



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

February 19, 2025

Decision Date

2026 West Mountain Street

Address

Administrative Design Review (ADR)

Review Type

5620-007-006

APN

PADR-003696-2024

Case Number

Hamlet Zohrabians

Applicant

Eric Ji, Planning Associate

Case Planner

Alderin Barghi

Owner

Project Summary

To add a 660 square-foot (SF) addition to the ground level of an existing two-story, 2,080 SF single-family residence (built in 1938) with a detached 404 SF garage on 13,260 SF lot zoned R1 (Floor Area District I). The existing 670 SF guest house in the basement level will be converted into an Accessory Dwelling Unit (ADU).

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing building will not result in an increase of more than 2,500 SF of floor area and does not result in an increase of more than 50% of floor area.

Existing Property/Background

The subject property is a 13,260 SF, rectangular-shaped, corner lot with frontage on West Mountain Street and Elm Avenue. The site slopes up from south to north along Elm Avenue towards Mountain Street. Originally developed in 1938, the site currently features a two-story, 2,080 SF single-family dwelling with a detached 404 SF 2-car garage in the French Eclectic style. On July 20, 2004, a bathroom addition in the existing basement was approved. Staff research and analysis indicates that the property has no associations with events or people significant in history and that it is not a distinctive or exemplary representative of its architectural style, type, or period. The property therefore does not appear to meet any criteria for listing on any National, State, or local register for historic resources, and is not considered a historic resource under the California Environmental Quality Act (CEQA).

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: I

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	11,013.30	6,190 SF - 15,548 SF	13,260
Setback	28.83	15 feet – 38 feet	31
House size	2,640.48	1,460 SF - 6,053 SF	2,740
Floor Area Ratio	0.25	0.16 - 0.46	0.21
Number of stories	n/a	13 one-story residence and 10 two-story residence	2

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

Garage Location and Driveway

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Predominant pattern on block

- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☐ **yes** ☐ **n/a** ☒ **no**

If "no" select from below and explain:

- ☐ Complementary to building design
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

No landscape plan was provided. Applicant shall submit a landscape plan pursuant to Glendale Municipal Code (GMC) Chapter 30.31.

Walls and Fences

☐ **yes** ☐ **n/a** ☒ **no**

If "no" select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

The existing side yard wall between the garage and the residence facing Elm Avenue is proposed to be replaced with the new wall that will extend out towards the street.

The new wall is shown on the plan with the same design and height as the existing. A condition is placed to revise the plan to include the height dimension of the walls to verify that it is below 7 feet in height.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the site planning is appropriate and remains relatively unchanged, with the addition occupying a portion of the side yard.
- The proposed addition will project out towards the east side fronting Elm Avenue and maintain the prevailing neighborhood setback.
- The existing side yard wall facing Elm Avenue will be extended out towards the street in matching size and design as the existing wall. A condition is placed to revise the plan to show the height dimensions of the walls.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition proposed reinforces the French Eclectic style by proportionally creating a subservient volume from the north and south elevation that is symmetrical to the volumes along east and west.

- The roof of the proposed addition features variations in forms that is consistent and proportional to the existing house.
- The volume of the addition is proposed to terrace along the outer walls from south to north leading inwards towards the main entry to help diminish the massing and monumental look.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☐ **yes** ☐ **n/a** ☒ **no**

If "no" select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

The project plan proposes to replace an unspecified number of existing windows with new fiberglass windows in the same location with matching number of divided lites. However, the plan does not include a window schedule to verify the specific details of each window replacement. A condition is placed to revise the plan to include a window and door schedule to verify block frame installation for replacement windows and recessed nail-in framing for new construction windows. Additionally, the plan indicates that an existing leaded glass window facing the street will be replaced with a new gridded window of the same location and size. A condition is included to ensure that the leaded glass window is preserved in place.

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

Paving Materials

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☐ **yes** ☐ **n/a** ☒ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

The proposed plan calls out a metal light fixture that is not shown on the material board and does not include any specifications. A condition is placed to show the proposed sconce on the material board.

Ancillary Structures

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition's design and detailing are appropriate and consistent with the existing French Eclectic style of the residence using high quality materials and colors to match the existing house such as smooth cement plaster, wood door, wood shutters, fascia, brick pavers, wood trellis, and wooden gate.
 - The proposed plan does not include a window schedule. A condition is placed to revise the plan to include a window schedule to verify that the replacement windows are installed with block frame installation and new construction windows with recessed nail-in installation.
 - An existing leaded glass is proposed to be replaced with a grided aluminum clad wood window. A condition is placed to preserve the existing leaded glass window.
 - The roof of the proposed addition will match the existing hip roof design with matching slope.
 - The project plan does not show sconces for the new addition. A condition is placed to include an image sample of all the finish materials for the proposed addition.
-

Recommendation / Draft Record of Decision

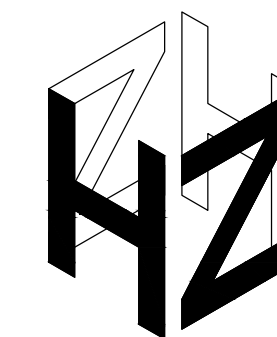
Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. Revise plans to include a window schedule and verify block frame installation for replacement windows and recessed nail-in framing for new construction windows.
 2. Preserve the existing leaded glass window.
 3. Provide an image material board with specifications of materials.
 4. Revise plans to color the proposed elevation drawings.
 5. Provide landscape plan in compliance with GMC Chapter 30.31.
 6. Revise plans to dimension the height of the new walls.
-

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey



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The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

Mr. & Mrs. Barghi
1935 Chilton Dr.
Glendale, Ca. 91201

PROJECT:

Barghi Residence
2026 W Mountain St.
Glendale, Ca. 91201

REVISIONS

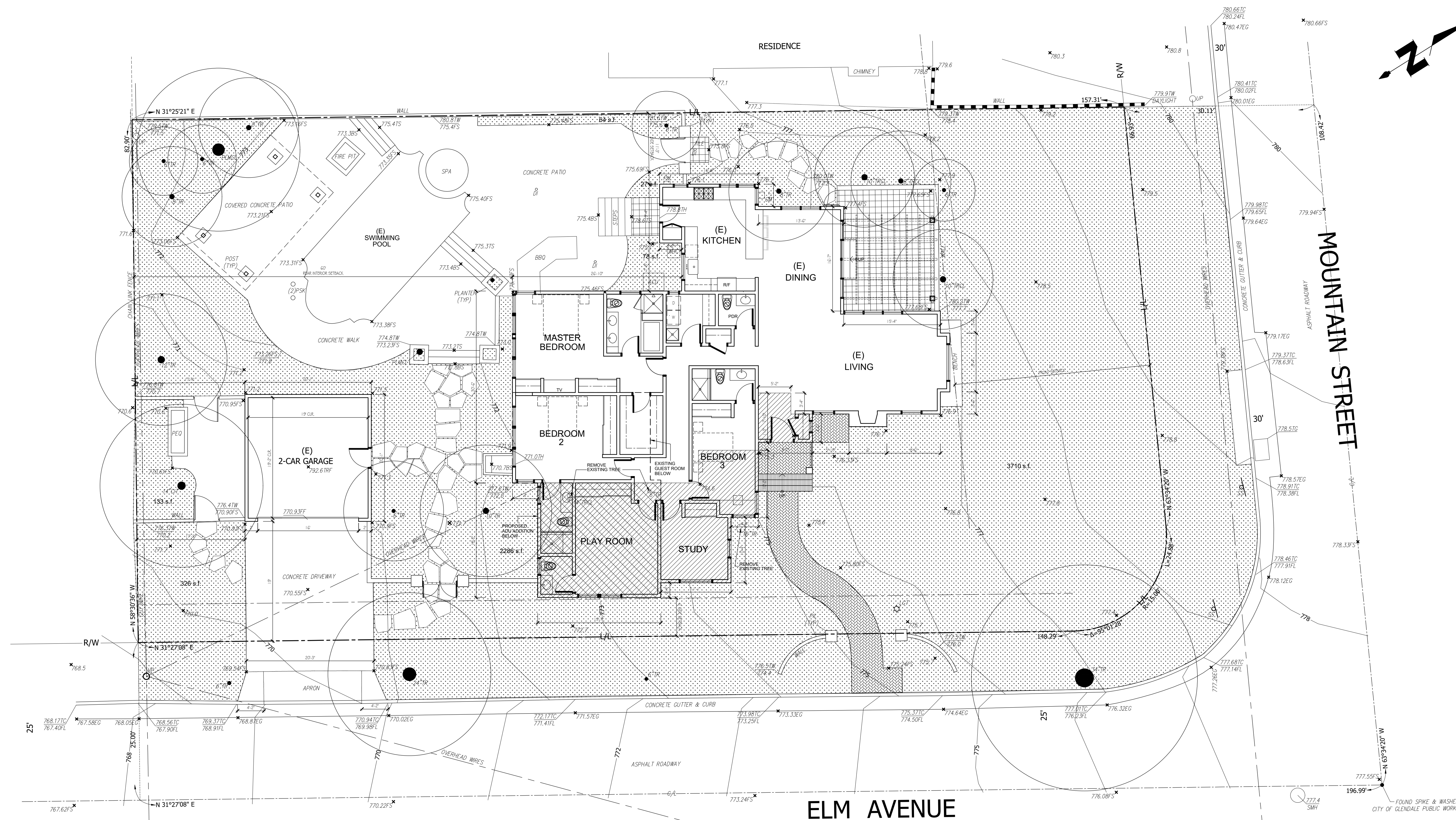
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
SITE PLAN

DATE	11.15.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

A2.1



1 PROPOSED SITE AND GROUND FLOOR PLAN
SCALE 1/8"=1'-0"

PROJECT DESCRIPTION:

PROPOSED TWO-STORY ADDITION TO EXISTING
TWO STORY HOUSE, CONVERTING EXISTING
LOWER FLOOR GUEST ROOM TO ADU
EXISTING DETACHED TWO-CAR GARAGE TO REMAIN

LEGAL DESCRIPTION:

TRACT # 3893 EX OF STS LOT 12
APN = 5620 - 007 - 006
ZONE = R1-1
OCCUPANCY = R-3 / U
TYPE OF CONSTRUCTION = V-B (FULLY SPRINKLERED)
NUMBER OF STORIES = 2
CA CLIMATE ZONE = 9
HIGH FIRE ZONE = YES
FIRE SPRINKLER = NFPA13D
EXISTING LOT AREA = 13,260 s.f.

FLOOR AREA:

ALLOWABLE FLOOR AREA = (30%) 10,000 s.f.+ (10%) 3,260 s.f. = 3,326 s.f.
EXISTING FLOOR AREA = 2,080 s.f.
GROUND FLOOR ADDITION AREA = 660 s.f.
FINAL BUILDING FLOOR AREA = 2,740 s.f. = 20.66%
PROPOSED ADU ADDITION = 670 s.f.
EXISTING DETACHED 2-CAR GARAGE = 404 s.f.

LOT COVERAGE :

ALLOWABLE LOT COVERAGE = (%40) 13,260 s.f. = 5,304 s.f.
EXISTING BUILDING FOOT PRINT = 2,080 s.f.
PROPOSED ADDITION = 660 s.f.
PROPOSED ENTRY CANOPY = 56 s.f.
EXISTING REAR DETACHED CANOPY = 284 s.f.
EXISTING DETACHED 2-CAR GARAGE = 404 s.f.
TOTAL PROPOSED LOT COVERAGE = 3,484 s.f. = 26.27%

FRONT SET BACK:

REQUIRED FRONT SET BACK = 25'-0"
EXISTING FRONT SET BACK (TO REMAIN) = 31'-0"
REQUIRED EAST STREET SIDE SET BACK = 6'-0"
PROPOSED EAST STREET SIDE SET BACK = 6'-0"
REQUIRED WEST INTERIOR SIDE SET BACK = 6'-0"
PROPOSED WEST INTERIOR SIDE SET BACK = 11'-3"
REQUIRED REAR INTERIOR SIDE SET BACK = 6'-0"
PROPOSED WEST INTERIOR SIDE SET BACK = 6'-0"

BUILDING HEIGHT:

ALLOWABLE MAX. BUILDING HEIGHT = 28 ft.
PROPOSED MAX. BUILDING HEIGHT = 28 ft.

LANDSCAPE:

REQUIRED PERMANENTLY LANDSCAPED OPEN SPACE AREA = 40% = 5,304 s.f.
PROPOSED PERMANENTLY LANDSCAPED OPEN SPACE AREA = 6,624 s.f. = 49.95%
(3710+2286+326+133+64+27+78 = 6,624 s.f.)

PARKING GARAGE:

EXISTING 2-CAR DETACHED GARAGE AREA = 471 s.f.

NOTE:

FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET

ZONING NOTES:

- THERE ARE NO OAK, BAY, OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY (20) FEET OF THE SITE.
- NO NEW ROOFTOP EQUIPMENT IS ALLOWED
- THE FOLLOWING ITEMS SHALL BE ON A SEPARATE PERMIT:
 - RETAINING WALLS / BOUNDARY WALLS
 - POOLS / SPAS / JACUZZIS
 - FENCES / TRELLIS / PATIO COVERS
 - GRADING / DRAINAGE / EROSION
 - FIRE SPRINKLERS

LEGEND:

A.D.
O
DS
AREA DRAIN
4"Ø DRAIN PIPE TO STREET
2% MIN. SLOPE (TYP)
DOWN SPOUT



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PROJECT:

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REVISIONS

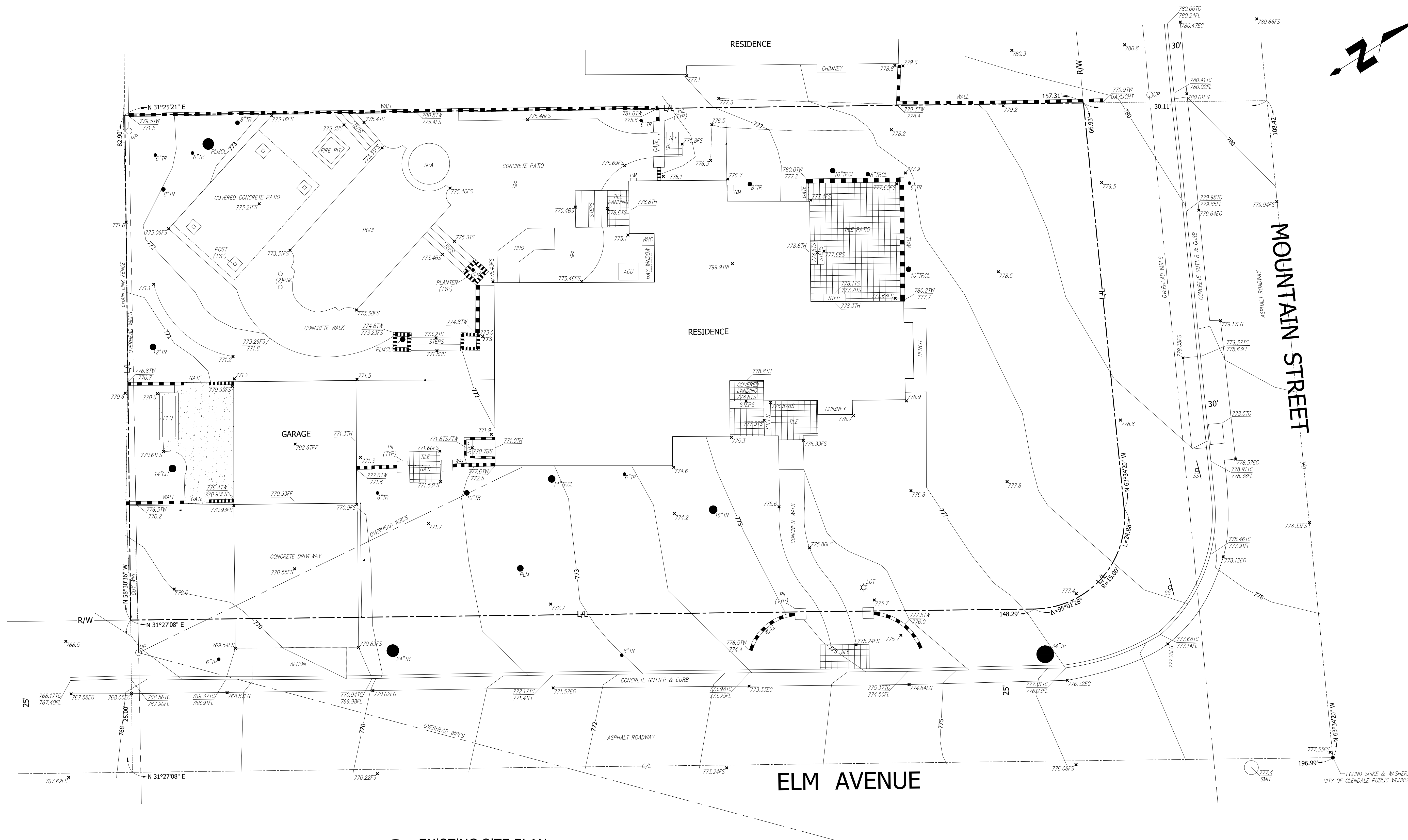
DESCRIPTION	DATE	BY

SHEET TITLE:

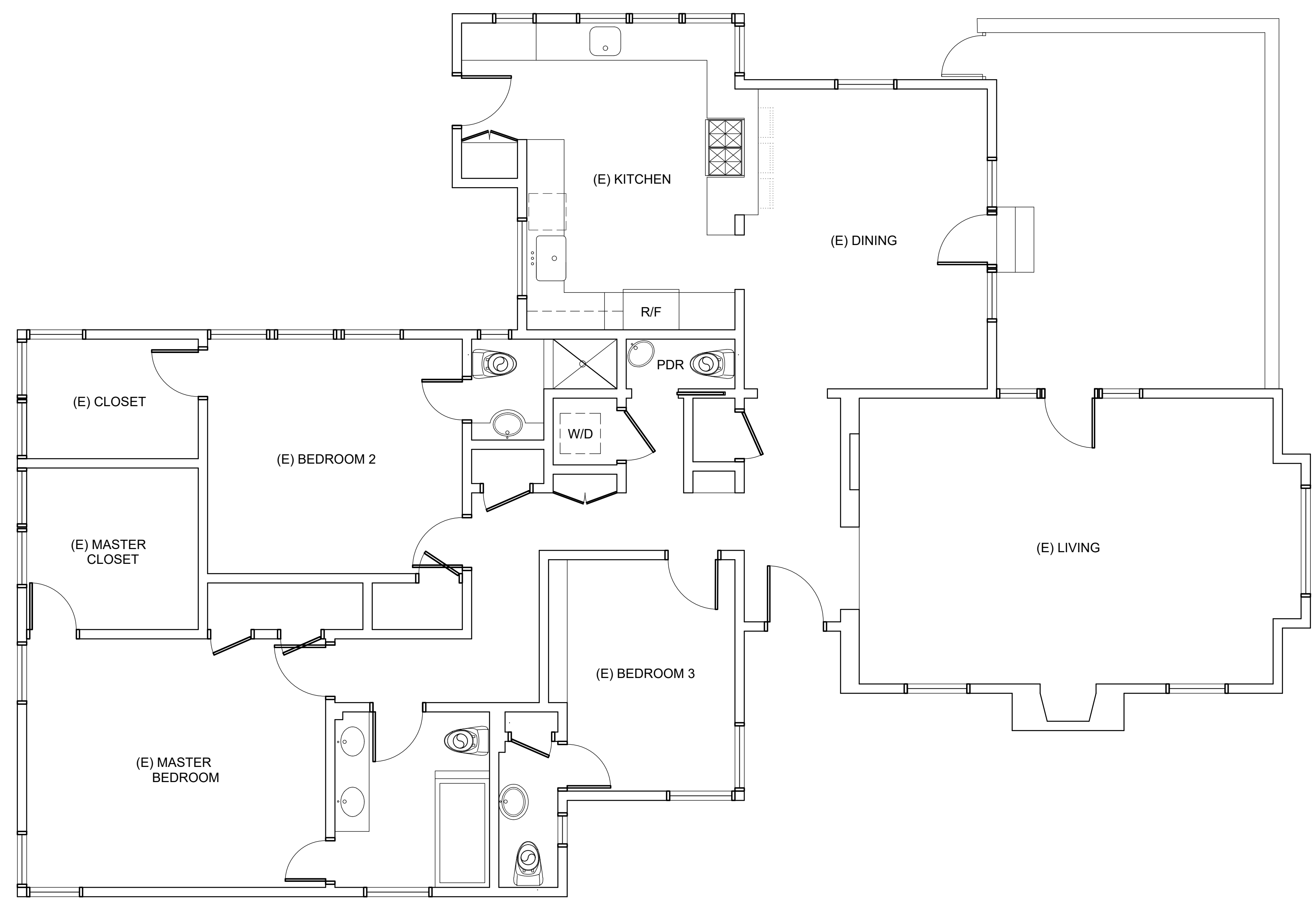
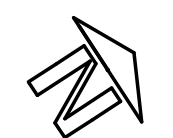
EXISTING SITE PLAN

DATE	10.05.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

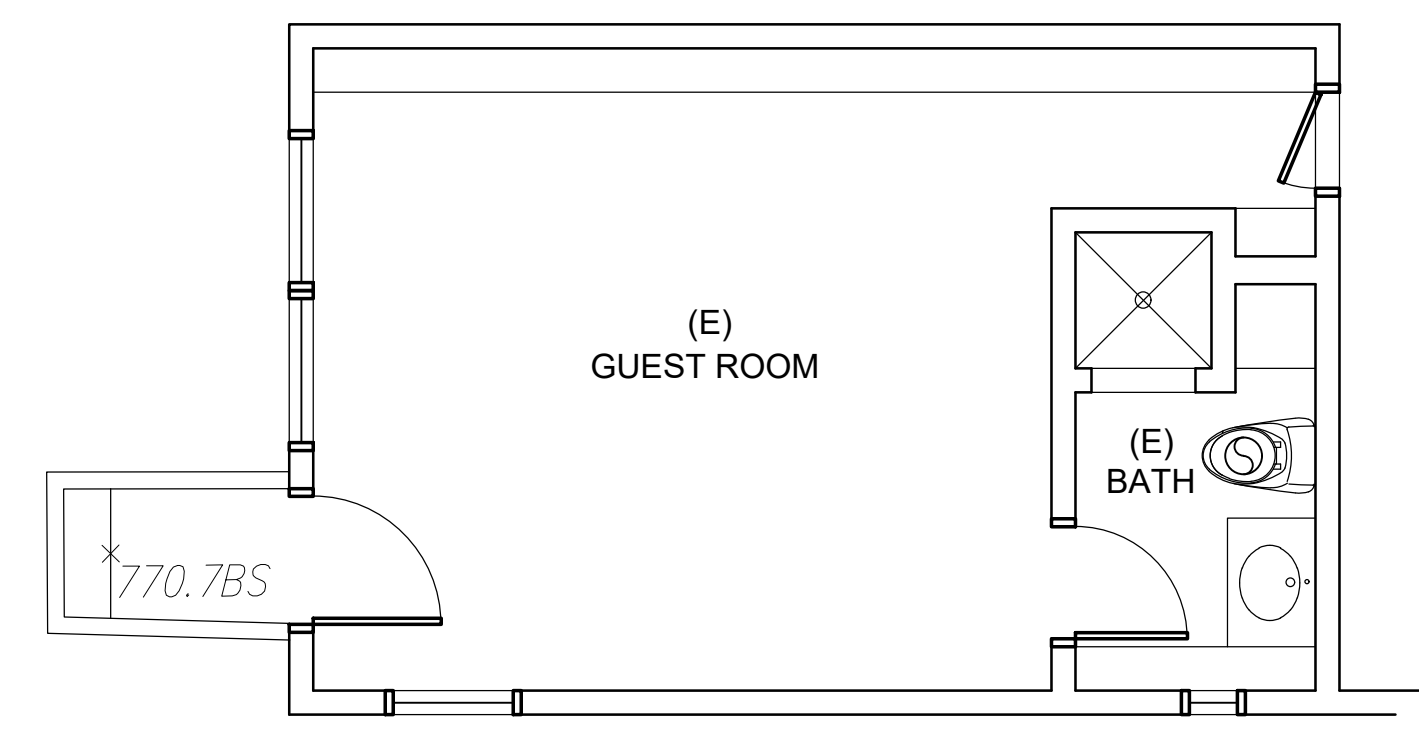
A2.2



1 EXISTING SITE PLAN
SCALE 1/8"=1'-0"



1 EXISTING HOUSE GROUND FLOOR PLAN
SCALE 1/4"=1'-0"



2 EXISTING LOWER LEVEL GUEST ROOM
SCALE 1/4"=1'-0"



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Glendale, Ca. 91201

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

EXISTING HOUSE
GROUND FLOOR PLAN
LOWER LEVEL GUEST ROOM PLAN

DATE	10.05.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

A2.3

KEY NOTES:

E = EXISTING TO REMAIN
R = REMOVE EXISTING
N = NEW PROPOSED

- EXISTING MASONRY FIRE PLACE (TO REMAIN)
- GRANIT COUNTER TOPS AND 18" SPLASH OVER WOOD CABINETS
- DOUBLE STAINLESS STEEL SINKS W/ GARBAGE DISPOSAL
- WOOD UPPER CABINETS
- STOVE/OVEN WITH 100 CFM FAN
- REFRIGERATOR/FREEZER
- DISH WASHER
- BUILT-IN WOOD CABINET/SHELVES FOR ENTERTAINMENT CENTER
- WASHER
- DRYER
- W.C. AND VENT ABOVE
- MARBLE COUNTER OVER WOOD CABINETS WUNDR/COUNTER SINK
- BUILT-IN TUB
- TILED SHOWER AND SEAT W/ FRAME-LESS TEMPERED GLASS SHOWER DOORS

LEGEND:

--- EXISTING WALLS TO BE REMOVED
--- EXISTING WALLS TO REMAIN

PROPOSED WALLS
EXTERIOR WOOD FRAMED WALLS:
1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER
BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR
SIDE OF 2x6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD
ON THE INTERIOR SIDE. PROVIDE R-21 INSULATION IN STUD SPACE.

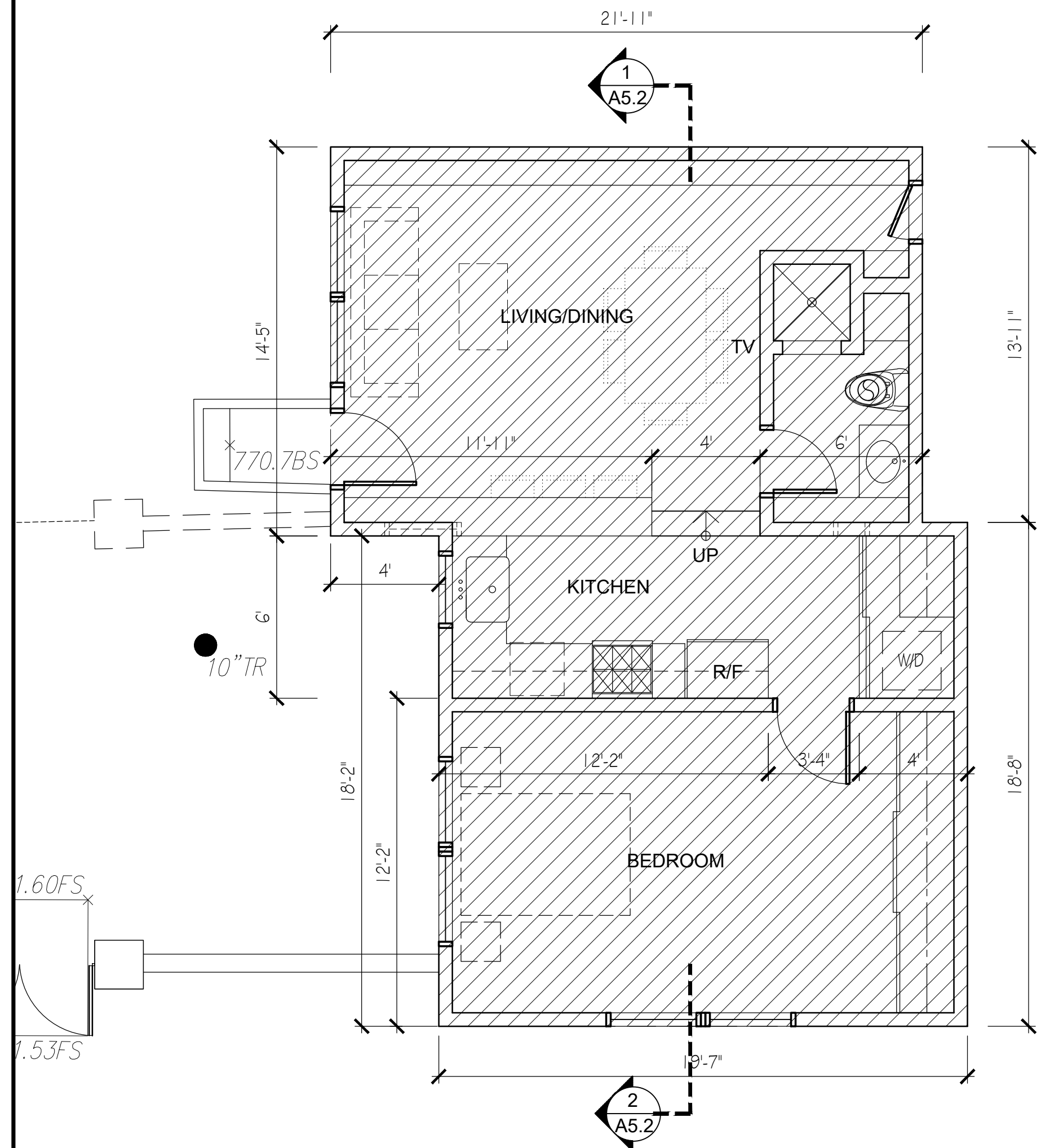
INTERIOR WOOD FRAMED PARTITIONS:
ONE LAYER OF 5/8" TYPE "X" GYP. BD. EA. SIDE OF 2X @ 16" O.C.
PROVIDE 2X6 STUDS @ PLUMBING WALLS W/ R15 INSULATION

1-HR FIRE RATED WALL
ONE LAYER OF TYPE "X" GYP. BD. ON EACH SIDE OF 2X6 AT 16" O.C.
(FOR WALL SEPARATING GARAGE FROM LIVING SPACE)

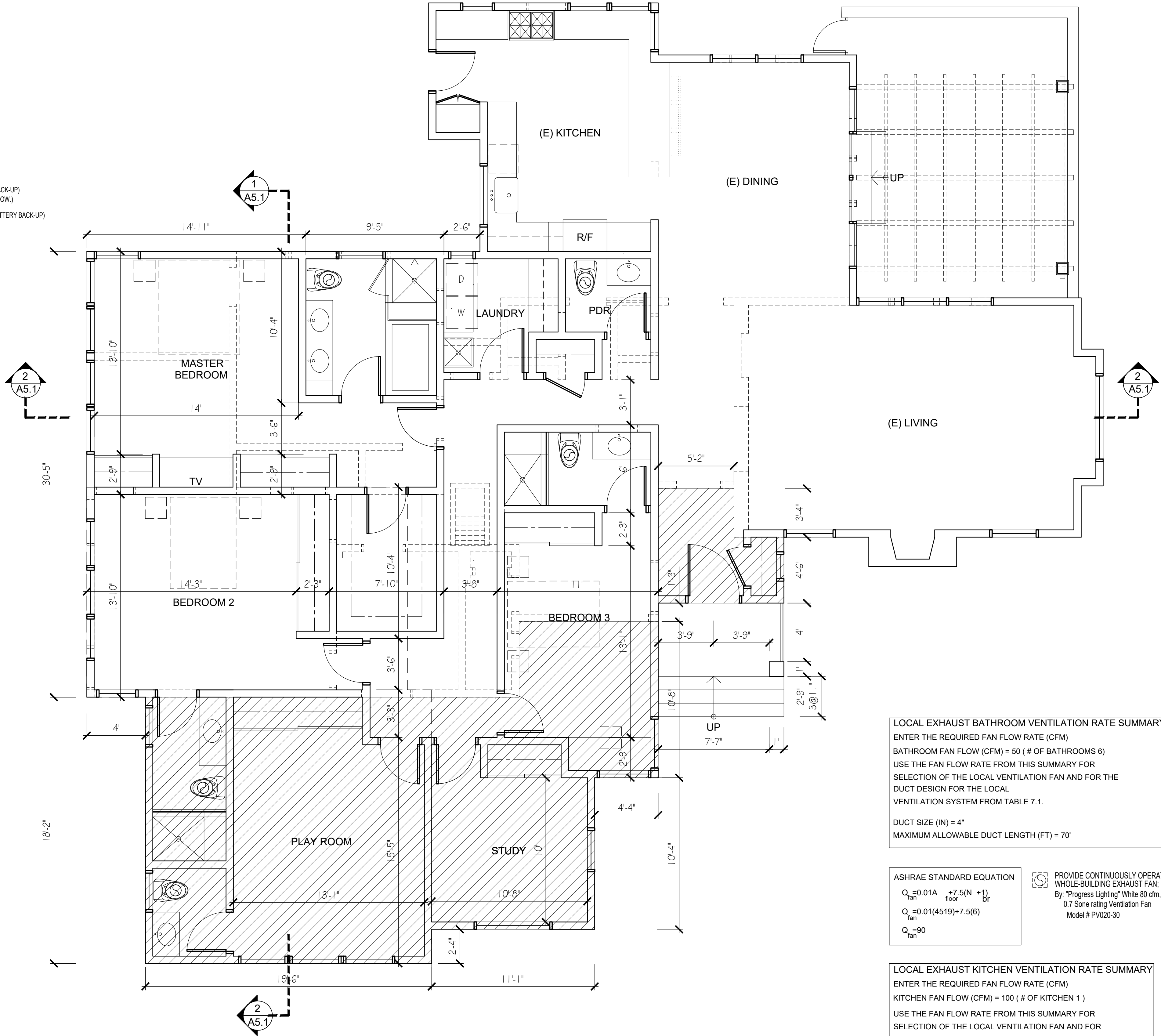
SMOKE DETECTOR (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
(SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.)
CARBON MONOXIDE ALARM (INTERCONNECTED HARD WIRED W/ BATTERY BACK-UP)
EXHAUST FAN (50 CFM INTERMITTENT OR 25 CFM CONTINUOUS)

1/4" - 1/2" MAX. @ FLOOR THRESHOLD

PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30



2
PROPOSED ADU FLOOR PLAN
UNDER FLOOR SPACE
SCALE 1/4"=1'-0"



1
PROPOSED GROUND FLOOR PLAN
SCALE 1/4"=1'-0"

LOCAL EXHAUST BATHROOM VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOMS 6)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR THE
DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 4"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'

ASHRAE STANDARD EQUATION
 $Q_{fan} = 0.01A_{floor} + 7.5(N + 1)_{br}$
 $Q_{fan} = 0.01(4519) + 7.5(6)$
 $Q_{fan} = 90$

PROVIDE CONTINUOUSLY OPERATING
WHOLE-BUILDING EXHAUST FAN;
By: "Progress Lighting" White 80 cfm,
0.7 Sone rating Ventilation Fan
Model # PV020-30

LOCAL EXHAUST KITCHEN VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1)
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE LOCAL VENTILATION FAN AND FOR
THE DUCT DESIGN FOR THE LOCAL
VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'

WHOLE-BUILDING VENTILATION RATE SUMMARY
ENTER THE REQUIRED FAN FLOW RATE (CFM)
CONTINUOUS FAN FLOW (CFM) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR
SELECTION OF THE WHOLE-BUILDING VENTILATION FAN
AND FOR THE DUCT DESIGN FOR THE
WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1.
DUCT SIZE (IN) = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'



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REVISIONS

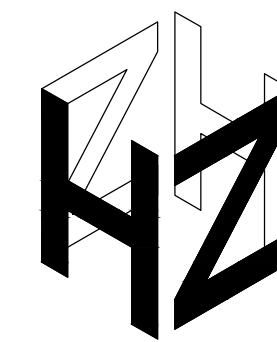
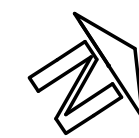
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
GROUND FLOOR PLAN

DATE	11.15.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

A3.1



ARCHITECT Inc.

Hamlet Zohrabians Architect, Inc.
3467 Ocean View Blvd, Suite B
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hamlet@zohrabians.com

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CLIENT:

Mr. & Mrs. Barghi
1935 Chilton Dr.
Glendale, Ca. 91201

PROJECT:

Barghi Residence
2026 W Mountain St.
Glendale, Ca. 91201

REVISIONS

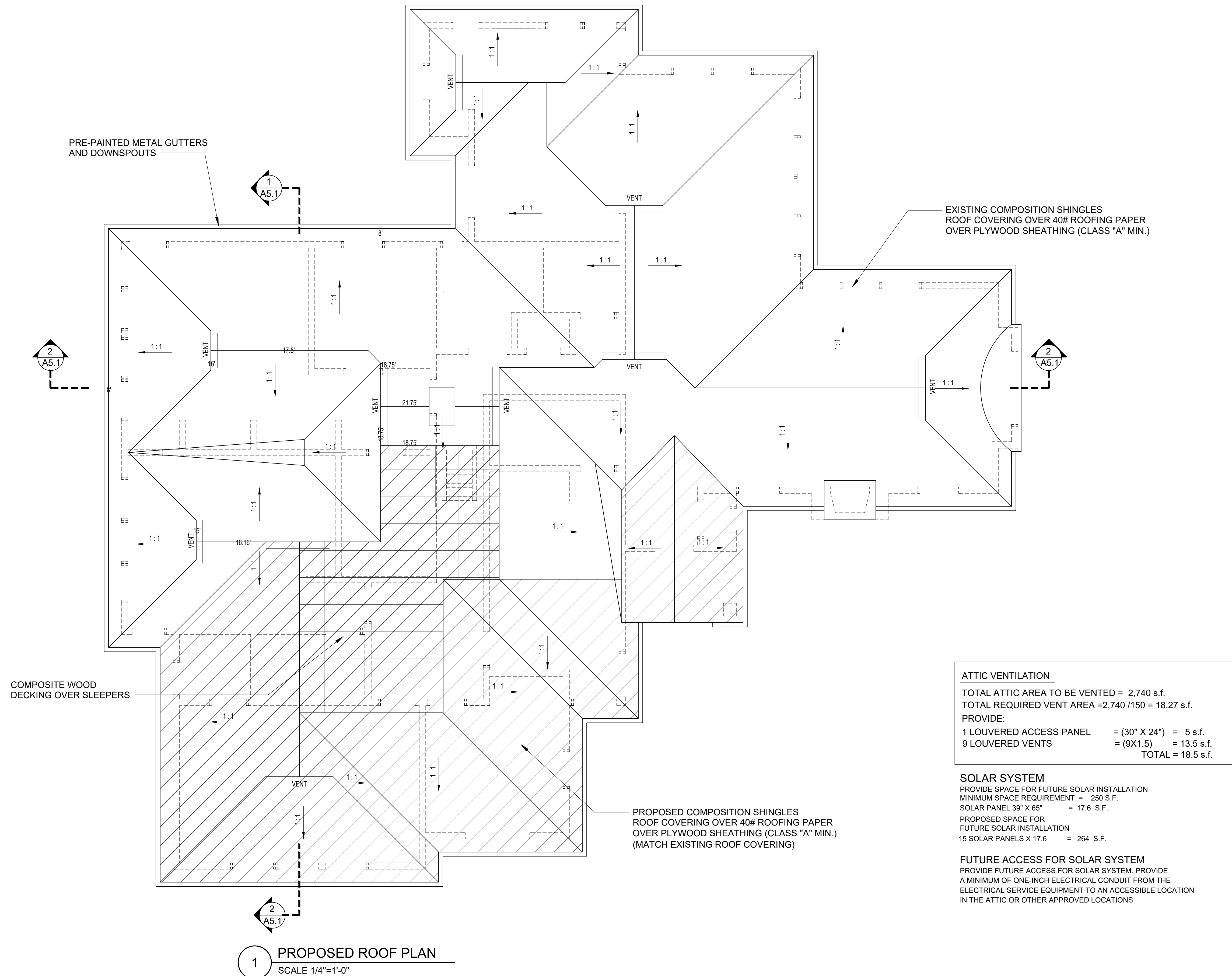
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
ROOF PLAN

DATE	11.15.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

A3.2





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REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
EAST AND NORTH ELEVATIONS

DATE 11.15.23

SCALE 1/4" = 1'-0"

DRAWN BY HZ

JOB NUMBER 091523

SHEET

A4.1



1 BUILDING PROPOSED EAST ELEVATION
SCALE 1/8"=1'-0"

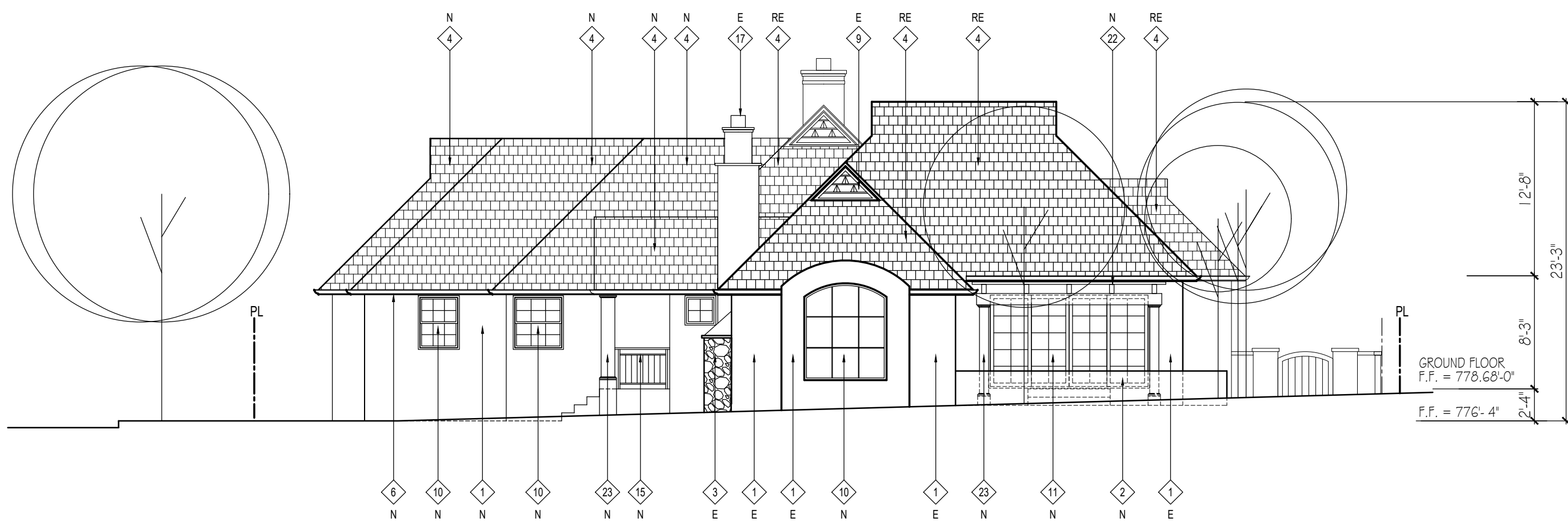
KEY NOTES :

E = EXISTING TO REMAIN
N = NEW PROPOSED
RE = REPLACE EXISTING ROOF COVERING

- 1" SMOOTH TROWELED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-19 INSULATION IN STUD SPACE
COLOR : Warm Gray (Match existing house color)
- 1" SMOOTH TROWELED FINISH CEMENT PLASTER OVER CMU WALL W/ PRE-CAST CONCRETE CAP
COLOR : Warm Gray (Match existing house color)
- EXISTING RANDOM STONE VENEER OVER CEMENT PLASTER OVER PAPERBACK METAL LATH
COLOR : Existing to remain
- COMPOSITE SHINGLES ROOF COVERING OVER ROOFING PAPER OVER PLYWOOD SHAETHING
COLOR : Charcoal Gray
- PAINTED WOOD FASCIA
COLOR : White (Match existing fascia color)
- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : White (Match existing gutter color)
- PAINTED WOOD SHUTTERS
COLOR : Black (Match existing shutter color)
- PRE-PAINTED METAL CLAD CANOPY
COLOR : (Existing to remain)
- PAINTED WOOD SIDING WITH METAL VENTS
COLOR : White (Match existing color)
- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : MARVIN ULTREX "Stone White"

- FIBER GLASS FRAMED DUAL GLAZED PATIO DOORS
COLOR : MARVIN ULTREX "Stone White"
- PAINTED WOOD FRAMED GLASS TRANSOM
COLOR : MARVIN ULTREX "Stone White"
- PAINTED WOOD DOOR
COLOR : White
- PAINTED WOOD GATE
COLOR : Black
- PAINTED METAL RAILING
COLOR : Black
- BRICK STEPS AND LANDING
COLOR : Match existing bricks
- BRICK CHIMNEY W/ PAINTED METAL CAP
COLOR : Existing Red Brick and Black Metal Cap TO REMAIN
- PRE-PAINTED METAL SECTIONAL GARAGE DOOR
COLOR : Existing Door TO REMAIN
- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- PRE-PAINTED METAL LIGHT FIXTURE
COLOR : Black (Match existing fixture)
- PRE-PAINTED ROOF TOP SPEAR
COLOR : Black (Existing TO REMAIN)
- PAINTED WOOD TRELLIS
COLOR : Black (Match existing shutters)
- PAINTED WOOD CLAD COLUMN W/ CAP AND BASE
COLOR : White (Match existing fascia color)
- PAINTED SCREENED ATTIC VENT
COLOR : Match existing fascia color

EW = ESCAPE WINDOW



2 BUILDING PROPOSED NORTH ELEVATION
SCALE 1/8"=1'-0"



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Glendale, Ca. 91201

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
WEST AND SOUTH ELEVATIONS

DATE 10.05.23

SCALE 1/4" = 1'-0"

DRAWN BY HZ

JOB NUMBER 091523

SHEET

A4.2



1 BUILDING PROPOSED WEST ELEVATION
SCALE 1/8"=1'-0"

KEY NOTES :

E = EXISTING TO REMAIN

N = NEW PROPOSED

RE = REPLACE EXISTING ROOF COVERING

- 1- 1" SMOOTH TROWELED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-19 INSULATION IN STUD SPACE
COLOR : Warm Gray (Match existing house color)
- 2- 1" SMOOTH TROWELED FINISH CEMENT PLASTER OVER CMU WALL W/ PRE-CAST CONCRETE CAP
COLOR : Warm Gray (Match existing house color)
- 3- EXISTING RANDOM STONE VENEER OVER CEMENT PLASTER OVER PAPERBACK METAL LATH
COLOR : Existing to remain
- 4- COMPOSITE SHINGLES ROOF COVERING OVER ROOFING PAPER OVER PLYWOOD SHAETHING
COLOR : Charcoal Gray
- 5- PAINTED WOOD FASCIA
COLOR : White (Match existing fascia color)
- 6- PRE-PAINTED METAL GUTTER AND DOWNSPOUT
COLOR : White (Match existing gutter color)
- 7- PAINTED WOOD SHUTTERS
COLOR : Black (Match existing shutter color)
- 8- PRE-PAINTED METAL CLAD CANOPY
COLOR : (Existing to remain)
- 9- PAINTED WOOD SIDING WITH METAL VENTS
COLOR : White (Match existing color)
- 10- FIBER GLASS FRAMED DUAL GLAZED WINDOW
COLOR : MARVIN ULTREX "Stone White"

- 11- FIBER GLASS FRAMED DUAL GLAZED PATIO DOORS
COLOR : MARVIN ULTREX "Stone White"
- 12- PAINTED WOOD FRAMED GLASS TRANSOM
COLOR : MARVIN ULTREX "Stone White"
- 13- PAINTED WOOD DOOR
COLOR : Black
- 14- PAINTED WOOD GATE
COLOR : Black
- 15- PAINTED METAL RAILING
COLOR : Black
- 16- BRICK STEPS AND LANDING
COLOR : Match existing bricks
- 17- BRICK CHIMNEY W/ PAINTED METAL CAP
COLOR : Existing Red Brick and Black Metal Cap TO REMAIN
- 18- PRE-PAINTED METAL SECTIONAL GARAGE DOOR
COLOR : Existing Door TO REMAIN
- 19- METAL ADDRESS NUMBERS (Illuminated by exterior lighting)
COLOR : Black
- 20- PRE-PAINTED METAL LIGHT FIXTURE
COLOR : Black (Match existing fixture)
- 21- PRE-PAINTED ROOF TOP SPEAR
COLOR : Black (Existing TO REMAIN)
- 22- PAINTED WOOD TRELLIS
COLOR : Black (Match existing shutters)
- 23- PAINTED WOOD CLAD COLUMN W/ CAP AND BASE
COLOR : White (Match existing fascia color)
- 24- PAINTED SCREENED ATTIC VENT
COLOR : Match existing fascia color

EW = ESCAPE WINDOW



2 BUILDING PROPOSED SOUTH ELEVATION
SCALE 1/8"=1'-0"



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REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

EXISTING BUILDING
ELEVATIONS

DATE	10.05.23
SCALE	1/8" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

A4.3



1 EXISTING BUILDING EAST ELEVATION
SCALE 1/8"=1'-0"



3 EXISTING BUILDING SOUTH ELEVATION
SCALE 1/8"=1'-0"



2 EXISTING BUILDING NORTH ELEVATION
SCALE 1/8"=1'-0"



4 EXISTING BUILDING WEST ELEVATION
SCALE 1/8"=1'-0"



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REVISIONS

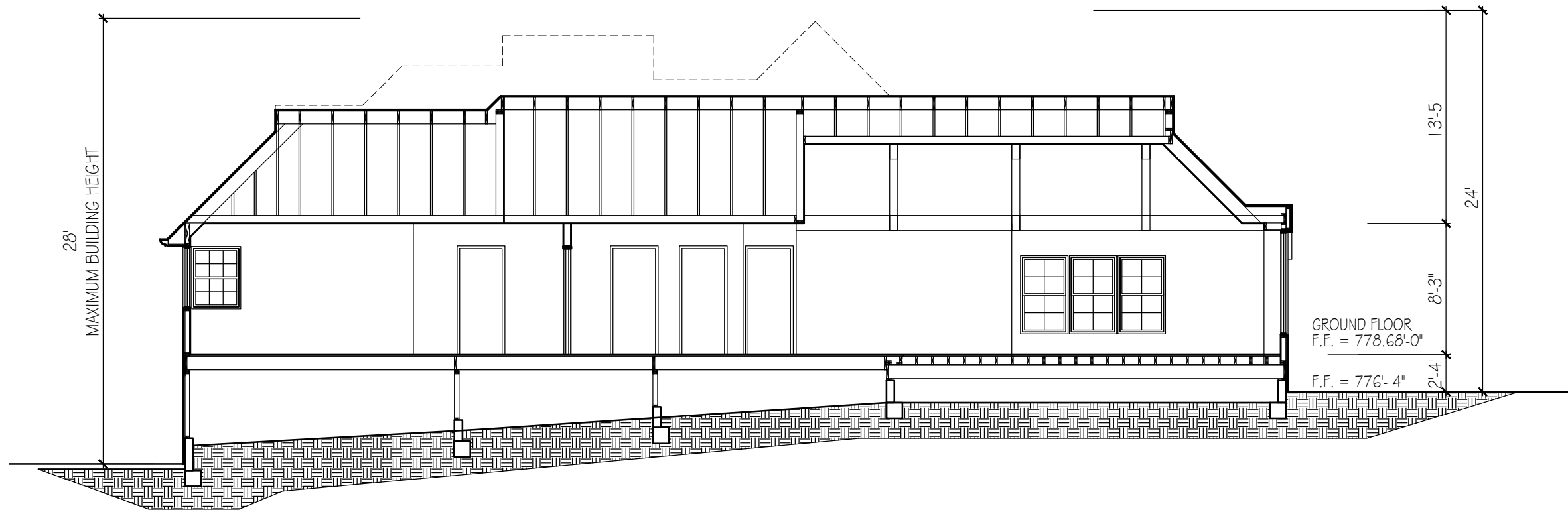
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
BUILDING SECTIONS

DATE	10.05.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

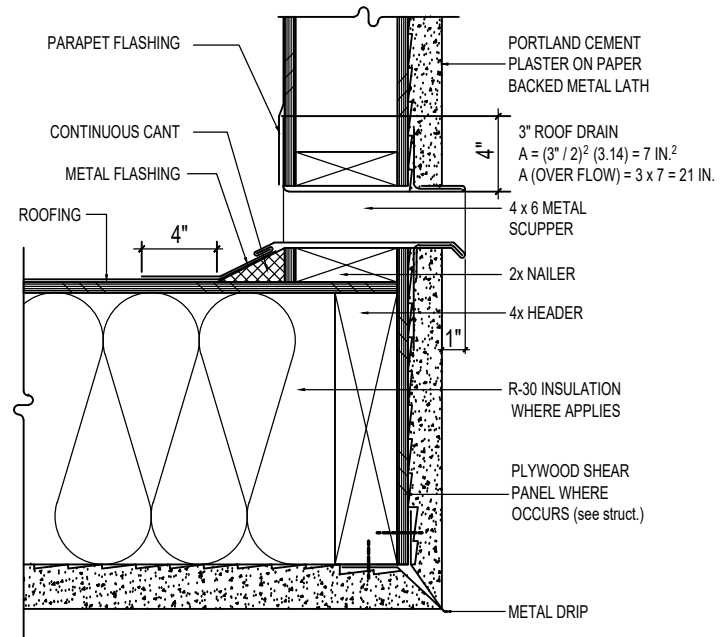
A5



2 BUILDING SECTION
SCALE 1/8"=1'-0"

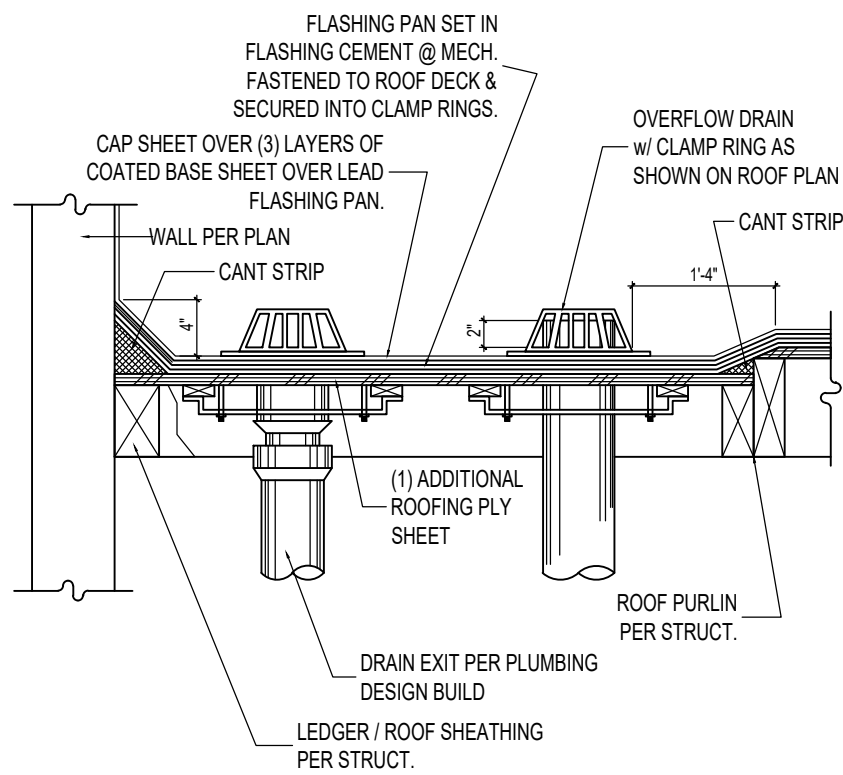


1 BUILDING SECTION
SCALE 1/8"=1'-0"



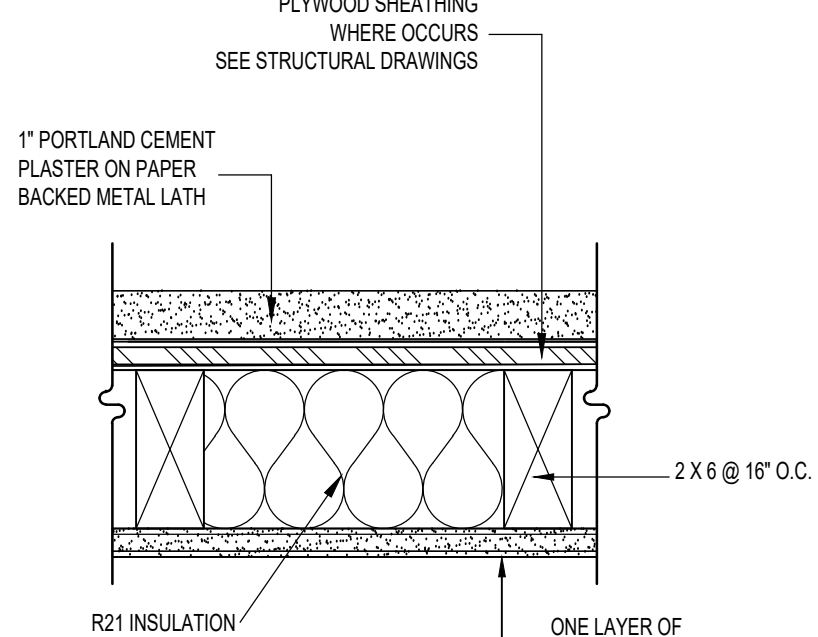
ROOF OVERFLOW SCUPPER

17



ROOF DRAIN/OVERFLOW

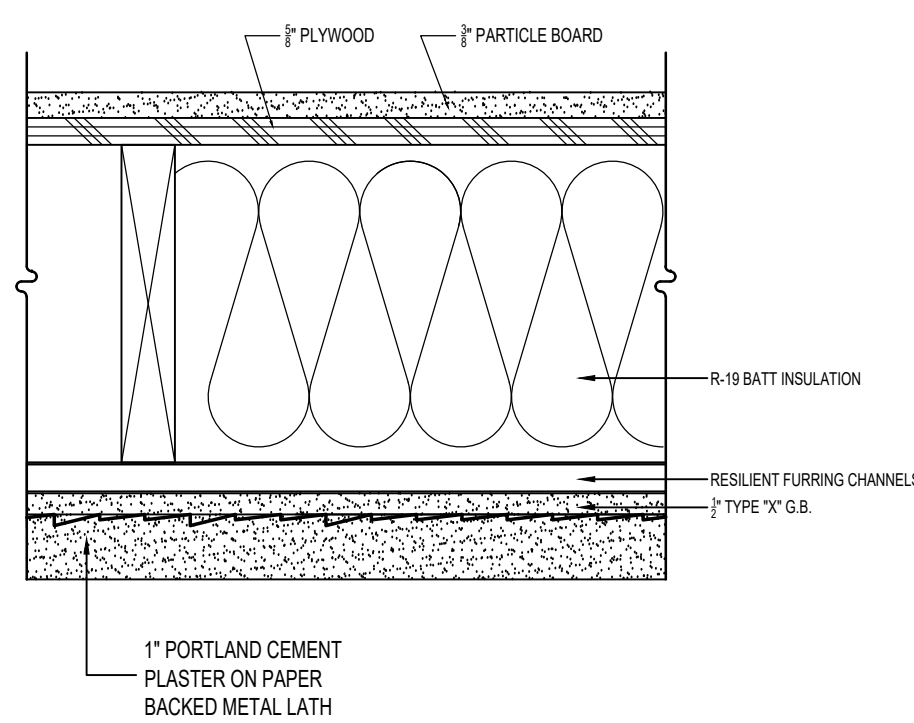
13



TEST NUMBER = UL DES U303 STC = 50

1-HR RATED EXTERIOR WALL

9

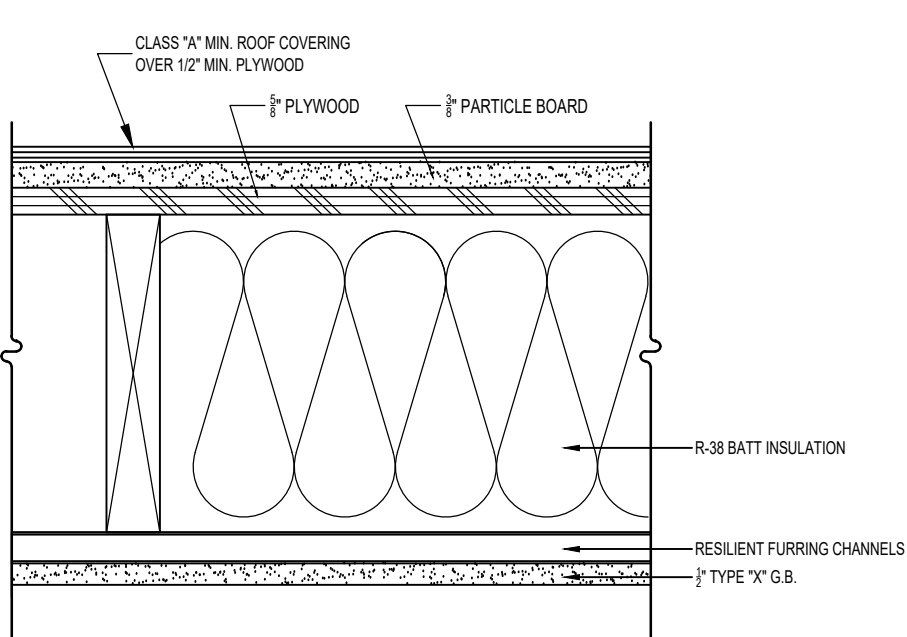


GA FILE NO. FC 5120

STC = 50 -54

1-HR RATED FLOOR/CEILING

5

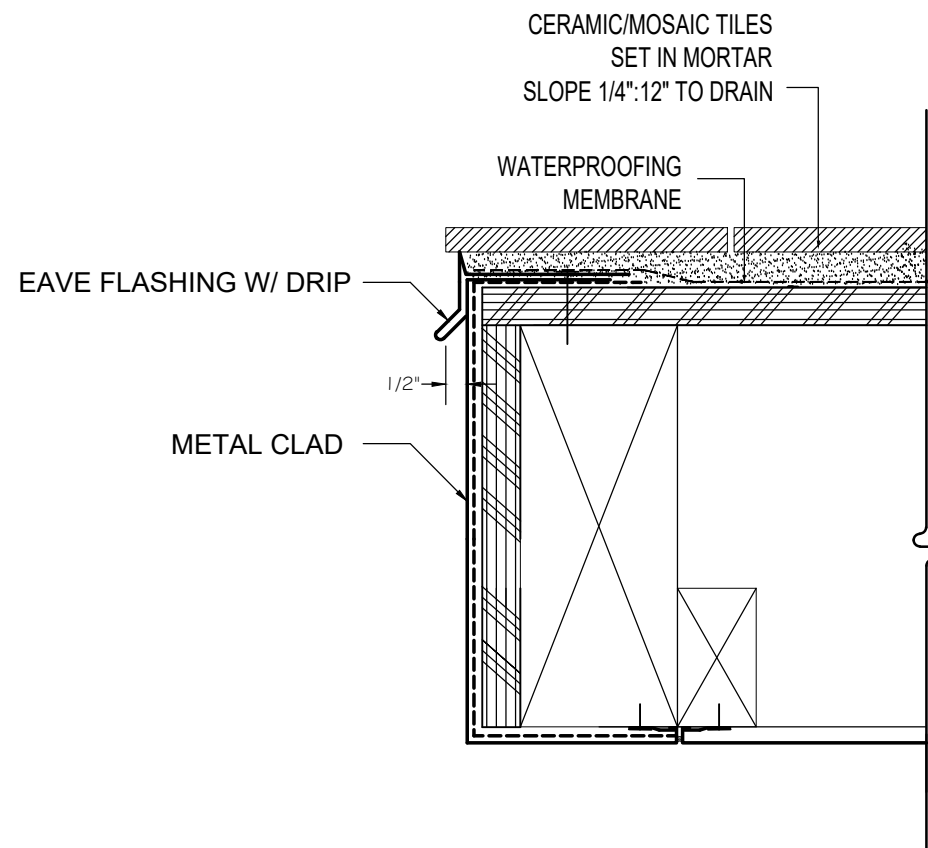


GA FILE NO. FC 5120

STC = 50 -54

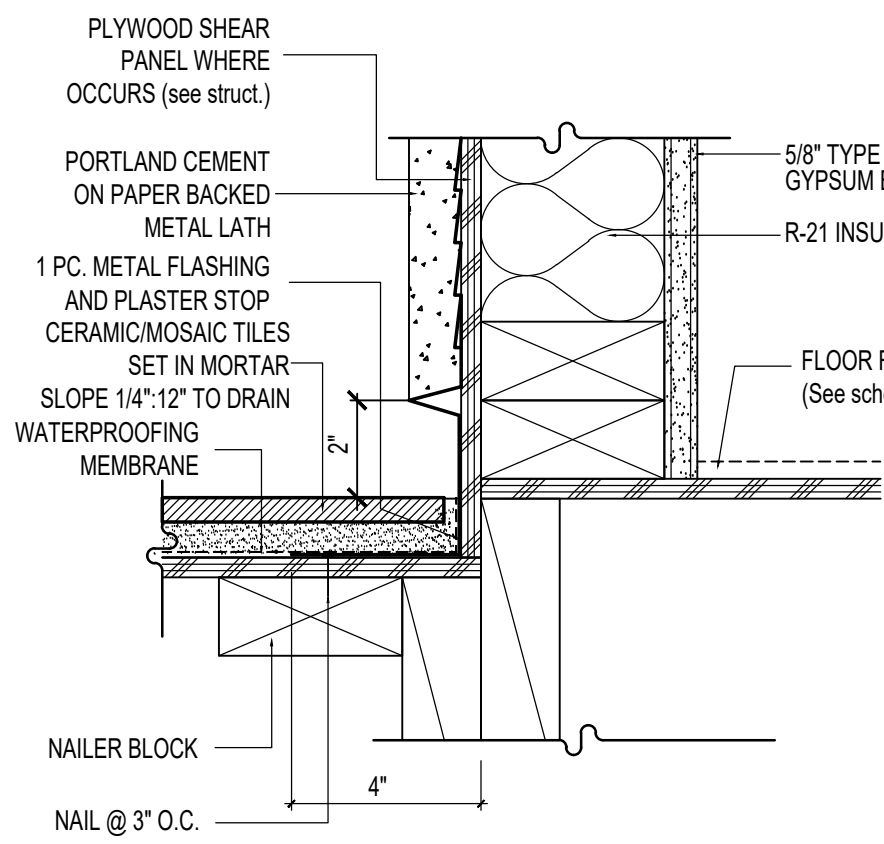
1-HR RATED ROOF / CEILING

1



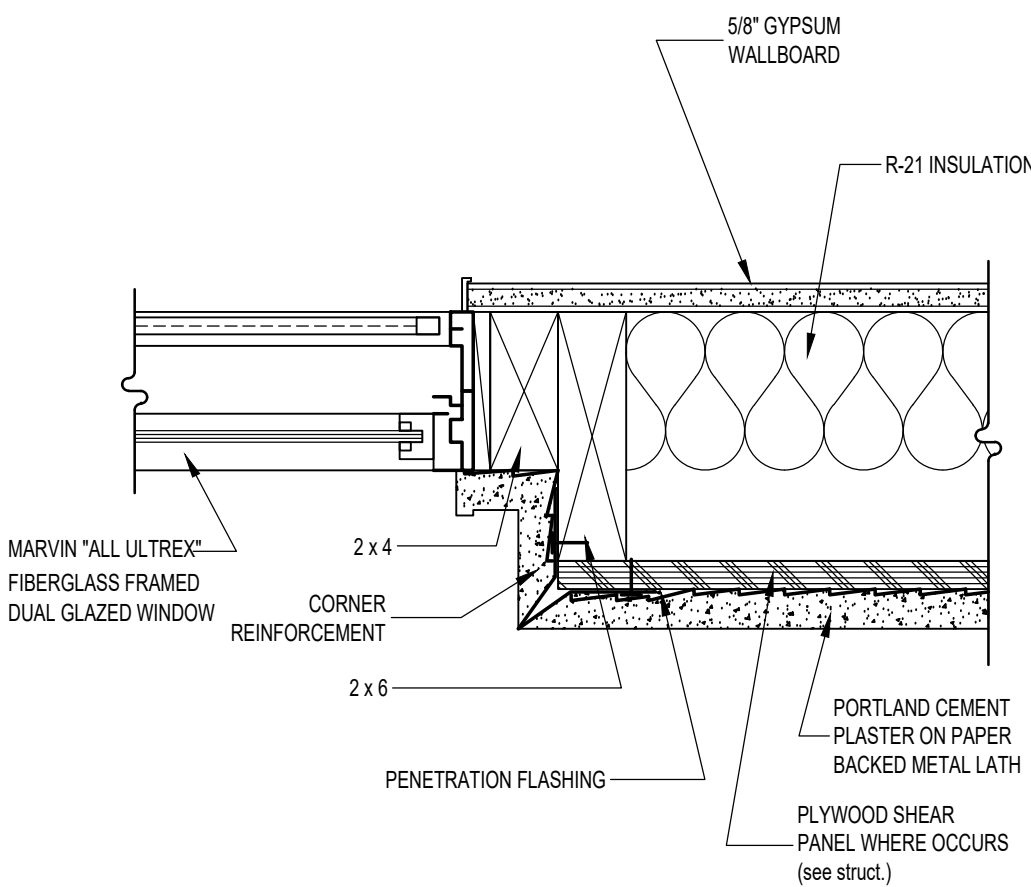
BALCONY / TERRACE EDGE

18



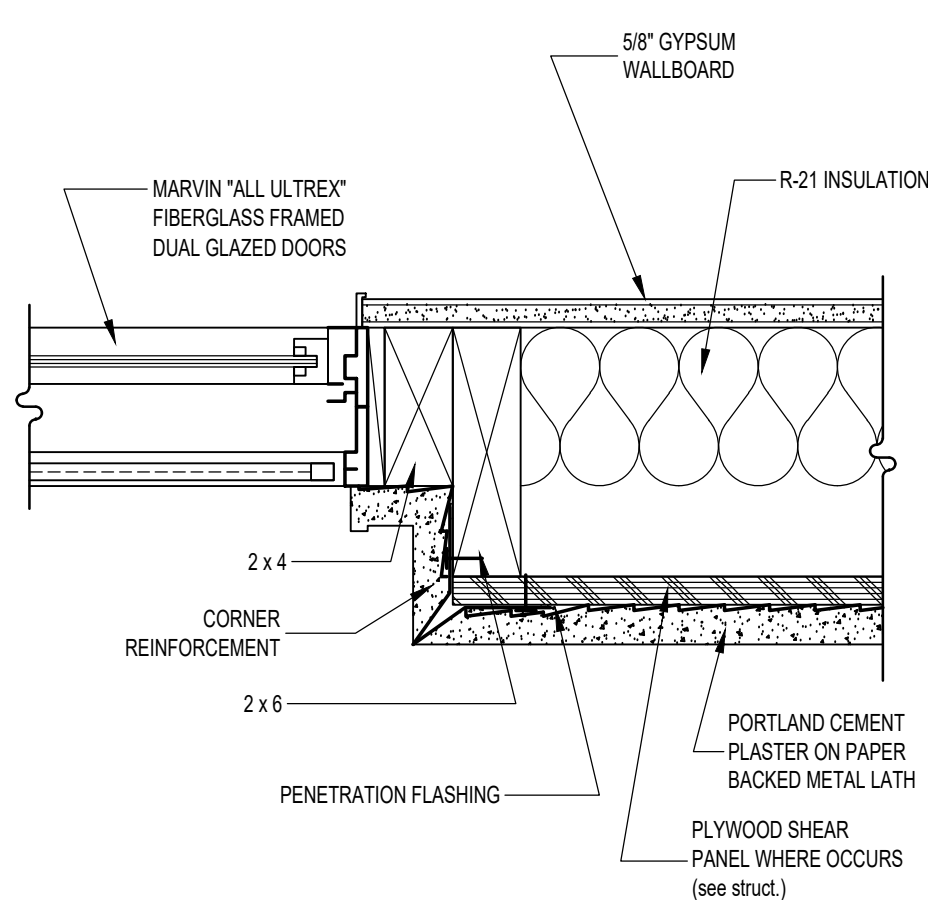
BALCONY / TERRACE

14



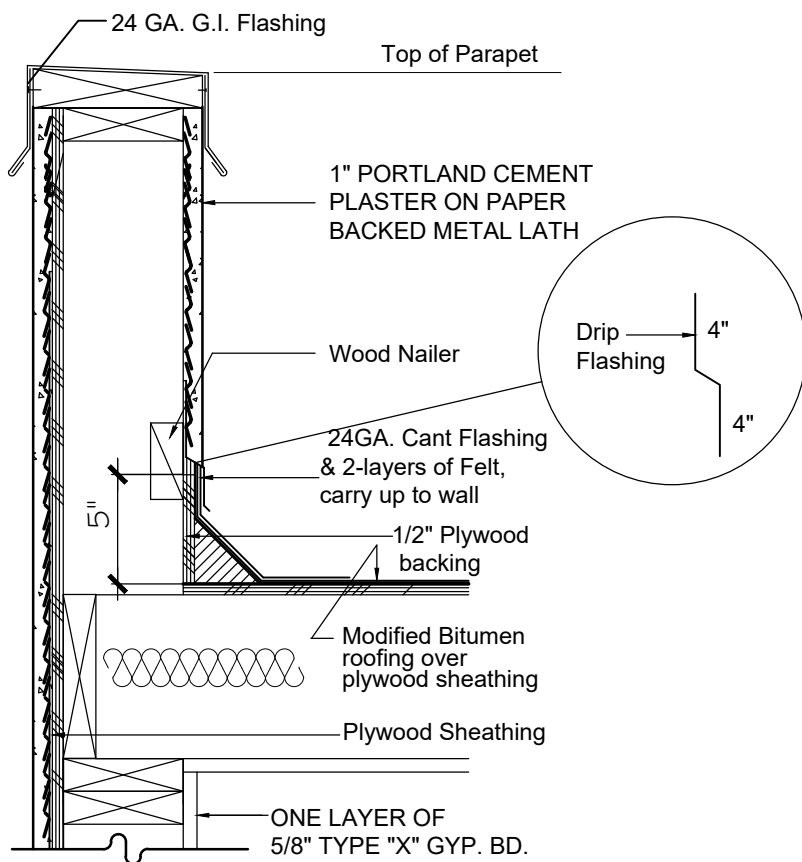
WINDOW JAMB

10



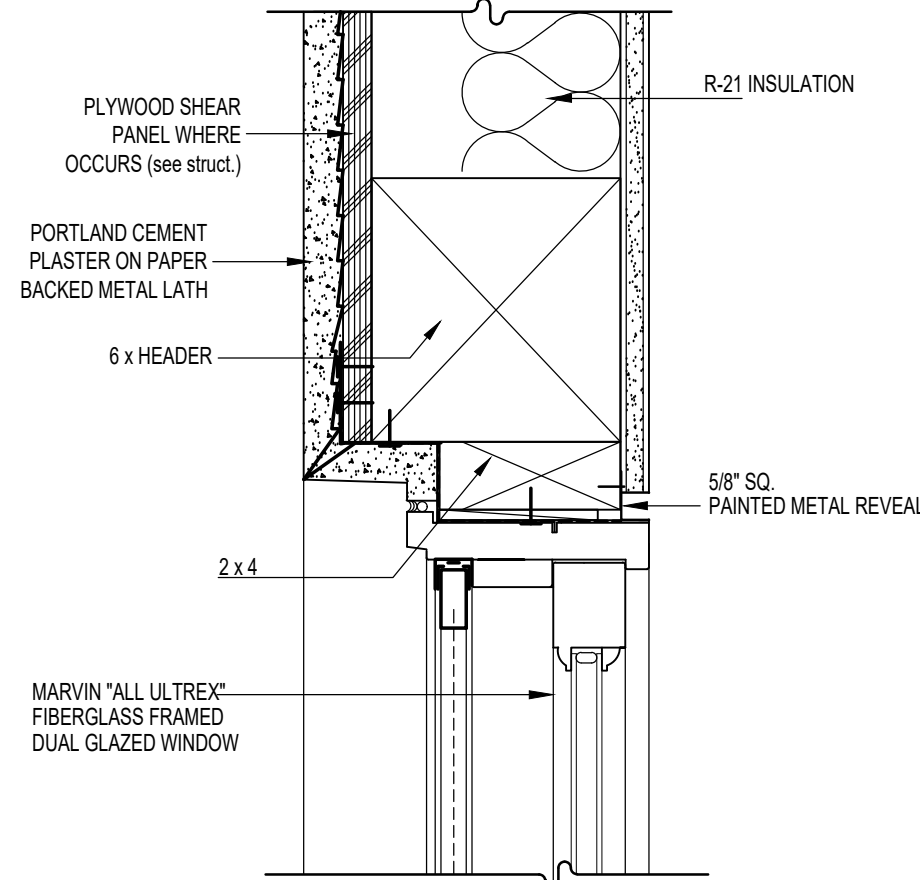
SLIDING GLASS DOOR JAMB

6



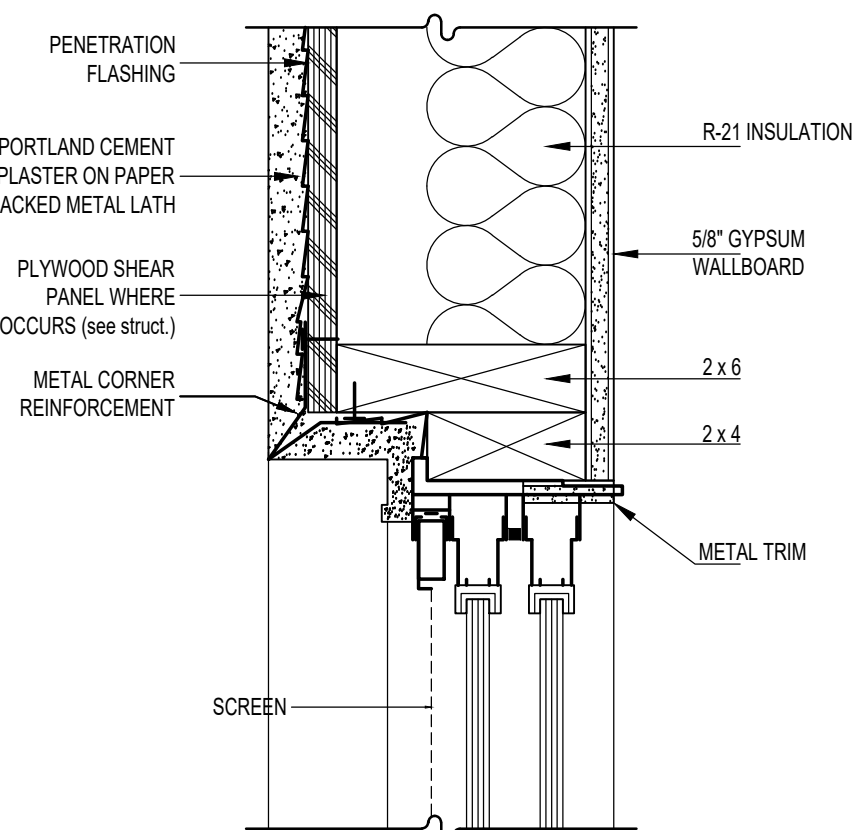
ROOF PARAPET

19



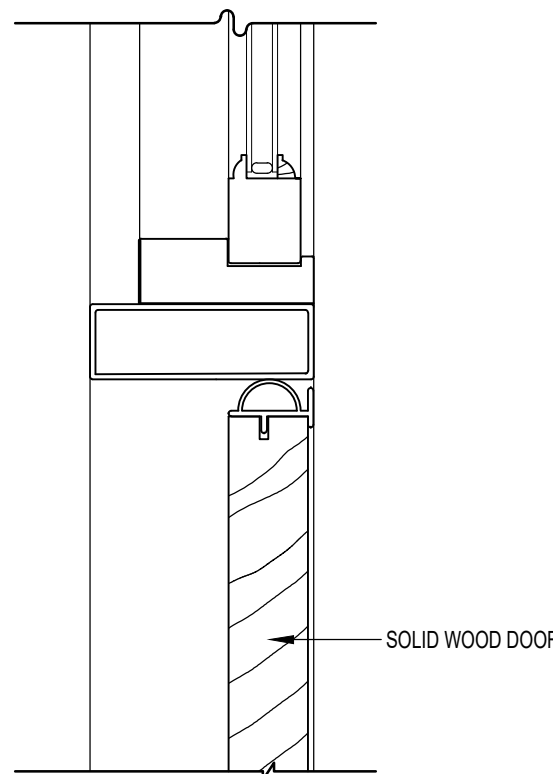
WINDOW HEAD

11



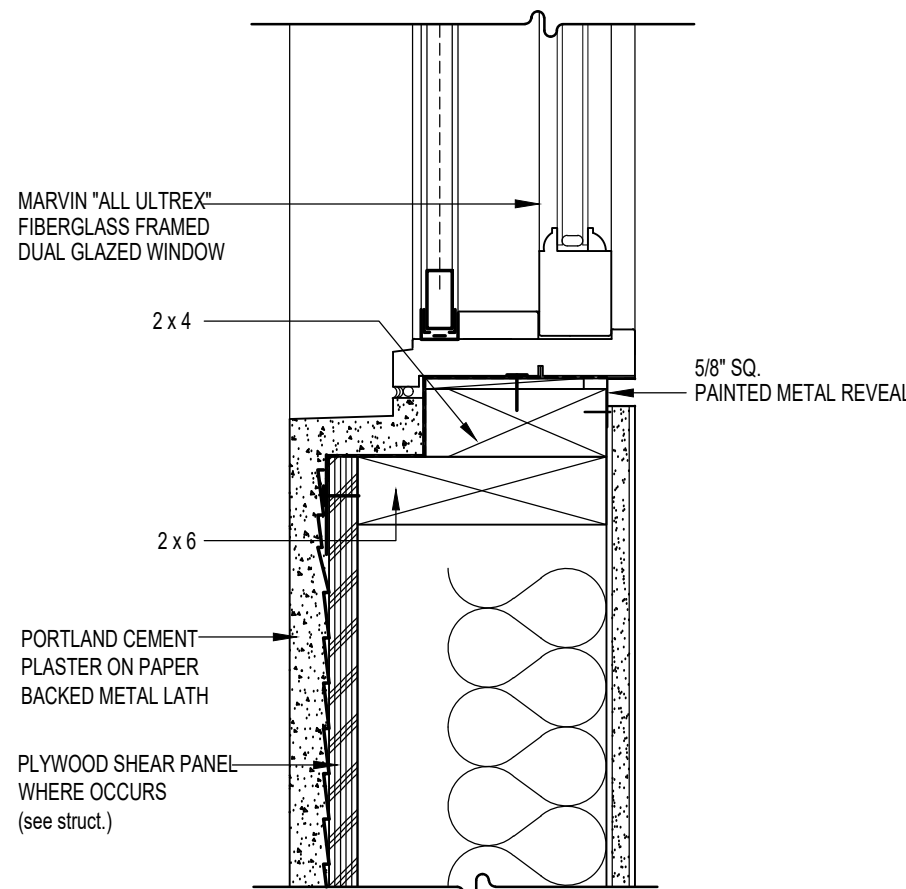
SLIDING GLASS DOOR HEAD

7



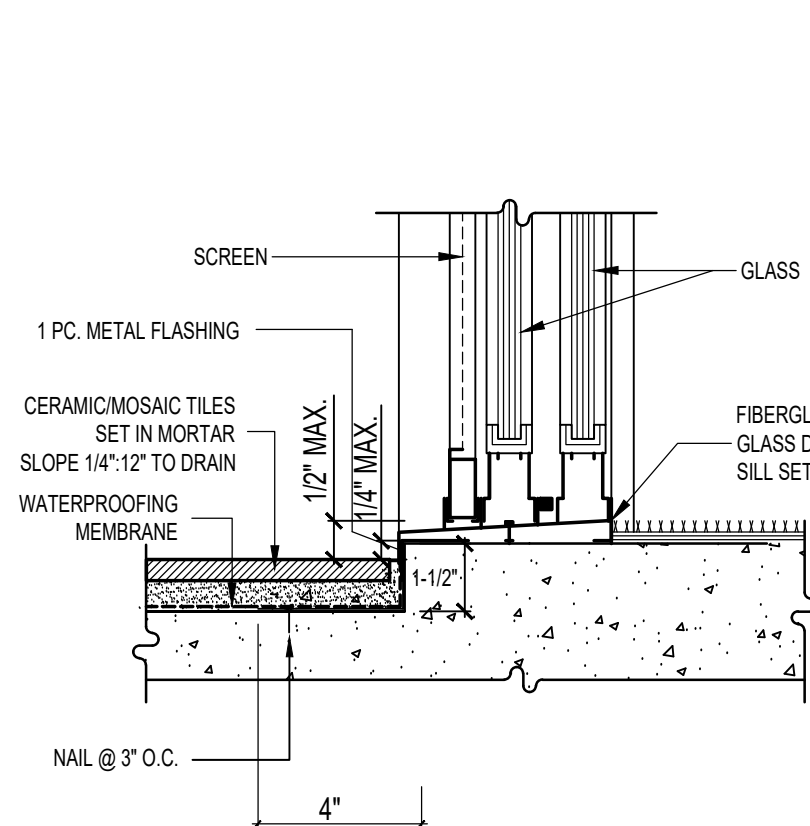
ENTRY DOOR HEAD

3



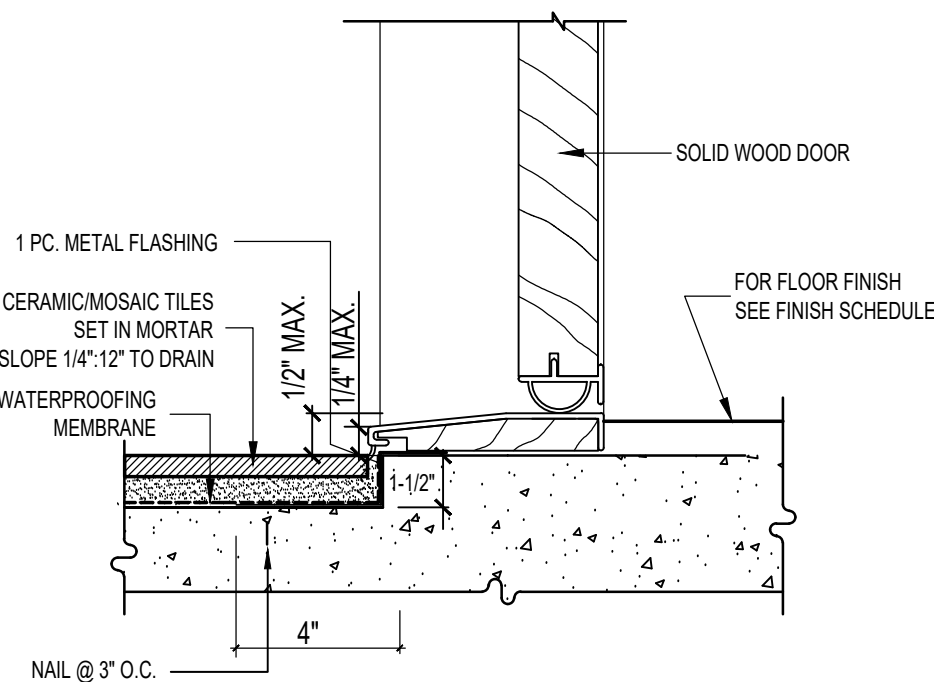
WINDOW SILL

12



SLIDING GLASS DOOR SILL

8



EXT. DOOR THRESHOLD

4



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REVISIONS

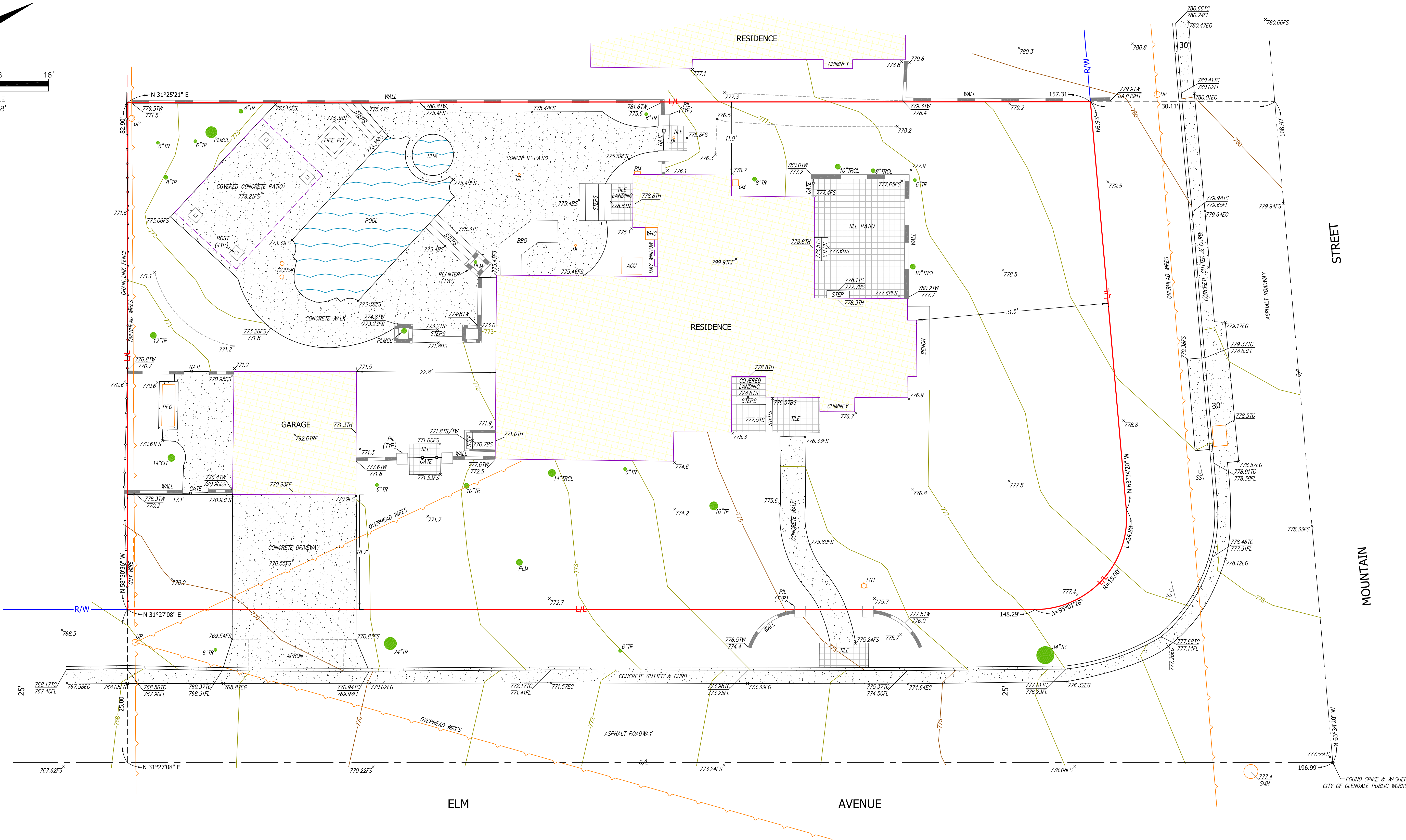
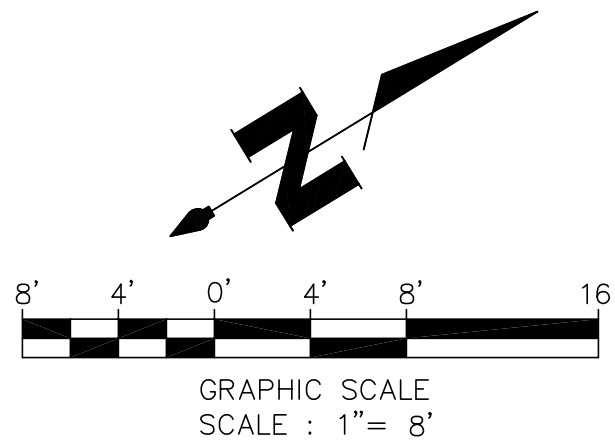
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
DETAILS

DATE	10.05.23
SCALE	1/4" = 1'-0"
DRAWN BY	HZ
JOB NUMBER	091523
SHEET	

A6.1



ABBREVIATIONS:

ACU	AIR CONDITIONING UNIT	PM	POWER METER
BS	BOTTOM OF STEP	PSK	POOL SKIMMER
C/L	CENTERLINE	R/W	RIGHT OF WAY
CIT	CITRUS TREE	SMH	SEWER MANHOLE
DI	DRAIN INLET	SS	STREET SIGN
EG	EDGE OF GUTTER	TC	TOP OF CURB
FF	FINISHED FLOOR	TG	TOP OF GRATE
FL	FLOWLINE	TH	THRESHOLD
FS	FINISHED SURFACE	TR	TREE
GM	GAS METER	TRCL	TREE CLUSTER
L/L	LOT LINE	TRF	TOP OF ROOF
LGT	LIGHT	TS	TOP OF STEP
PEQ	POOL EQUIPMENT	TW	TOP OF WALL
PIL	PILLAR	TYP	TYPICAL
PLM	PALM TREE	UP	UTILITY POLE
PLMCL	PALM TREE CLUSTER	WHC	WATER HEATER CLOSET

BENCH MARK:

B.M. NO. BM2564 NGVD 1929 CITY OF GLENDALE BENCH MARK

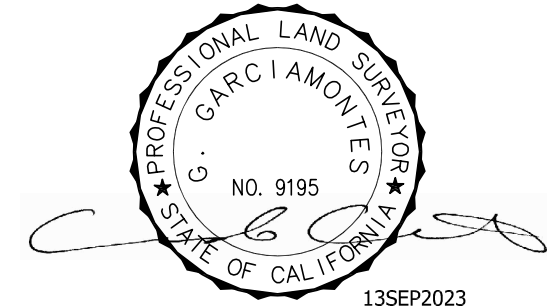
BRASS DISK IN S'LY CURB MOUNTAIN ST. 1.0FT. W-O BCR S/W'LY CORNER STAMPED
'CITY OF GLENDALE BM 2564 2014'

ELEVATION = 786.24 FEET

(ADJUSTMENT 141)

NOTE:

1. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS WERE NOT PLOTTED, IF ANY



REVISION NOTES		
DATE	DESCRIPTION	BY

SITE AREA:
13,293 SQ.FT.

JOB NO. 23-2707

SCALE: 1" = 8'

DATE: SEP 2023

DRAFTED: LD

SHEET NO.

1

OF 1 SHEET

TOPOGRAPHY SURVEY

Portion of Lot 12, Tract No. 3893,
M.B. 42, Pg. 6
2026 W Mountain Street
Glendale, CA 91201

PREPARED FOR:

Alderin Barghi
(818) 359-2861

PREPARED BY:

GMON Surveying, Inc.

Gerardo Garciamontes, PLS 9195

517 E Wilson Avenue, Ste. 102, Glendale CA 91206

Office: 323.336.6725 | 818.478.2017

gmonsurveying.com

























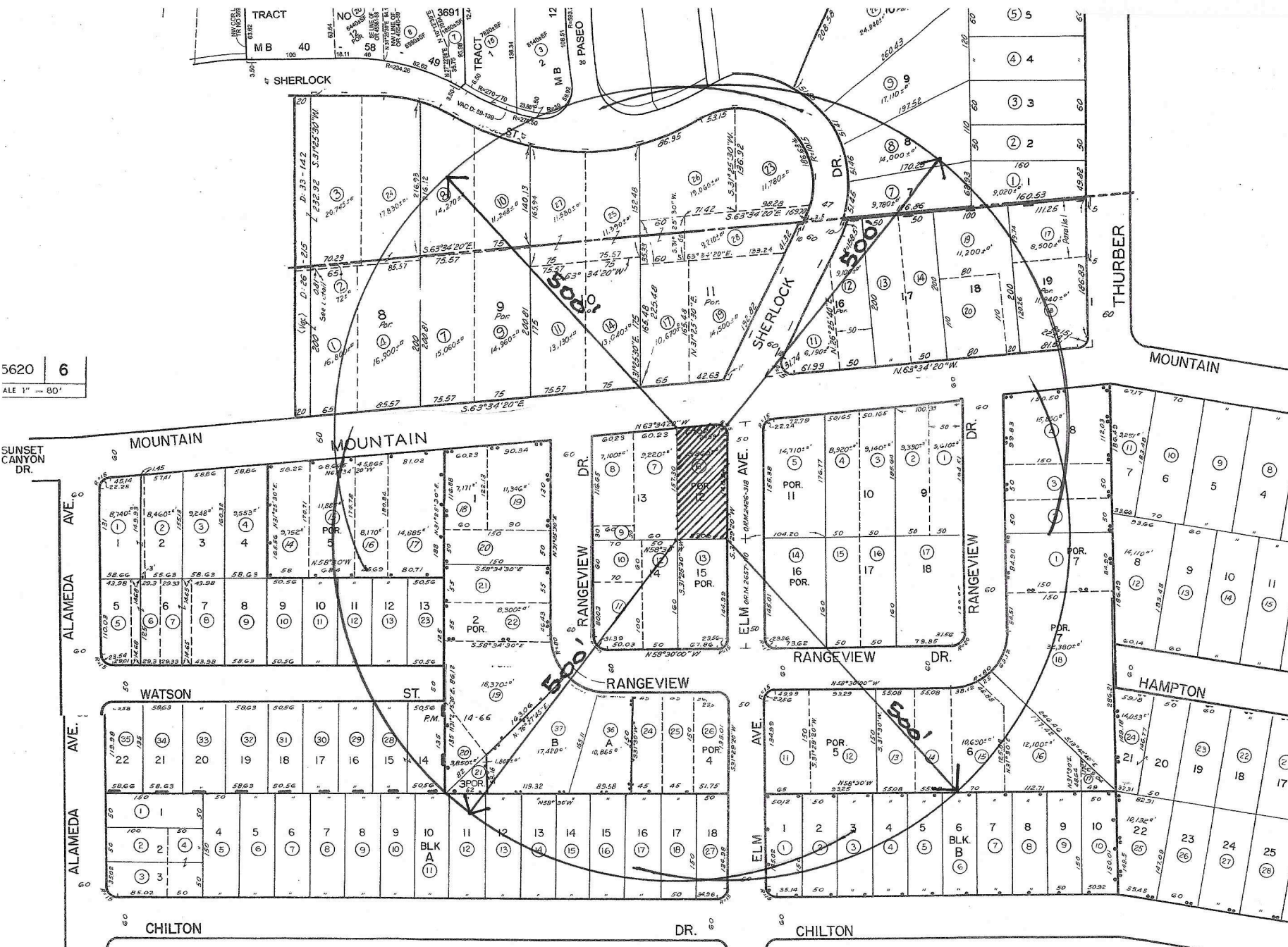


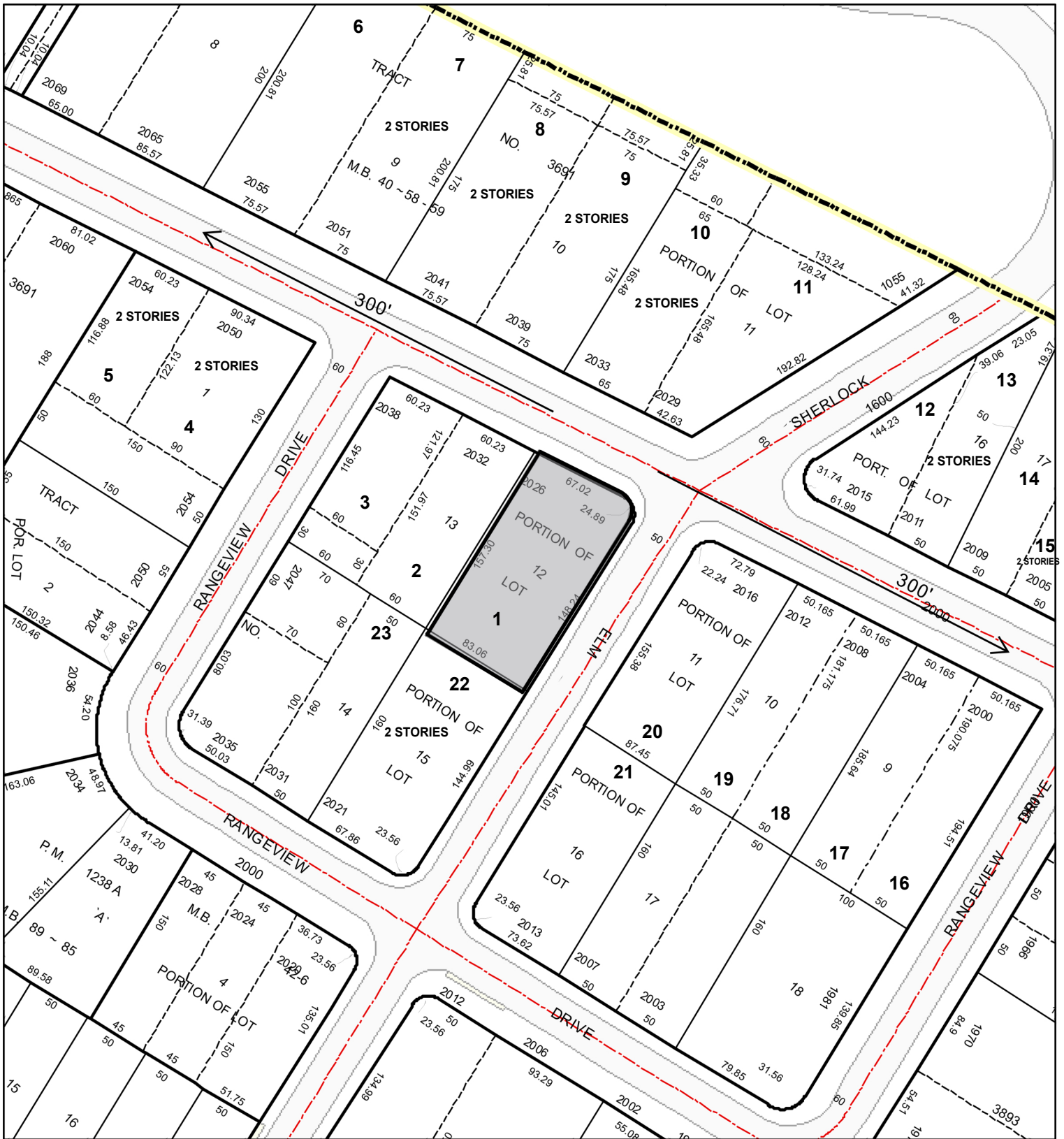
LOCATION MAP

1"=200'



5620 6
ALE 1" = 80'





SCALE: 1" = 100'

PHOTO INDEX MAP
2026 W MOUNTAIN ST
GLENDALE, CA 91201
APN: 5620-007-006
300 LINEAR FEET
DATE: 12-26-2023



Centerpoint
Radius Maps



Photo 1 – 2026 W Mountain St



Photo 2 – 2032 W Mountain St



Photo 3 – 2038 W Mountain St



Photo 4 – 2050 W Mountain St



Photo 5 – 2054 W Mountain St



Photo 6 – 2055 W Mountain St



Photo 7 – 2051 W Mountain St

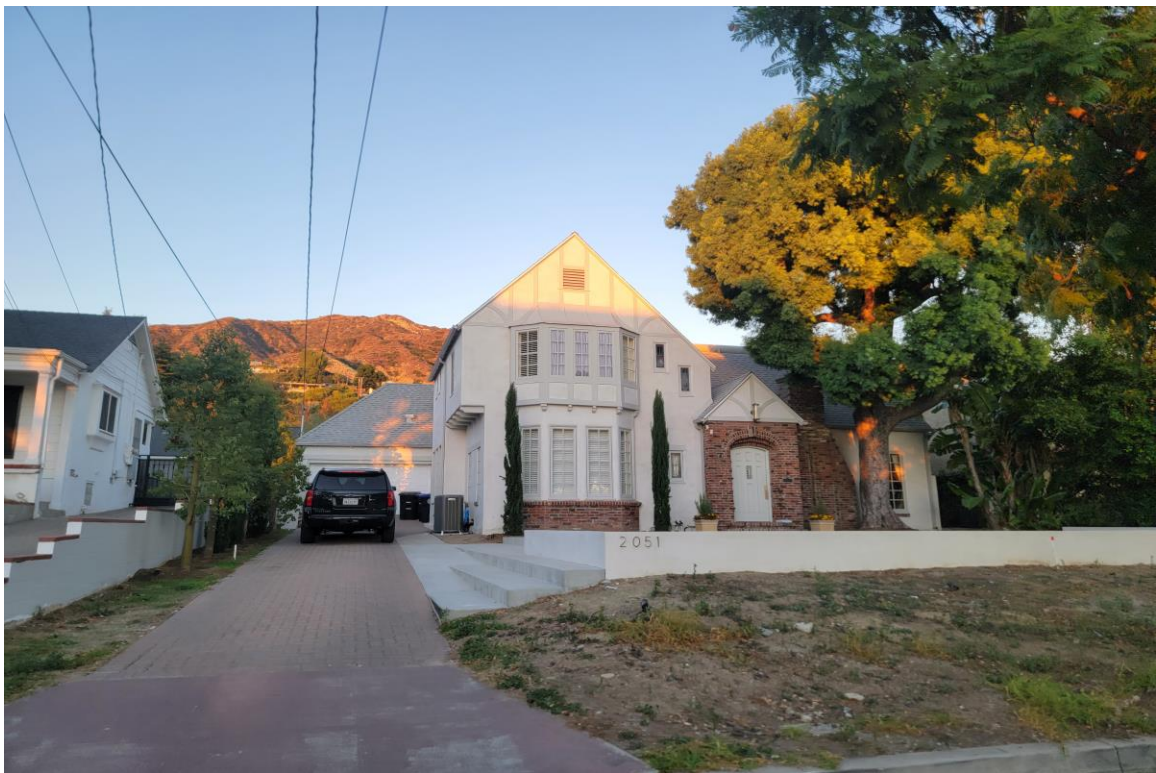


Photo 8 – 2041 W Mountain St



Photo 9 – 2039 W Mountain St



Photo 10 – 2033 W Mountain St



Photo 11 – 2029 W Mountain St



Photo 12 – 2015 W Mountain St



Photo 13 – 2011 W Mountain St



Photo 14 – 2009 W Mountain St



Photo 15 – 2005 W Mountain St



Photo 16 – 2000 W Mountain St



Photo 17 – 2004 W Mountain St



Photo 18 – 2008 W Mountain St



Photo 19 – 2012 W Mountain St



Photo 20 – 2016 W Mountain St



Photo 21 – 2013 Rangeview Dr



Photo 22 – 2021 Rangeview Dr



Photo 23 – 2031 Rangeview Dr

