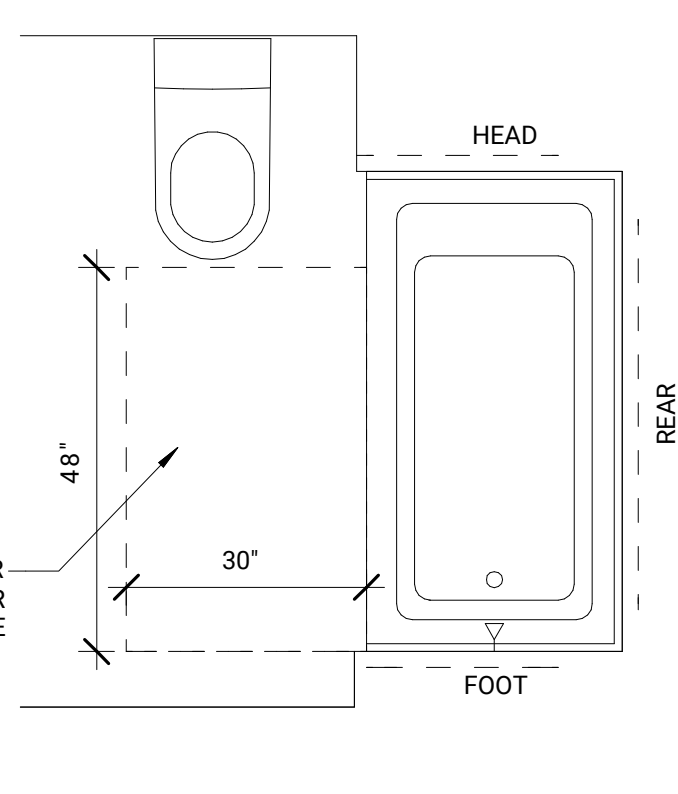
5 BACKING FOR ADAPTABLE SHOWER  
SCALE: 1/2" = 1'-0"  
(CBC FIG. 11A-9G)



HEAD END WALLREAR WALL



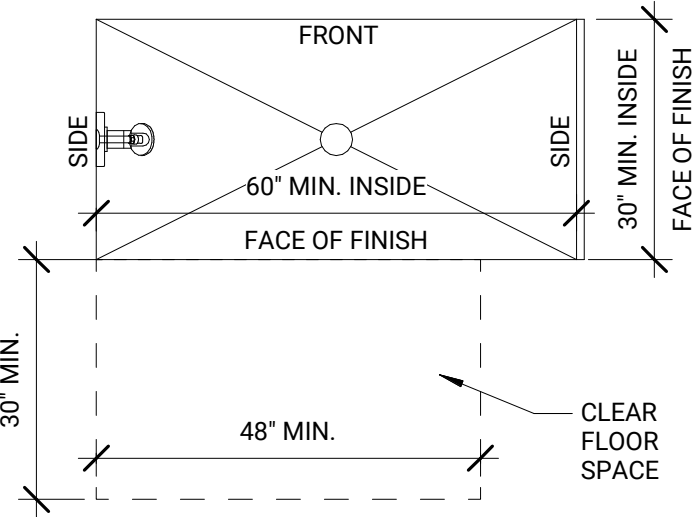
FOOT END WALL



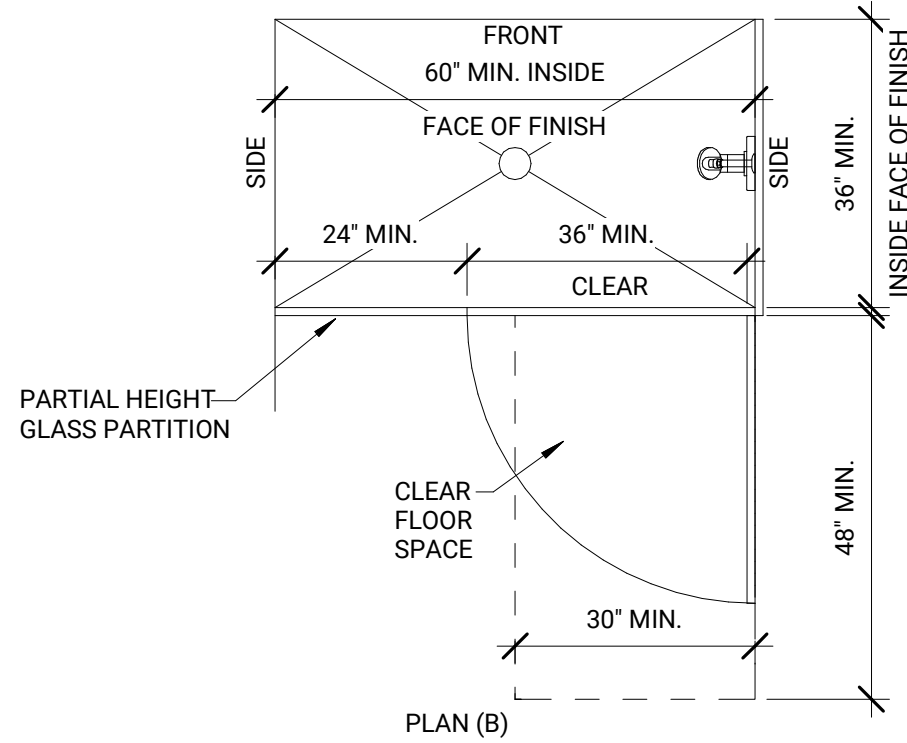
PLAN

2 BACKING FOR ADAPTABLE TUB  
SCALE: 1/2" = 1'-0"  
(CBC FIG. 11A-9G)

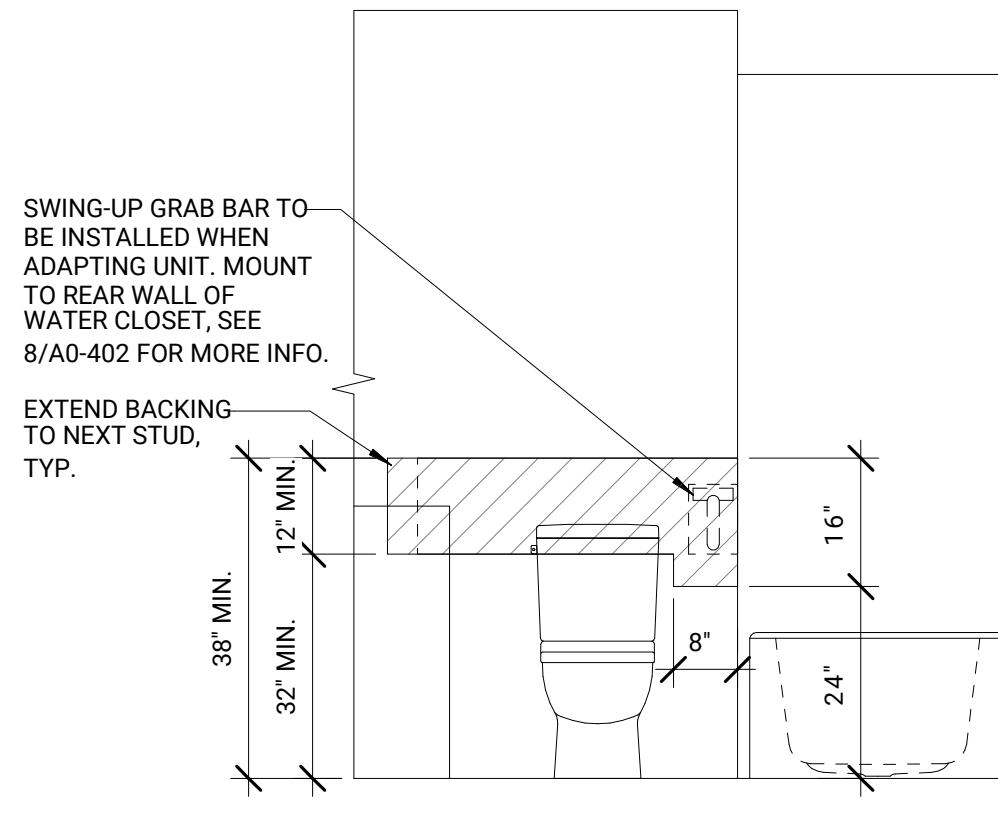
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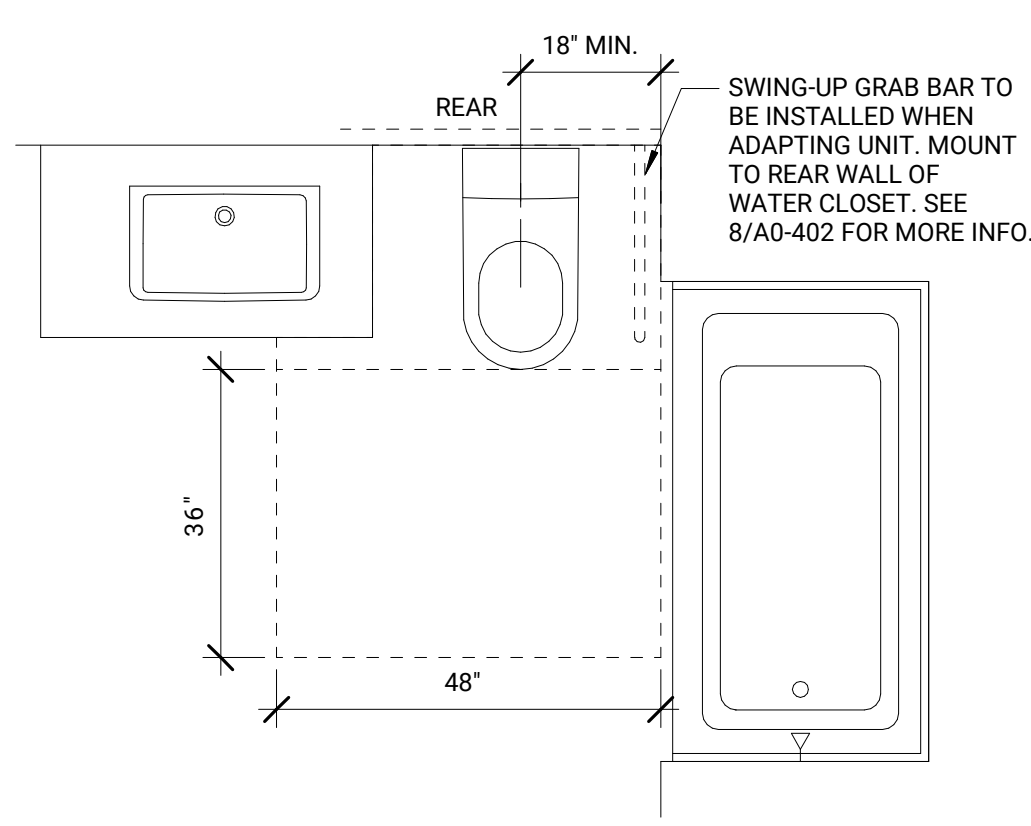
PLAN (C)



PLAN (B)

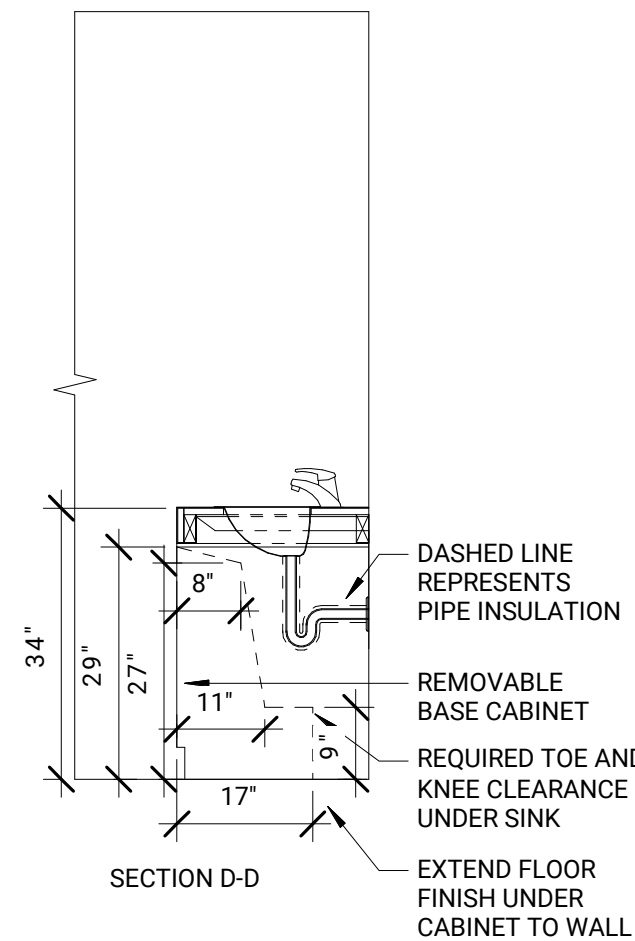


REAR WALL

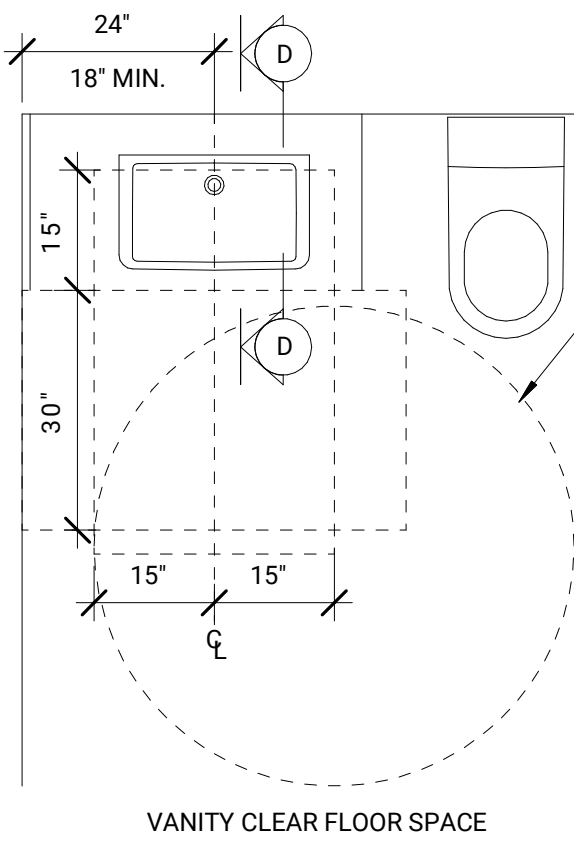


PLAN

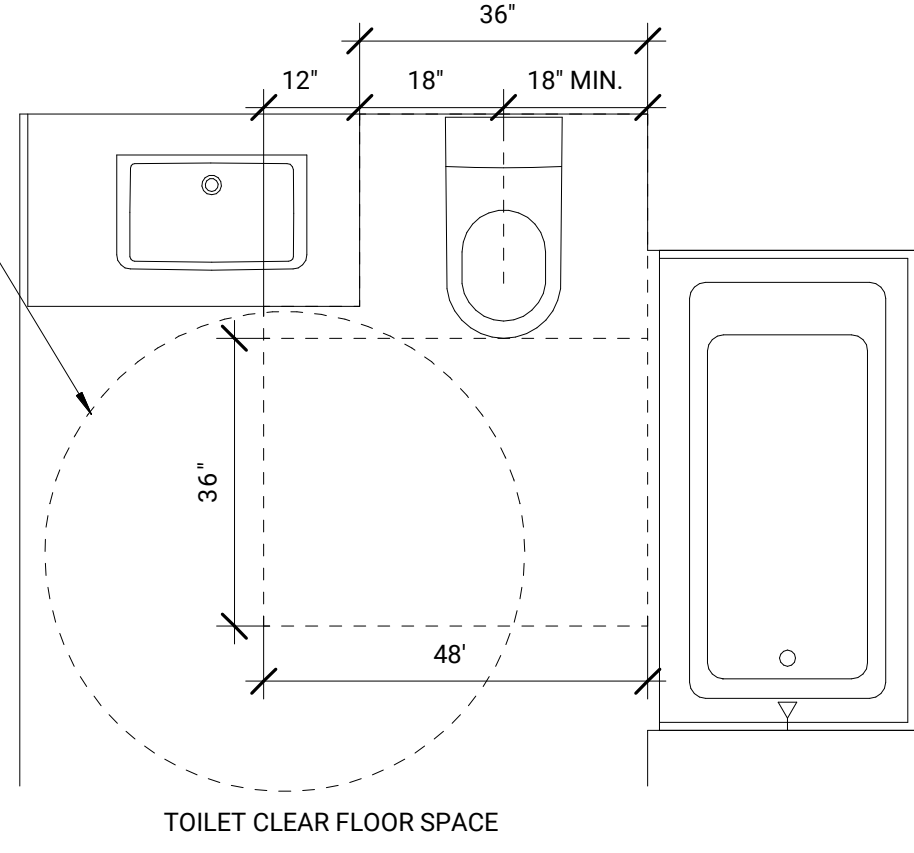
1 BACKING FOR ADAPTABLE TOILETS WITH SWING-UP GRAB BAR  
SCALE: 1/2" = 1'-0"  
(CBC FIG. 11A-9G)



SECTION D-D



VANITY CLEAR FLOOR SPACE



TOILET CLEAR FLOOR SPACE

4 CLEARANCES FOR ADAPTABLE TOILET AND VANITY  
SCALE: 1/2" = 1'-0"  
(CBC FIG. 11A-9D AND FIG. 11A-9M)

# KARABACHIAN ARCHITECTS, INC.

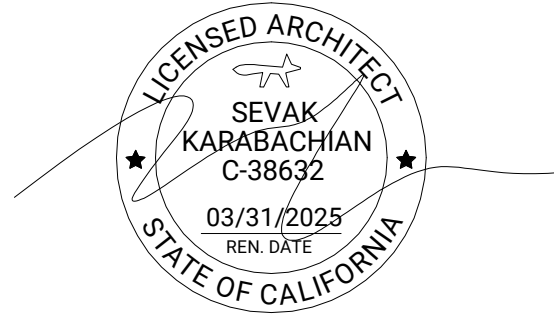
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NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**INTERIOR  
STANDARDS**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"  
PROJECT:  
**2023-028**  
SCALE:  
**1/2" = 1'-0"**  
DRAWN BY:

DATE:  
**10/09/2024**

SHEET NUMBER:

**A0-600**





KARABACHIAN ARCHITECTS, INC.

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DRAINAGE LEGEND:  
GENERAL DRAINAGE ARROW 2% TYPICAL AT CONCRETE WALKWAYS, LANDINGS AND DRIVEWAY. PROVIDE A MINIMUM GRADE FALL OF 6" WITHIN THE FIRST 10 FEET OF FOUNDATION WALL. CRC401.3

DRAINAGE NOTES:  
A. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.  
B. OWNER SHALL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.  
C. A PROPERTY LINE SURVEY, PREPARED BY A CALIFORNIA LICENSED LAND SURVEYOR MAY BE REQUIRED BY THE BUILDING OFFICIAL BASED UPON SITE CONDITIONS IN ACCORDANCE WITH LACBC SECTION 108.1  
D. NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF OAK TREE WITHOUT AN OAK TREE REPORT AND PERMIT.  
E. SURROUND THE CONSTRUCTION AREA WITH SILT FENCE, GRAVEL BAGS OR FIBER ROLLS DURING RAINY SEASON BETWEEN OCT 15TH AND APRIL 15TH.  
F. FINISH FLOOR SHALL BE A MINIMUM OF 8 INCHES ABOVE FINISH GRADE IMMEDIATELY OUTSIDE THE BUILDING.  
G. PROVIDE A MINIMUM GRADE FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (5% SLOPE) FROM FOUNDATION WALL.  
H. DOWNSPOUTS SHALL DISCHARGE AT LEAST 5 FEET AWAY FROM EXTERIOR WALLS.

I. SHEET FLOW DRAINAGE SHALL MAINTAIN A MINIMUM 1/4" PER FOOT SLOPE.  
J. ALL DRAINAGE ON SITE MUST BE DIRECTED TO THE STREET.  
K. DRAINAGE TO THE ALLEY IS NOT ALLOWED.

GENERAL NOTES:  
1. ALL EASEMENTS HAVE BEEN INDICATED ON THIS SITE PLAN AND HAVE BEEN VERIFIED BY PUBLIC WORKS AND PLANNING DEPARTMENTS.  
2. THERE ARE NO OAK, BAY AND/OR SYCAMORE TREES ON THIS LOT OR WITHIN 20 FEET OF THE LOT.  
3. SITE GRADING AS A RESULT OF REMOVAL AND RECOMPACTION EQUAL OR GREATER THAN 50 CUBIC YARD WILL REQUIRE SUBMITTAL OF GRADING APPLICATION AND GRADING PLANS.  
4. NO CHANGES IN GRADES OR SITE ELEVATIONS ALLOWED EXCEPT FOR FINE GRADING FOR DRAINAGE ONLY NOT TO EXCEED 4-INCHES AT ANY LOCATION.

Zone : R-2250

FRONT SETBACK REQUIREMENT  
20 FEET MIN. AND AVERAGE IF 23 FEET FOR ANY GARAGE OR FIRST RESIDENTIAL FL.

MULTI - FAMILY INTERIOR SET BACK AVERAGING:  
WEST SIDE SET BACK AVERAGE CALCULATION:  
(5'-0" \* 15'-0") + (11'-0" \* 15'-8") / 30'-8" = AVG SIDE SETBACK  
(75 SF + 172.34 SF) / 30'-8" = AVG SIDE SETBACK  
247.34 SF / 30'-8" = 8.07' > REQ. AVG 8'

EAST SIDE SETBACK AVERAGE CALCULATION:  
(10'-2" \* 14'-1") + (6'-0" \* 16'-7") / 30'-8" = AVG SIDE SETBACK  
(147.875 SF + 99.5 SF) / 30'-8" = AVG SIDE SETBACK  
247.375 SF / 30'-8" = 8.07' > REQ. AVG 8'

REAR SETBACK REQUIREMENT  
8 FT MIN

PARKING  
REQUIRED: 2 SPOTS PER RESIDENCE = 4 SPOTS PROVIDED:  
4 SPOTS TOTAL

FAR: 1,036 SF + 1,038 SF + 891 SF = 2,965 SF  
7,700 SF X 65% = 6,545 SF  
(E) 1,036 SF HOUSE  
(N) 1,038 SF NEW RESIDENCE (UNIT #2)  
(N) 891 SF (2) 445.5 SF GARAGES  
= 2,965 SF < 6,545 SF THEREFORE OKAY.

LANDSCAPE CALC.  
25% OF LOT 50% HAS TO BE LIVE PLANTS.  
LOT = 7,700 SF X 25% = 1,925 SF,  
1,925 SF = REQUIRED LANDSCAPE AREA  
1,925 SF X 50% = 963 SF  
963 SF = LIVE PLANTS ARE.  
PROVIDED: 2,252 SF  
2,518 SF OF LANDSCAPE AREA PROVIDED  
2,518 SF > 1,925 SF, THEREFORE OKAY.  
MIN. 963 SF TO BE LIVE PLANTS

LOT COVERAGE: 2,086 SF + 1,224 SF = 3,310 SF  
50% OF LOT.  
LOT = 7,700 SF X 50% = 3,850 SF  
(E) 1,224 SF HOUSE  
(N) 1,038 SF NEW RESIDENCE (UNIT #2)  
(N) 891 SF PARKING GARAGES  
= 3,310 SF < 3,850 SF THEREFORE OKAY.

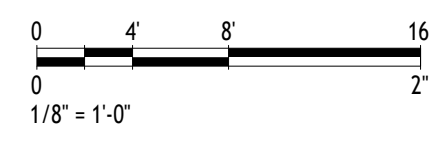
COMMON SPACE  
200 SF PER UNIT = 400 SF  
PROVIDED 405 SF THEREFORE OKAY

PRIVATE SPACE  
40 SF PER UNIT  
PROVIDED 40 SF PER UNIT THEREFORE OKAY

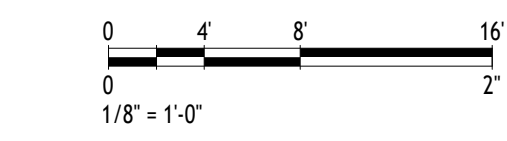
LANDSCAPE NOTES:  
PROTECTED OAK, SYCAMORE, BAY TREES OR CITY STREET TREES ON THE PROPERTY AND WITHIN 20' OF THE PROPERTY ARE INACCESSIBLE TO THE PROPOSED CONSTRUCTION ACTIVITY AND WILL EXPERIENCE NO IMPACT. NO PROTECTIVE FENCING IS REQUIRED.

ELECTRIC ENGINEERING NOTES  
EXISTING OVERHEAD SERVICE DROP TO FRONT HOUSE IN CONFLICT WITH NEW HOME CONSTRUCTION AT REAR OF LOT. EXISTING OVERHEAD DROP MUST BE RELOCATED TO PROVIDE CLEARANCES FOR NEW HOME. GWP WILL ONLY ALLOW ONE SERVICE DROP FOR THE ENTIRE LOT. A NEW 2-PACK METER PANEL WILL BE REQUIRED FOR THIS PROJECT. CONTACT GOP ELECTRICAL PLANNERS AT 818-548-3921 FOR THIS REQUIREMENT.

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



1 (N) SITE PLAN  
1/8" = 1'-0"



2 (E) SITE PLAN  
1/8" = 1'-0"



2 (E) SITE PLAN  
1/8" = 1'-0"

K:\2023\0201 1035 Raymond Ave\4 - 2024 Rev\1 - Models and Drawings\1035 Raymond Ave - MST.rvt  
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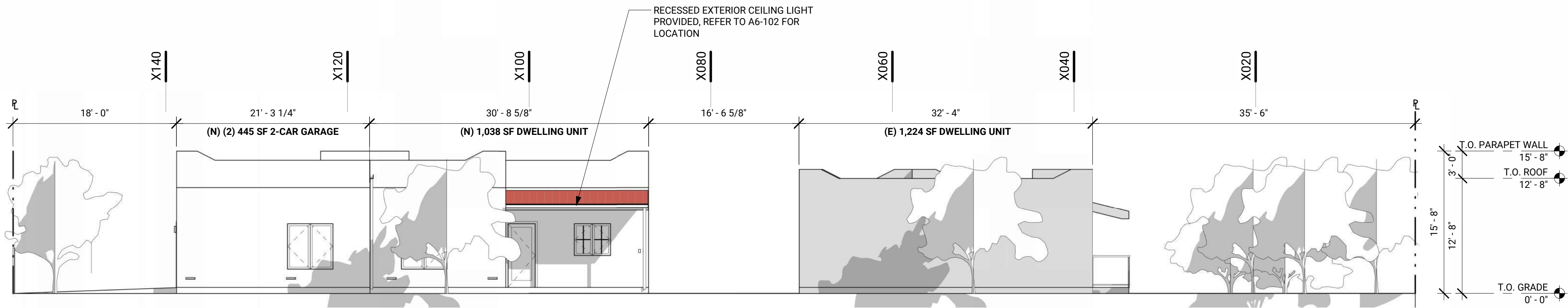
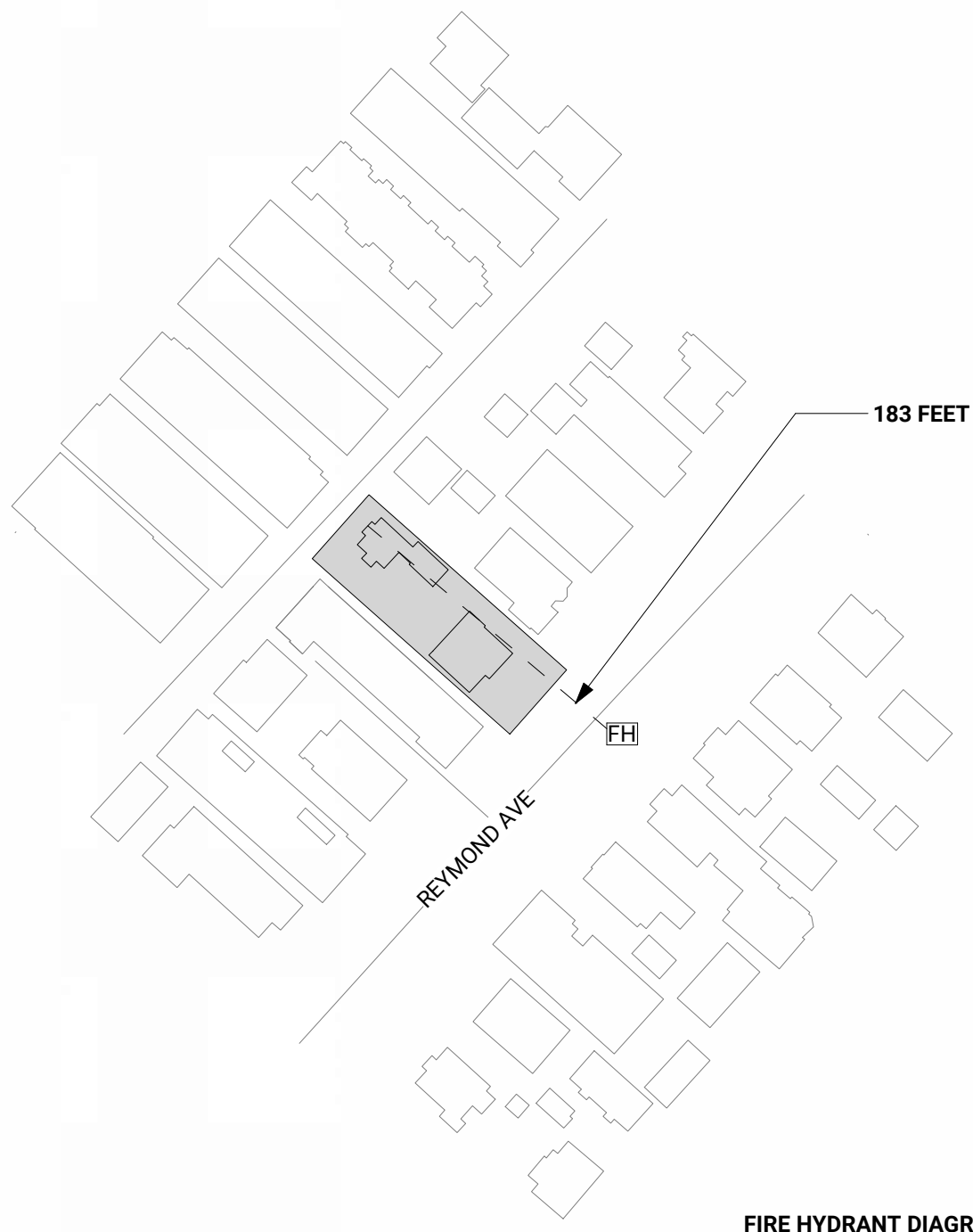
KARABACHIAN  
ARCHITECTS, INC.

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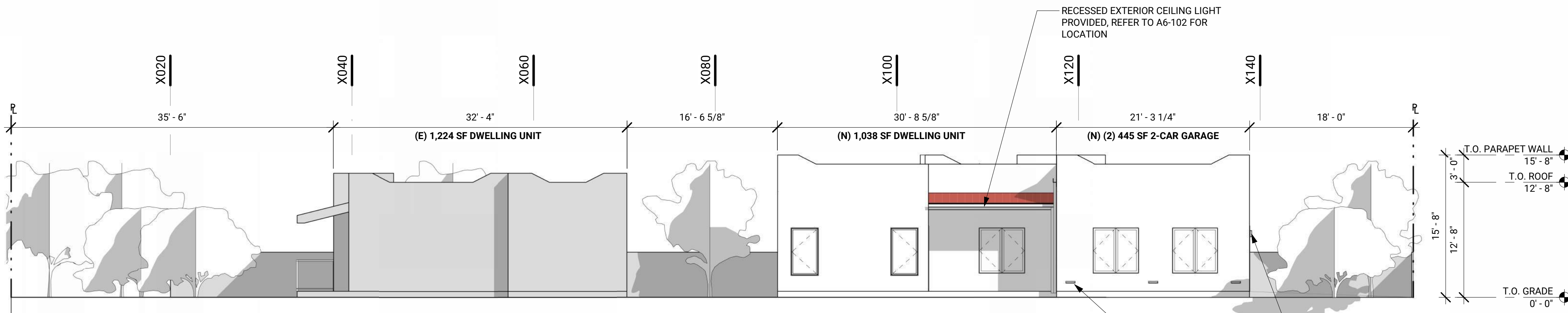
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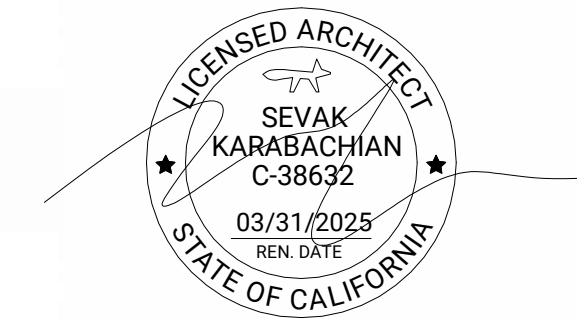


2 WEST SITE ELEVATION  
1/8" = 1'-0"



1 EAST SITE ELEVATION  
1/8" = 1'-0"

NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**SITE ELEVATION**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2023-028

SCALE:

As indicated

DRAWN BY:

DATE:

10/09/2024

SHEET NUMBER:

**A1-102**



4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

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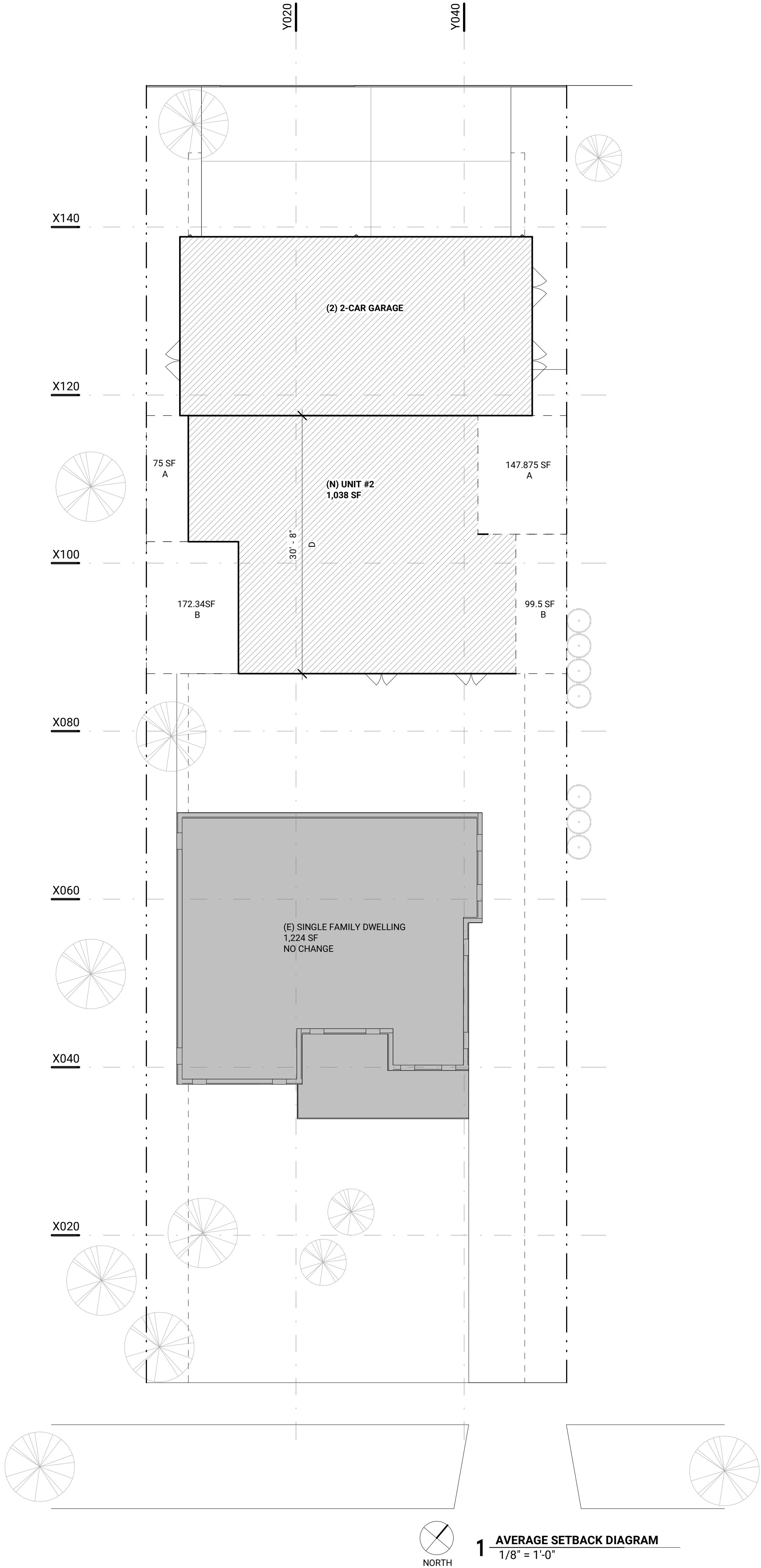
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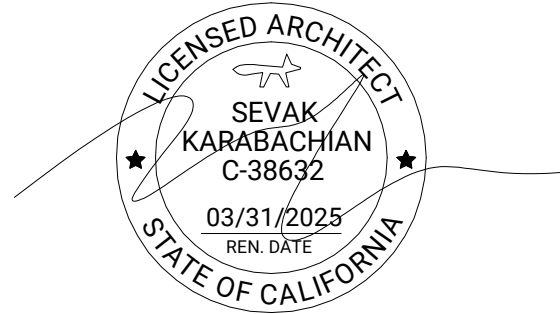
MECHANICAL ENGINEER  
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MULTI - FAMILY INTERIOR SET BACK AVERAGING:  
WEST SIDE SET BACK AVERAGE CALCULATION:  
 $((A = 5'-0" \times 15'-0") + (B = 11'-0" \times 15'-8")) / 30'-8" = \text{AVG SIDE SETBACK}$   
 $(75 \text{ SF} + 172.34 \text{ SF}) / 30'-8" = \text{AVG SIDE SETBACK}$   
 $247.34 \text{ SF} / 30'-8" = 8.07' > \text{REQ. AVG } 8'$

EAST SIDE SETBACK AVERAGE CALCULATION:  
 $((10'-2" \times 14'-1") + (6'-0" \times 16'-7")) / 30'-8" = \text{AVG SIDE SETBACK}$   
 $(147.875 \text{ SF} + 99.5 \text{ SF}) / 30'-8" = \text{AVG SIDE SETBACK}$   
 $247.375 \text{ SF} / 30'-8" = 8.07' > \text{REQ. AVG } 8'$



NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**AVERAGE SETBACK  
DIAGRAM**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:  
**2023-028**

SCALE:  
**As indicated**

DRAWN BY:

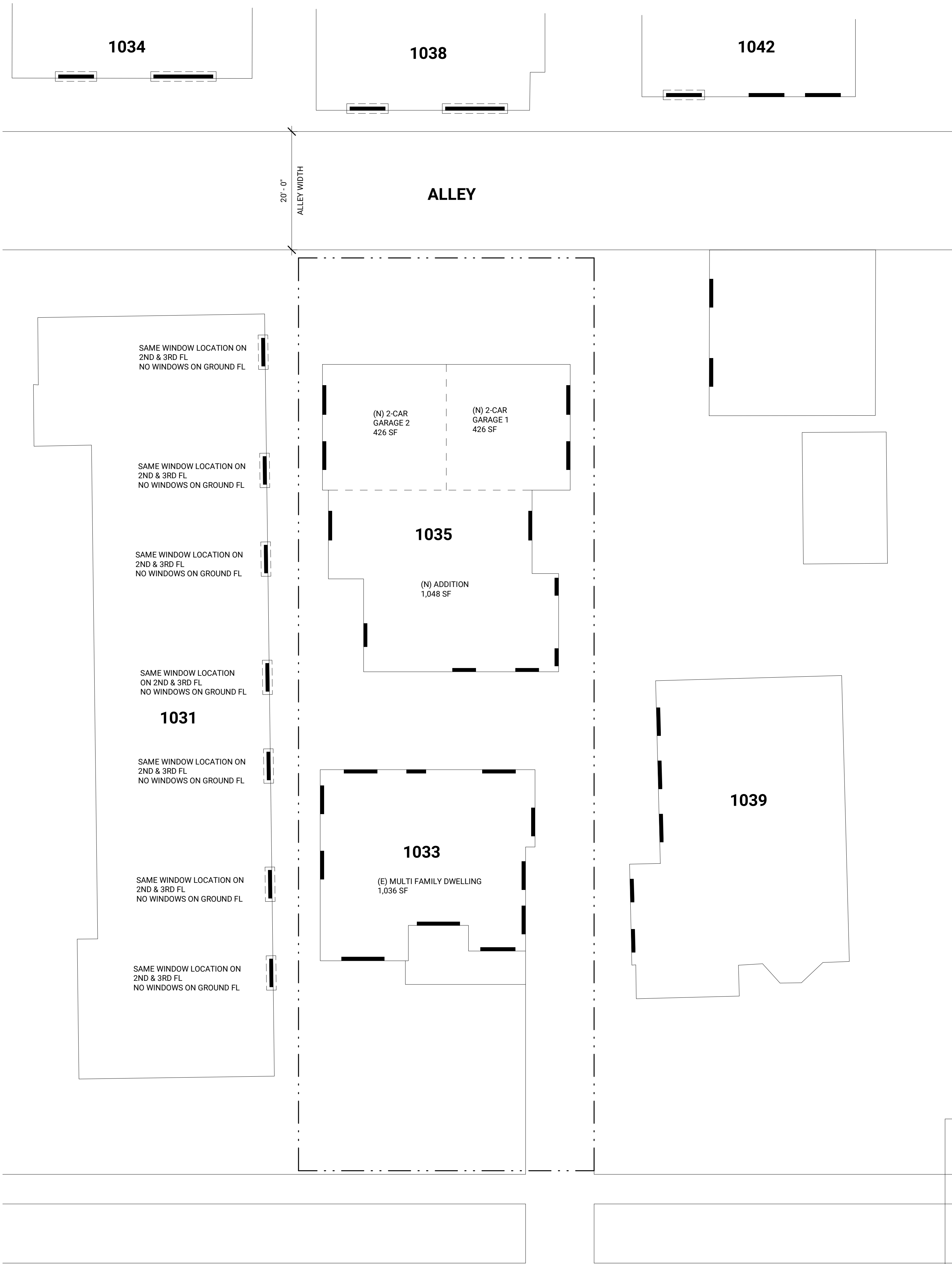
DATE:  
**10/09/2024**

SHEET NUMBER:

**A1-103**



K:\2023\2023-10-05 Raymond Ave\4 - 2D\0 - Revit\1 - Models and Drawings\1035 Raymond Ave - 1st.rvt



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CA LICENSE: C-38632

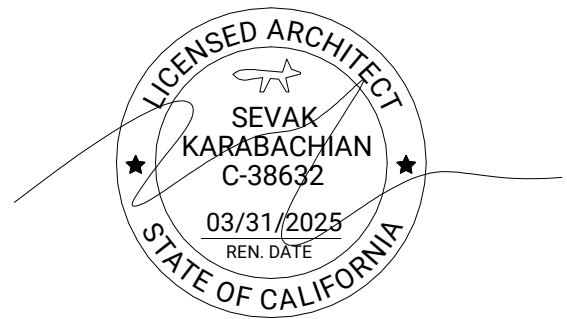
**OWNER**  
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## NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

## NEIGHBORING PLAN

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"  
PROJECT:  
**2023-028**  
SCALE:  
As indicated  
DRAWN BY:  
  
DATE:  
**10/09/2024**  
  
SHEET NUMBER:

**A1-110**



**1 NEIGHBORING PLAN**  
1" = 10'-0"



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TREE PLANTING STANDARDS AND SPECIFICATIONS

Nursery Stock Standards. The City shall make every effort to insure that it plants only vigorous, healthy trees which can easily be trained into an attractive natural form, with strong roots and good crown development. The specifications for acceptable nursery stock shall be as follows:

- All trees shall be true to type or botanical name as ordered or shown on planting plans.
- All trees should be of a size equivalent to that of a twenty four-inch (24") box sized containerized tree with a trunk caliper of one and one half inches (1 1/2"), or greater, measured at six (6") inches above soil grade.
- All trees shall have a single, fairly straight trunk with a good taper and good branch distribution vertically, laterally and radially.
- All trees shall be healthy, have a form typical for the species or cultivar, be well rooted, and shall be properly trained.
- The root ball of all trees shall be moist throughout and the crown shall show no sign of moisture stress.
- All trees shall comply with Federal and State laws requiring inspection for plant diseases and pest infestations.
- No tree shall be accepted that has been severely topped, headed back, pollarded or lion-tailed.
- No tree shall be accepted that has co-dominant stems or excessive weak branch attachments that cannot be trained out without jeopardizing the natural form of the species.
- No tree shall be accepted that is root bound, shows evidence of girdling or kinking roots, or has "knees" (roots) protruding above the soil.

The City shall reserve the right to refuse any nursery stock that does not meet these standards, and may require any person who has planted such sub-standard trees, on City property or within City right-of-ways, to have these trees removed and replaced at that person's own expense.

Planting Material Standards. Unless otherwise approved by the Urban Forester, all City trees shall be planted using materials that meet the following criteria:

- Tree Stakes - Shall be two (2) sturdy, ten (10') foot long lodge pole pine stakes. Stakes will be placed on the outer edge of the root ball on either side of the tree, parallel to the curb or walkway or perpendicular to prevailing winds.
- Staking Ties - Shall be sixteen (16") to eighteen (18") inch rubber cinch ties to be fastened to each stake with galvanized roofing nails. Ties will be pulled around the tree's trunk in a manner that supports the top-heaviness of the canopy, but is loose enough to allow for free movement of the tree in the wind.
- Trunk Guards - An approved trunk guard shall be placed around the base of the trunk just above the soil grade. A trunk guard is a device used to deter mechanical damage, as a result of wounds inflicted on a tree's trunk by such devices as weed whips and lawnmowers.
- Wood Chip Mulch - All mulch shall be of a medium to fine grade, and shall be clean and free of rocks and debris.

Tree Planting Specifications. Most nursery tree stock in California is sold in a containerized form. The following guidelines are specific for containerized stock. If utilizing bare root or balled and burlaped trees, refer to the appropriate ISA guidelines for planting instructions.

All trees shall be planted immediately after the planting container has been removed. Containers shall not be cut or otherwise damaged prior to delivery of trees to the planting area.

The planting hole is one of the most important factors in establishing a healthy tree. Measure the width and depth of the root ball prior to digging. The diameter of the planting hole shall be dug at least two (2) times wider than that of the root ball. The depth of the planting hole shall be dug slightly shallower than the depth of the root ball to allow for the top two (2") inches of the root crown to remain above the finished grade of soil.

Before placing the tree into the planting hole, tamp down the base of the hole to allow the tree to stand straight and to avoid the potential of the tree settling below the finish grade. Scarify or scrape the sides of the planting hole to break down any glazing or compaction that may have occurred as a result of digging.

Position the tree in the hole so that the tree stands upright and the top of the root crown is slightly exposed above the grade. Then, backfill the planting hole with clean, native soil no higher than halfway up the rootball. Slightly tamp the soil to remove air pockets, but be sure not to compact the soil too much. Complete the backfilling to the finish grade. Once again, tamp the soil slightly to remove air pockets.

For planting in parkways, form a watering basin out of backfill material, approximately six (6") inches high. The basin shall be installed four (4") inches outside of and around the edge of the planting hole. This basin is not necessary when planting in tree wells.

Remove all nursery stakes, ties and ribbons from the tree, and install the planting materials as specified above.

A three (3") to four (4") inch layer of City approved wood chip mulch shall be placed within the planting basin/well of the tree. A space of three (3") inches shall be left between the tree's stem and the mulch layer to allow airflow and to restrict moisture from remaining static around the base of the trunk.

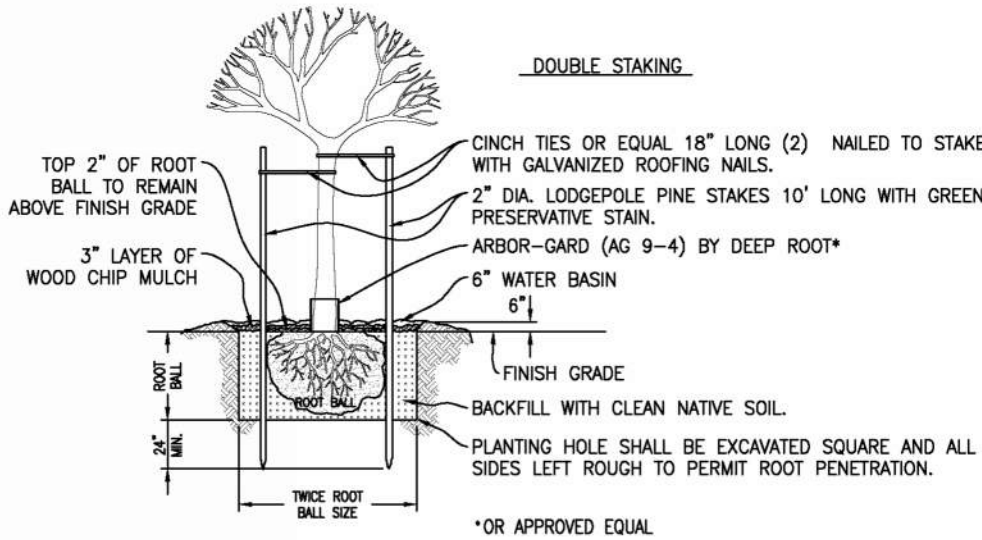
All new trees shall be given an initial deep watering, and provisions shall be made in the construction maintenance period for watering any new trees every seven (7) days or less as needed to keep the root zone moist, of an amount ranging from 5-20 gallons per watering, as needed to achieve deep root watering.

Tree stakes and ties should be removed from the tree within three years after planting, or when the circumference of the tree's trunk is equal to or exceeds the circumference of the stakes.

For specific details on proper planting procedures refer to the attached Standard for Tree Planting and Staking.

TREE PLANTING NOTES:

- DIG THE DIAMETER OF THE PLANTING HOLE AT LEAST TWO (2) TIMES WIDER THAN THAT OF THE ROOT BALL.
- DIG THE DEPTH OF THE PLANTING HOLE SHALLOW ENOUGH TO ALLOW FOR THE TOP TWO (2") INCHES OF THE ROOT CROWN TO REMAIN ABOVE THE FINISH GRADE.
- TAMP DOWN THE BASE OF THE HOLE TO ALLOW THE TREE TO STAND STRAIGHT AND TO AVOID THE POTENTIAL OF THE TREE SETTLING BELOW THE FINISH GRADE.
- ROUND TWO (2) LODGEPOLE PINE TEN (10') FOOT LONG STAKES TO A DEPTH OF TWENTY-FOUR (24") INCHES BELOW BOTTOM OF PLANTING HOLE, ENSURING THAT THE TOP OF THE STAKE IS SLIGHTLY BELOW THE LOWEST LATERAL LIMBS OF THE CANOPY.
- ATTACH A MINIMUM OF TWO (2) INCH TIES TO TIE THE TREE TO THE STAKES, LEAVING THE TIES LOOSE ENOUGH AROUND THE TRUNK TO ALLOW THE TREES TO SWAY SLIGHTLY.
- SCARIFY OR SCRAPE THE SIDES OF THE PLANTING HOLE.
- BACKFILL THE PLANTING HOLE WITH CLEAN, NATIVE SOIL NO HIGHER THAN HALFWAY UP THE ROOTBALL. SLIGHTLY TAMP THE SOIL TO REMOVE AIR POCKETS, BUT BE SURE NOT TO COMPACT THE SOIL TOO MUCH.
- COMPLETE THE BACKFILLING TO THE FINISH GRADE. ONCE AGAIN, TAMP THE SOIL SLIGHTLY TO REMOVE AIR POCKETS.
- FORM A WATERING BASIN OUT OF BACKFILL MATERIAL, APPROXIMATELY SIX (6) INCHES HIGH. THE BASIN SHALL BE INSTALLED FOUR (4") INCHES OUTSIDE OF AND AROUND THE EDGE OF THE PLANTING HOLE.
- REMOVE ALL NURSERY STAKES, TIES AND RIBBONS FROM THE TREE.
- INSTALL A THREE (3") TO FOUR (4") INCHES LAYER OF CITY APPROVED WOOD CHIP MULCH WITHIN THE PLANTING BASIN OF THE TREE. A SPACE OF THREE (3") INCHES SHALL BE LEFT BETWEEN THE TREE'S STEM AND THE MULCH LAYER TO ALLOW AIRFLOW AND TO RESTRICT MOISTURE FROM REMAINING STATIC AROUND THE BASE OF THE TRUNK.
- GIVE THE NEW TREE AN INITIAL DEEP WATERING.
- ALL SPECIMEN PLANT MATERIALS, SHRUBS AND LAWN SHALL BE APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION.
- SPECIMEN TREES IN BOXES SHALL BE GUARANTEED FOR (2) YEAR. UPON COMPLETION OF WORK APPROVED BY THE CITY OF GLENDALE, THE CONTRACTOR SHALL PERFORM A TWO-YEAR (2) MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SKATING ALL SEWER, ELECTRICAL, WATER MAIN LINES, AND UTILITIES PRIOR TO PLANTING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- THE CONTRACTOR SHALL EXERCISE CARE WHILE WORKMEN ARE DIGGING AROUND.



PLANTING TREE IN PARKWAY  
NOT TO SCALE

LANDSCAPE NOTES:

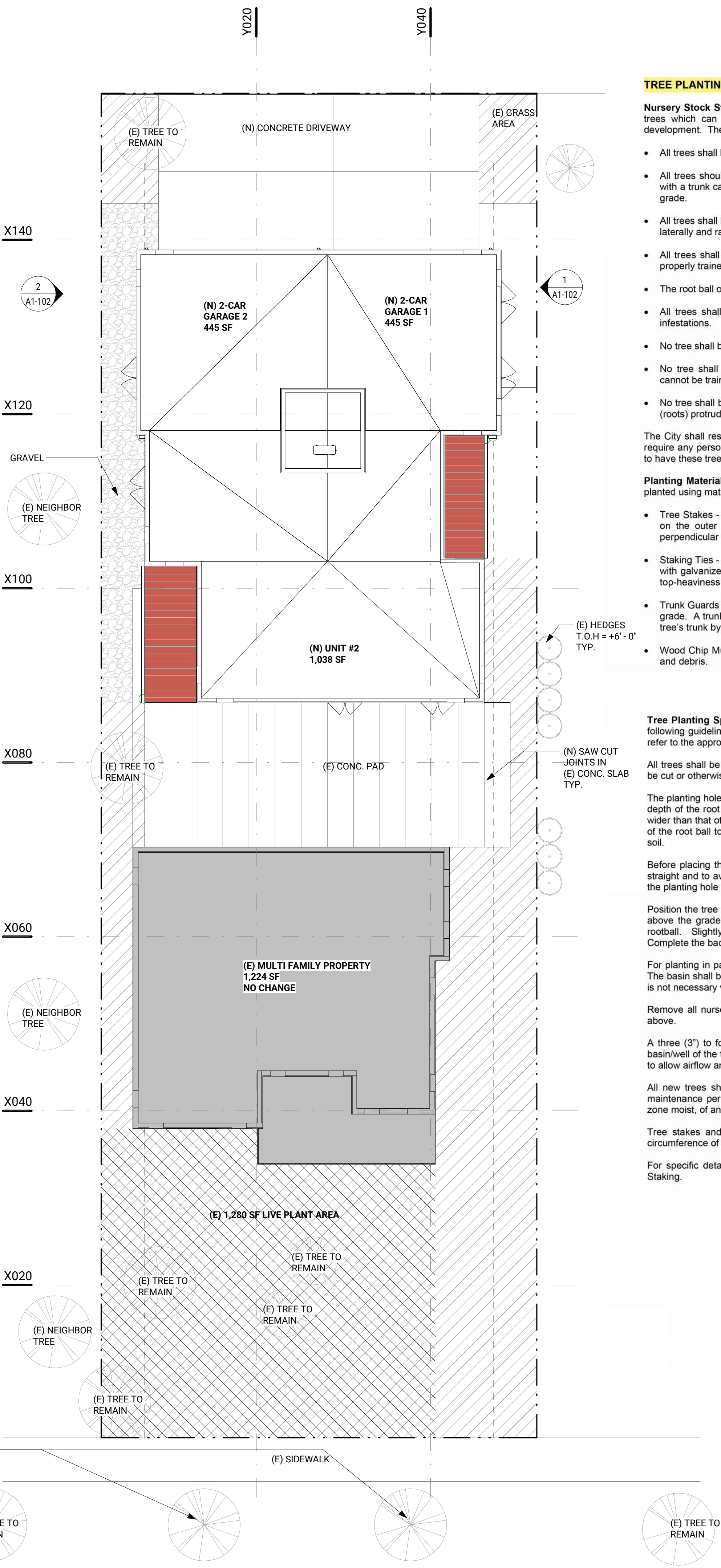
- PROTECTED OAK, SYCAMORE, BAY TREES OR CITY STREET TREES ON THE PROPERTY AND WITHIN 20' OF THE PROPERTY ARE INACCESSIBLE TO THE PROPOSED CONSTRUCTION ACTIVITY AND WILL EXPERIENCE NO IMPACT. NO PROTECTIVE FENCING IS REQUIRED.
- MWELO CALC. DEFERRED TO B&S REVIEW.

LANDSCAPE CALC.  
25% OF LOT, 50% HAS TO BE LIVE PLANTS.  
LOT = 7,700 SF X 25% = 1,925 SF,  
1,925 SF = REQUIRED LANDSCAPE AREA  
1,925 SF X 50% = 963 SF  
963 SF = LIVE PLANT AREA.  
PROVIDED (E) LIVE PLANT AREA: 1,280 SF  
2,518 SF OF LANDSCAPE AREA PROVIDED  
2,518 SF > 1,925 SF, THEREFORE OKAY.  
MIN. 963 SF TO BE LIVE PLANTS

LANDSCAPE LEGEND:

- LANDSCAPE AREA
- LIVE LANDSCAPE AREA
- GRAVEL

TWO (2) NEW CITY STREET TREES OF THE DESIGNATED STREET TREE SPECIES: LOPHOSTEMON CONFERTUS. (BRISBANE BOX) WITH A MINIMUM 24" ROOT BALL DIAMETER MINIMUM. AN AUTOMATIC IRRIGATION SYSTEM WILL BE REQUIRED TO ADEQUATELY WATER NEW TREES. CONTACT FORESTRY AT LEAST 48 HOURS PRIOR TO RECEIVING DELIVERY OF NEW TREES, TO SCHEDULE A TREE INSPECTION BEFORE THEY ARE PLANTED ON SITE.

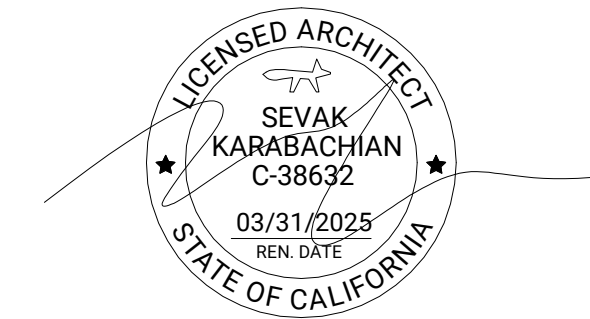


RAYMOND AVE

1 LANDSCAPE PLAN  
1/8" = 1'-0"

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**LANDSCAPE PLAN**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:  
**2023-028**  
SCALE:  
**1/8" = 1'-0"**  
DRAWN BY:

DATE:  
**01/15/2025**

SHEET NUMBER:

**A1-200**





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- LEGEND:
- EXISTING WALL
  - DEMO
  - NEW WALL
  - 1 HR RATED PARTITION
  - PROPERTY LINE
  - ROOF OVERHEAD
  - SETBACK LINE
  - GREEN LANDSCAPE AREA
  - COMBINATION SMOKE AND CARBON MONOXIDE ALARM

DEMOLITION CALCULATION

A. AREA OF WALLS TO BE DEMOLISHED

(E) GARAGE	WALL #1 22'-3"
	WALL #2 12'-2"
	WALL #3 22'-3"
	WALL #4 12'-2"

(E) LIVING QUARTERS	WALL #5 20'-8"
	WALL #6 20'-2"
	WALL #7 20'-8"
	WALL #8 20'-2"

TOTAL: 150'-6" x 9 FEET TALL = **1354.5 SF**

B. AREA OF ROOF TO BE DEMOLISHED

(E) GARAGE:	270.8 SF
(E) LIVING QUARTERS:	416.9 SF
TOTAL:	<b>687.7 SF</b>

C. TOTAL AREA OF EXISTING WALLS

(E) GARAGE	WALL #1 22'-3"
	WALL #2 12'-2"
	WALL #3 22'-3"
	WALL #4 12'-2"

(E) LIVING QUARTERS	WALL #5 20'-8"
	WALL #6 20'-2"
	WALL #7 20'-8"
	WALL #8 20'-2"

TOTAL: 150'-6" x 9 FEET TALL = **1354.5 SF**

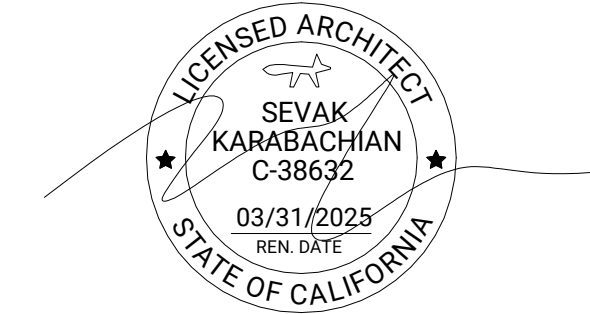
D. TOTAL AREA OF EXISTING ROOF

(E) GARAGE:	270.8 SF
(E) LIVING QUARTERS:	416.9 SF
TOTAL:	<b>687.7 SF</b>

DEMOLITION CALCULATION:  
(A+B)/(C+D)=X  
(1354.5 SF+687.7 SF)/(1354.5 SF+687.7 SF)=1

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**DEMO FLOOR PLAN**

PERMIT #: PADR-004032-2024

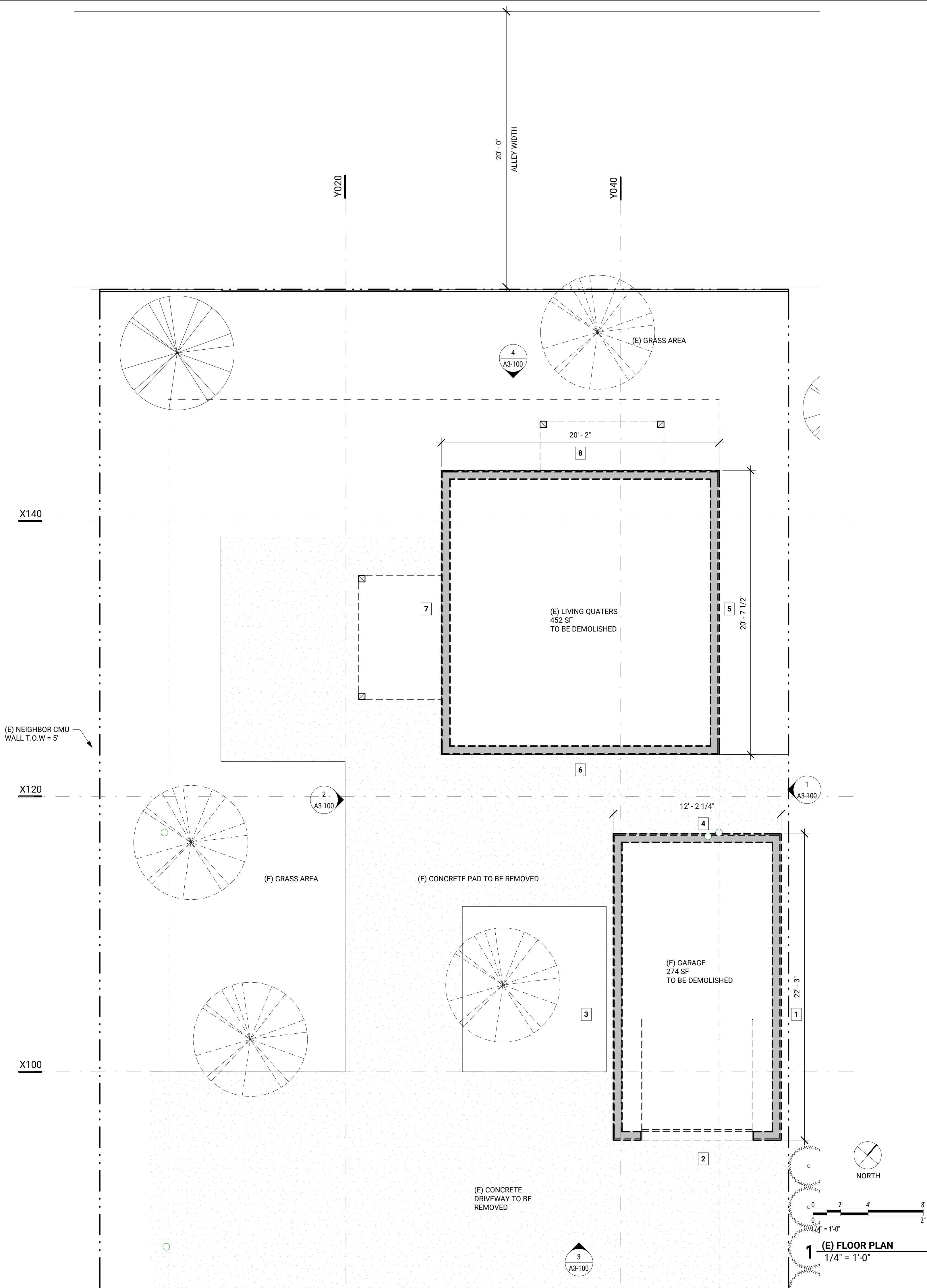
PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"  
PROJECT:  
**2023-028**  
SCALE:  
As indicated  
DRAWN BY:

DATE:  
**10/09/2024**

SHEET NUMBER:

**A2-101**





KARABACHIAN ARCHITECTS, INC.

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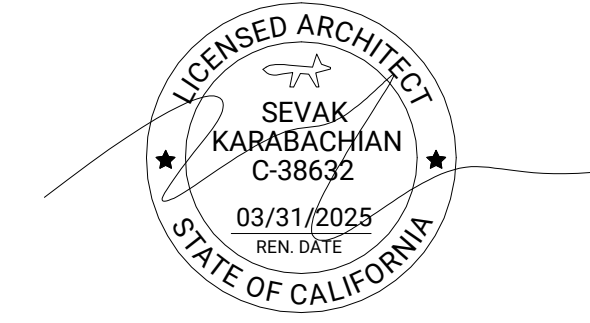
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LEGEND:

[Solid Line]	EXISTING WALL
[Dashed Line]	DEMO
[Double Line]	NEW WALL
[Cross-hatch]	1 HR RATED PARTITION
[Dash-dot Line]	PROPERTY LINE
[Long Dash]	ROOF OVERHEAD
[Short Dash]	SETBACK LINE
[Diagonal Lines]	GREEN LANDSCAPE AREA
[Circle with S]	COMBINATION SMOKE AND CARBON MONOXIDE ALARM

- GENERAL NOTES:
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE- FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP.THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
  - AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE OWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL, GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
  - PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. R306.3
  - BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. R307.2
  - KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. R306.4
  - PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
  - UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). R308.6.9
  - WATER HEATER MUST BE STRAPPED TO WALL. SEC. 507.3, LAPC
  - SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. R314.2
  - WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. R315.2
  - VERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE TO SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. R303.1
  - A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
  - THE EXTERIOR DOOR MUST OPEN OVER A MIN. 36" LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
  - ALL DOORS AND WINDOWS SHALL MEET CITY OF GLENDALES SECURITY ORDINANCE
  - ASPHALT SHINGLES SHALL MEET THE CLASSIFICATION REQUIREMENTS OF CRC T-R905.2.4.1 OR CBC T-150.1.1 FOR THR APPROPRIATE MAXIMUM BASIC WIND SPEED.

NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**NEW FLOOR PLAN**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"  
PROJECT:  
**2023-028**  
SCALE:  
**As indicated**  
DRAWN BY:

DATE:  
**10/09/2024**

SHEET NUMBER:

**A2-102**



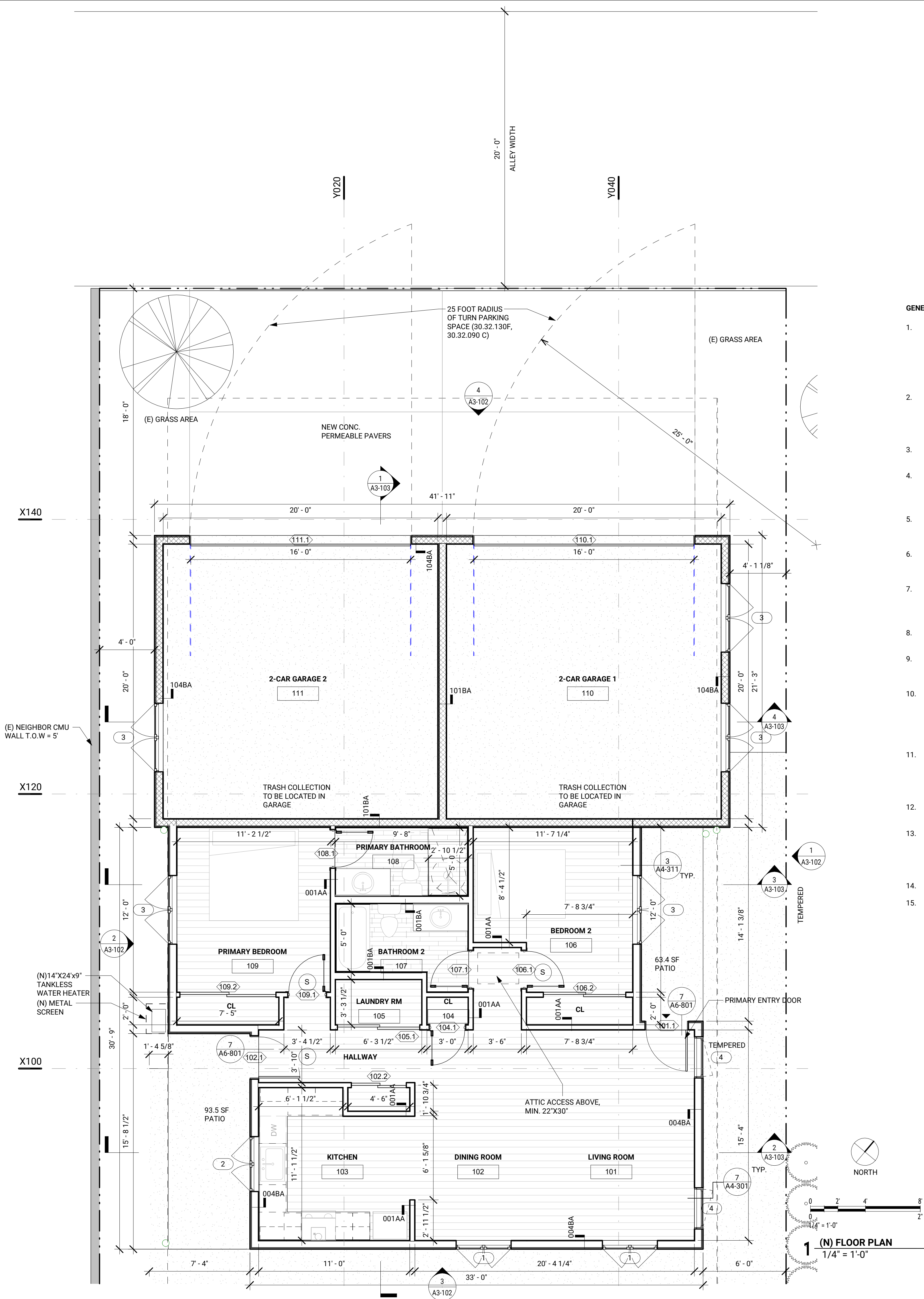
- BUILDING NOTES:
- ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22' X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)
  - PROVIDE 1-HOUR-RATED ON THE UNDERSIDE OF ROOF EAVES WHERE THE FIRE SEPARATION DISTANCE BETWEEN THE EDGE OF THE PROJECTION AND THE ADJACENT PROPERTY LINE IS LESS THAN 5'. [CRC TABLE R302.1(1)]

- MECHANICAL NOTES:
- BATHROOMS THAT CONTAIN A TUB, SHOWER OR TUB/SHOWER MUST HAVE EXHAUST FANS CONTROLLED BY A HUMIDISTAT.
  - MECHANICAL EQUIPMENT (WATER HEATERS, HVAC, ET.) UNDER SEPARATE REVIEW AND PERMITS.
  - HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (CRC R303.10)
  - NEW INSTALLATION OF HEAT PUMP WATER HEATERS (HPWH) SHALL HAVE ALL THE FOLLOWING:
    - A 240V ELECTRICAL RECEPTACLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS.
    - A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.
    - A SINGLE 240-VOLT HPWH THAT MEETSD THE REQUIREMENTS OF NEEA ADVANCED WATER HEATER SPECIFICATION.
    - THE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

- PLUMBING NOTES:
- EFFECTIVE JAN 1, 2015 CALIFORNIA SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN, 1994 WITH WATER CONSERVING PLUMBING FIXTURES.
  - SHOWER STALLS AND BATHTUB WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6-0" ABOVE THE FLOOR (CBC 1210,CRC R307.2)
  - CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GU/SS MAT GYPSUM OR FIBER REINFORCE GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS (CRC R702.4.2)
  - SHOWERS AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)
  - MAXIMUM FLOW RATES FOR ALL PLUMBING FIXTURES PER CGBCS 4.303:
    - WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
    - SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS PER MINUTE AT 80PSI.
    - LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI
    - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI
  - WATER CLOSET SHALL BE SET NO CLOSER THAN 15" FROM IT'S CENTER TO ANY SIDE WALL OR OBSTRUCTIN OR NO CLOSER THAN 30" CENTER TO CENTER TO ANY SIMILAR FIXTURE AND THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR A BIDET SHALL BE AT LEAST 24" CPC 402.5 SHOW ON FLOOR PLAN.
  - A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM OF 6'-8" CEILING HEIGHT ABOVE A MINIMUM AREA OF 30' X 30' AT THE SHOWERHEAD. (CRC R305.1 EXCEPTIONS 2)
  - BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE REGARDLESS OF NATURAL VENTILATION AND FENESTRATION SUCH AS WINDOWS AND DOORS. (CRC R303.3)
  - ALL NEW WATER HEATER IN ALL NEWLY CONSTRUCTED SFD/ADU'S SHALL BE AN "ALL ELECTRIC APPLIANCE/EQUIPMENT" IN COMPLIANCE THE CITY OF GLENDALE REACH CODE ORDINANCE NO. 5999. COORDINATE WITH TITLE-24COMPLIANCE FORMS.

- AGING-IN-PLACE DESIGN NOTES:
- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS INTENDED TO BE USED BY OCCUPANTS SHALL BE LACATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX. ABOVE THE FINISH FLOOR.
  - SPECIFY DOORBELL CONTROLS TO NOT EXCEED 48" ABOVE EXTERIOR FLOOR, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY.
  - INFORMATION AND/OR DRAWINGS DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATIONAL AND MAINTENANCE MANUAL IN ACCORDANCE WITH THE CALIFORNIA BUILDING. STANDARDS CODE, CHAPTER 4, DIVISION 4.4.

- SMOKE ALARM REQ:
- SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS PER NFPA 72 SECTION 29.8.3.4. (CRC R314.3.3, CBC 907.2.11.8)
- AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. (CRC R14.8.2)
  - BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXISITNG BUILDINGS WHERE NO COSTRUCTION IS TAKING PLACE OR IN BUILDING INDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMET WHICH COULD PROVIDE ACCESS FOR WIRING. (CRC R314.6 EXCEPTIONS 1, 3, CBC 907.2.11.9)
  - SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELING UNIT. (CRC R314.4, CBC 907.10.5)
  - SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CRC R314.6, CBC 907.12.6, CBC 907.2.11.9)





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Products Corp.

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90221  
(310) 886-9100

Texas  
128 Industrial Dr.  
Cibola, 78108  
(210)888-0449

New Jersey  
140 Valley Rd.  
Roselle Park, 07204  
(908) 245-2800

## DEX-O-TEX

Product Description Sheet

### Dex-Flex

Waterproof Deck System  
Typical Thickness 1/8" – 1/4"

#### DESCRIPTION

Dex-Flex waterproof deck system is a solvent-free, fluid applied, elastomeric waterproofing and polyacrylate pedestrian traffic topping system that is ideal for concrete or plywood substrates.

#### WHERE TO USE

Dex-Flex is ideal for promenade decks, sun decks, patios, roofs, rooftop tennis courts, balconies, and pedestrian traffic surfacing.

#### ADVANTAGES

- ICC ESR 1714 Approval over Plywood and Concrete Substrates
- Monolithic, including integral flashing
- Resilient and comfortable underfoot
- Reduces sound transmission
- Environmentally safe
- Monolithic, seamless
- Fast cure time and return to service
- Solvent free with minimal odor
- VOC and LEED compliant

#### FINISH OPTIONS

- See AJ-44 and Colorpax LIP Color Chart available at [www.dexotex.com](http://www.dexotex.com)
- Wide array of slip resistant textures, colors, and finishes available

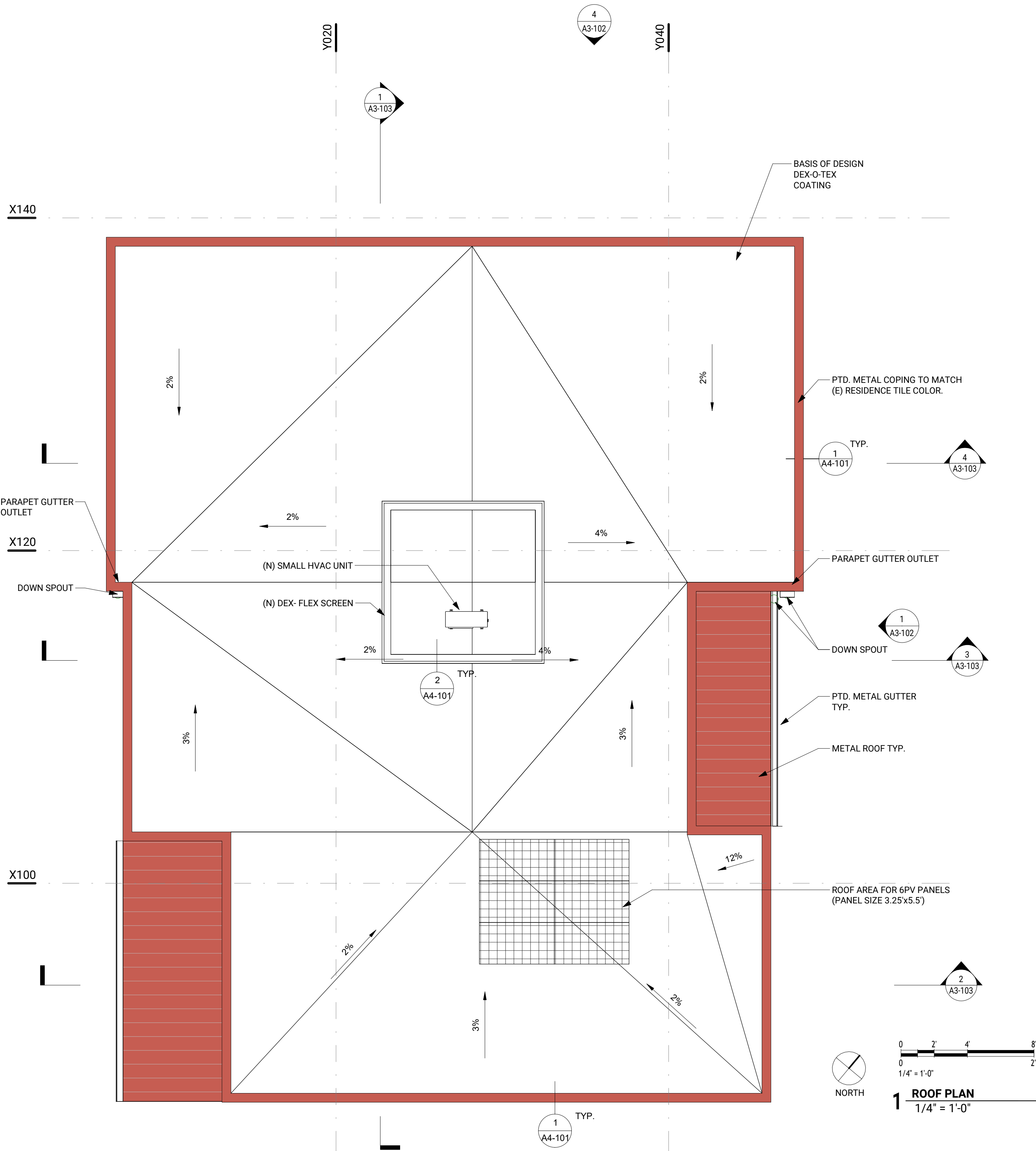
#### SYSTEM COMPONENTS

Plywood	Product	Thickness
Lath Mortar	Dex-O-Tex Lath Mortar	3/16"
Membrane	Barrier Guard	20 Mils
Membrane w/ Fabric	Barrier Guard w/ RP Fabric	20 Mils
Protection Coats	Resistite	124 Mils
Sealer	AJ-44 XL	16 Mils

Over Concrete	Product	Thickness
Membrane	Barrier Guard	20 Mils
Membrane w/ Fabric	Barrier Guard w/ RP Fabric	20 Mils
Protection Coats	Resistite	124 Mils
Sealer	AJ-44 XL	16 Mils

Installed by Factory Trained Dex-O-Tex Applicators Only

PROPOSED ROOFING MATERIAL  
FINISH COLOR: WHITE



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### ARCHITECT

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### CONSULTANTS

#### STRUCTURAL ENGINEER

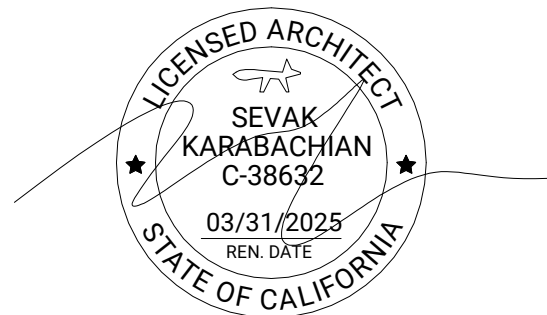
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### NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



#### PROJECT ADDRESS:

**1035 RAYMOND AVE**  
GLENDALE, CA 91201

**NEW CONSTRUCTION 2ND  
RESIDENCE UNIT**

#### TITLE:

**ROOF PLAN**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2023-028

SCALE:

As indicated

DRAWN BY:

DATE:

10/09/2024

SHEET NUMBER:

**A2-103**



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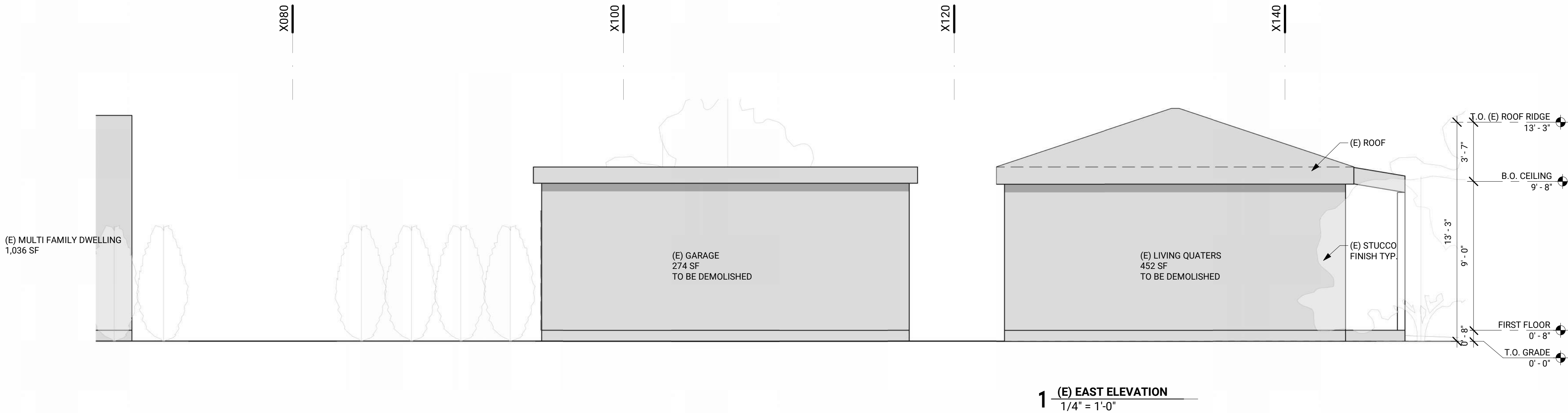
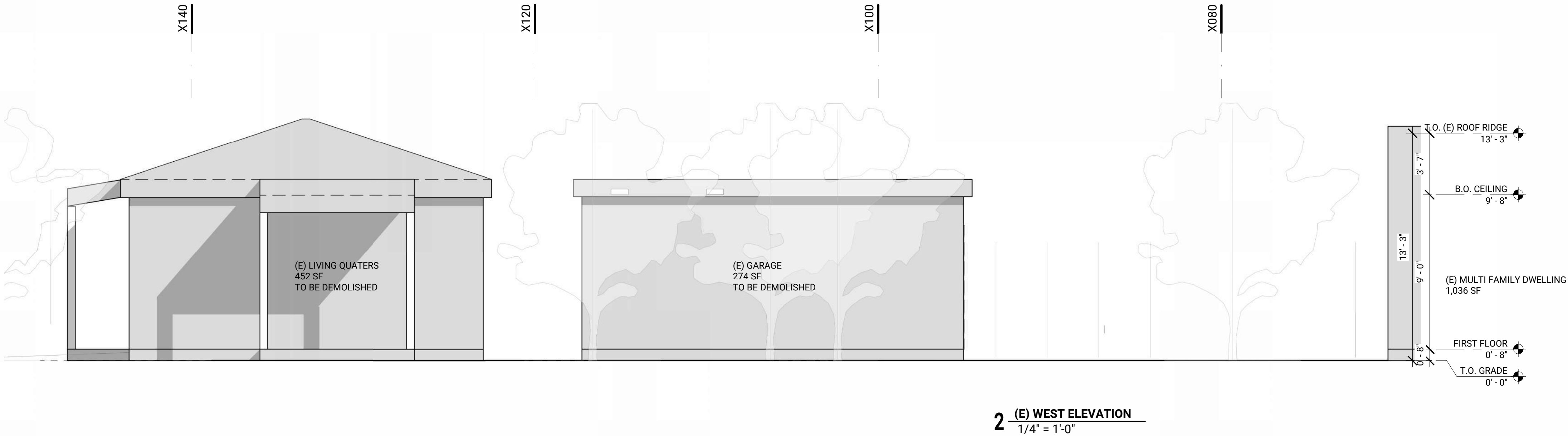
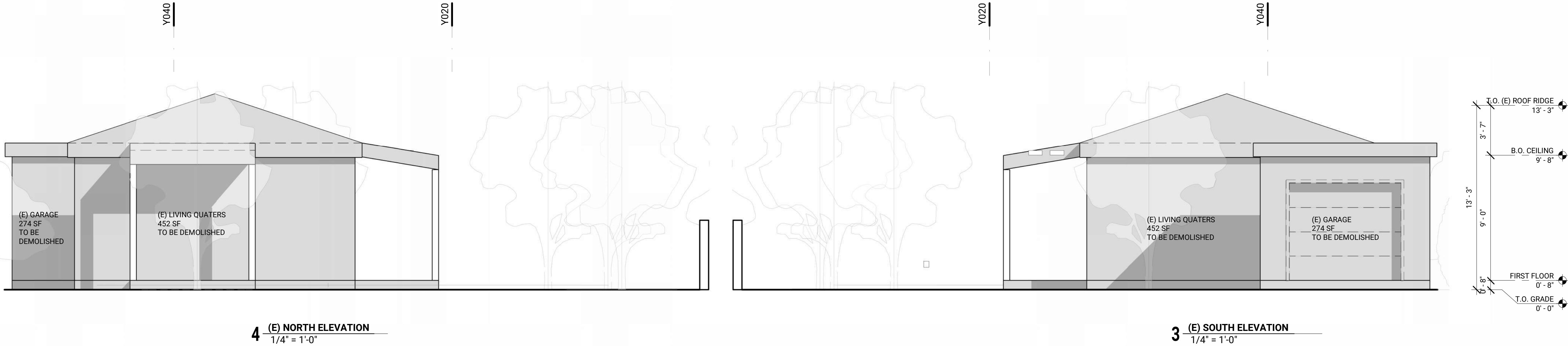
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ARCHITECTS, INC.

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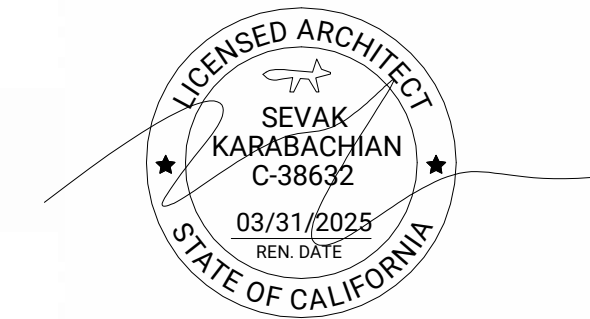
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NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**EXISTING  
ELEVATIONS**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2023-028

SCALE:

1/4" = 1'-0"

DRAWN BY:

DATE:

10/09/2024

SHEET NUMBER:

**A3-100**



KARABACHIAN  
ARCHITECTS, INC.

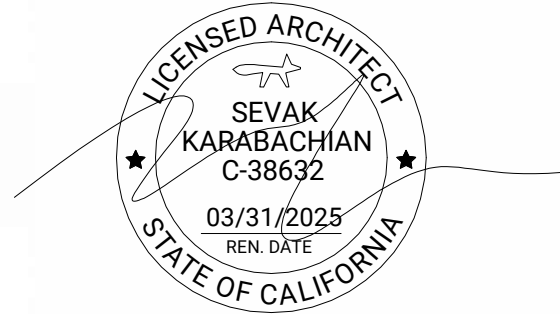
ARCHITECT  
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ADMIN@KARABACHIAN.COM  
WWW.KARABACHIAN.COM  
CA LICENSE: C-38632

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DANIELBAS@GMAIL.COM

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PATRIC NOVSHADIAN, PE  
PAT'S MECHANICAL ENG. GROUP  
9154 TUJUNGA CANYON BLVD  
TUJUNGA, CA 91042  
M: 818-281-0470  
PATRICNOV@PATSMECH.COM

NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**EXISTING  
ELEVATIONS**

PERMIT #: PADR-004032-2024

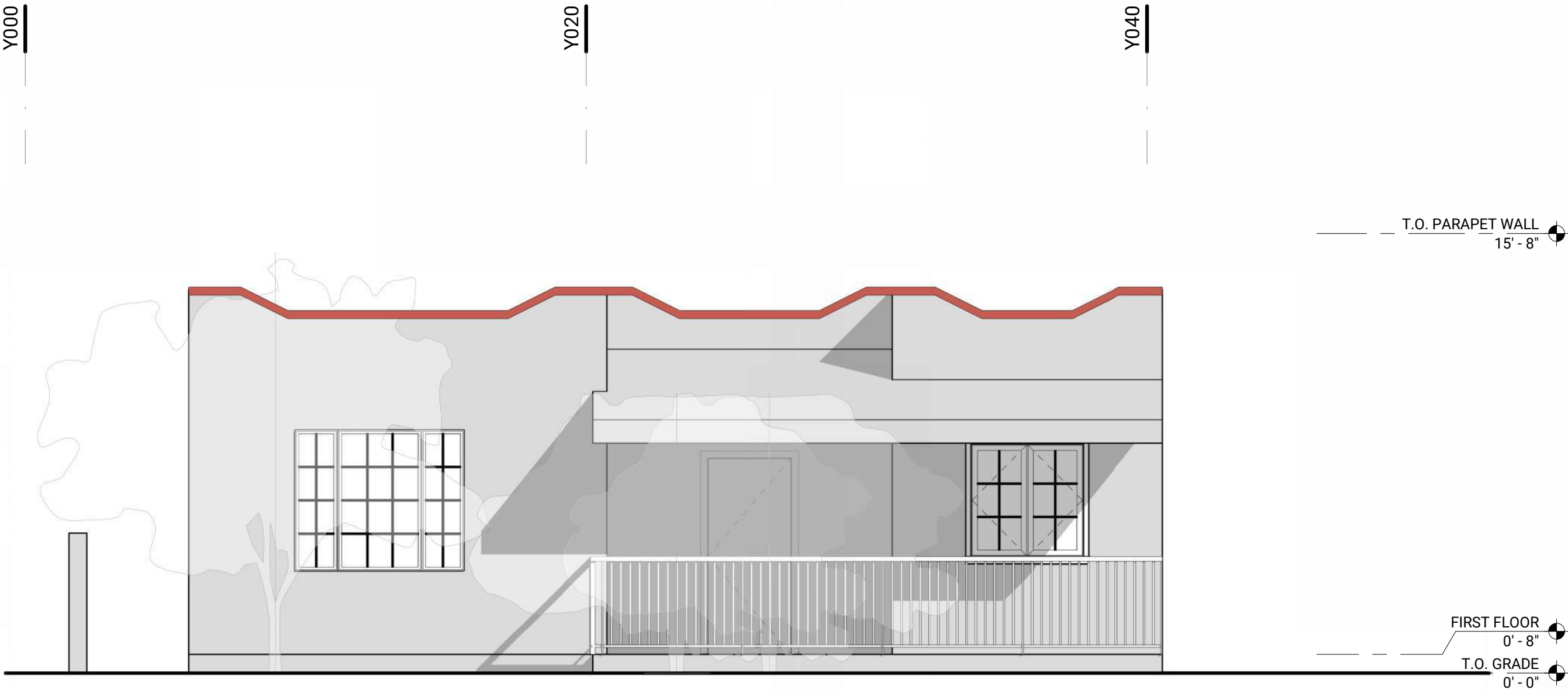
PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"  
PROJECT:  
**2023-028**  
SCALE:  
**1/4" = 1'-0"**  
DRAWN BY:

DATE:  
**10/09/2024**

SHEET NUMBER:

**A3-101**



**1 (E) STREET SOUTH ELEVATION**  
1/4" = 1'-0"

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



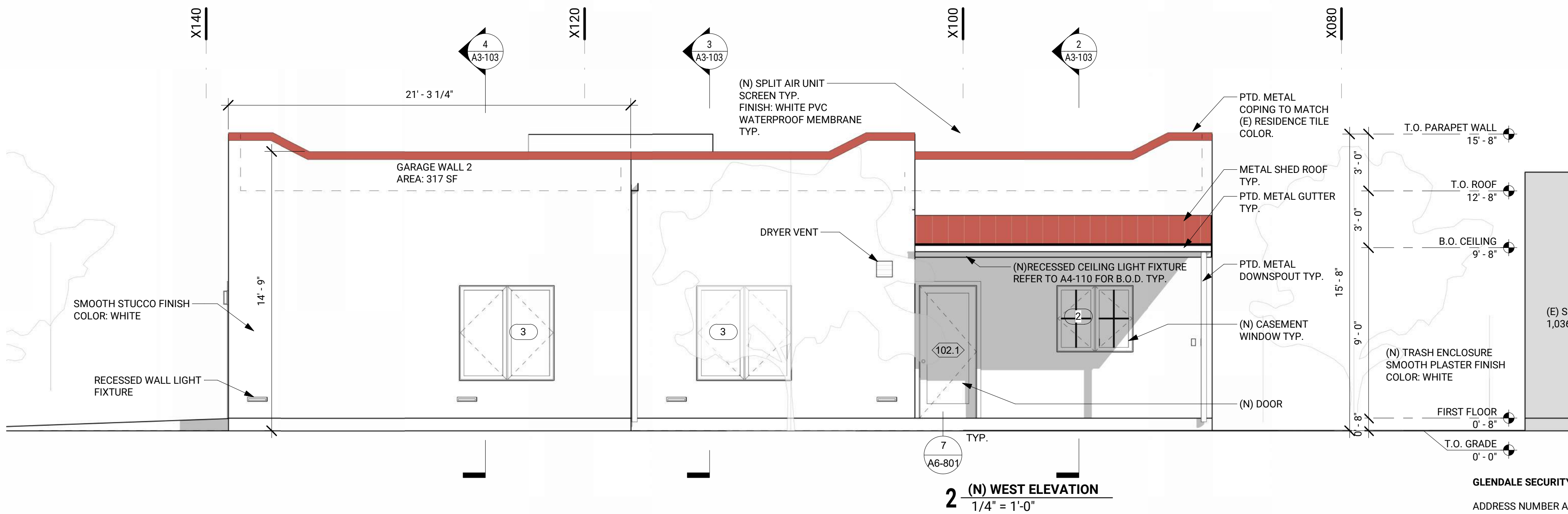
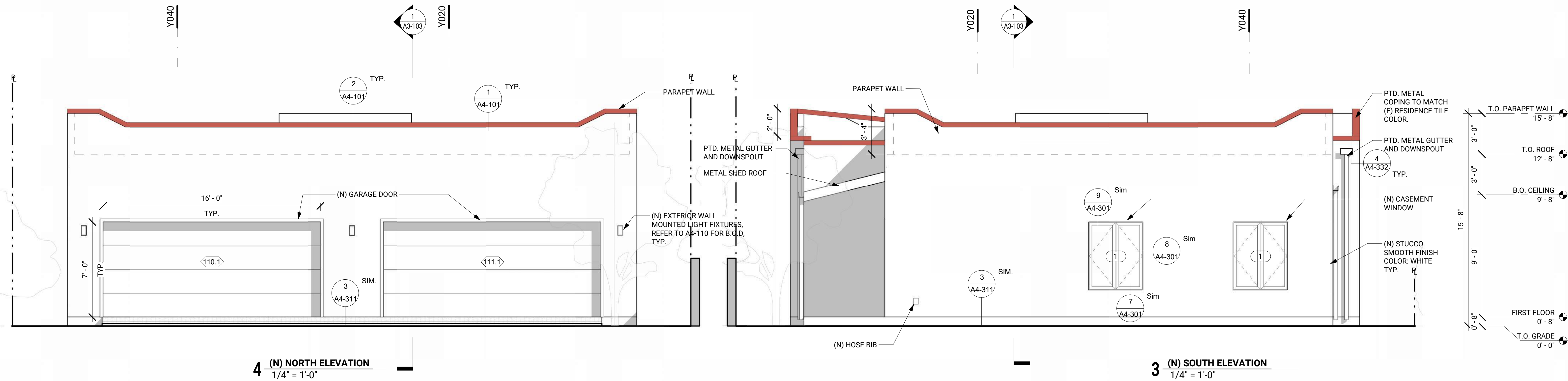
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ARCHITECTS, INC.

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EXTERIOR WALL OPENING CALC. (PER TABLE 302.1)  
25% MAX. WALL OPENING ALLOWED

TWO WALL ARE BETWEEN 3'- 5' FROM PROPERTY LINE:

GARAGE WALL 1 AREA = 317 SF  
(14'-11" \* 21'-3" = 317 SF)

GARGE WALL 1 OPENING AREA= 35 SF  
OPENING 1 AREA= 25 SF  
(5'-0" \* 5'-0" = 25 SF)  
OPENING 2 AREA = 10 SF  
(5'-0" \* 2'-0" = 10 SF)

35 SF(OPENING AREA) / 317 SF ( WALL AREA) = 9%

9% IS LESS THAN 25%, THEREFORE OK.

GARAGE WALL 2 AREA = 317 SF  
(14'-11" \* 21'-3" = 317 SF)

GARGE WALL 2 OPENING AREA= 35 SF  
OPENING 1 AREA= 25 SF  
(5'-0" \* 5'-0" = 25 SF)  
OPENING 2 AREA = 10 SF  
(5'-0" \* 2'-0" = 10 SF)

35 SF(OPENING AREA) / 317 SF ( WALL AREA) = 9%

9% IS LESS THAN 25%, THEREFORE OK.

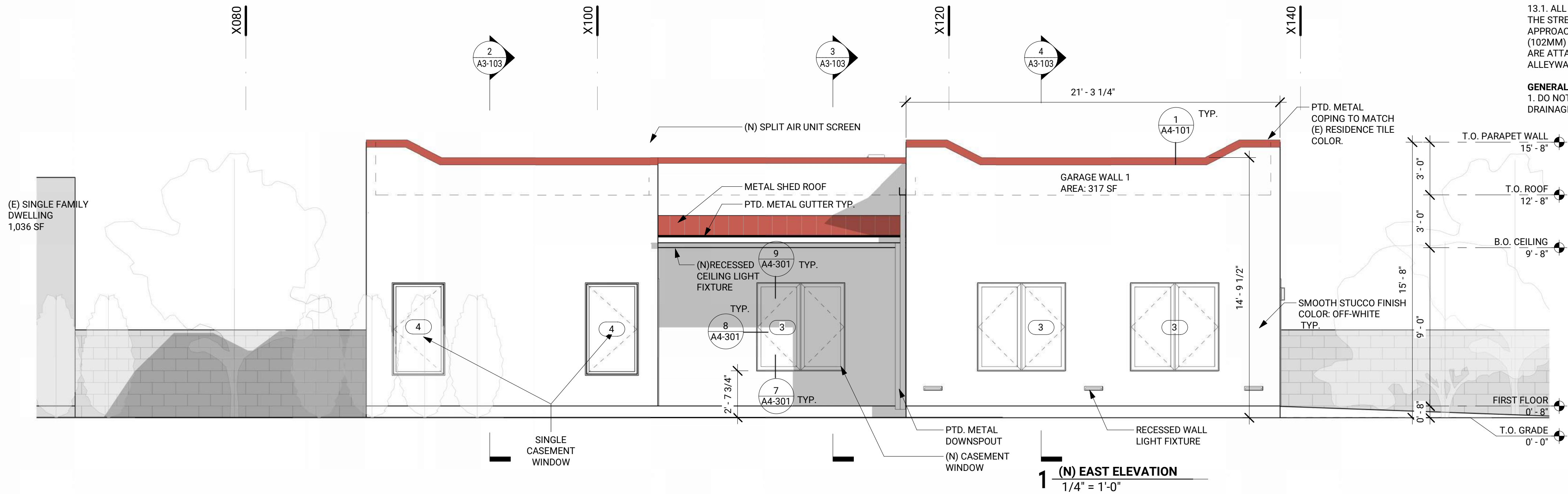
GLENDALE SECURITY NOTES:

ADDRESS NUMBER AND IDENTIFYING DATA: ADDRESS NUMBERS AND OTHER IDENTIFYING DATA SHALL BE DISPLAYED AS FOLLOWS:

13.1. ALL RESIDENTIAL DWELLINGS SHALL DISPLAY AN ADDRESS NUMBER IN A PROMINENT LOCATION ON THE STREET SIDE OF THE RESIDENCE IN SUCH A POSITION THAT THE NUMBER IS EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMERALS SHALL BE NO LESS THAN FOUR (4) INCHES (102MM) IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND TO WHICH THEY ARE ATTACHES. IN ADDITION, ANY RESIDENCE WITH REAR VEHICULAR ACCESS THROUGH ANY DRIVEWAY, ALLEYWAY OR PARKING LOT SHALL ALSO DISPLAY THE SAME NUMBERS ON THE REAR OF THE BUILDING.

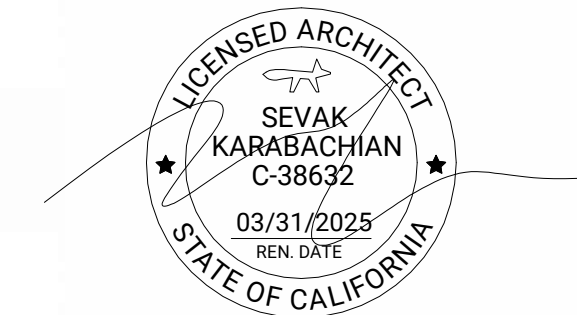
GENERAL NOTES:

1. DO NOT ALTER GRADES. DO NOT ADD OR REMOVE SOIL EXCEPT FOR MINOR FINISH GRADE FOR DRAINAGE PURPOSE NOT TO EXCEED 6" IN HEIGHT IN ANY LOCATION.



4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

**NEW CONSTRUCTION 2ND  
RESIDENCE UNIT**

TITLE:  
**ELEVATIONS**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2023-028

SCALE:

1/4" = 1'-0"

DRAWN BY:

DATE:

10/09/2024

SHEET NUMBER:

**A3-102**





Product Use and Design

FOAM-LOK™ 2000 3G is a Closed-Cell spray applied foam that delivers high R-value, which when installed following application guidelines adheres tenaciously to framing members and substrates. FOAM-LOK™ 2000 3G Closed-Cell spray foam provides superior energy economy and durability while significantly reducing unmanaged moisture and air infiltration.

As a component of a "systems approach" to proper building envelope construction, FOAM-LOK™ 2000 3G Closed-Cell spray foam provides exceptional performance in minimizing heat transfer, moisture gain, air leakage, and improving racking strength.

TYPE: I, II, III, IV, V (A&B) Construction

Recommended Product Applications

- Walls

• Ducts

• Tanks

• Floors

• Piping

• Coolers
- Ceilings

• Freezers

• Foundations

• Cold Storage

• Concrete Slabs
- Vented Attics

• Unvented Attics

• Vented Crawlspace

• Unvented Crawlspace

Recommended Processing Parameters

Recommended Processing Parameters	
Equipment Dynamic Pressure	1,000 - 1,400 psi
Ambient Temperature	25 - 122°F (-4 - 50°C)
Preheat Temperature	65 - 85°F (18 - 30°C)
Hose Heat Temperature	115 - 125°F (46 - 51°C)
Drum Storage Temperature	65 - 85°F (18 - 30°C)
Shelf Life	12 months when stored properly

Optimum hose pressure and temperature may vary as a function of the type of equipment, ambient and substrate conditions, and the specific application. It is the responsibility of the applicator to properly interpret equipment technical literature, particularly information that relates acceptable combinations of gun chamber size, proportioner output, and material pressures.

- 2:1 transfer pumps are recommended for material transfer from container to the proportioner.
- CAUTION: Extreme care must be taken when removing and reinstalling drum transfer pumps so as NOT to reverse the "A" and "B" components.
- Do not circulate or mix other suppliers' "A" or "B" component into FOAM-LOK™ containers.
- The plural component proportioner must be capable of supplying each component within ± 2% of the desired 1:1 mixing ratio by volume.

Ventilation Rate (Air Changes Per Hour)	Re-Entry Period For: Sprayers, Helpers, Material Transfer Workers & Contractors	Re-Occupancy Period For All Others
A1 40.0 ACH	1 Hour	2 Hours

Physical Properties

Properties	Test Method/Requirements	Value
Aged "R" Value/Factor	ASTM C518	R-7.1 @ 1" R-24 @ 3.5"
Compressive Strength	ASTM D1621	36" "Rigid"
Core Density	ASTM D1622	2.0-2.3 lbs./ft³
Air Leakage	ASTM E178	< 0.02L/s/m² at 1.5 inches
Closed-Cell Content	ASTM D2856	> 97%
Tensile Strength	ASTM D1623	40 lbs/in²
Water Vapor Transmission	ASTM E96	.08 perms @ 1.5"
Water Resistance Barrier	KCC-ES AC71	1.25"
Water Absorption	ASTM D2442	1.0%
Dimensional Stability 7 days at 158°F, 90%RH	ASTM D2126	9.0%
Commercial Fire Resistance	ASTM E119	1, 2 & 3 Hour Ratings*
Flammability	NFPA 259	1885 Btu/hr" 21.5 MJ/m²
Fungus Testing	ASTM C 1338	No Growth

\*For specific construction requirement of ASTM E119 and NFPA 285 testing please contact Icynene-Lapolla Technical Group or your sales representative.

FOAM-LOK™ 2000 3G meets ASTM C1029 Type II classification.

Credentialed Certifications

• ICC ESR-4501

FOAM-LOK™ 2000 3G is a Class I formulation, as Tested per ASTM E84, and at a thickness of 1.5 inches possesses the flammability characteristics shown below (UL 723, NFPA 255, UBC 8-1)

ASTM Method E84	Class I
Flame Spread	≤ 25
Smoke Development	≤ 450

\*Diversified Testing Modified NF A 286 PER AC 377 Appendix X

Location	SPF Thickness *
Wall Cavities	6 (152mm) inches
Ceiling Cavities in Attics and Crawl Spaces	8 (203mm) inches

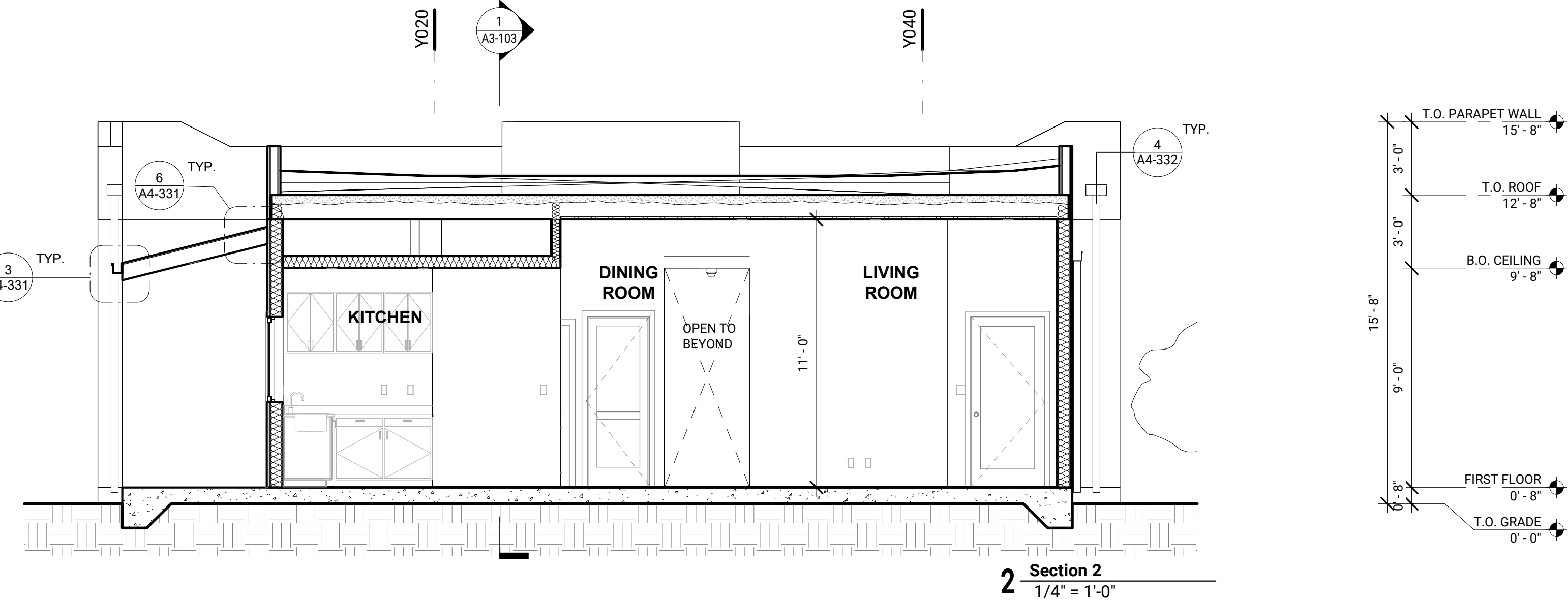
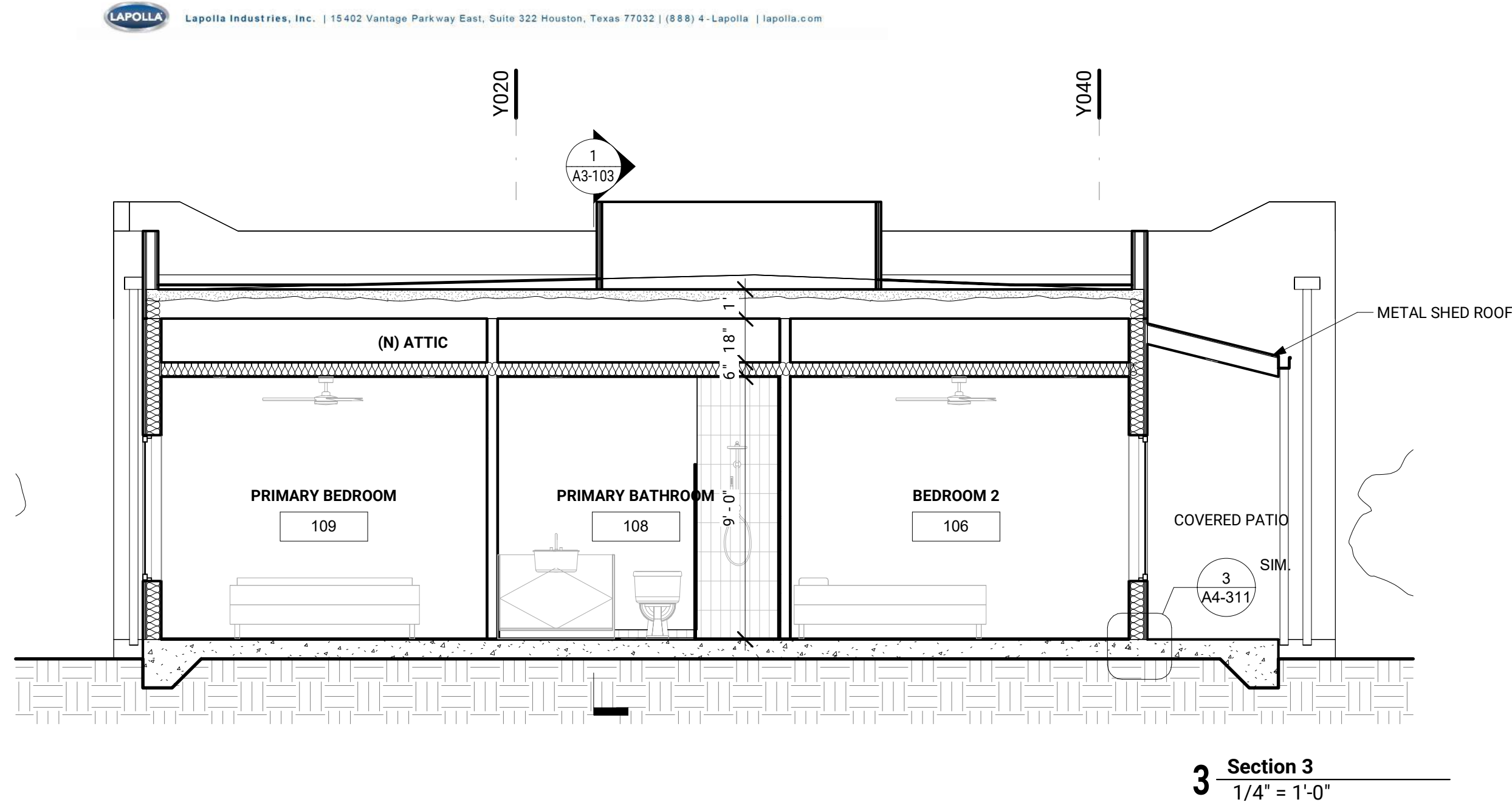
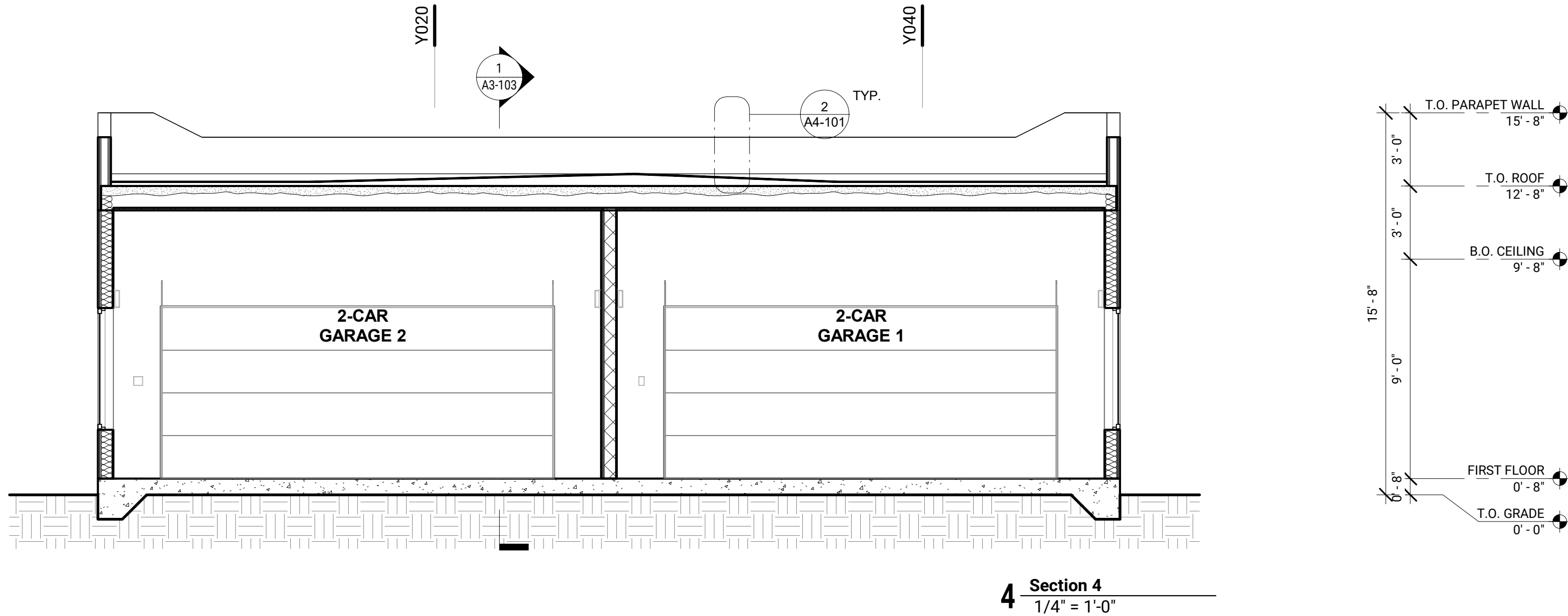
- No Ignition Barrier Required

Room Corner Fire Testing\* With 1/2" Thermal Barrier (Sheetrock)

NFPA 286	SPF Thickness *
Location	Up to 12 in (305mm)
Wall Cavities	Up to 12 in (305mm)
Ceiling Cavities	Up to 12 in (305mm)

FOAM-LOK™ 2000 3G must be covered with 1/2" of gypsum board, or DC-315, No-Burn Plus ThB, Flame Seal or Fireball F10E intumescent paint coating at approved thickness or approved thermal barrier.

VALUE USED TO  
DETERMINE FOAM  
THICKNESS FOR ROOF

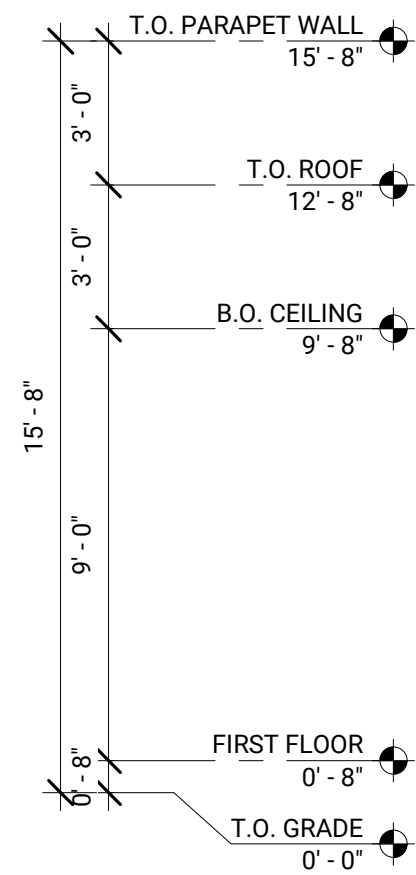
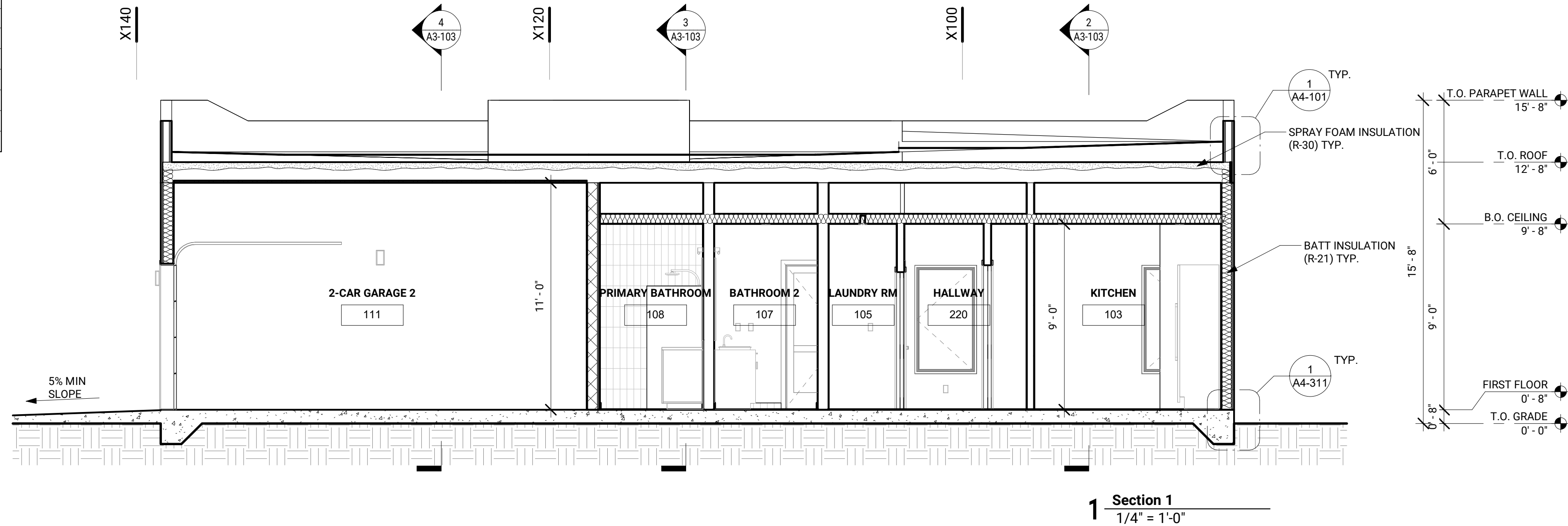


INSULATION BASED ON TITLE 24 (SHEET A0-201)

	FRAME TYPE			CAVITY INSUL.
	WOOD	METAL	CONCRETE	
ROOF (CATHEDRAL CEILING)				N/A
ROOF (WITH ATTIC)	X			R-19
CEILING BELOW ATTIC	X			R-30
EXTERIOR WALLS	X			R-21
DEMISING WALLS	X			R-15
INT.FLOOR (NO CRAWLSPACE)			X	NONE

ATTIC VENT CALCULATIONS:

NOT VENT REQUIRED, SPRAY FOAM INSULATION USED.



# KARABACHIAN ARCHITECTS, INC.

ARCHITECT

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CONSULTANTS

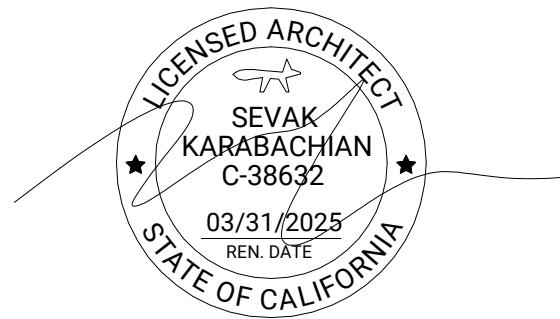
STRUCTURAL ENGINEER

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M: 818-281-0470  
PATRICNOV@PAT'SMECH.COM

NO.	ISSUE	DATE



PROJECT ADDRESS:

**1035 RAYMOND AVE**  
GLENDALE, CA 91201

**NEW CONSTRUCTION 2ND  
RESIDENCE UNIT**

TITLE:

**BUILDING  
SECTIONS**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

**2023-028**

SCALE:

As indicated

DRAWN BY:

DATE:

**10/09/2024**

SHEET NUMBER:

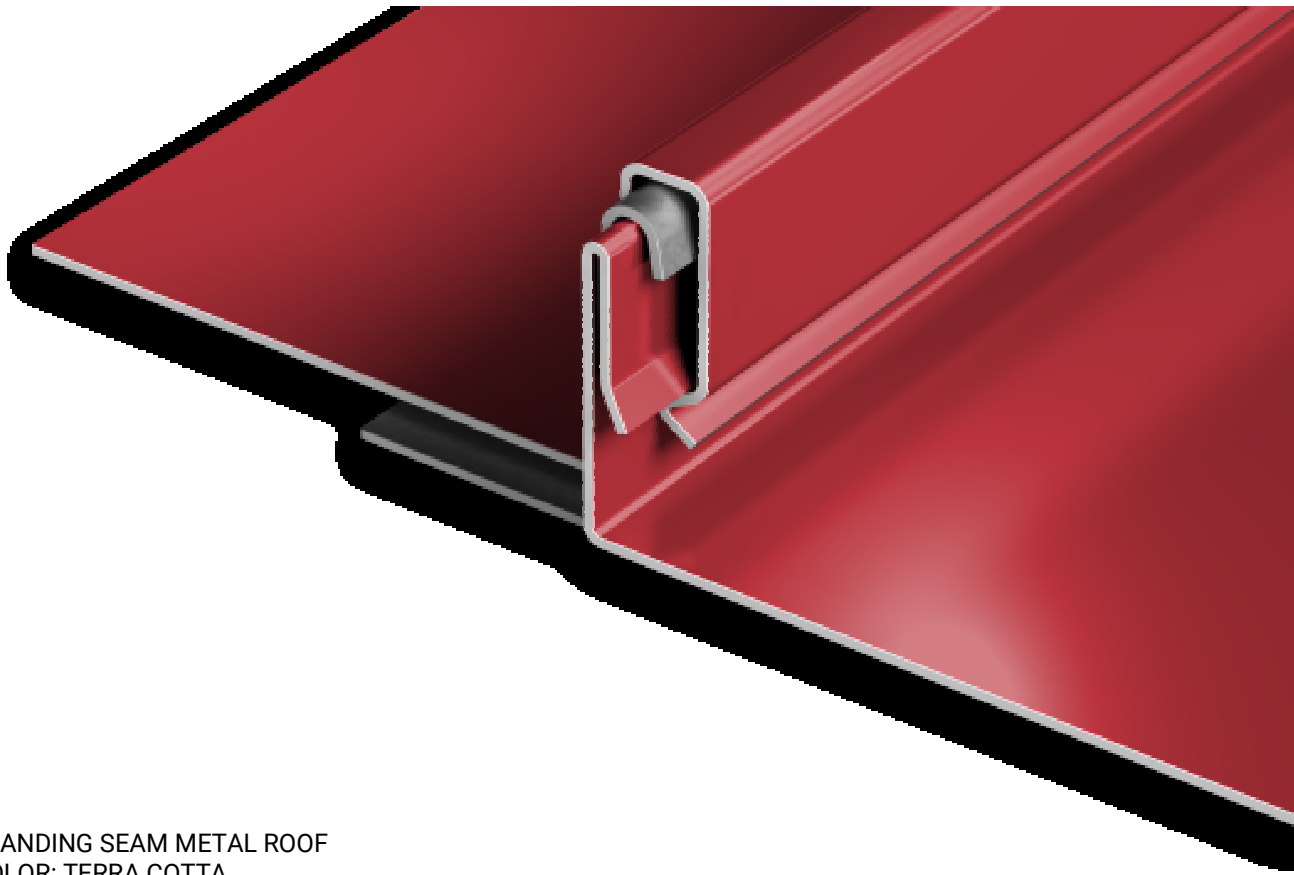
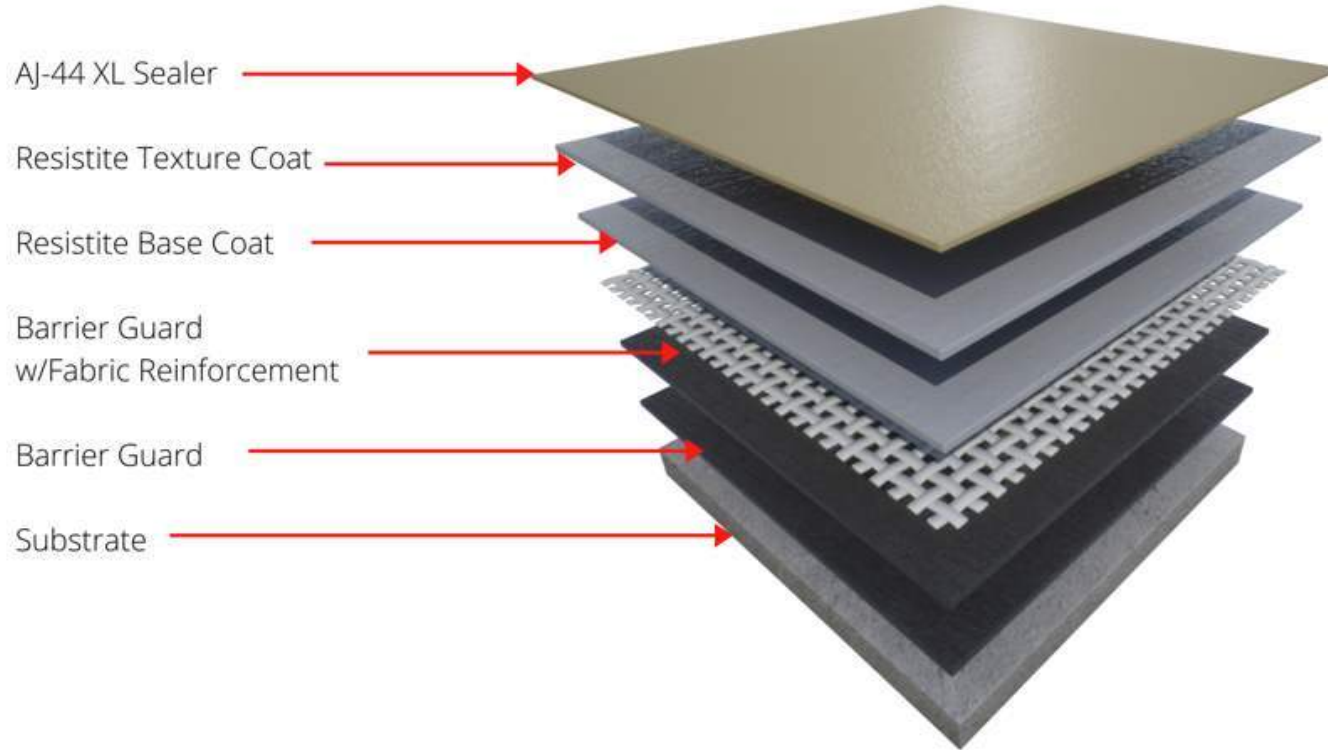
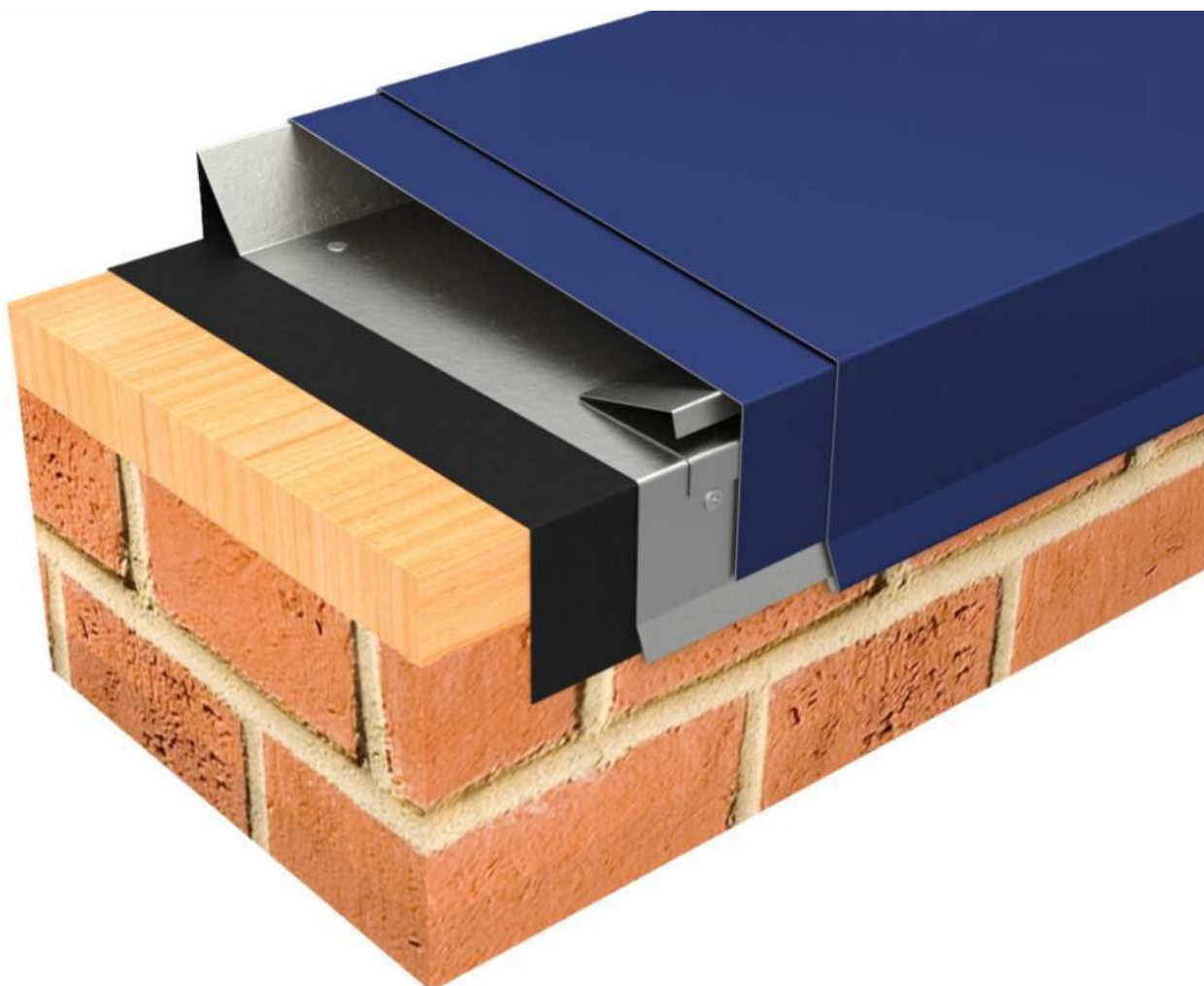

**A3-103**

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K:\2023\2023-10-05 Raymond Ave\4 - 2D\6. Revit\1 - Models and Drawings\1035 Raymond Ave - MET.rvt

		<div></div> <div>STANDING SEAM METAL ROOF COLOR: TERRA COTTA B.O.D: PAC-CLAD - SNAP-CLAD</div> <div><div>SLED ROOF</div><div>SCALE 12" = 1'-0"</div><div>3</div></div>
		<div></div> <div>PVC MEMBRANE COLOR: WHITE B.O.D: DEX-FLEX</div> <div><div>ROOF</div><div>SCALE 12" = 1'-0"</div><div>2</div></div>
	<div></div> <div>METAL COPING COLOR: TERRA COTTA B.O.D: DIMENSIONAL METALS - DYNACLAD EDGE</div> <div><div>METAL COPING</div><div>SCALE 12" = 1'-0"</div><div>4</div></div>	<div></div> <div>SMOOTH PLASTER COLOR: 1C130 CLOUD B.O.D: OMEGA PRODUCTS INERNATIONAL</div> <div><div>EXTERIOR WALL</div><div>SCALE 12" = 1'-0"</div><div>1</div></div>

# KARABACHIAN ARCHITECTS, INC.

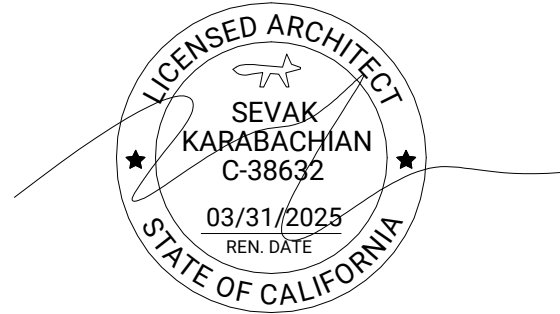
**ARCHITECT**  
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NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**EXTERIOR MATERIALS**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:  
**2023-028**  
SCALE:  
**12" = 1'-0"**  
DRAWN BY:

DATE:  
**10/09/2024**

SHEET NUMBER:

**A4-100**



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ARCHITECTS, INC.

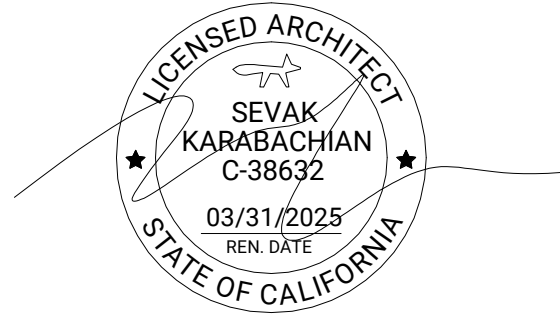
ARCHITECT  
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NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**EXTERIOR DETAILS**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

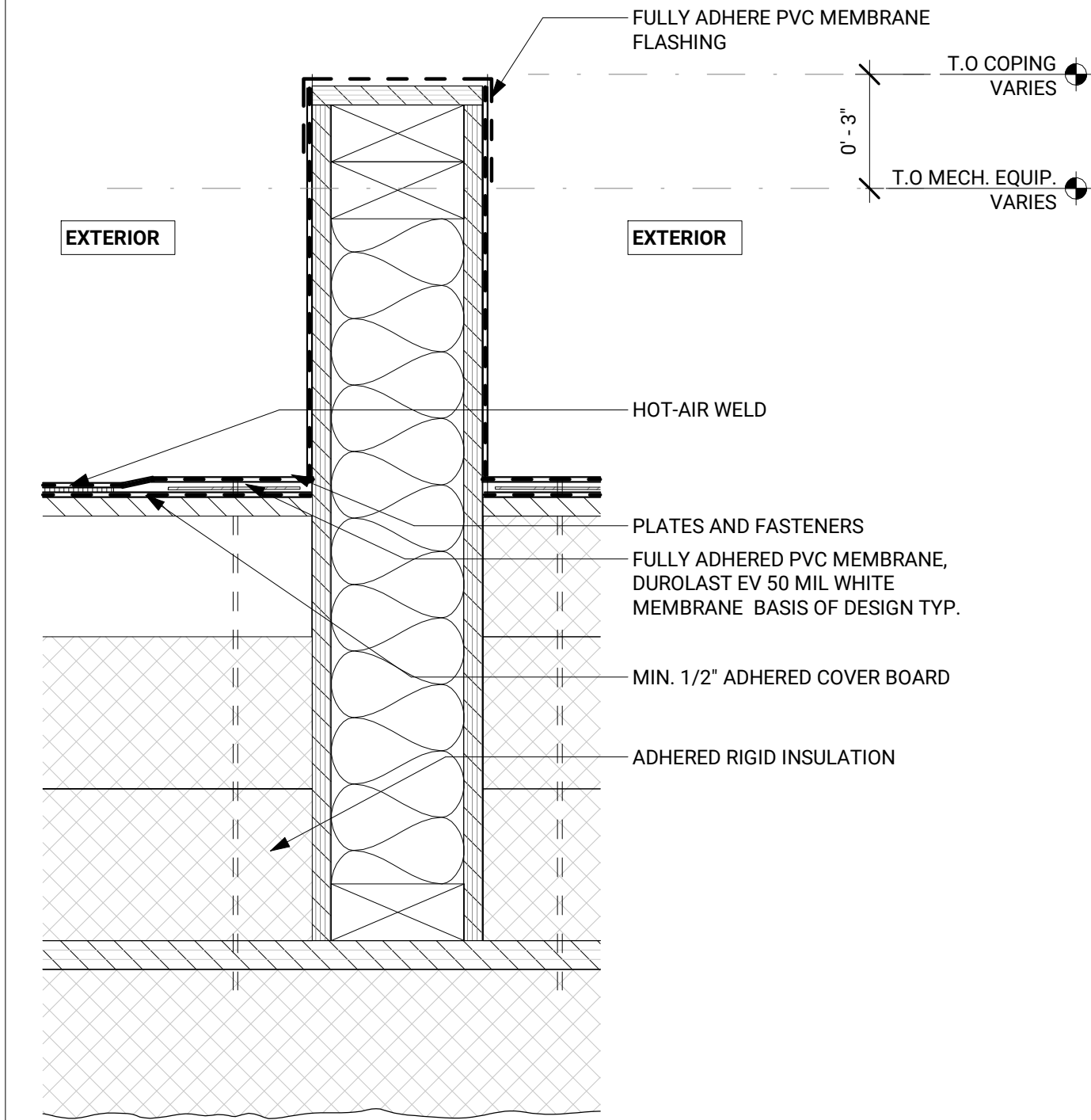
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**2023-028**

SCALE:  
**3" = 1'-0"**  
DRAWN BY:

DATE:  
**10/09/2024**

SHEET NUMBER:

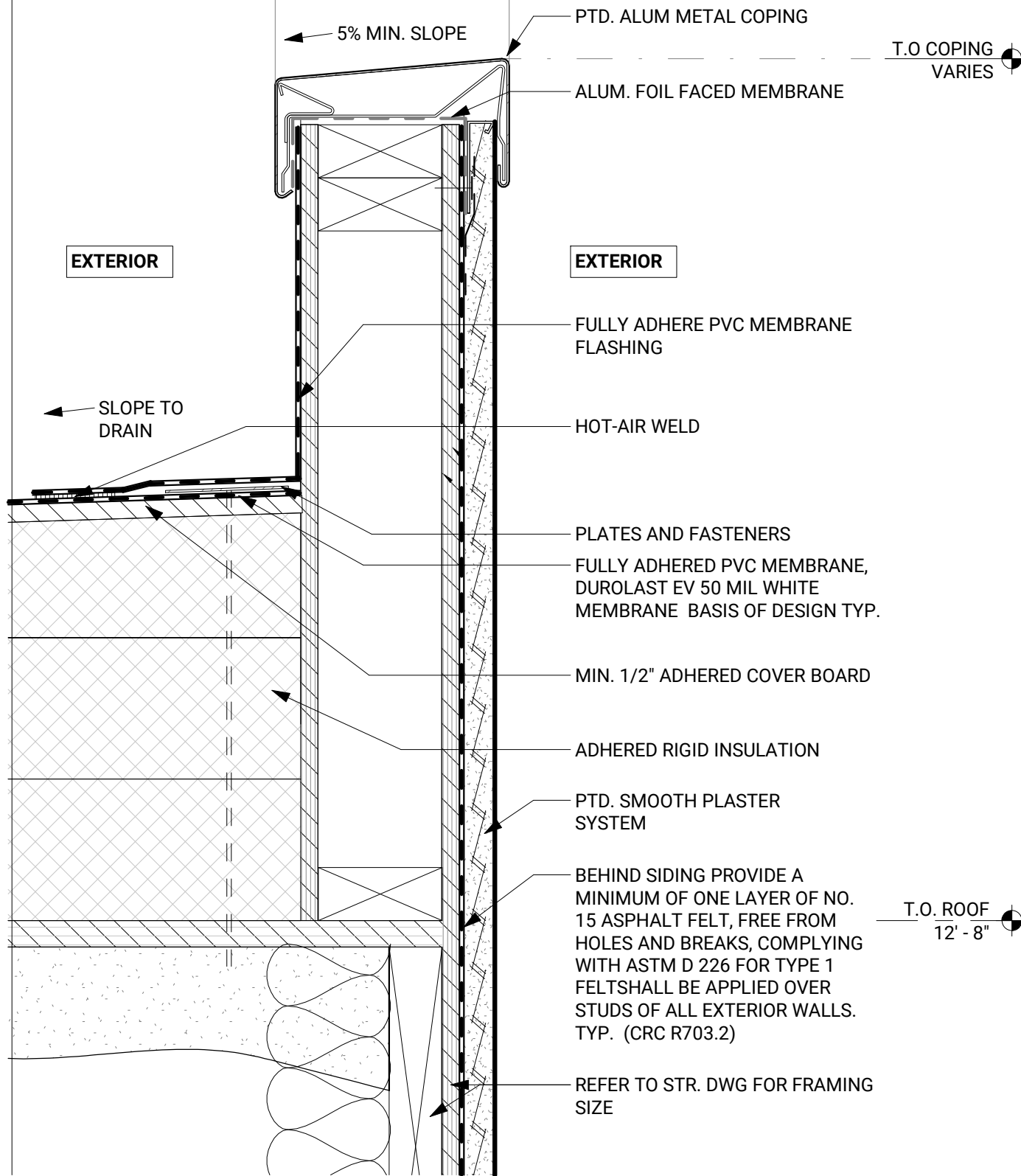
**A4-101**



SECTION DETAIL - MECH. SCREEN

SCALE  
3" = 1'-0"

2



SECTION DETAIL - PARAPET

SCALE  
3" = 1'-0"

1

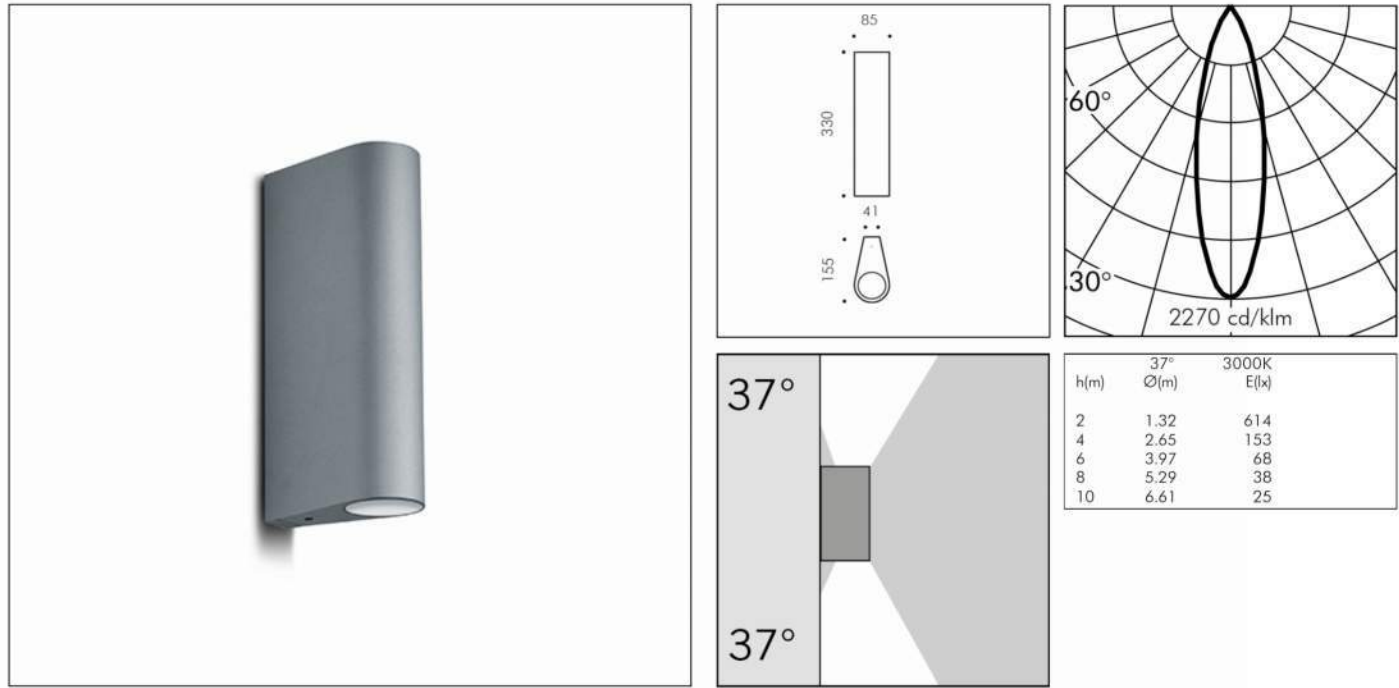
4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



EXTERIOR WALL MOUNTED LIGHTING - BASIS OF DESIGN

SIMES

SMOOTH DOUBLE EMISSION



Version is available on request.

**S.2915N.14 (Aluminium grey)**  
2 module COB 4000K 220-240Vac ON-OFF  
Wall mounted

Light Source Technical Data		Power Supply Technical Data	
Light source type:	COB	Voltage (AC):	220-240Vac
Colour temperature:	4000K	Frequency (AC):	50/60Hz
Rated module luminous flux:	3680lm	Voltage (DC):	170-280Vdc
Rated luminaire luminous flux:	2252lm	Dimmable:	NOT DIMMABLE (ON-OFF)
Rated module power:	22.8W	(DALI2, PUSH available with surge)	
Rated luminaire power:	27W	Inrush Current:	5A 50µsec
Luminaire efficacy:	83lm/W	Max. quantity of fixtures for Miniature Circuit Breaker type B16A:	50
ULR:	50%	Max. quantity of fixtures for Miniature Circuit Breaker type C16A:	85
Color Rendering Index:	CRI 90	Surge protection (between L-N):	3.5kV
Standard Deviation Color Matching:	MacAdam step 3	Protection class IP:	IP65
Temperature and life time Technical Data		Mechanical resistance:	IK08
LED Lifetime:	L80 B10 70,000h Ta 25°C L80 B10 50,000h Ta 40°C min. 70,000h Ta 25°C min. 50,000h Ta 40°C	Weight:	3.8096Kg
Lifespan of the LUMINAIRE:	Ta 25°C	Power cable:	0.2m - H05RN-F
Performance ambient temperature range:	da -20°C a +50°C	Technical Installation Data	
Operating ambient temperature range:	da -20°C a +60°C	Electrical insulation class:	II
Storage temperature range:	da -20°C a +60°C	Protection class IP:	IP65
		Mechanical resistance:	IK08
		Weight:	3.8096Kg
		Power cable:	0.2m - H05RN-F

**SPECIAL VERSION ON REQUEST:** this Luminaire can be supplied with a surge in class III (without power supply). Requires working remote power supply in constant current at 700mA Vmin=1.2Vdc Vmax=36.8Vdc. Example SIMES compatible power supplies (check the complete list of the drivers on the catalogue):  
Art. S.2410 POWER SUPPLY DALI2 230V/50-1050mA 57.8W IP67  
Art. S.3423 POWER SUPPLY MULTI-POWER 230V/350mA-1050mA IP20  
NB: Use 1 Power Supply for each Luminaire

SIMES S.p.A. - Via G.Pastore 2/4 - 25040 - Corte Franca (Brescia) ITALY - [www.simes.it](http://www.simes.it) - e-mail: [simes@simes.it](mailto:simes@simes.it)  
Export Sales Tel. +39 (0)39860440 / Technical Dep. Tel. +39 (0)39860450 / Lighting Design Dep. Tel. +39 (0)39860425

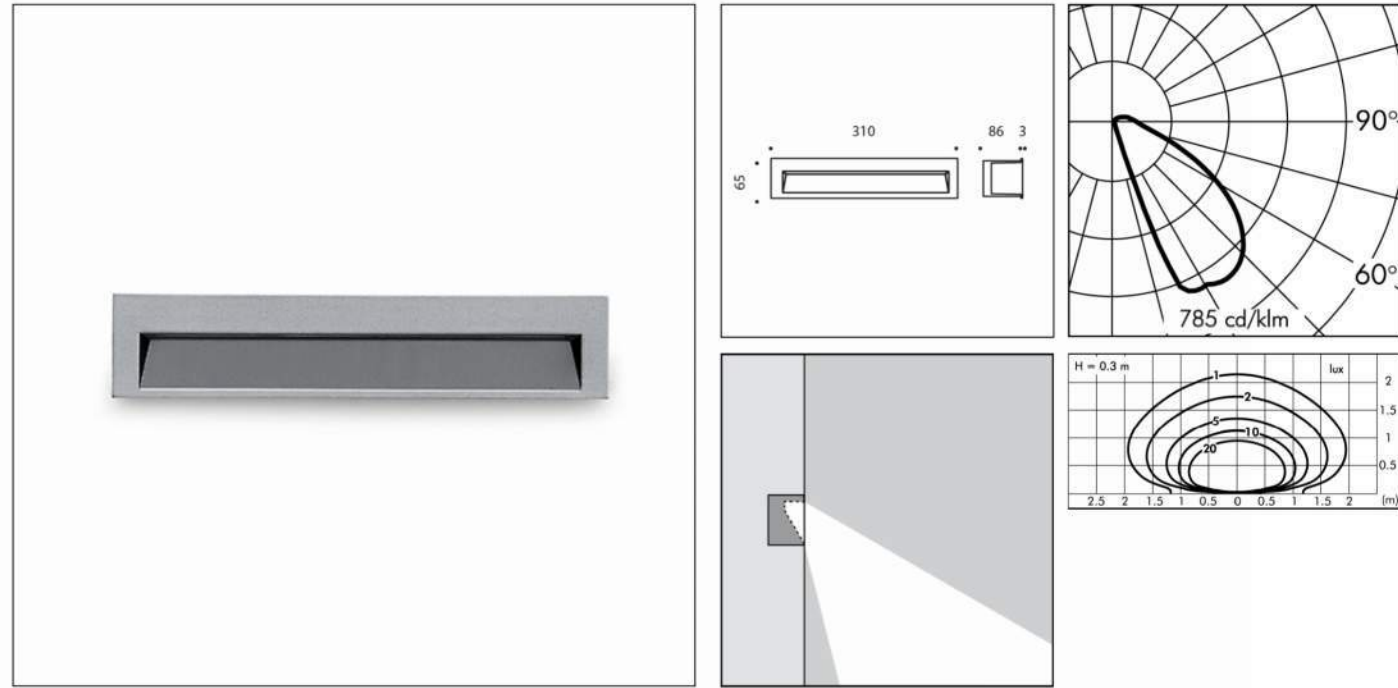
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We reserve the right to change specifications without prior written notice.

Last update 06/06/2024 - Pag. 1/3

EXTERIOR RECESSED FLOOR LIGHTING - BASIS OF DESIGN

SIMES

WALKER



Version is available on request.

**S.6320N.14 (Aluminium grey)**  
model LED 4000K 220-240Vac DIMMABLE PHASE-CUT (L-C)  
Step light wall recessed

Light Source Technical Data		Power Supply Technical Data	
Light source type:	LED	Voltage (AC):	220-240Vac
Colour temperature:	4000K	Frequency (AC):	50/60Hz
Rated module luminous flux:	1349lm	Voltage (DC):	176-264Vdc
Rated luminaire luminous flux:	421lm	Dimmable:	PHASE-CUT (L-C)
Rated module power:	6.6W	Inrush Current:	1.7A 40µsec
Rated luminaire power:	9.9W	Max. quantity of fixtures for Miniature Circuit Breaker type B16A:	80
Luminaire efficacy:	45lm/W	Max. quantity of fixtures for Miniature Circuit Breaker type C16A:	136
CIE Flux Code:	28 68 92 93 100	Surge protection (between L-N):	3.5kV
Color Rendering Index:	CRI 90	Protection class IP:	IP65
Standard Deviation Color Matching:	MacAdam step 3	Mechanical resistance:	IK10
Temperature and life time Technical Data		Weight:	1.2418Kg
LED Lifetime:	L80 B10 70,000h Ta 25°C L80 B10 50,000h Ta 40°C min. 70,000h Ta 25°C min. 50,000h Ta 40°C	Electrical insulation class:	I
Lifespan of the LUMINAIRE:	Ta 25°C	Protection class IP:	IP65
Performance ambient temperature range:	da -20°C a +50°C	Mechanical resistance:	IK10
Operating ambient temperature range:	da -20°C a +60°C	Weight:	1.2418Kg
Storage temperature range:	da -20°C a +60°C	Power cable:	0.2m - H05RN-F



**SPECIAL VERSION ON REQUEST:** this Luminaire can be supplied with a surge in class III (without power supply). Requires working remote power supply in constant current at 500mA Vmin=1.2Vdc Vmax=23.8Vdc. Example SIMES compatible power supplies (check the complete list of the drivers on the catalogue):  
Art. S.2438 POWER SUPPLY 230V/250mA-700mA 20W a 230V/24V 16W 240Hz IP20  
Art. S.3426 POWER SUPPLY DALI MULTI-POWER 230V/250mA-700mA a 230V/24V 16W 240Hz IP20  
NB: Use 1 Power Supply for each Luminaire

SIMES S.p.A. - Via G.Pastore 2/4 - 25040 - Corte Franca (Brescia) ITALY - [www.simes.it](http://www.simes.it) - e-mail: [simes@simes.it](mailto:simes@simes.it)  
Export Sales Tel. +39 (0)39860440 / Technical Dep. Tel. +39 (0)39860450 / Lighting Design Dep. Tel. +39 (0)39860425

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We reserve the right to change specifications without prior written notice.


Last update 06/06/2024 - Pag. 1/3

METAL COPING - BASIS OF DESIGN



## Economical, Reliable and Responsive – a Great Alternative to Self-Fabrication


Utilizing DynaClad® Edge products will allow you to enjoy streamlining your projects and maximizing profits with decreased labor costs. Carefully engineered systems are ANSI/SPRI ES-1 tested and the full DynaClad Edge System series is backed by a 20-year, 120-mph wind warranty. With over 30-years of Architectural Sheet Metal fabrication experience – DMI's reputation of delivering Proven, Dependable and Sustainable products now delivers the best value and convenience needed in your roof edge system.



### Spring-Lok Coping

The complete system combines the value, engineering and enhanced aesthetics that today's demanding building owners expect. Furnished with a heavy 20 ga. 12" wide Anchor Cleat & Spring clip guaranteeing a quality, secure and lasting assembly.

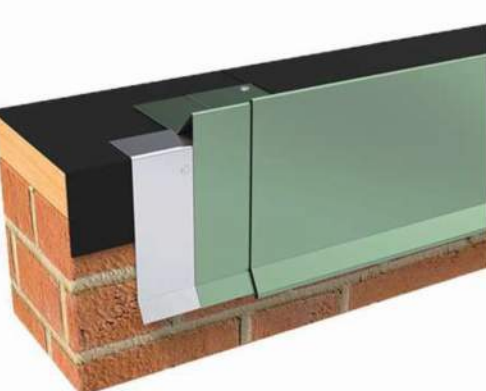
- Offered in a large variety of materials and colors.
- 22 ga. & 24 ga. Galvalume®
- .063, .050, & .040 Aluminum
- As well as Rheinzink®, Copper and Stainless Steel



### Snap-on Fascia

Offered in the following materials:

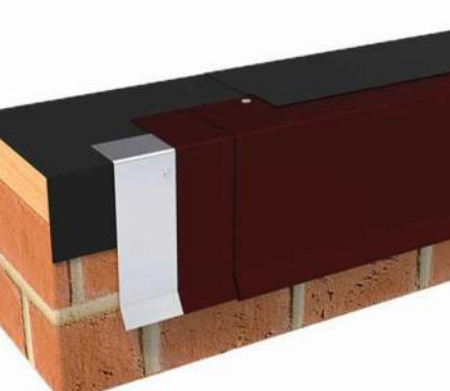
- 22 ga. & 24 ga. Galvalume®
- .050, .040 & .032 Aluminum



### Gravel Stop

Offered in the following materials:

- 22 ga. & 24 ga. Galvalume®
- .050, .040 & .032 Aluminum



### Drip Edge

Offered in the following materials:

- 22 ga. & 24 ga. Galvalume®
- .050, .040 & .032 Aluminum

Contact DMI for verification of test report on your project

## PROVEN. DEPENDABLE. SUSTAINABLE.

METAL ENVELOPE SYSTEMS SINCE 1988

800.828.1510 • [www.dmmetals.com](http://www.dmmetals.com) • [sales@dmmetals.com](mailto:sales@dmmetals.com)

04102023

CEILING LIGHTINGS

M Series

Project:	Type:
Product Code:	Date:

V080924

4" Square Downlight

**Modular System** Flexibility during and after installation with interchangeable modules, optics and trims

**Quick Install** Embedded driver and plug-and-play connection require no wiring

**High Performance** Precise lighting control without sacrificing stellar efficiency

**Enhanced Dimming** Smooth, Flicker-free dimming options down to 0.1%

INSTALLATION

**Ceiling Thickness**  
New Construction: 1/2" up to 1 1/4"  
Spray Foam: 1/2" up to 2"  
Remodel: 1/2" up to 1 1/4"  
Low Profiles: 1/2" up to 1 1/4"

**Ceiling Material**  
Drywall, Millwork

TRIMS

**Aperture**  
4"

**Shape**  
Square

**Style**  
Standard, Pinhole, Wall Wash, Decorative, Flangeless

**Finish**  
White, Black, Bronze, Clear Diffused, Warm Diffused, Custom

LIGHT OUTPUT & DISTRIBUTION

**Module**  
Downlight  
**Lumens (Power)**  
750 lm (9.5W), 1000 lm (12.5W), 1250 lm (14.3W), 1500 lm (14.3W)

**Color Quality**  
93 CRI, 2-step SDCM

**Color Temperature**  
2700K 3000K 3500K  
4000K Warm Dim (3000K-1800K)  
Tunable White (4000K-1800K)  
Tunable White (6500K-2700K)

**Beam Spread**  
15° Narrow Spot  
25° Spot  
40° Flood  
60° Wide Flood  
90° General  
40° x 20° Linear Spread  
Soft Focus

POWER & CONTROLS

**Input Voltage**  
120/277V  
**Dimming**  
0-10V (1%), DALI-2 (0.1%), TRIAC/ELV (1%), Lutron Athena Wireless Node (1%) (Coming Soon)

RATINGS & CERTIFICATIONS

**Housing**  
IC (Insulation Contact) Rated  
ASTM E283 Certified Air Tight  
Code compliant for use in fire-rated assemblies up to a maximum of 2-hours (Coming Soon)  
STC/IRC Sound Rated  
Chicago Plenum  
RoHS Compliant

**Module and Trim**  
UL Listed for Wet Location (Standard trims only, covered areas only)  
NSF Listed (White and Black Finish Only)

**Warranty**  
5 year limited warranty; 50,000 hours

PAC-CLAD® Color Availability

PAC-CLAD STANDARD COLORS	REFLECTIVITY	EMISSIVITY	3 YEAR EXPOSURE	SRI	STEEL 24 GA.	ALUMINUM .040 .050 .063 24 GA. .032	20-IN. COIL .032
AGED BRONZE	0.29	0.87	0.27	29	✓		
ALMOND	0.56	0.86	0.55	65	✓	✓	✓
ARCADIA GREEN	0.29	0.87	0.29	29	✓		
AWARD BLUE***	0.24	0.86	0.23	22	✓	✓	✓
BERKSHIRE BLUE*	0.30	0.87	0.27	31	✓		
BLACK ALUMINUM**	0.04	0.89	0.04	2	✓	✓	✓
BONE WHITE	0.10	0.86	0.09	85	✓	✓	✓
BURGUNDY	0.14	0.85	0.13	9	✓	✓	✓
BURNISHED SLATE	0.32	0.87	0.31	33	✓		
CARDINAL RED***	0.44	0.86	0.44	49	✓	✓	✓
CHARCOAL	0.30	0.86	0.30	30	✓	✓	✓
CITYSCAPE	0.09	0.86	0.10	16	✓	✓	✓
COLONIAL RED	0.31	0.86	0.31	31	✓	✓	✓
DARK BRONZE	0.29	0.86	0.29	29	✓	✓	✓
EVERGREEN	0.28	0.86	0.26	27	✓		
FOREST GREEN	0.10	0.86	0.10	4	✓	✓	✓
GRANITE*	0.39	0.87	0.39	34	✓	✓	✓
GRAPHITE	0.29	0.87	0.28	29	✓		
HARTFORD GREEN	0.08	0.88	0.08	3	✓	✓	✓
HEMLOCK GREEN	0.31	0.87	0.30	32	✓	✓	✓
HUNTER GREEN	0.28	0.86	0.27	27	✓	✓	✓
INTERSTATE BLUE	0.16	0.87	0.15	12	✓	✓	✓
MANSARD BROWN	0.31	0.86	0.31	31	✓	✓	✓
MATTE BLACK STEEL**	0.26	0.86	0.25	25	✓	✓	✓
MEDIUM BRONZE	0.30	0.87	0.29	31	✓	✓	✓
MIDNIGHT BRONZE	0.06	0.87	0.06	0	✓	✓	✓
MILITARY BLUE	0.31	0.86	0.30	31	✓	✓	✓
MUSKET GRAY	0.32	0.86	0.31	33	✓	✓	✓
NAVY BLUE	0.38	0.86	0.37	37	✓	✓	✓
ROOF FINISH COLOR	0.33	0.86	0.32	34	✓	✓	✓
SANCTONE	0.48	0.86	0.48	54	✓	✓	✓
SHERPA TAN	0.32	0.82	0.31	31	✓	✓	✓
SLATE GRAY	0.38	0.86	0.37	41	✓	✓	✓
STONE WHITE	0.09	0.86	0.07	84	✓	✓	✓
TAL	0.32	0.86	0.32	33	✓	✓	✓
TERRA COTTA	0.34	0.87	0.33	36	✓	✓	✓

PAC-CLAD PREMIUM COLORS	REFLECTIVITY	EMISSIVITY	3 YEAR EXPOSURE	SRI	STEEL 24 GA.	ALUMINUM .040 .050 .063 24 GA. .032	20-IN. COIL .032
AGED COPPER	0.55	0.80	0.53	62	✓	✓	✓
ANODIC CLEAR	0.32	0.83	0.31	31	✓	✓	✓
CHAMPAGNE	0.50	0.85	0.49	57	✓	✓	✓
COPPER PENNY	0.52	0.81	0.52	58	✓	✓	✓
SILVER	0.47	0.87	0.46	53	✓	✓	✓
SILVERSMITH	0.32	0.88	0.32	34	✓	✓	✓
WEATHERED COPPER	0.45	0.88	N/A	51	✓	✓	✓
WEATHERED STEEL	0.32	0.89	N/A	34	✓	✓	✓
WEATHERED ZINC	0.48	0.82	0.48	53	✓	✓	✓
ZINC	0.42	0.82	0.38	45	✓	✓	✓
CLEAR-COAT ACRYLIC FINISH (NON-KYNAR)							
GALVALUME PLUS	0.68	0.34	0.55	57	✓	✓	✓

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is Non-Weathering Finish. Solar Reflectance Index calculated according to ASTM E-1080.  
\*Low Gloss/Low Sheen, 70% PVDF finish \*\* Appearance differs for Black Aluminum and Matte Black Steel \*\*\* 10-year finish warranty

**100,000 HOURS FINISH WARRANTY (SEE COATING)**  
➤ South Florida Exposure: Color (ASTM D 2244) - No more than 5SE Hunter units at 20 years. Chalk (ASTM D 4214) - Rating no less than E at 10 years. Film integrity - 20 years  
➤ Accelerated Weathering (ASTM D 4389) - ASTM D 1545: 5000 hours. Chalk, per ASTM D 4214, rating of E or better. Color, per ASTM D 2244, < 5SE Hunter Units (no color change)  
➤ Humidity Resistance (ASTM D 2533) - Galvalume or HDG: 100% RH, 2000 hours - No Red Stains. Aluminum: 100% RH.  
➤ Salt Spray Resistance (ASTM B 117): Aluminum: 3000 hours, creep from center no more than 1/16" (2mm), no Red Stains. Galvalume or HDG: 2000 hours, creep from center no more than 1/16" (2mm), no Red Stains.  
➤ Chemical/Pollution Resistance (ASTM D 1308): Pass  
➤ 1-Sun (ASTM D 1453) 11-31° with no loss of adhesion  
➤ Pencil hardness (ASTM D 3363) HB - 2H  
➤ Specimen Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 25  
➤ Abrasion Resistance (ASTM D 1658) 500 cycles/100 cm x 1.0 liter  
➤ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion  
➤ Reverse Impact (ASTM D 2794): Galvalume or HDG: 2x metal thickness inch-pounds, no loss of adhesion. Aluminum: 1.5x metal thickness inch-pounds, no loss of adhesion  
➤ Flame Test (ASTM E 84): Class A Coating

PAC-CLAD is a registered trademark of Petersen Aluminum Corp. Kynar 500 is a registered trademark of Arkema Inc. Hylar 5000 is a registered trademark of Solvay Solvite, 6024.

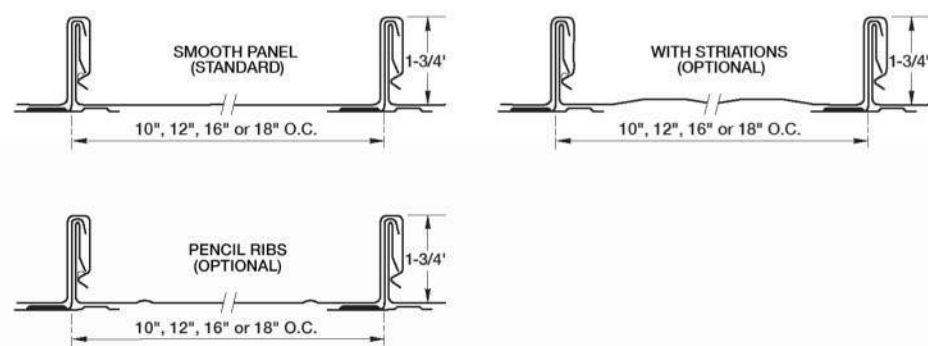
SHED ROOF - BASIS OF DESIGN

SNAP-CLAD PANEL

**MATERIALS**  
.032 aluminum 24 gauge steel  
.040 aluminum 22 gauge steel

**SPECS**  
10", 12", 16" or 18" O.C. 1-3/4" High

UL-90



PRODUCT FEATURES

- Architectural/structural panel
- Factory-applied sealant available
- Continuous interlock
- Labor-saving one-piece design
- Pencil ribs upon request
- Striations upon request
- Factory eave notching available
- 30-year-non-porated finish warranty
- Maximum factory-produced panel length is 64' (check w/factory for longer lengths)
- Weather-tightness warranty available
- 43 stocked colors (24 gauge steel)
- 16 Stocked colors (22 gauge steel)
- 36 stocked colors (.032 aluminum)
- 22 stocked colors (.040 aluminum)
- Panels available in Galvalume Plus
- UL CLASSIFICATION
  - UL-580 Class 90 wind uplift
  - UL-1897 wind uplift
  - UL-790 Class A fire rated
  - UL-263 fire resistance rated
  - UL-2218 impact resistance rated
- UL-90 rated aluminum panel up to 18" O.C.
- UL-90 rated steel panel up to 18" O.C.

**ASTM TESTS**  
➤ ASTM E1592 tested  
➤ ASTM E283/1680 tested  
➤ ASTM E331/1646 tested  
**FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS**  
Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

Note: UL 90 is available on steel panels up to 18" on center, and on aluminum panels up to 16" on center.



800 PAC CLAD | PAC-CLAD.COM

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KARABACHIAN ARCHITECTS, INC.

ARCHITECT

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ADMIN@KARABACHIAN.COM  
WWW.KARABACHIAN.COM  
CA LICENSE: C-38632

OWNER

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GLENDALE, CALIFORNIA 91201  
M: 323-447-7819  
DANIELBAS@GMAIL.COM

CONSULTANTS

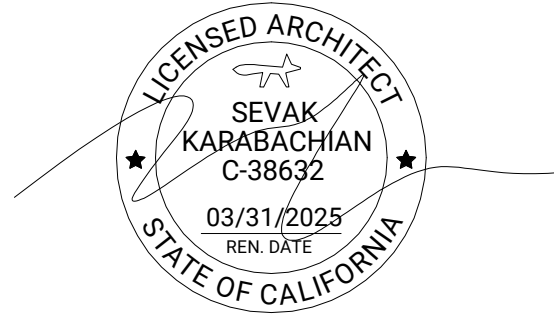
STRUCTURAL ENGINEER

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SYLMAR, CALIFORNIA 91342 M:  
818-928-5172  
E: TELIAN.VARTAN@GMAIL.COM

MECHANICAL ENGINEER

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PATTS MECHANICAL ENG. GROUP  
9154 TUJUNGA CANYON BLVD  
TUJUNGA, CA 91042  
M: 818-281-0470  
PATRICNOV@PATSMECH.COM

NO.	ISSUE	DATE



PROJECT ADDRESS:

**1035 RAYMOND AVE**  
GLENDALE, CA 91201

**NEW CONSTRUCTION 2ND RESIDENCE UNIT**

TITLE:

MATERIAL CUTSHEETS

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX



KARABACHIAN  
ARCHITECTS, INC.

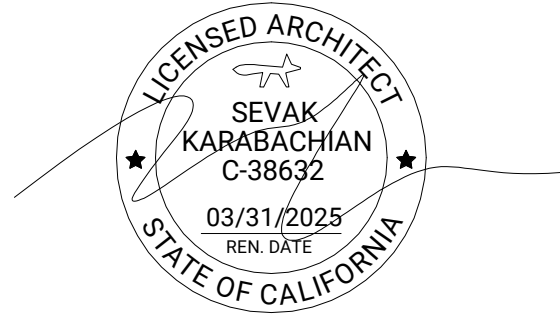
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NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

TITLE:  
**WINDOW DETAILS**

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

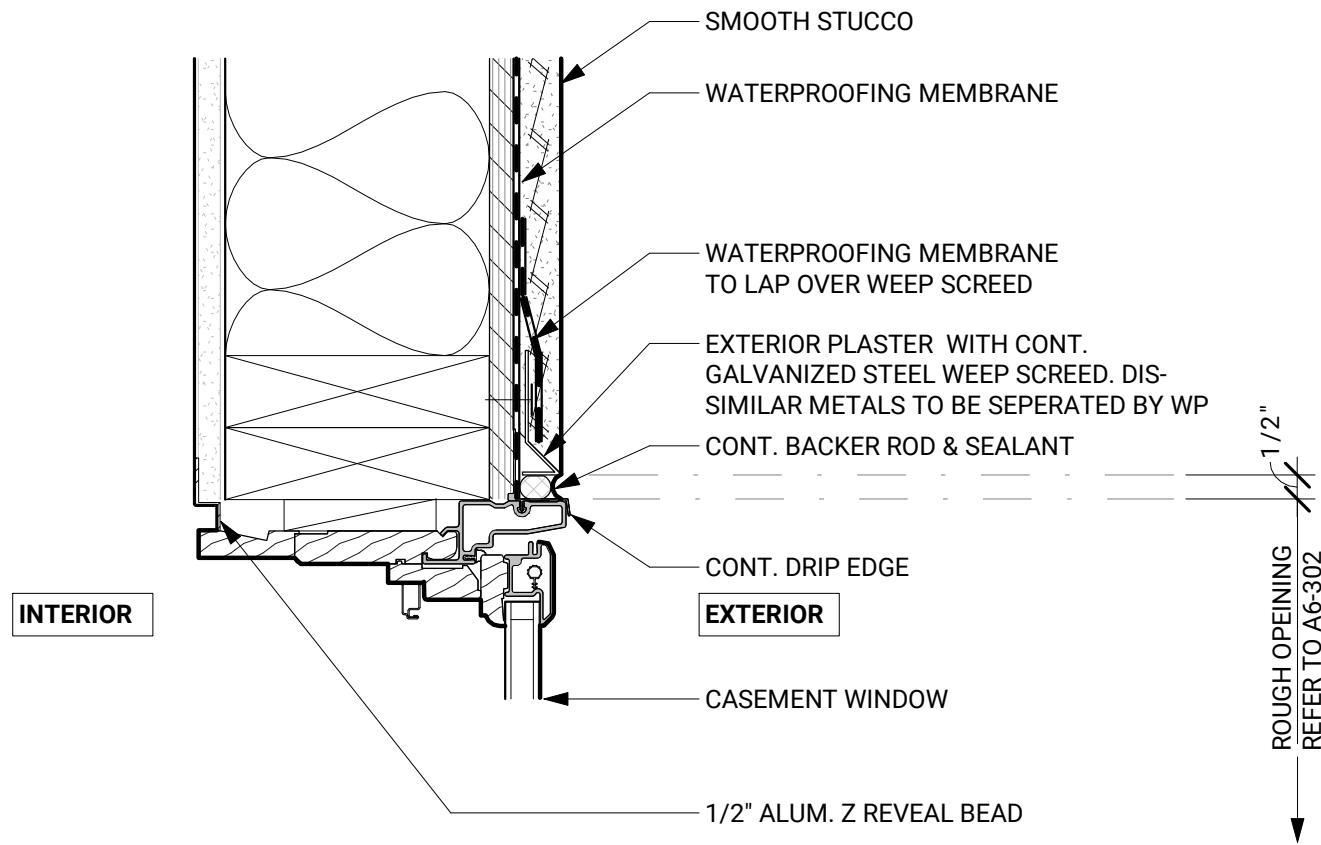
ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:  
2023-028  
SCALE:  
3" = 1'-0"

DATE:  
10/09/2024

SHEET NUMBER:

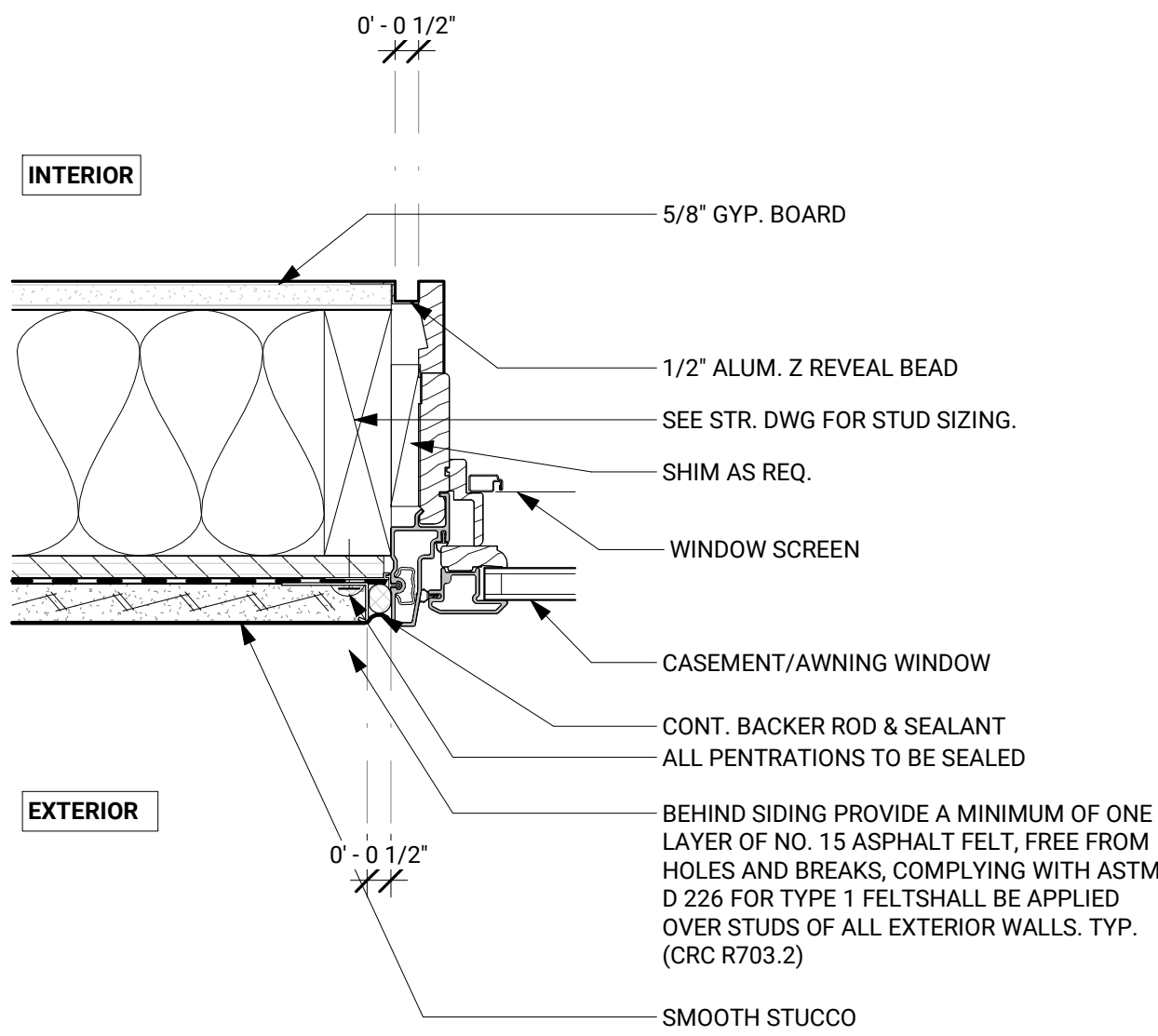
A4-301



HEAD DETAIL - CASEMENT WINDOW

SCALE  
3" = 1'-0"

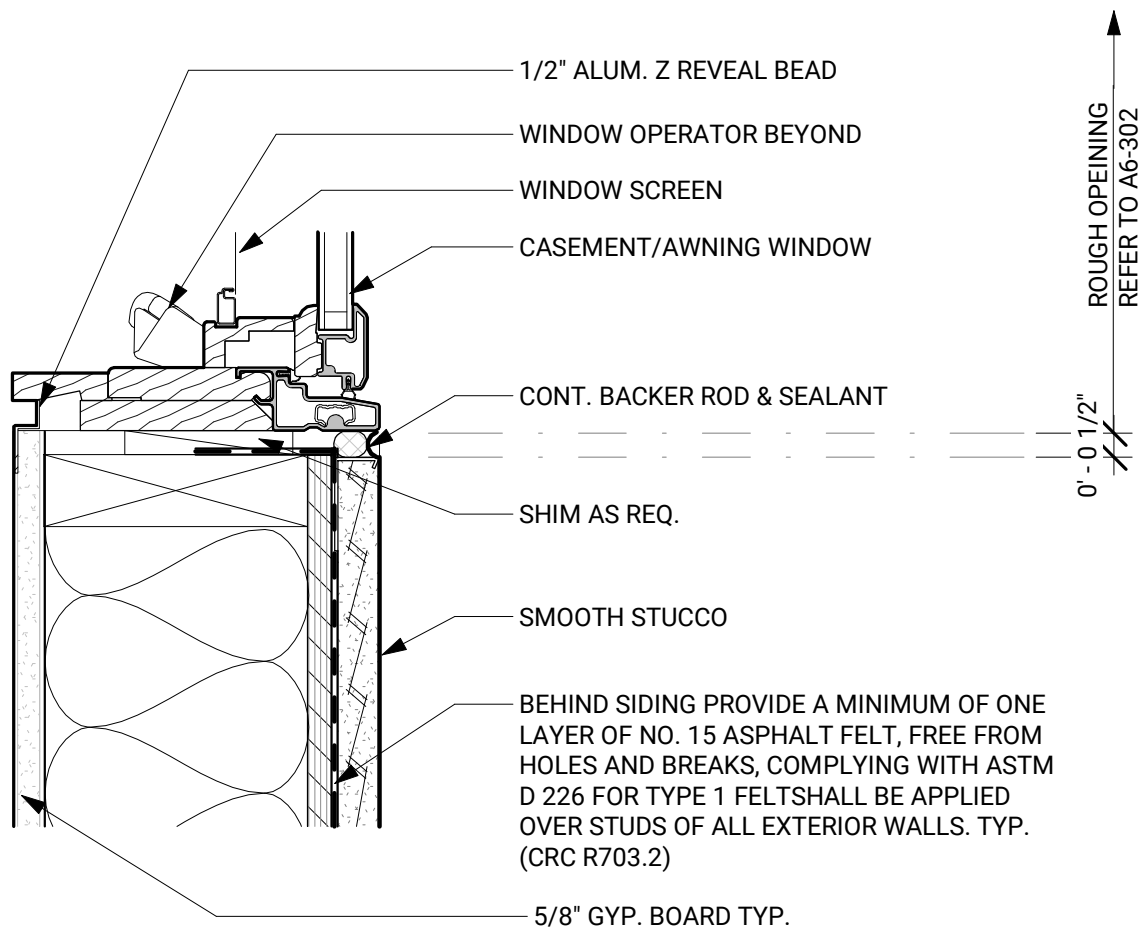
9



JAMB DETAIL - CASEMENT WINDOW

SCALE  
3" = 1'-0"

8



SILL DETAIL - CASEMENT WINDOW

SCALE  
3" = 1'-0"

7



KARABACHIAN ARCHITECTS, INC.

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WINDOW SCHEDULE																						
WINDOW NUMBER	NEW OR EXISTING	QUANTITY	DIMENSIONS		MATERIAL	VISIBLE FROM STREET	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL)	KEEP EXISTING SILL & FRAME	BUILD NEW SILL & FRAME	EXISTING EDGE DETAIL	NEW EDGE DETAIL	DETAIL REFERENCE			BEDROOM	ENERGY EFFICIENT	TEMPERED GLASS	FIRED HAZARD ZONE	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR
			WIDTH	HEIGHT											HEAD	JAMB	SILL					
1	NEW	2	4' - 0"	5' - 0"	ALUM./WOOD	N	N/A	CASEMENT	NAIL-IN	N	N/A	N	N/A	NO FRAME	9/A4-301	8/A4-301	7/A4-301	N	Y	N	Y	N
2	NEW	1	4' - 0"	3' - 6"	ALUM./WOOD	N	N/A	CASEMENT	NAIL-IN	N	N/A	N	N/A	NO FRAME	9/A4-301	8/A4-301	7/A4-301	N	Y	N	Y	N
3	NEW	5	5' - 0"	5' - 0"	ALUM./WOOD	N	N/A	CASEMENT	NAIL-IN	N	N/A	N	N/A	NO FRAME	9/A4-301	8/A4-301	7/A4-301	Y	Y	N	Y	N
4	NEW	2	3' - 0"	5' - 3 1/8"	ALUM./WOOD	N	N/A	CASEMENT	NAIL-IN	N	N/A	N	N/A	NO FRAME	9/A4-301	8/A4-301	7/A4-301	N	Y	REFER TO A2-102	Y	N

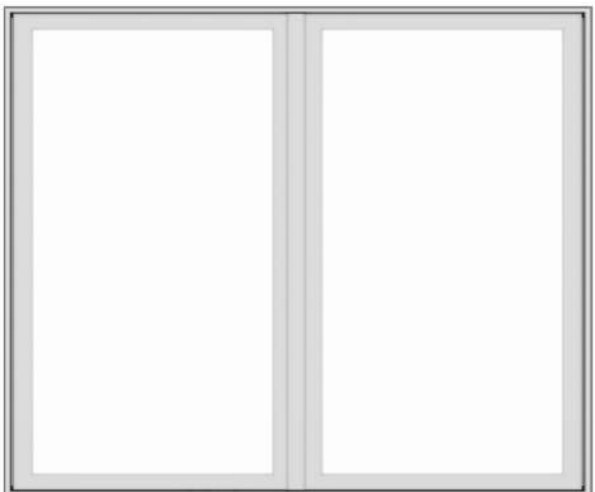
TYPE 1,2,3 - NEW FRENCH CASEMENT WINDOW

E-Series French Casement Window | Andersen Windows

TYPE 4 - NEW CASEMENT WINDOW

E-Series Casement Window | Andersen Windows

E-SERIES FRENCH CASEMENT WINDOWS



Exterior

E-SERIES CASEMENT WINDOWS



Exterior

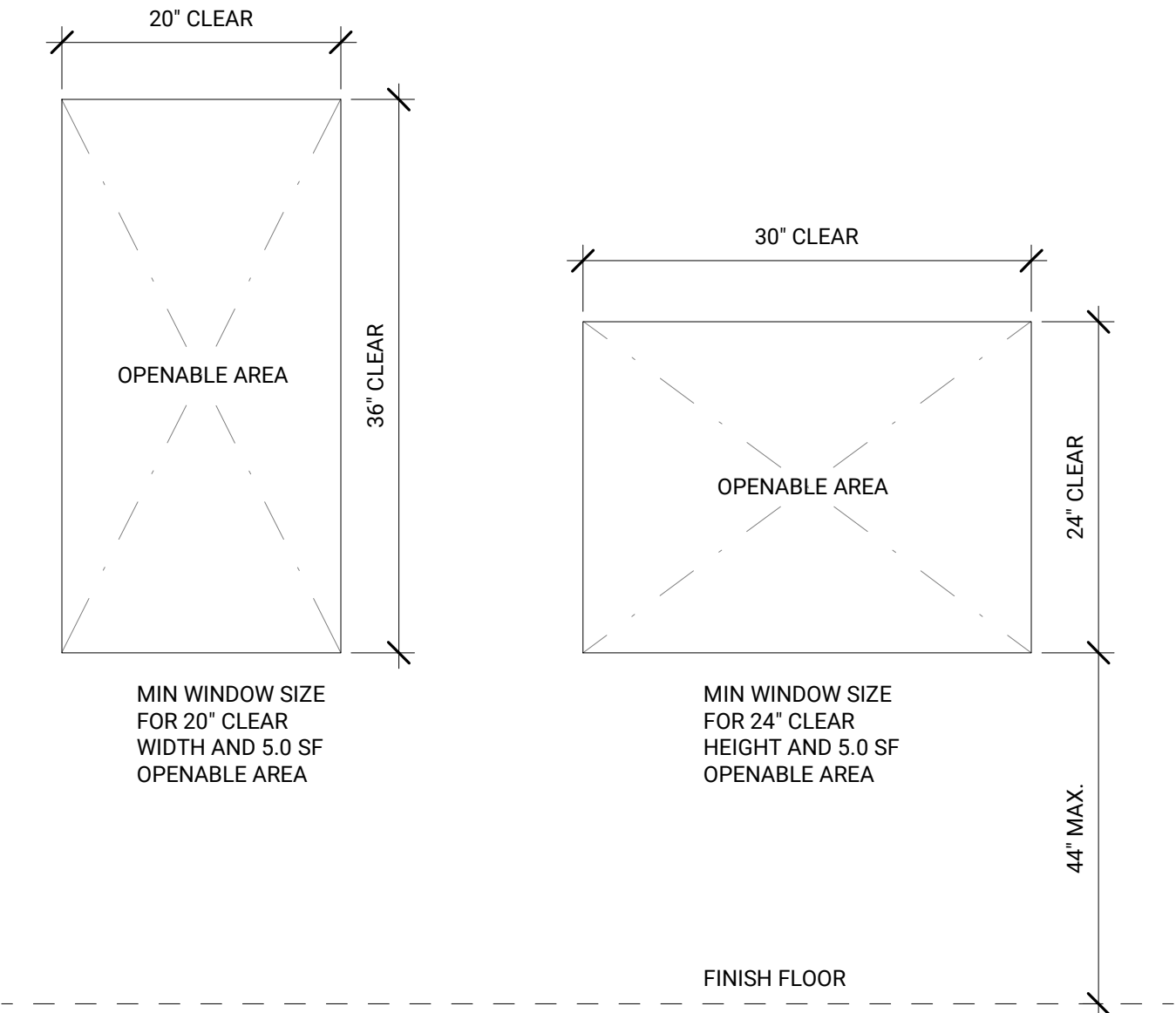
Summary

Product ID#	FCMT5050
Unit Width	60"
Unit Height	60"
Interior Color	Anodized Silver
Glass	Dual-Pane Glass
Hardware	Crank Handle and Operator Cover, White
Grille Pattern	None
Exterior Frame Color	Black
Exterior Sash Color	Black
Exterior Trim Profile	None

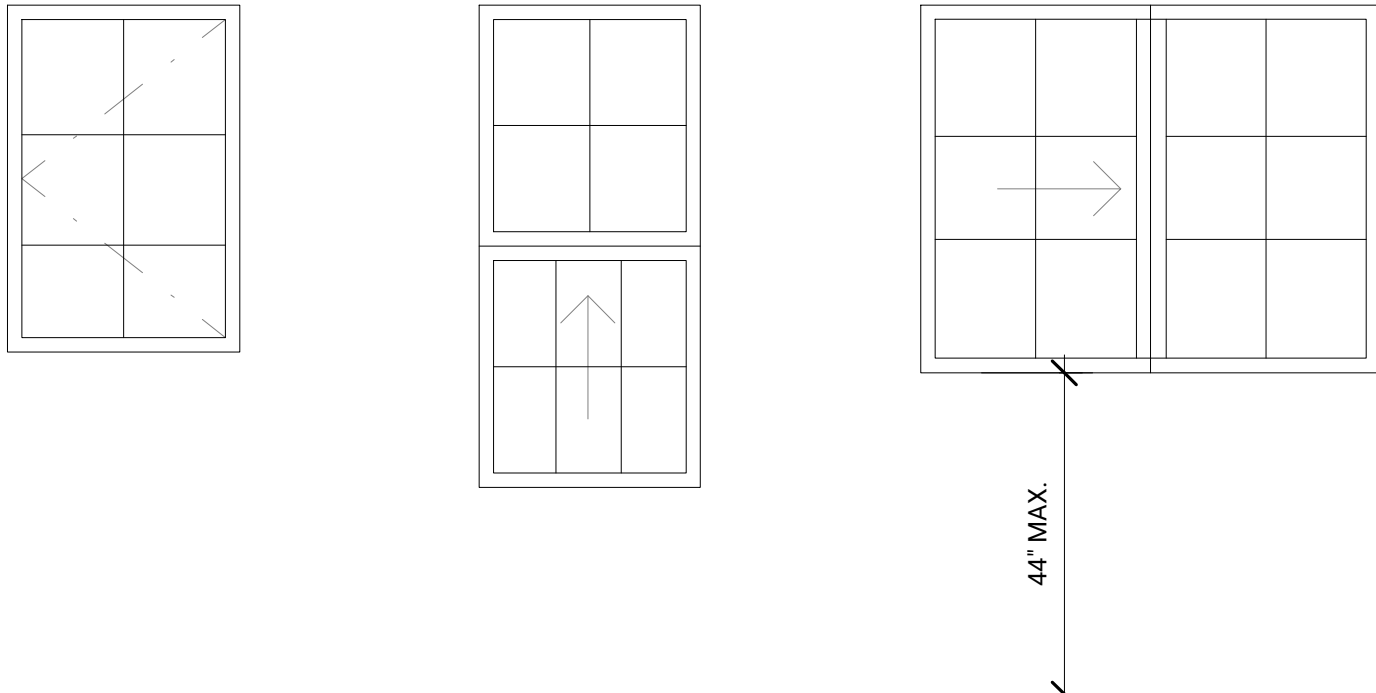
Summary

Product ID#	CMT3050
Unit Width	36"
Unit Height	60"
Interior Color	Anodized Silver
Glass	Dual-Pane Glass
Hardware	Crank Handle and Operator Cover, Bright Chrome
Grille Pattern	None
Exterior Frame Color	Black
Exterior Sash Color	Black
Exterior Trim Profile	None

THE FOLLOWING WINDOW SIZES WILL BE THE MINIMUM ALLOWED FOR 5.0 SF



- 20" MIN CLEAR WIDTH
- 24" MIN CLEAR HEIGHT
- 5.0 SF MIN. OPENABLE AREA AT GRADE FLOOR ONLY, 5.7 SF MIN ELSEWHERE.



SINGLE CASEMENT: 2'-4"X4'-0" 2'-6"X3'-6" DOUBLE CASEMENT: 4'-8"X 4'-0" CASEMENT/FIXED COMBO: 7'-0"X4'-0" OTHER WINDOW TYPES: AWNING & BAY W/ FIXED CENTER: NONE W/O MANUF. DATA.	SINGLE / DOUBLE HUNG: 3'-0"X5'-0" 3'-0"X5'-6" 3'-4"X5'-0" 3'-8"X5'-0" 4'-0"X5'-0"  SINGLE / FIXED COMBO: NONE W/O MANUF DATA.	SLIDER: 4'-0"X4'-0" 5'-0"X3'-6" 6'-0"X3'-0"  SLIDER / FIXED COMBO: 8'-0"X4'-0" 10'-0"X4'-0" 12'-0"X3'-0"
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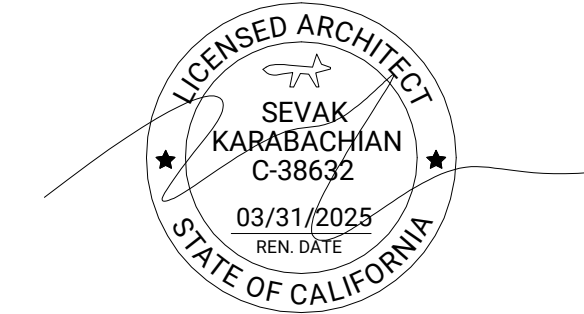
GENERAL NOTES:

- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- GLASS PANES WITHIN 18" AFF OR LESS SHALL BE TEMPERED.
- WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 2-1/2" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN A 30 DEGREE POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

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NO.	ISSUE	DATE



PROJECT ADDRESS:  
**1035 RAYMOND AVE**  
GLENDALE, CA 91201

NEW CONSTRUCTION 2ND  
RESIDENCE UNIT

WINDOW TYPE & SCHEDULES

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:  
2023-028

SCALE:  
1" = 1'-0"

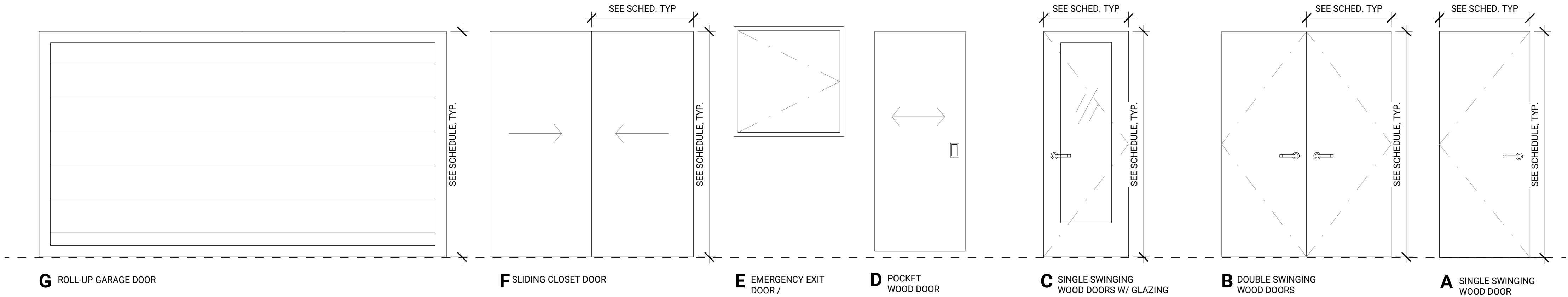
DRAWN BY:  
DATE:  
10/09/2024

SHEET NUMBER:

A6-401







DOOR SCHEDULE													
DOOR NUMBER	DOOR TYPE	DOOR SIZE		LOCATION	FRAME TYPE	DETAILS			DESCRIPTION	FINISH			
		WIDTH	HEIGHT			HEAD	JAMB	SILL		DOOR	FRAME	COMMENTS	
101.1	C	3' - 0"	7' - 0"	Exterior								PRIMARY ENTRY	
110.1	G	16' - 0"	7' - 0"	Exterior								GARAGE DOOR	
111.1	G	16' - 0"	7' - 0"	Exterior								GARAGE DOOR	
102.1	C	3' - 0"	7' - 0"	Interior									
102.2	53	4' - 0"	7' - 0"	Interior									
102.4	34	3' - 0"	7' - 0"	Interior									
104.1	A	2' - 6"	7' - 0"	Interior					Contemporary Door				
105.1	F	6' - 0"	6' - 8"	Interior									
106.1	A	2' - 8"	7' - 0"	Interior					Contemporary Door				
106.2	F	6' - 0"	7' - 0"	Interior									
107.1	A	2' - 8"	7' - 0"	Interior					Contemporary Door				
108.1	A	2' - 8"	7' - 0"	Interior					Contemporary Door				
109.1	A	2' - 8"	7' - 0"	Interior					Contemporary Door				
109.2	F	7' - 0"	6' - 8"	Interior									

#### RESIDENTIAL SECURITY NOTES:

ALL OPENINGS MARKED \* ARE SECURITY OPENINGS AND THE FOLLOWING NOTES SHALL APPLY:

- EACH UNIT IN A RESIDENTIAL DEVELOPMENT SHALL BE KEYED DIFFERENTLY THAN ANY OTHER UNITS UNDER THE SAME GENERAL PLAN. A CERTIFICATE FROM THE LOCK SUPPLIER DECLARING THAT ALL LOCKS SUPPLIED TO THE PROJECT ARE KEED SEPARATELY SHALL BE ACCEPTABLE AS COMPLYING WITH THE ABOVE REQUIREMENTS.
- DOOR JAMBS SHALL HAVE A SOLID BACKING WITH NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF SIX (6) INCHES (153MM) EACH SIDE OF THE STRIKE.
- IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR THREE (3) STUD SPACES EACH SIDE OF THE DOOR OPENINGS. JAMBS SHALL HAVE SOLID BACKING AGAINST SOLE PLATES.
- IRON OR STEEL SCREENS SHALL BE 1/8" THICK WITH 2" MESH SECURELY FASTENED.
- IRON BARS SHALL BE 1/2" DIAMETER BARS OR 1" X 1/4" FLAT STEEL SPACED AT 5" MAX. SECURELY FASTENED.
- CYLINDER GUARDS SHALL BE ATTACHED WITH 1/2" CONNECTING SCREWS, AND SHALL BE INSTALLED WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR, OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- DOOR STOPS FOR IN-SWINGING DOORS SHALL BE INTEGRATED (RABETTED) WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.
- THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD FRAME DOORS SHALL BE CONSTRUCTED OF AT LEAST SIXTEEN (16) U.S. GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS.
- HINGES FOR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVING THE HINGE PINS.
- LOUVERED WINDOWS SHALL NOT BE USED WHEN ANY PORTION OF THE WINDOW IS LESS THAN 12 FEET (3658MM) VERTICALLY OR 6 FEET (1829MM) HORIZONTALLY FROM AN ACCESSIBLE SURFACE OR ANY ADJOINING ROOF, BALCONY, LANDING, STAIR TREAD, PLATFORM, OR SIMILAR STRUCTURE.

## KARABACHIAN ARCHITECTS, INC.

**ARCHITECT**  
SEVAK KARABACHIAN, RA  
3234 1/2 FOOTHILL BLVD  
GLENDALE, CALIFORNIA 91214  
M: 626-552-5746  
ADMIN@KARABACHIAN.COM  
WWW.KARABACHIAN.COM  
CA LICENSE: C-38632

#### OWNER

ARMCAT LLC.  
1035 RAYMOND AVE.  
GLENDALE, CALIFORNIA 91201  
M: 323-447-7819  
DANIELBAS@GMAIL.COM

#### CONSULTANTS

##### STRUCTURAL ENGINEER

VARTAN TELIAN, PE  
11776 PIERCE ST.  
SYLMAR, CALIFORNIA 91342 M:  
818-928-5172  
E: TELIAN.VARTAN@GMAIL.COM

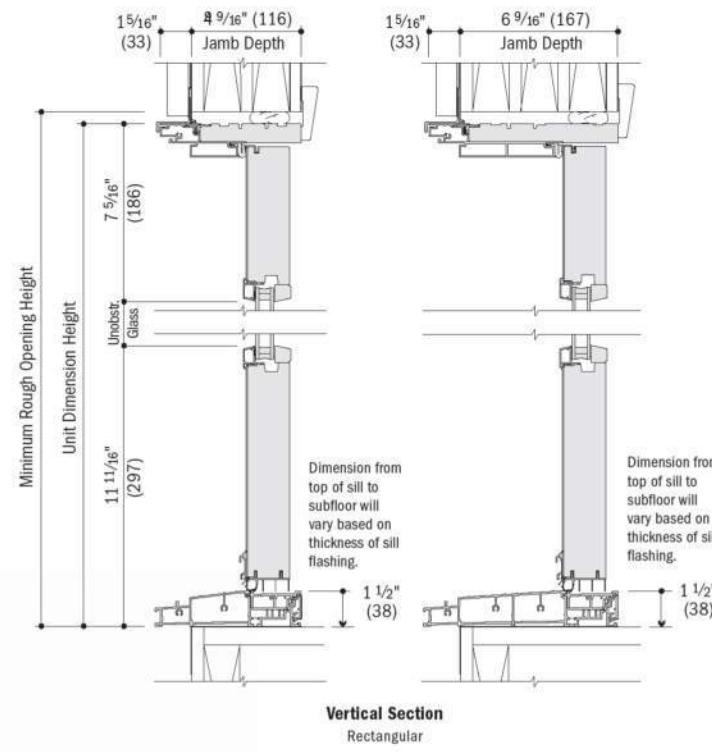
##### MECHANICAL ENGINEER

PATRIC NOVSHADIAN, PE  
PAT'S MECHANICAL ENG. GROUP  
9154 TUJUNGA CANYON BLVD  
TUJUNGA, CA 91042  
M: 818-281-0470  
PATRICNOV@PATSMECH.COM

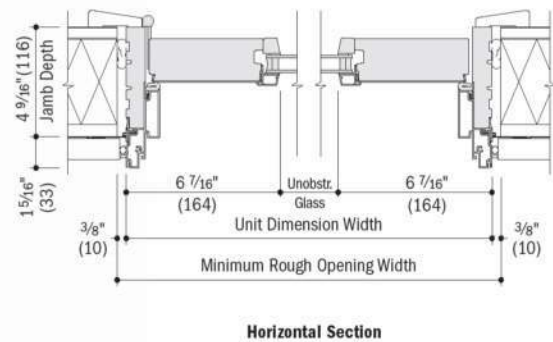
#### DOOR TYPE - C

##### ENTRY DOORS

Arch and Rectangular Inswing Entry Door Details – 4 9/16" (116) and 6 9/16" (167) Jamb Depth  
Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Arch and Rectangular Inswing Entry Door Details – 4 9/16" (116) Jamb Depth  
Scale 1 1/2" (38) = 1'-0" (305) – 1:8



- 4 9/16" (116) and 6 9/16" (167) jamb depth measurements are from back side of installation flange.
- Light-colored areas on parts included with door. Dark-colored areas are additional Andersen® parts required to complete door assembly as shown.
- Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Dimensions in parentheses are in millimeters.
- Clear details shown, vented also available.

#### DOOR TYPE - G

##### CLOPAY GARAGE DOOR



##### Highlights

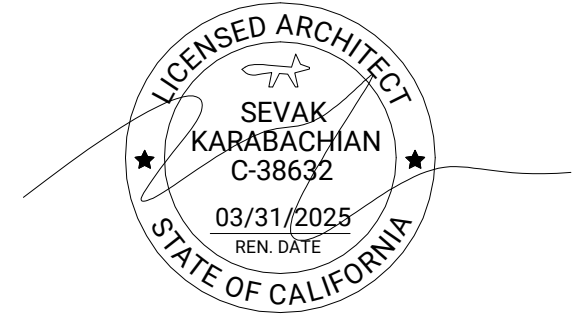
- Basic construction 1-layer steel construction (non-insulated steel)
- 2 in. thick 25-gauge steel
- EZ-SET torsion spring system is included
- Steel skins and durable steel door provide strength and durability
- Traditional overhead door is compatible with automatic garage door openers
- Bottom weather seal in rust-proof retainer helps seal floors and is easily replaced
- Rear track hanger kit not included, purchase separately with sku #235668
- Low headroom conversion kit not included, purchase separately with sku #773844
- Replacing your garage door offers over 100% return on investment
- Additional items may be needed to complete the install, please see installation guide to learn more
- Our local, expert installation team will make sure your garage door project runs smoothly from start to finish
- [Best Garage Doors For Your Home](#)
- [Click here to design your Custom Clopay Garage Door](#) and schedule an install
- [Don't forget your garage door accessories](#)
- [Return Policy](#)

##### Product Information

Internet # 204598371  
Model # HDB\_SW\_SOL

Dimensions	
Garage Door Size	16 ft x 7 ft
Product Depth (in.)	2 in
Product Height (in.)	84 in
Product Width (in.)	192 in
Details	
Color Family	White
Door Configuration	Double Door
Features	Paintable
Garage Door Collection	Classic
Garage Door Color	White
Garage Door Style	Classic
Included	Instructions
Insulation R-Value	0
Material	Steel
Product Type	Without Windows
Product Weight (lb.)	216 lb
Returnable	90-Day
WindCode Rating	No WindCode Rating

NO.	ISSUE	DATE



PROJECT ADDRESS:

**1035 RAYMOND AVE**  
GLENDALE, CA 91201

**NEW CONSTRUCTION 2ND  
RESIDENCE UNIT**

TITLE:

## DOOR TYPE & SCHEDULES

PERMIT #: PADR-004032-2024

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

**2023-028**

SCALE:

**1/2" = 1'-0"**

DRAWN BY:

DATE:

**10/09/2024**

SHEET NUMBER:

**A6-402**



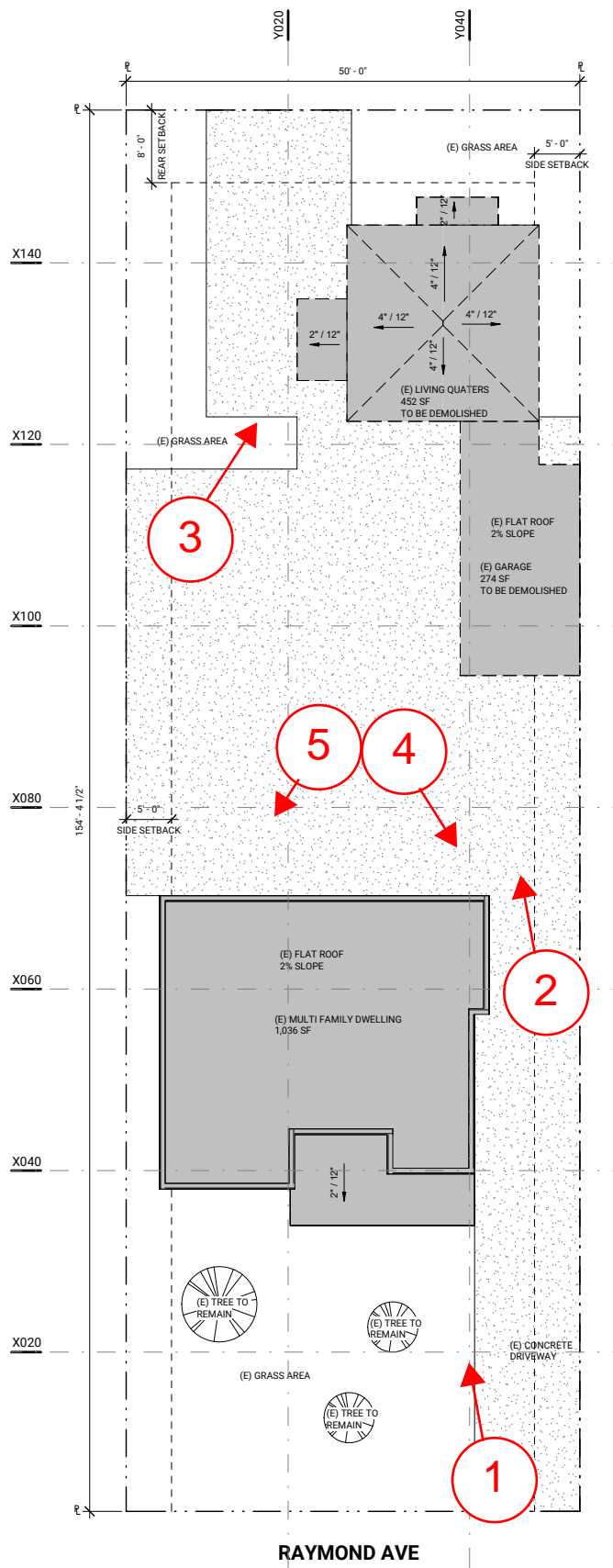






IMAGE 1

1035 RAYMOND AVE  
11/14/2023





IMAGE 2

1035 RAYMOND AVE  
11/14/2023





**IMAGE 3**

1035 RAYMOND AVE  
11/14/2023





**IMAGE 4**

1035 RAYMOND AVE  
11/14/2023





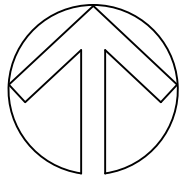
IMAGE 5

1035 RAYMOND AVE  
11/14/2023

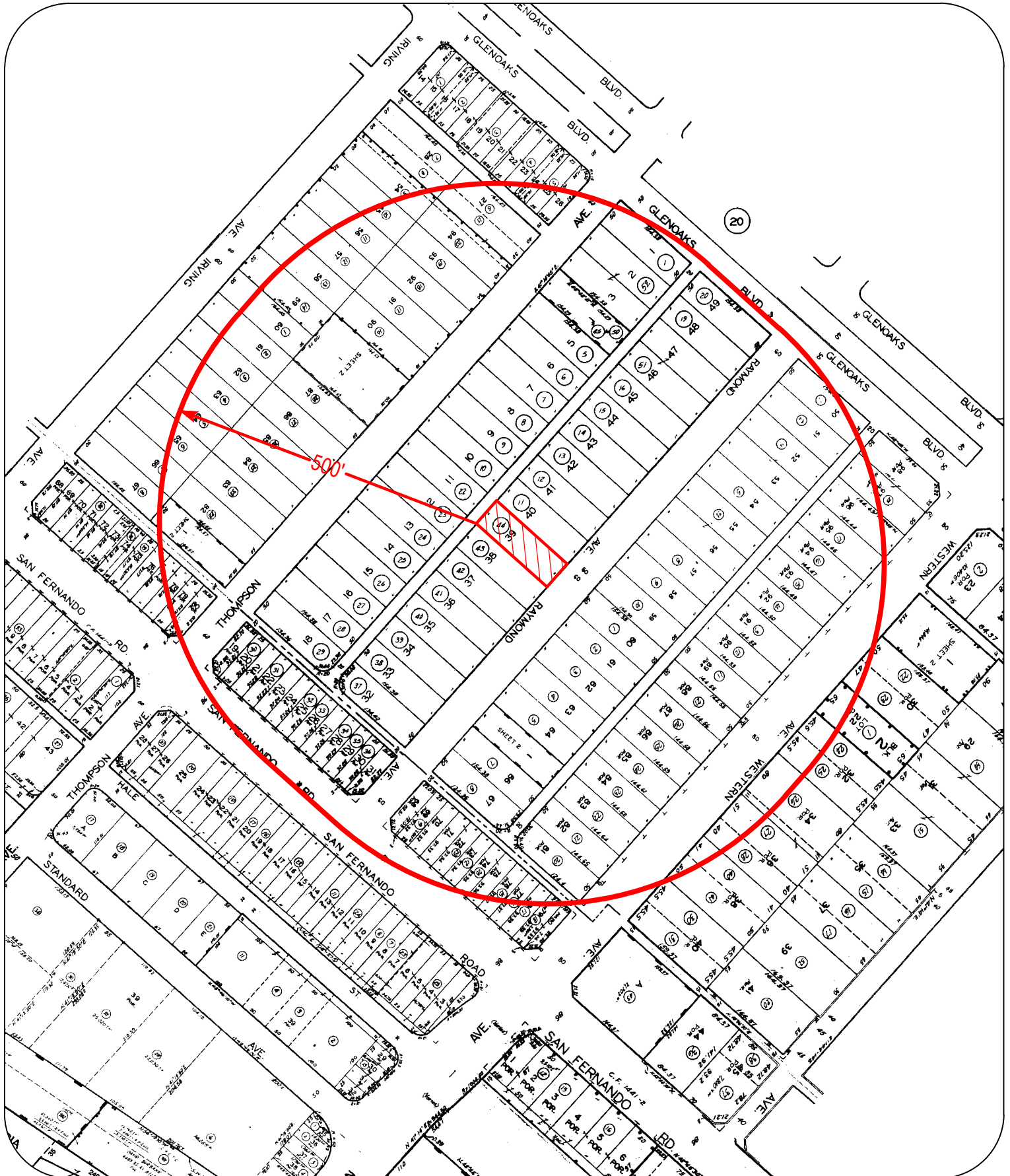
## PROJECT INFORMATION

1035 RAYMOND AVE  
GLENDALE, CA.  
24-241

LOCATION MAP



SCALE 1" = 200'







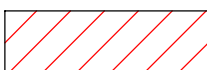
*More Services*  
**JOE MORENO**  
 (626) 350-5944  
 moreservicesmapping.com  
 moreservices@sbcglobal.net  
 OWNERSHIP / OCCUPANTS LIST - RADIUS MAPS - LAND USE  
 PLANS - MUNICIPAL COMPLIANCE CONSULTING  
 12106 LAMBERT AVE. EL MONTE, CA 91732 - (909) 256-3482

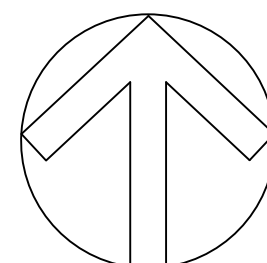
### PROJECT INFORMATION

1035 RAYMOND AVE.  
 GLENDALE, CA.  
 24-241

### ZONING MAP

SCALE 1" = 100'

 = SUBJECT LOT







**JOE MORENO**  
(626) 350-5944

moreservices@sbcglobal.net  
moreservicesmapping.com

OWNERSHIP / OCCUPANTS LIST  
RADIUS MAPS - LAND USE - PLANS  
MUNICIPAL COMPLIANCE CONSULTING

12106 LAMBERT AVE. EL MONTE, CA 91732  
UPLAND, CA 91784 -(909)256-3482

## PROJECT INFORMATION

1035 RAYMOND AVE

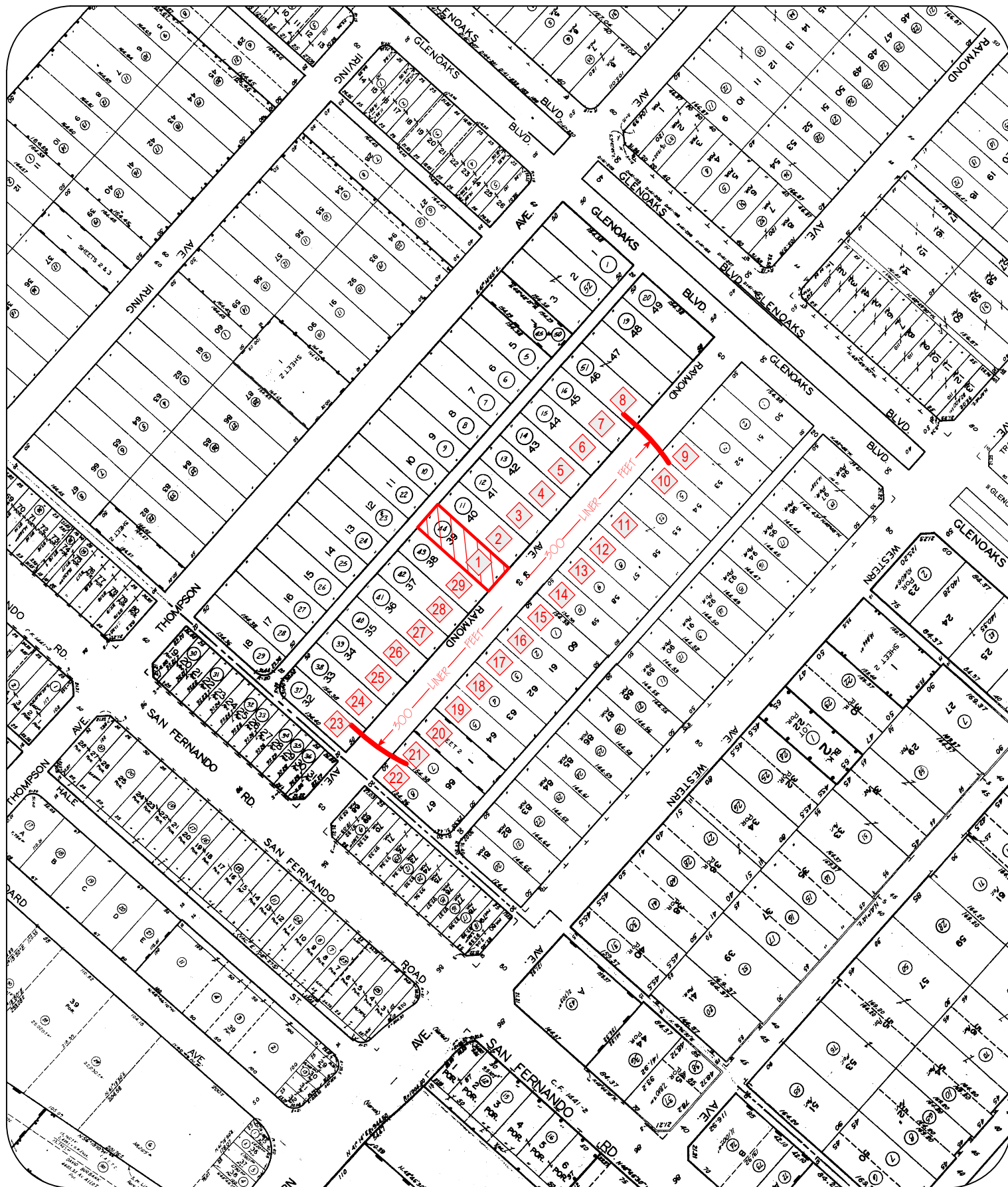
GLENDALE, CA.

24-325

300 LINER FOOT

SURVEY / PHOTO MAP

SCALE 1" = 200'





## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 1 OF 15



1

**SUBJECT PROPERTY:**  
**1035 RAYMOND AVE**



2

**1039 RAYMOND AVE**



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 2 OF 15



3

1041 RAYMOND AVE



4

1045 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 3 OF 15



5

1049 RAYMOND AVE



6

1053 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 4 OF 15



7

1057 RAYMOND AVE



8

1063 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 5 OF 15



9

1060-1062 RAYMOND AVE



10

1056 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 6 OF 15



11

1050 RAYMOND AVE



12

1044 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 7 OF 15



13

1042 RAYMOND AVE



14

1038 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 8 OF 15



15

1034 RAYMOND AVE



16

1030 RAYMOND AVE



**PROJECT INFORMATION**

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 9 OF 15



17

1026 RAYMOND AVE



18

1024 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 10 OF 15



19

1020 RAYMOND AVE



20

1016 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 11 OF 15



21

1014 RAYMOND AVE



22

1010-1012 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 12 OF 15



23

1011 RAYMOND AVE



24

1013 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 13 OF 15



25

1017 RAYMOND AVE



26

1021 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 14 OF 15



27

1025 RAYMOND AVE



28

1027 RAYMOND AVE



## PROJECT INFORMATION

1035 RAYMOND AVE.  
GLENDALE, CA.  
24-325

PHOTO SURVEY  
SHEET 15 OF 15



29

1031 RAYMOND AVE





**CITY OF GLENDALE, CALIFORNIA**  
Community Development  
Planning

633 E. Broadway, Suite 103  
Glendale, CA 91206-4311  
Tel. (818) 548-2140 Fax (818) 240-0392  
glendaleca.gov

September 20, 2024

Sevak Karabachian  
1035 Raymond Avenue  
Glendale, CA 91201

**RE: 1035 RAYMOND AVENUE  
ADMINISTRATIVE EXCEPTION CASE NO. PAE-002971-2024**

Dear Mr. Karabachian:

Pursuant to the provisions of the Glendale Municipal Code (GMC), Title 30, Chapter 30.44.020 (E), the Community Development Department has processed your application for an Administrative Exception to allow for a maximum twenty (20) percent deviation from one or more numeric standards in Title 30, to allow a one-foot reduction (20% deviation) from the minimum interior setback requirement of five-feet zero inches (5'-0") in conjunction with the construction of a new 1,038 square-foot single-story dwelling unit with two attached two-car garages accessed from a new driveway at the rear alley. Additionally, the development involves the demolition of an existing 274 square-foot detached one-car garage, an existing detached 452 square-foot structure, and the removal of the existing street front driveway located at **1035 Raymond Avenue**, in the "R-2250" - Medium Density Residential zone, and described as Lot 39, Tract No. 4516, in the City of Glendale, County of Los Angeles.

**ENVIRONMENTAL DETERMINATION:**

The project is exempt from CEQA review as a Class 3 "New construction or Conversion of Small Structures" exemption, pursuant to State CEQA Guidelines Section 15303(a), because the project involves the development of a second dwelling unit in a residential zone.

**REQUIRED/MANDATED FINDINGS**

After considering the evidence presented with respect to this application, the plans submitted therewith, the Community Development Department has **GRANTED WITH CONDITIONS**, your application based on the following findings:



**A. The granting of the exception will result in design improvements, or there are space restrictions on the site that preclude full compliance with the Code requirements without hardship.**

The subject property is a 7,700 square-foot lot that was originally developed in 1924 with an existing 1,036 square-foot, one-story, single-family residence with a detached 275 square-foot one-car garage. The project site is located mid-block on the western side of Raymond Avenue, between West Glenoaks Avenue to the northeast, and North San Fernando Road to the southwest. Access to the property is from Raymond Avenue and a 20-foot wide alley at the rear (west) property line. The proposed project involves the construction of a new 1,038 square-foot single-story dwelling unit with two attached 445.5 square-foot two-car garages and a new driveway accessed from the rear alley. Additionally, the project includes the demolition of the existing 274 square-foot detached one-car garage and a 452 square-foot structure and the removal of the existing driveway located along Raymond Avenue.

The space restriction that precludes the project from full compliance with the Zoning Code is the 50'-0" lot width. In accordance with Chapter 30.32.050 Table 30-32-A of the Zoning Code, each residential unit is required to provide a minimum of two off-street parking spaces that are fully enclosed with minimum interior clear dimensions of 20'-0" wide by 20'-0" deep, along with a minimum 16'-0" wide garage door. Based on the zoning code requirements, the total width of the two garages will be approximately 41'-1", resulting in a 4'-0" interior setback along the westerly property line and 4'-1" along the easterly interior property line. To require the applicant to meet the minimum interior setback requirement would result in substandard parking spaces and would prevent the project from providing the four code required off-street parking spaces (two spaces per residential unit). This results in significant hardship that would unduly restrict the flexibility for reasonable use and improvement of the property. Alternatively, modifying the orientation of the two garages to comply with the minimum interior setback requirement would not comply with the zoning code, because the 50-foot lot width would prevent the project from complying with the minimum 25'-0" backup requirement (GMC Chapter 30.32.180, Chart II). The applicant's proposal appears to be compatible with the existing architectural style and surrounding neighborhood and will be required to obtain design review approval prior to building permit issuance.

**B. The granting of the exception will not be materially detrimental to the public welfare or injurious to the property or improvements in such zone or neighborhood in which the property is located.**

The granting of the exception for a one-foot reduction (20% deviation) from the minimum interior setback requirement of five-feet zero inches (5'-0") would not be detrimental to the public welfare or injurious to the property or improvements in the R-2250 neighborhood in which the property is located. The intent of setback regulations is to establish reasonable standards of design for air, light, and ventilation between buildings. As discussed above, the request for reduced interior setbacks



along the east and west property lines is necessary to accommodate the minimum parking requirements for the project. The attached new dwelling unit complies with the setback regulations, and meets the intention of the setback regulations. Granting the exception will allow the project to comply with the zoning code requirements for parking, which will be beneficial to the surrounding neighborhood and reduce any potential parking demand impacts that would result from the addition of the new unit. Furthermore, the siting of the new garages will result in the removal of the existing driveway apron along Raymond Avenue, and the existing driveway area will be landscaped, which will visually enhance the surrounding neighborhood. As such, the applicant's request will not be detrimental to the public welfare, injurious to the property, or improvements in the zone.

**C. The granting of the exception will not be contrary to the objectives of the applicable regulations.**

Granting the administrative exception will not be contrary to the objectives of the applicable regulations. The proposed project meets all other Zoning Code requirements of the R-2250 - Medium Density Residential, such as lot coverage, floor area ratio, height, and landscaping. The purpose of the Administrative Exception procedure is to provide a simplified means for considering applications for minor deviations from Code standards. These standards have been developed to allow reasonable use of properties in order to promote the public health, safety, and general welfare. To allow a one-foot reduction (20% deviation) from the minimum interior setback requirement of five-feet zero inches (5'-0") in conjunction with the development of a new residential unit with two attached two-car garages will allow for reasonable development of the site. The two new attached two-car garages will provide the required off-street parking that will serve the existing residential unit and the new second residential unit. While the provided interior setbacks for the new garages is reduced, the intent of the setback regulations to provide adequate air, light, and ventilation between buildings will still be met with the granting of this administrative exception.

**CONDITIONS OF APPROVAL**

**APPROVAL** of this Administrative Exception shall be subject to the following conditions:

- 1) That the development shall be in substantial accord with the plans presented in conjunction with the application for the Administrative Exception, except any modifications as may be required to meet specific Code standards or other conditions stipulated herein to the satisfaction of the Planning Hearing Officer. Nothing in this approval letter shall authorize the proposed project to deviate from any other Zoning Code requirements that are not specifically advertised in this application.
- 2) That all necessary permits shall be obtained from the Building and Safety Section and all construction shall be in compliance with the Glendale Building Code and all other applicable regulations.



- 3) That Design Review approval or Exemption shall be obtained prior to the issuance of a Building Permit.
- 4) That any expansion or modification of the project which is different than what is represented as part of this Administrative Exception approval, shall require a new application, as determined by the Hearing Officer.
- 5) That the premise shall be maintained in a clean and orderly condition and free of weeds, trash and graffiti.
- 6) That the premises shall be made available to any authorized City personnel (Fire, Planning and Neighborhood Services, etc.), for inspection to ascertain that all conditions of approval of this administrative exception are complied with.

## APPEAL PERIOD

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper City and public agency.

Under the provisions of the Glendale Municipal Code, Title 30, Chapter 30.62, any person affected by the above decision has the right to appeal said decision to the Planning Commission, ~~if it is believed that the decision is in error or that procedural~~ errors have occurred, or if there is substantial new evidence which could not have been reasonably presented. Any appeal must be filed online with the prescribed fee prior to expiration of the 15-day appeal period, on or before **OCTOBER 7, 2024.**

***All appeals must be filed using the City's online permit portal: [www.glendaleca.gov/Permits](http://www.glendaleca.gov/Permits). Create an account, click "Apply," type "appeal" in the search bar, and apply for "Appeal of Planning Decision." Any appeal must be filed within fifteen (15) days following the actual date of the decision with the prescribed fee prior to the expiration of the 15-day appeal period, on or before **OCTOBER 7, 2024.*****

***Information regarding appeals and appeals and fees may be obtained by calling the Community Development Department staff by contacting the case planner, Columba Diaz at [codiaz@glendaleca.gov](mailto:codiaz@glendaleca.gov) or 818-937-8188.***

## GMC CHAPTER 30.41 PROVIDES FOR

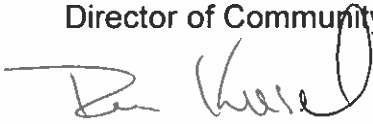
### TERMINATION

Every right or privilege authorized by an Administrative Exception shall terminate two (2) years after the granting of such, unless the exercise of such right or privilege has commenced in good faith prior to such time, except as otherwise provided for.



You may contact the case planner, Columba Diaz, during normal business hours at (818) 937-8188 or via e-mail at [codiaz@glendaleca.gov](mailto:codiaz@glendaleca.gov).

Sincerely,  
Bradley Calvert  
Director of Community Development



Roger Kiesel  
Planning Hearing Officer

RK:CD:sm

CC: City Clerk (K.Cruz); Building and Safety (A. Sargsyan / C. Leung / C. Sarkisloo); Neighborhood Services Division (J. Sada); Design Review & Historic (J. Platt); Economic Dev. (M. Berry); Housing (P. Zovak / M. Fortney / Aaron Brownell); Urban Design and Mobility F. Zohrevand); Community Services and Park (T. Aleksanian/ A. Limayo); Information Services (G. Arnold); City Attorney's Dept. (G. Van Muyden / Y. Neukian / M. Yun); Fire Engineering Section-(J. Diaz / S. Partamian / D. Stimson); Traffic & Transportation Section (P. Casanova); Acting General Manager for Glendale Water and Power (M. Robledo); Glendale Water & Power – Water Section (S. Boghosian / E. Hakoupiani / K. Runzer); Glendale Water & Power – Electric Section (C. Babakhanlou/ S. Boghosian / E. Hakoupiani); Police Dept. (Lt. A. Krikorian / Z. Avila); Interim Dir. Of Public Works (D. Hernandez); Engineering and Land Development (A. Avazian/ S. Oganessian / R. Villaluna); Integrated Waste Management Admin. (D. Hardgrove); Maintenance Services/Street and Field / Urban Forester (L. Klick / C. Linares / O. Urquidez); and case planner – Columba Diaz.