



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – MULTI FAMILY

**February 6, 2025**

*Decision Date*

**311 Irving Avenue**

*Address*

**Administrative Design Review (ADR)**

*Review Type*

**5625-010-015**

*APN*

**PADR-004013-2024**

*Case Number*

**Aris Artunyan**

*Applicant*

**Shoghig Yepremian, Planner**

*Case Planner*

**Arnou Aghamalian**

*Owner*

#### Project Summary

The project is proposing to demolish the existing 1,023 square foot single family house (constructed in 1941) and 400 square foot detached garage and construct a new two-story multi-family development with three attached units located in the R3050 (Moderate Density Residential) zone. Each unit will consist of the following:

Unit #1 1,555 square feet with an attached two-car garage

Unit #2 and #3 1,465 square feet with an attached two-car garage

#### Environmental Review

The project is exempt from California Environmental Quality Act (CEQA) review as a Class 3 "New construction or conversion of small structures" exemption pursuant to Section 15303 (b) of the State CEQA Guidelines because the proposed construction of three new dwelling units will not result in an increase of more than six dwelling units.

#### Existing Property/Background

The project site is 9,185 square-feet with frontage on Irving Avenue. The property was originally developed in 1941 with a 1,023 square-foot single-family residence with a detached 400 square foot garage. On February 21, 2024, the Planning Commission reviewed and approved an alley vacation application to vacate the alley between Allen and Irving Avenues (First Alley Northeasterly of Victory Boulevard-Alley 21) which was located just south of the subject property. The approval was in conjunction with proposed improvements to the existing buildings and parking areas for the property located at 1857 Victory Boulevard. As a result of the alley vacation the subject site square footage increased from 7,515 to 9,185 square feet.

#### Staff Recommendation

Approve with Conditions



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**Last Date Reviewed / Decision**

First time submittal for final review.

**Zone: R3050 Moderate Density Residential**

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

On February 21, 2024, the Planning Commission reviewed and approved an alley vacation application to vacate the alley between Allen and Irving Avenues (First Alley Northeasterly of Victory Boulevard-Alley 21) which was located just south of the subject property. The approval was in conjunction with proposed improvements to the existing buildings and parking areas for the property located at 1857 Victory Boulevard. As a result of the alley vacation the subject site square footage increased from 7,515 to 9,185 square feet.

**Site Slope and Grading**

Flat lot-less than 50% average current slope. No additional review is required.

**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography
- ☐ Alteration of landform minimized

The proposed project is to construct three attached units on the property with vehicular access from Irving Avenue to each individual garages. The Multi-Family Residential Design Guidelines recommend that projects consider prevailing setbacks of buildings on the street and code requirements. The project provides 26'-6" street front setback meeting minimum code requirement and consistent with similar development pattern on Irving Avenue.

**Yards and Usable Open Space**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Avoid altering landform to create flat yards
- ☐ Outdoor areas integrated into open space



- ☐ Use of retaining walls minimized
- ☐ Provide landscaping to reduce visual impact of retaining walls
- ☐ Decorative material used for retaining walls to blend into landscape and/or complement the building design

The project provides a combined area of 1,370 square feet of common open space area at the rear of the property to be shared by the occupants of three units. The project also provides 84 square foot balcony for unit #1 and 86 square feet of balcony for units #2 and #3. The Multi-Family Residential Design Guidelines recommend outdoor areas to be integrated into the site design of new developments and be easily accessible to all units.

#### **Garage Location and Driveway**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Consistent with predominant pattern on street
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

The proposed project provides three individual attached garages all accessed from Irving Avenue. The project provides decorative pavements in accordance with the Multi-Family Design Guidelines.

**Landscape Design** (Existing Landscaping at the front of the property will remain and new landscaping is proposed to be added)

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Complementary to building design and surrounding site
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

The proposed landscape plan includes low and very low water use plants as identified on [www.bewaterwise.com](http://www.bewaterwise.com) or WUCOLS.

#### **Walls and Fences**

☐ **yes**   ☒ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located
- ☐ Stormwater runoff minimized



**Equipment, Trash, and Drainage**

☒ **yes**    ☐ **n/a**    ☐ **no**

*If “no” select from below and explain:*

- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ All screening integrated with overall building and/or landscape design
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Trash and air conditioning units are proposed to be located at the north side of the property and will be enclosed and/or screened.

**Lighting**

☒ **yes**    ☐ **n/a**    ☐ **no**

*If “no” select from below and explain:*

- ☐ Light fixtures are appropriate to the building and/or landscape design
- ☐ Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- ☐ Utilize shielded fixtures to avoid light spillover onto adjacent properties

**Determination of Compatibility: Site Planning**

The proposed new two story three-unit development is appropriate for the site and its surroundings for the following reasons:

- The site plan provided ample setbacks in accordance with the Zoning Code and consistent with other existing development on Irving Avenue.
- Common outdoor open space area is provided at the rear of the property and accessible to all units.
- Private open space (balcony) is provided for each unit.
- The proposed attached garages are accessed through one 9-foot driveway on Irving Avenue similar to other developments on the street.
- Appropriate planting materials are proposed for the project meeting California water efficient landscape ordinance.
- Trash and air conditioning units are properly enclosed and screened from public view.
- Lighting fixtures are appropriately located near doors, windows, driveway and pathway.

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**Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**

☒ **yes**    ☐ **n/a**    ☐ **no**



*If “no” select from below and explain:*

- ☐ Appropriate proportions and transitions
- ☐ Impact of larger building minimized

The proposed two-story three-unit project is appropriately placed on the property and is compatible with the adjacent single and multi-family development. The units are proposed to be attached, with two car individual garages. The overall height of the building is 21'-10" which is compatible with adjacent single and multi-family development.

### **Building Relates to Existing Topography**

☐ **yes**   ☒ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

### **Consistent Architectural Concept**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Concept governs massing and height

The proposed two-story multi-family development proposes a traditional style architecture with gable roof and horizontal siding.

### **Scale and Proportion**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

### **Roof Forms**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

The project proposes gable roof design (4:12 pitch) with charcoal color composition wood shingles consistent with traditional style design.



## Determination of Compatibility: Mass and Scale

The proposed massing and scale would be appropriate to the site and its surroundings for the following reasons:

- The overall height of the building is 21'-10" which is compatible with adjacent single and multi-family development. The proposed two-story multi-family development's mass and scale transitions well with surrounding development through setbacks, height and roof design.
- The proposed traditional style design provides architectural elements such as gable roof, sidings and window treatments consistent with the traditional style architecture.

## Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

### Entryway

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Entryway to each unit is designed to provide individual and private access from the pathway located on the north side of the property.

### Windows

☐ **yes**   ☐ **n/a**   ☒ **no**

*If "no" select from below and explain:*

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☒ Recessed in wall, when appropriate

On Sheet A2.02, vertical window sections show recessed fiberglass casement windows with a block framed installation. However, the window schedule identifies a nail-on



window with a faux plant-on sill – which does not match vertical window section. Prior to plan check submittal, a detailed window section of a recessed window to be provided.

### **Privacy**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

The project is designed in such a way to avoid windows for each unit not facing each other.

### **Finish Materials and Color**

☒ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately
- ☐ Natural colors appropriate to hillside area

The proposed development will have white horizontal siding and charcoal color roof shingles. Wrought iron guard rails in charcoal color are proposed for the balconies.

### **Paving Materials**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

The project is proposing decorative paving for the driveway.

### **Lighting, Equipment, Trash, and Drainage**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☒ Vents, utility connections integrated with design, avoid primary facades



Utility connection locations are not shown on the plans. All utility connections shall avoid primary facades and be screened. Plans shall incorporate utility connection locations prior to submittal to plan check.

### **Ancillary Structures**

☐ **yes**    ☒ **n/a**    ☐ **no**

*If “no” select from below and explain:*

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

### **Determination of Compatibility: Design and Detailing**

The proposed multi-family development design and detailing is appropriate to the site and its surroundings as follows:

- The overall project design is consistent throughout the proposed project by providing gable roof design, casement windows, and façade details.
- All utility connections shall avoid primary facades and be screened. Plans shall incorporate utility connection locations prior to submittal to plan check.

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### **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

#### **Conditions**

- Utility connections located above ground shall avoid primary façade or be screened with landscaping.
- Prior to submittal to plan check, the window details on Sheet A-2.02 shall be revised to correspond with the proposed window schedule.

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### **Attachments**

1. Reduced Plans
2. Photos of Existing Property
3. Location Map





SOLAR OPTIMUM  
EMPLOYEE HOUSING  
311 IRVING AVE.  
GLENDALE, CA 91201

EXCLUSIVE DESIGN GROUP

3800 LA CRESCENTA AVE. suite 104  
LA CRESCENTA, CA 91214  
818-429-3373  
ArisArtunyan@gmail.com

SUBMITTAL:		DATE:
REVISIONS:		DATE:

PROJECT NAME:

NEW 3-UNIT RESIDENTIAL

PROJECT OWNER:

ARNOU AGHAMALIAN  
614 W. COLORADO ST.  
GLENDALE, CA 91204

PROJECT ADDRESS:

311 IRVING AVE.  
GLENDALE, CA 91201

DRAWING TITLE:

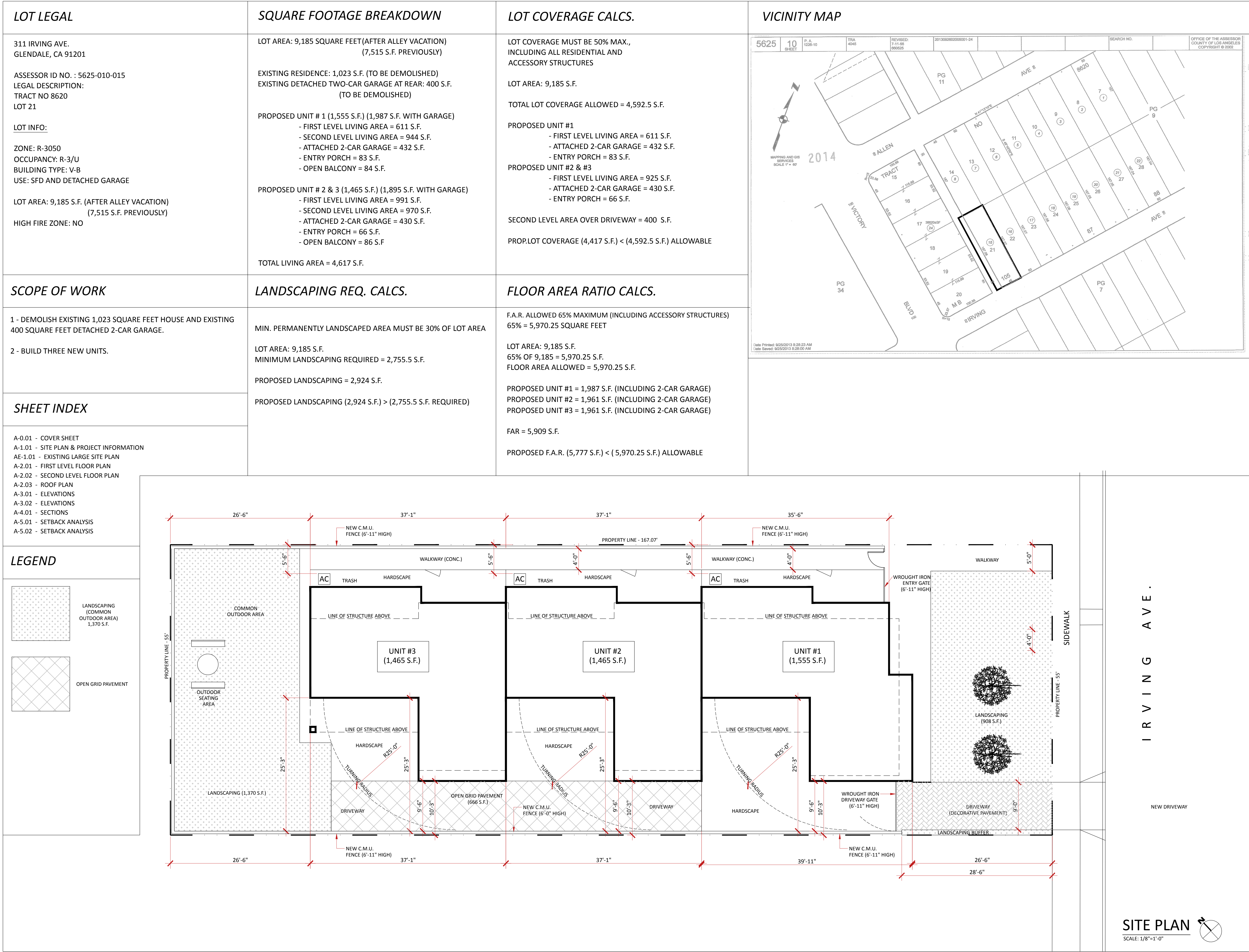
COVER SHEET

SCALE:	
DATE: 4-30-2024	
DRAWN BY:	
JOB NUMBER:	

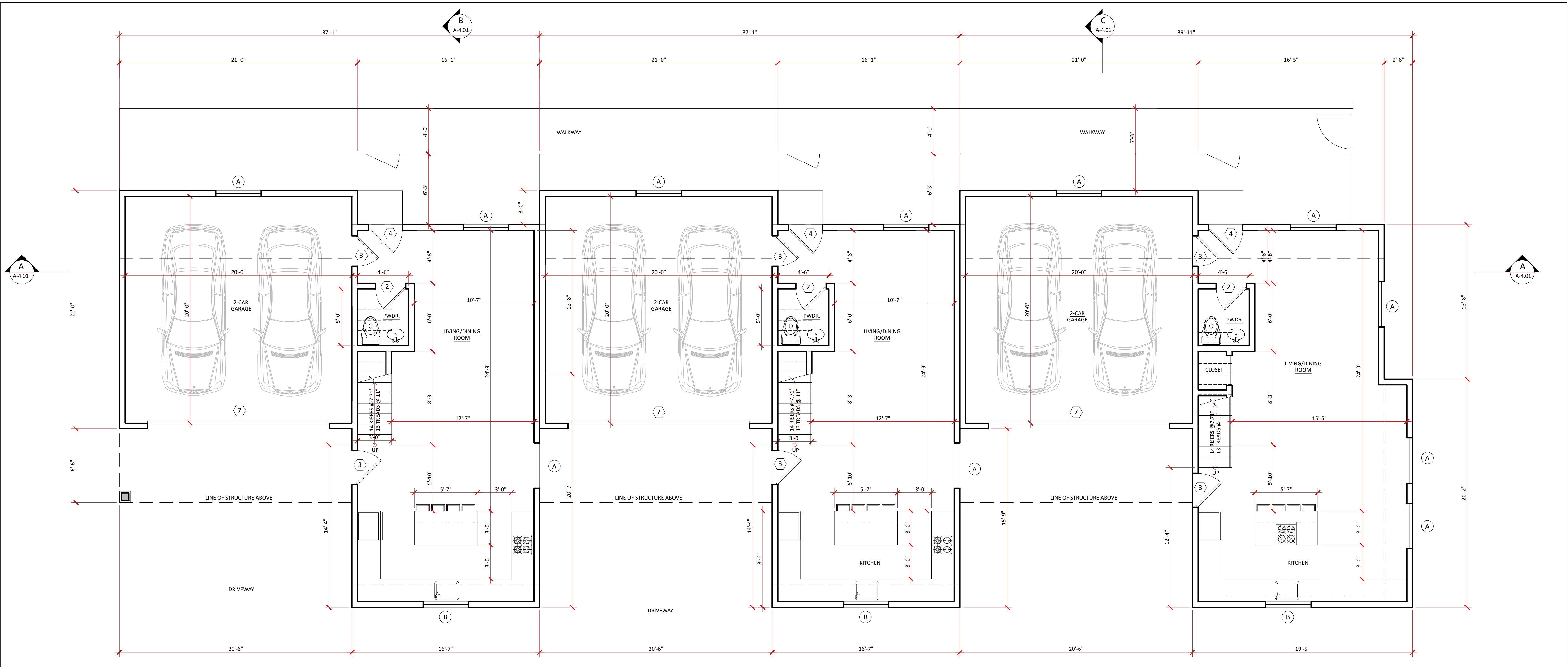
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A-0.01









FIRST LEVEL FLOOR PLAN

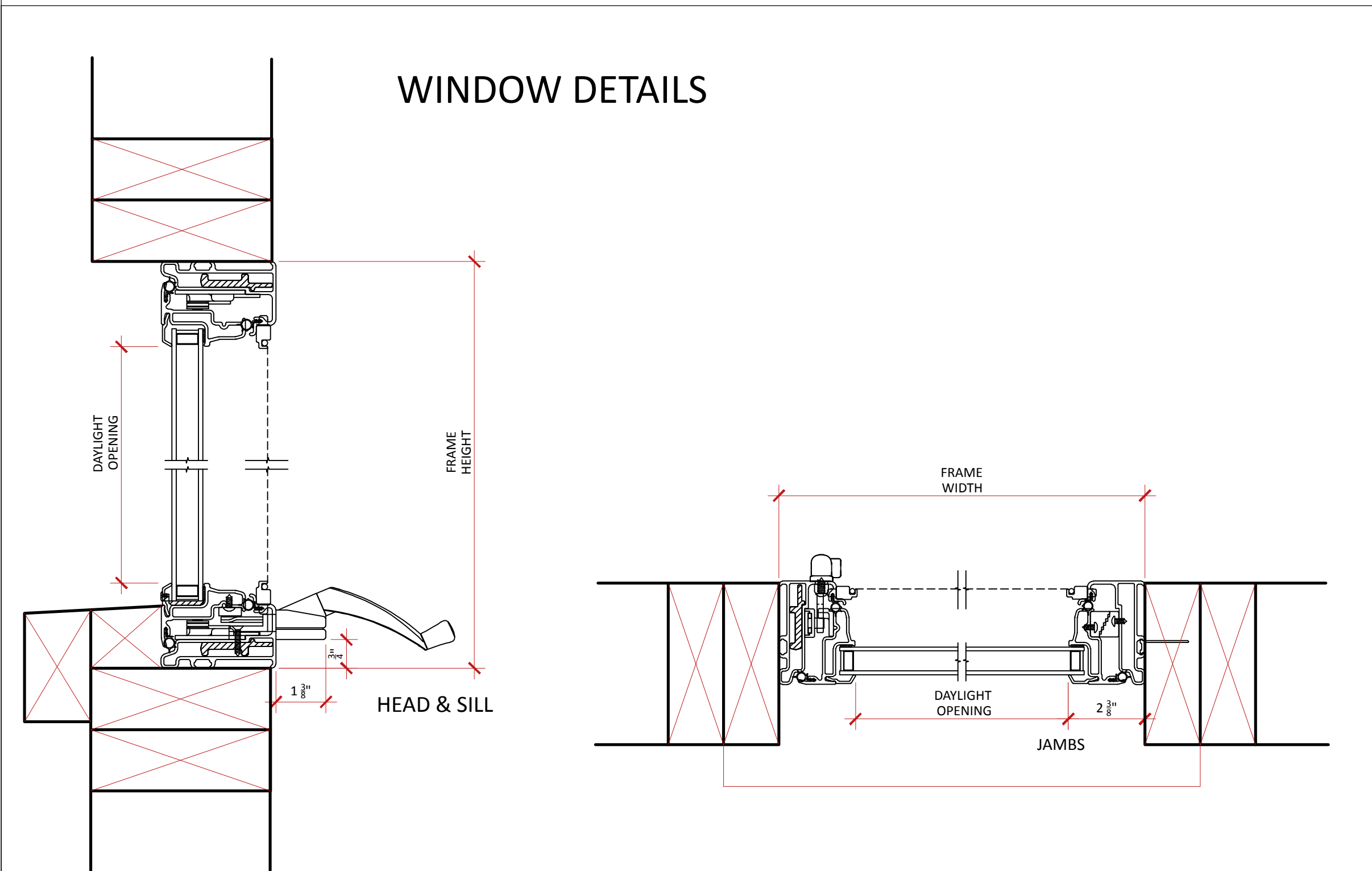
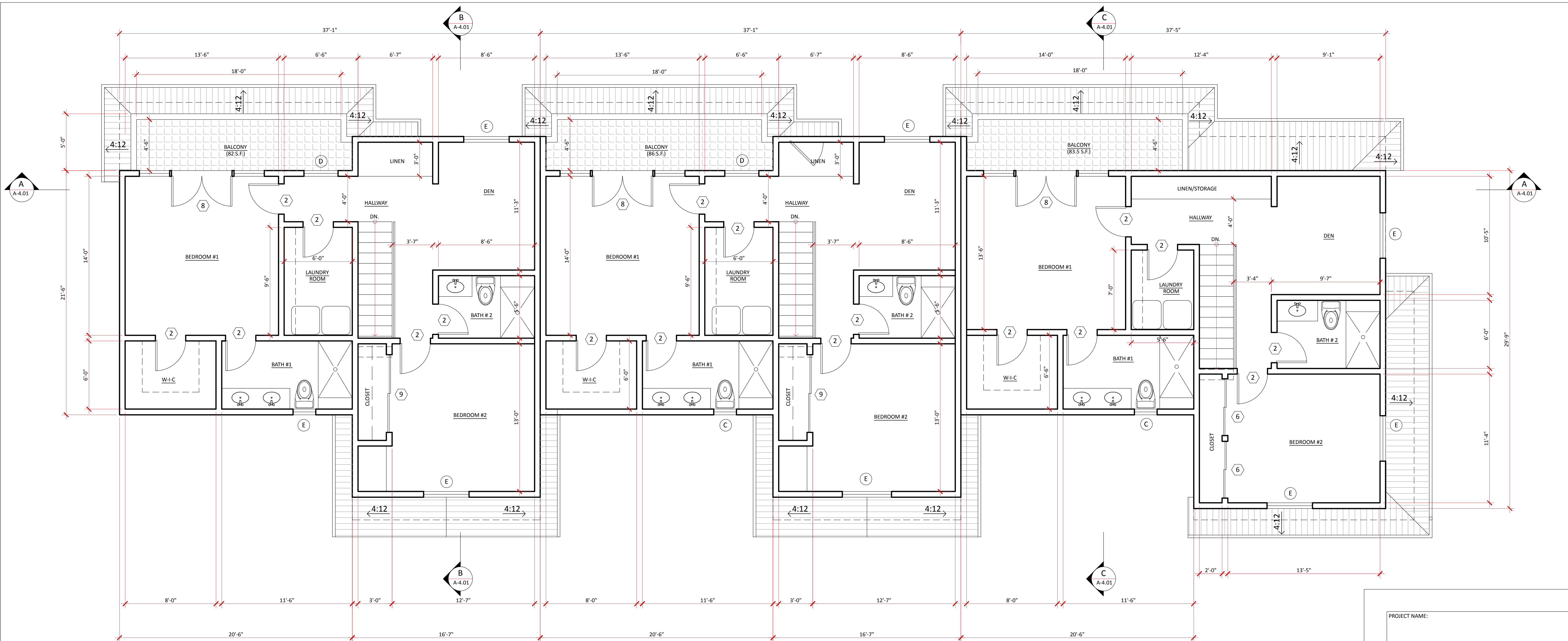
SCALE: 1/4"=1'-0"

DOOR SCHEDULE					
SYM.	MAT.	W	H	TYP.	REMARKS
1		3'-0"	6'-8"		ENTRY DOOR
2		2'-8"	6'-8"		
3		3'-0"	6'-8"		20 MIN. FIRE RATED DOOR, SELF CLOSING.
4		3'-0"	6'-8"		EXTERIOR DOOR
6		5'-0"	6'-8"		SLIDING CLOSET DOORS
7		16'-0"	7'-0"		GARAGE DOOR
8		6'-0"	6'-8"		FRENCH DOORS WITH 3'-0" SIDELIGHTS
9		7'-0"	6'-8"		SLIDING CLOSET DOORS

WINDOW SCHEDULE																			
WIN. NUMBER	QUANTITY	EXISTING WIDTH x HEIGHT	NEW WIDTH x HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM STREET?	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID?	KEEP EXISTING SILL & FRAME?	BUILD NEW SILL & FRAME?	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BEDROOM?	ENERGY EFFICIENT?	TEMPERED?	FIRE HAZARD ZONE?	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR?
A	6	N/A	4'-0" x 5'-0"	N/A	FIB.	YES	N/A	CASEMENT	NAIL-ON	YES	N/A	YES	N/A	FRAME	NO	U-FACTOR -.30 SHGC -.23	NO	NO	NO
B	1	N/A	4'-0" x 3'-0"	N/A	FIB.	NO	N/A	CASEMENT	NAIL-ON	YES	N/A	YES	N/A	FRAME	NO	U-FACTOR -.30 SHGC -.23	NO	NO	NO
C	3	N/A	2'-0" x 4'-0"	N/A	FIB.	NO	N/A	CASEMENT	NAIL-ON	NO	N/A	YES	N/A	FRAME	NO	U-FACTOR -.30 SHGC -.23	NO	NO	NO
D	6	N/A	3'-0" x 5'-0"	N/A	FIB.	NO	N/A	CASEMENT	NAIL-ON	NO	N/A	YES	N/A	FRAME	NO	U-FACTOR -.30 SHGC -.23	NO	NO	NO
E	6	N/A	4'-0" x 4'-0"	N/A	FIB.	YES	N/A	CASEMENT	NAIL-ON	YES	N/A	YES	N/A	FRAME	NO	U-FACTOR -.30 SHGC -.23	NO	NO	NO

PROJECT OWNER: <b>ARNOU AGHAMALIAN</b> 614 W. COLORADO ST. GLENDALE, CA 91204	
PROJECT ADDRESS:  <b>311 IRVING AVE.</b> <b>GLENDALE, CA 91201</b>	
DRAWING TITLE:  <b>FIRST LEVEL FLOOR PLAN</b>	
SCALE: <b>1/4"=1'-0"</b>	
DATE: <b>7-30-2024</b>	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:  <b>A-2.01</b>



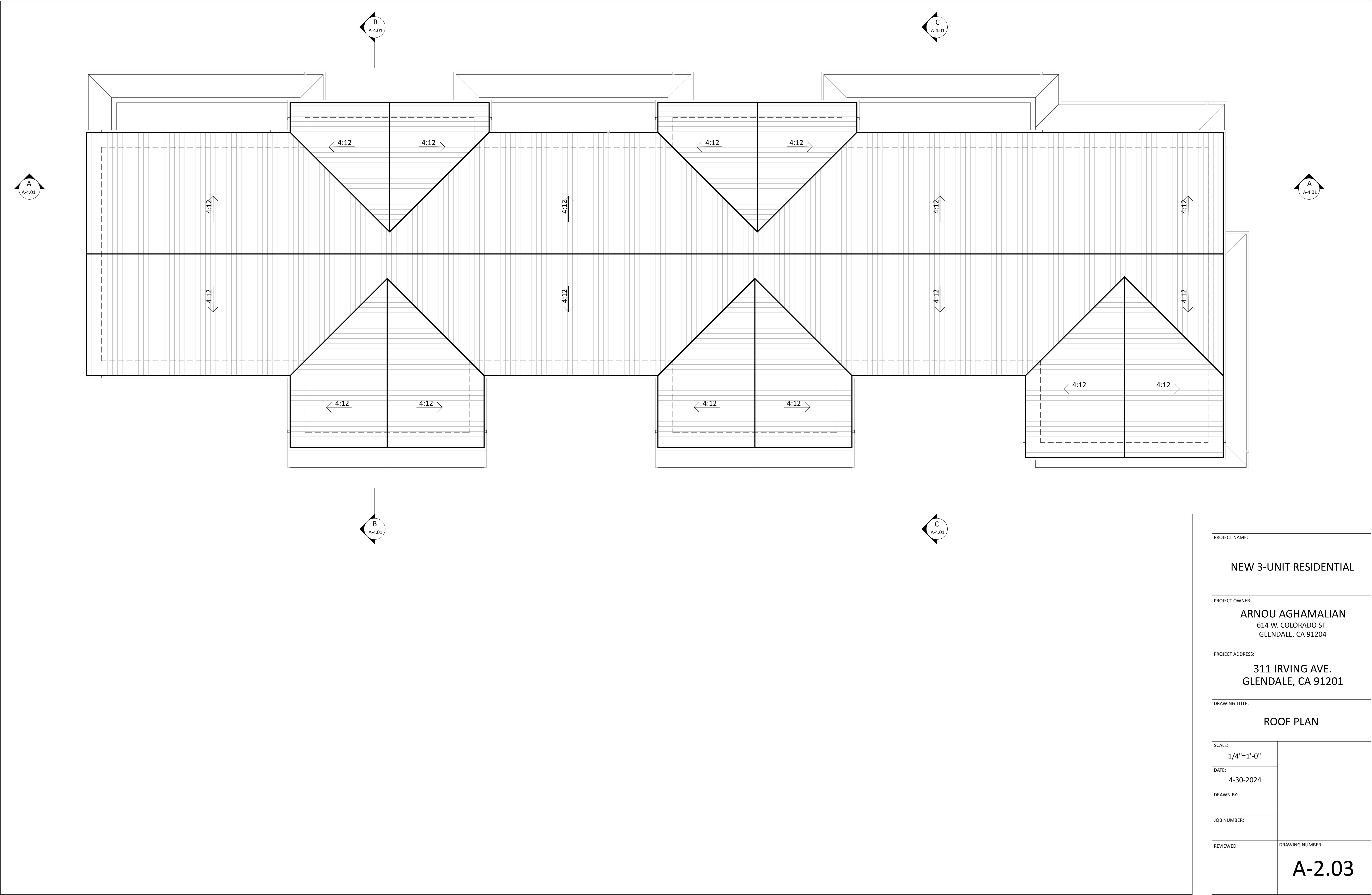


SECOND LEVEL FLOOR PLAN 

SCALE: 1/4"=1'-0"

PROJECT NAME: <b>NEW 3-UNIT RESIDENTIAL</b>	
PROJECT OWNER: <b>ARNOU AGHAMALIAN</b> 614 W. COLORADO ST. GLENDALE, CA 91204	
PROJECT ADDRESS: <b>311 IRVING AVE.</b> <b>GLENDALE, CA 91201</b>	
DRAWING TITLE: <b>SECOND LEVEL FLOOR PLAN</b>	
SCALE: 1/4"=1'-0"	
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DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER: <b>A-2.02</b>





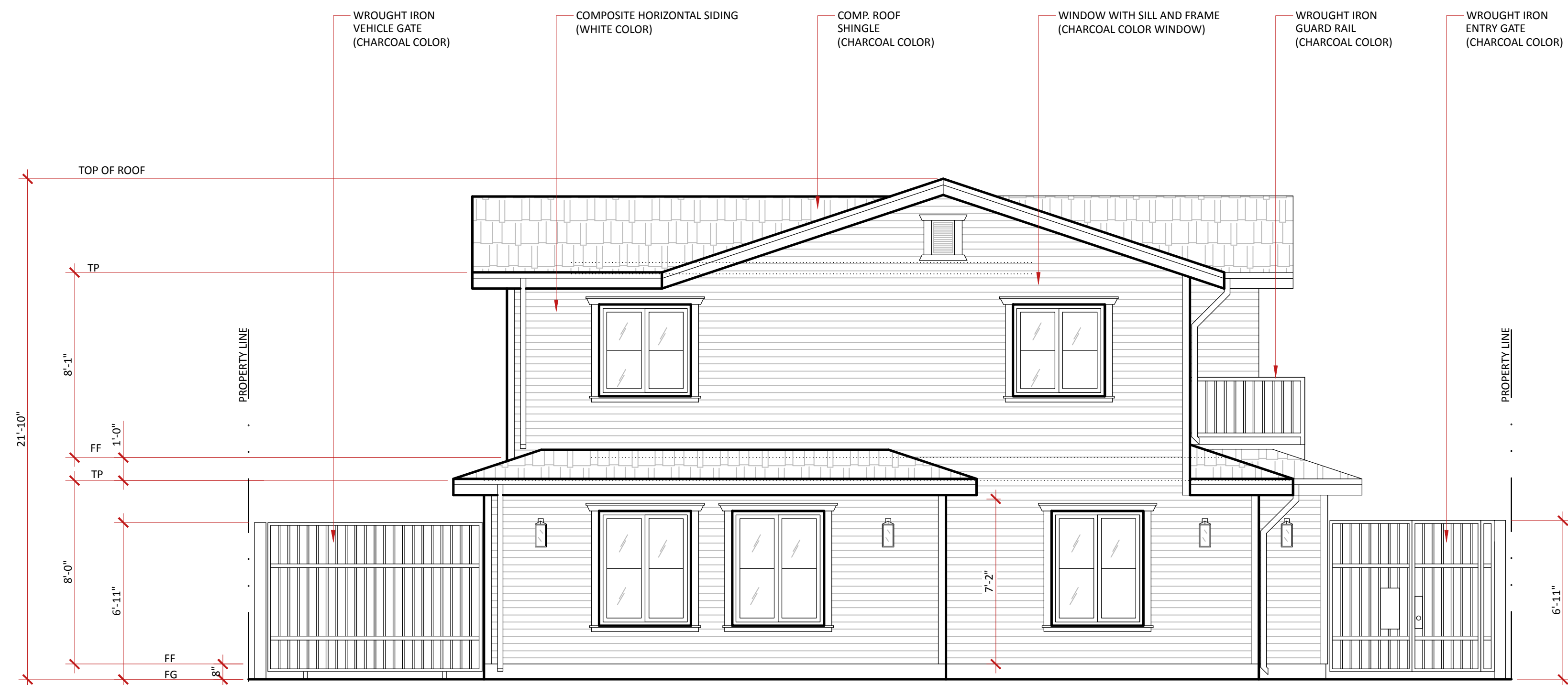
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NEW 3-UNIT RESIDENTIAL	
PROJECT OWNER:	
ARNOU AGHAMALIAN 614 W. COLORADO ST. GLENDALE, CA 91204	
PROJECT ADDRESS:	
311 IRVING AVE. GLENDALE, CA 91201	
DRAWING TITLE:	
ROOF PLAN	
SCALE:	
1/4"=1'-0"	
DATE:	
4-30-2024	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:
	A-2.03





**SOUTH-WEST ELEVATION (DRIVEWAY)**

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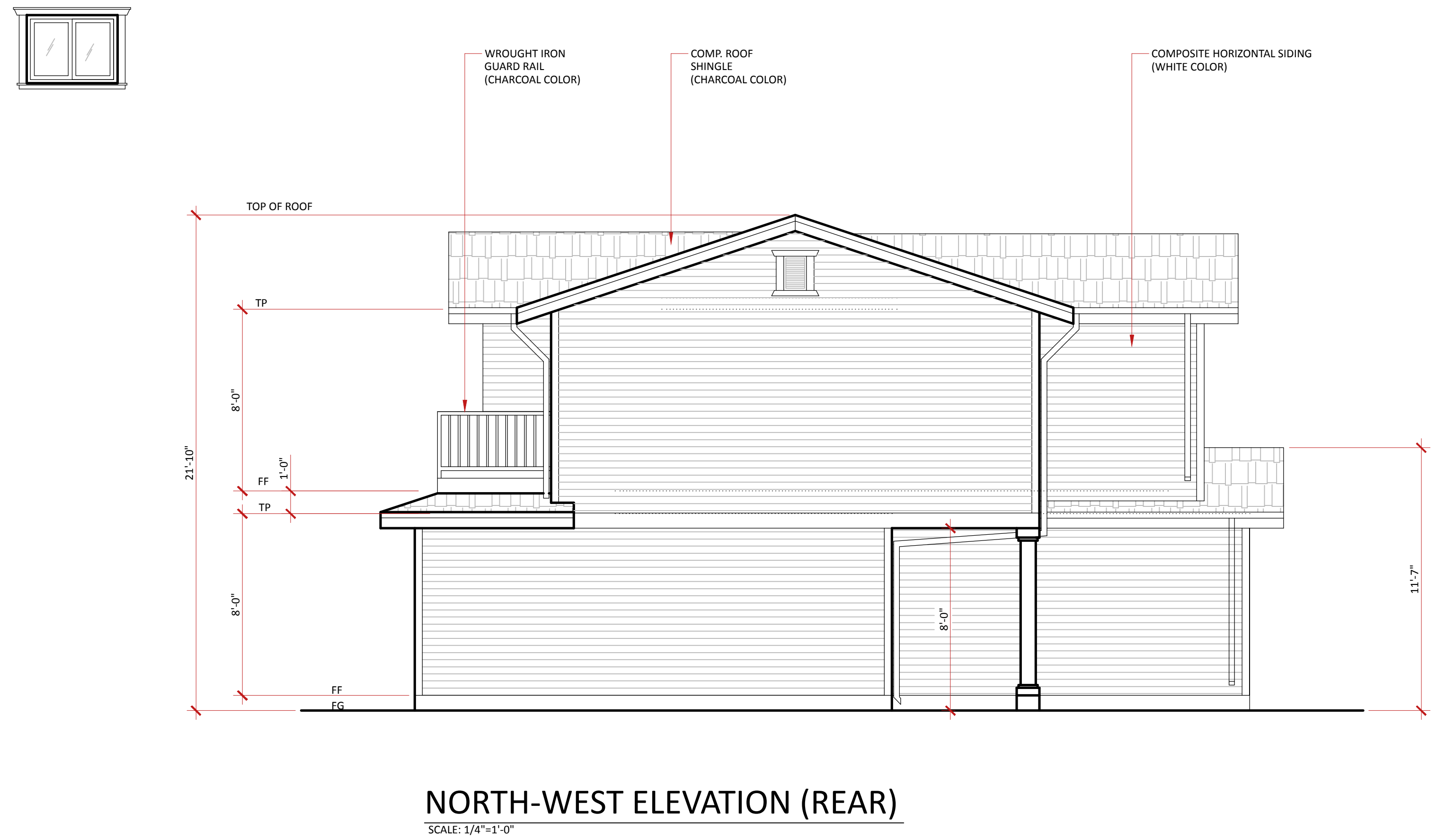


**SOUTH-EAST ELEVATION (FRONT)**

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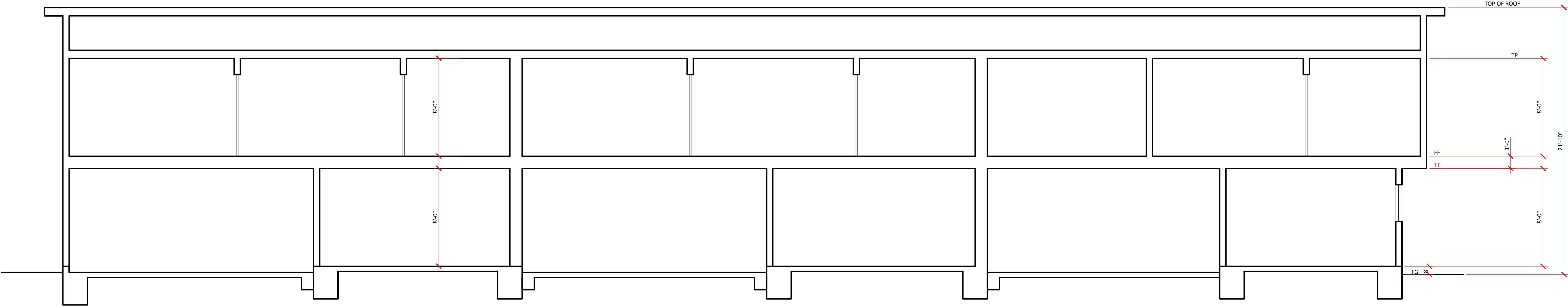
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PROJECT OWNER: <b>ARNOU AGHAMALIAN</b> 614 W. COLORADO ST. GLENDALE, CA 91204	
PROJECT ADDRESS:  <b>311 IRVING AVE.</b> <b>GLENDALE, CA 91201</b>	
DRAWING TITLE:  <b>ELEVATIONS</b>	
SCALE: <b>1/4"=1'-0"</b>	
DATE: <b>4-30-2024</b>	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:  <b>A-3.01</b>



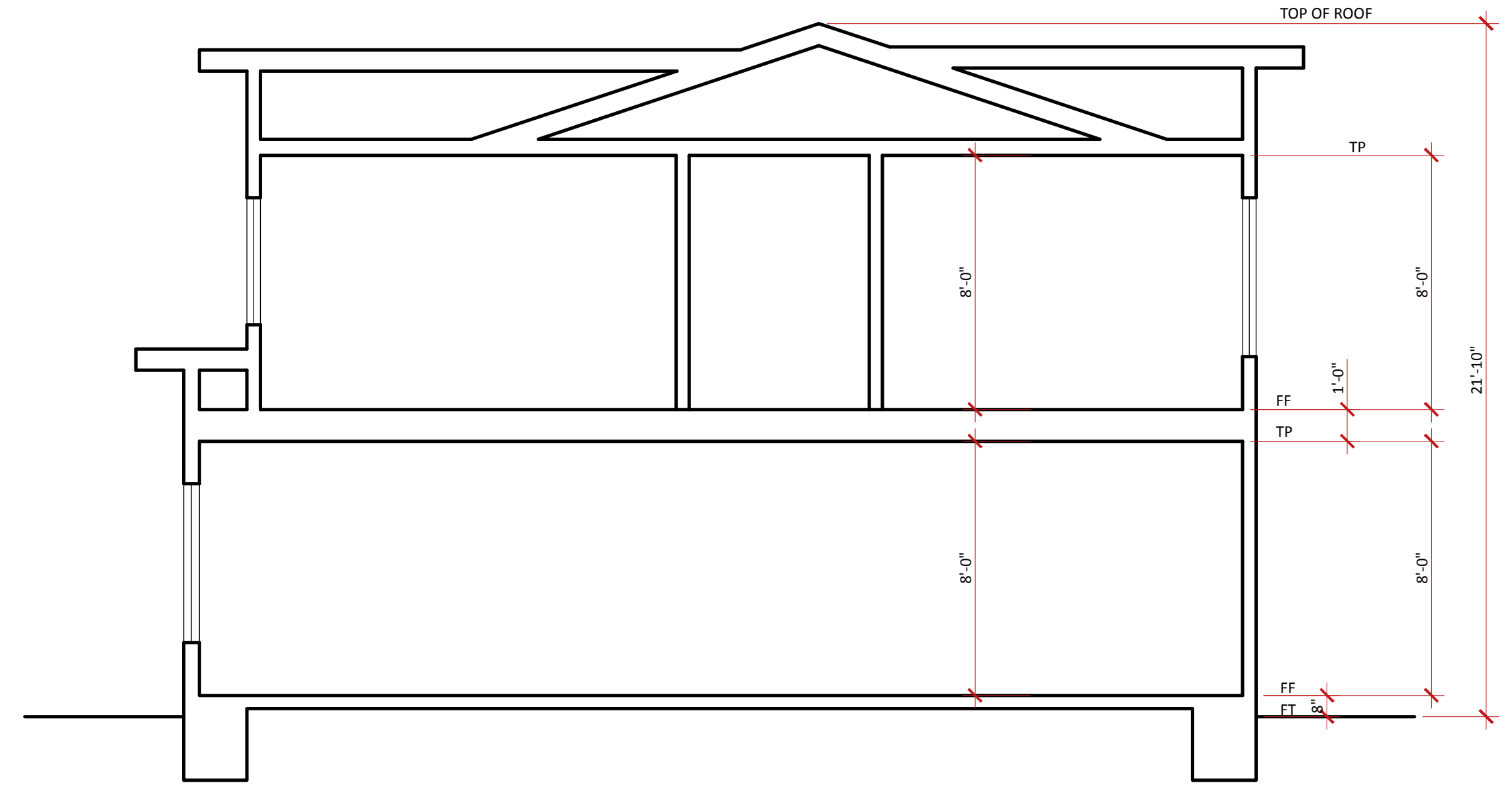


PROJECT NAME:	
NEW 3-UNIT RESIDENTIAL	
PROJECT OWNER:	
ARNOU AGHAMALIAN 614 W. COLORADO ST. GLENDALE, CA 91204	
PROJECT ADDRESS:	
311 IRVING AVE. GLENDALE, CA 91201	
DRAWING TITLE:	
ELEVATIONS	
SCALE:	DRAWING NUMBER:
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DATE:	
7-30-2024	
DRAWN BY:	A-3.02
JOB NUMBER:	
REVIEWED:	

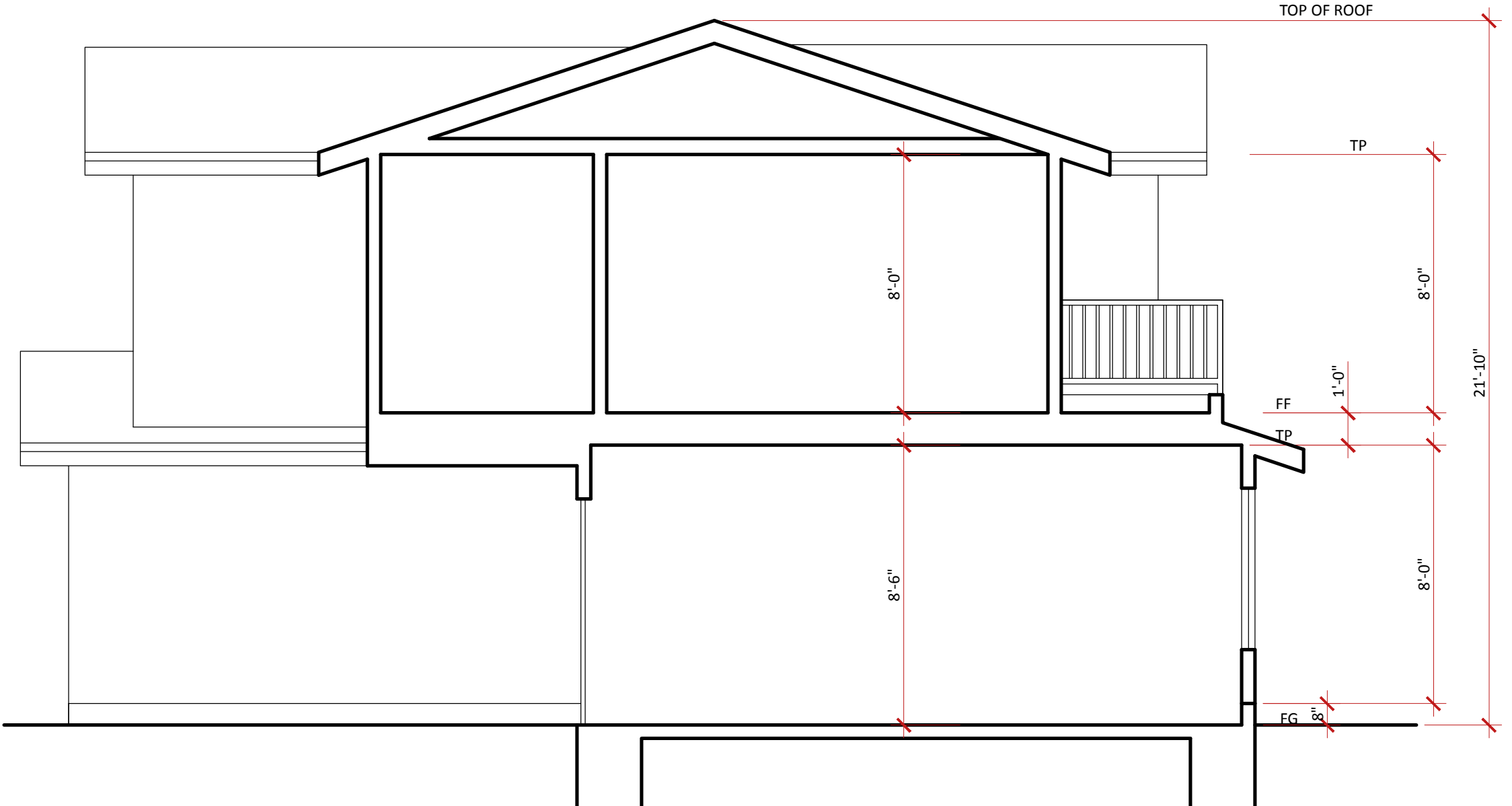




SECTION A-A  
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SECTION B-B  
SCALE: 1/4"=1'-0"

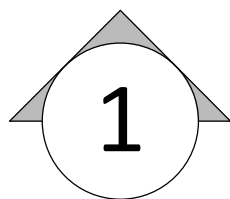
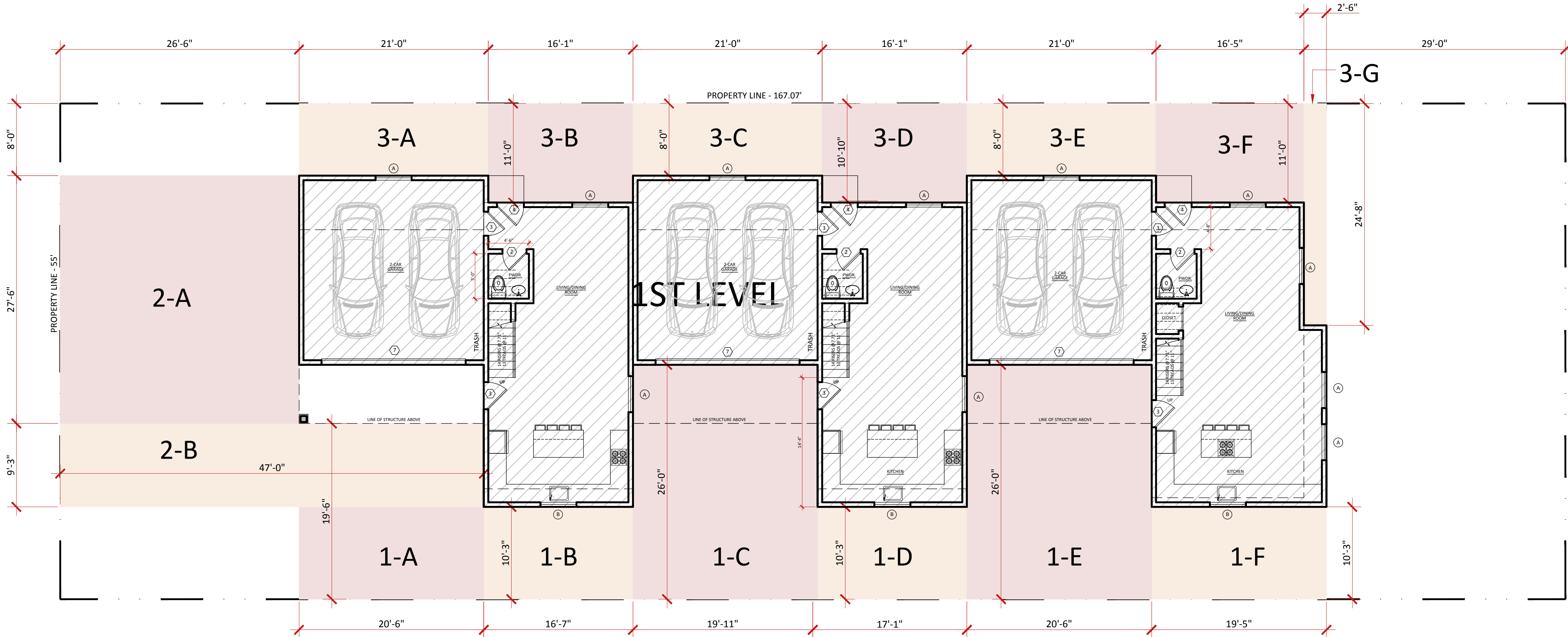
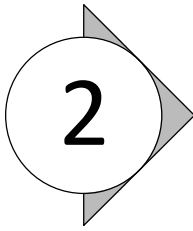


SECTION C-C  
SCALE: 1/4"=1'-0"

PROJECT NAME:  NEW 3-UNIT RESIDENTIAL	
PROJECT OWNER:  ARNOU AGHAMALIAN 614 W. COLORADO ST. GLENDALE, CA 91204	
PROJECT ADDRESS:  311 IRVING AVE. GLENDALE, CA 91201	
DRAWING TITLE:  SECTIONS	
SCALE: 1/4"=1'-0"	
DATE: 4-30-2024	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:  A-4.01



SIDE - 2 CALCULATION		
SETBACK REFERENCE	SIZE (SQ./FT.)	LENGTH (FT)
2-A	728.7	27.5
2-B	434.7	9.25
TOTALS	1,163.4	36.75
SETBACK CALCULATION = 1,163.4/36.75		
AVERAGE SETBACK PROPOSED = 31.6 FEET		
AVERAGE SETBACK REQUIRED = 8 FEET		
MINIMUM SETBACK PROVIDED = 26.5 FEET		
MINIMUM SETBACK REQUIRED = 5 FEET		



SIDE - 1 CALCULATION		
SETBACK REFERENCE	SIZE (SQ./FT.)	LENGTH (FT)
1-A	400	20.5
1-B	170	16.5
1-C	533	20
1-D	170	17
1-E	533	20.5
1-F	199	19.5
TOTALS	2,005	114
SETBACK CALCULATION = 2,005/114		
AVERAGE SETBACK PROPOSED = 17.5 FEET		
AVERAGE SETBACK REQUIRED = 8 FEET		
MINIMUM SETBACK PROVIDED = 10'-3" FEET		
MINIMUM SETBACK REQUIRED = 5 FEET		

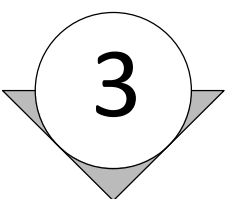
FIRST LEVEL SETBACK AVERAGE PLAN

SCALE: 1/8"=1'-0"

FIRST LEVEL SETBACK REQUIREMENTS

INTERIOR: 5 FEET MINIMUM, 8 FEET AVERAGE  
FRONT: 25 FEET

SIDE - 3 CALCULATION		
SETBACK REFERENCE	SIZE (SQ./FT.)	LENGTH (FT)
3-A	168	21
3-B	176.5	16
3-C	168	21
3-D	176.5	16
3-E	168	21
3-F	180.4	16.5
3-G	61.5	2.5
TOTALS	1,098.9	114
SETBACK CALCULATION = 1,098.9/114		
AVERAGE SETBACK PROPOSED = 9.6 FEET		
AVERAGE SETBACK REQUIRED = 8 FEET		
MINIMUM SETBACK PROVIDED = 8 FEET		
MINIMUM SETBACK REQUIRED = 5 FEET		



EXCLUSIVE DESIGN GROUP

3800 LA CRESCENTA AVE. suite 104  
LA CRESCENTA, CA 91214  
818-429-3373  
ArisArtunyan@gmail.com

SUBMITTAL:		DATE:
REVISIONS:		DATE:

PROJECT NAME:

NEW 3-UNIT RESIDENTIAL

PROJECT OWNER:

ARNO AGHAMALIAN  
614 W. COLORADO ST.  
GLENDALE, CA 91204

PROJECT ADDRESS:

311 IRVING AVE.  
GLENDALE, CA 91201

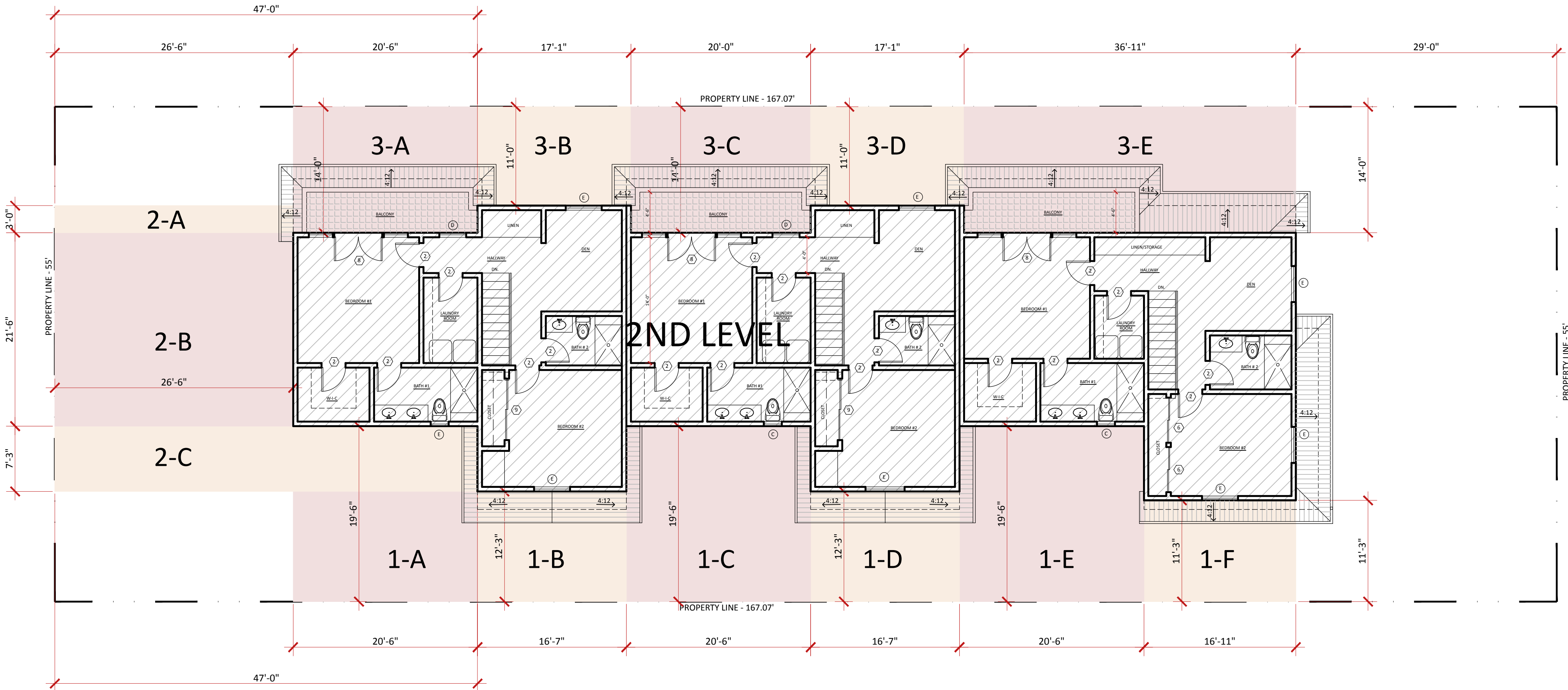
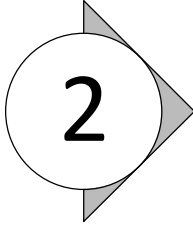
DRAWING TITLE:

FIRST LEVEL SETBACK  
AVERAGE CALCULATION

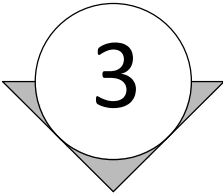
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DATE:	7-30-2024
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:
	A-5.01



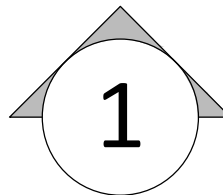
SIDE - 2 CALCULATION		
SETBACK REFERENCE	SIZE (SQ./FT.)	LENGTH (FT)
2-A	141	3
2-B	569.7	21.5
2-C	340.7	7.25
TOTALS	1,051.4	31.75
SETBACK CALCULATION = 1,051.4/31.75		
AVERAGE SETBACK PROPOSED = 33.1 FEET		
AVERAGE SETBACK REQUIRED = 11 FEET		
MINIMUM SETBACK PROVIDED = 26.5 FEET		
MINIMUM SETBACK REQUIRED = 8 FEET		



SIDE - 3 CALCULATION		
SETBACK REFERENCE	SIZE (SQ./FT.)	LENGTH (FT)
3-A	287	20.5
3-B	187.5	17
3-C	280	20
3-D	187.5	17
3-E	516	37
TOTALS	1,458	111.5
SETBACK CALCULATION = 1,458/111.5		
AVERAGE SETBACK PROPOSED = 13 FEET		
AVERAGE SETBACK REQUIRED = 11 FEET		
MINIMUM SETBACK PROVIDED = 11 FEET		
MINIMUM SETBACK REQUIRED = 8 FEET		



SIDE - 1 CALCULATION		
SETBACK REFERENCE	SIZE (SQ./FT.)	LENGTH (FT)
1-A	400	20.5
1-B	202.7	16.5
1-C	400	20.5
1-D	202.7	16.5
1-E	400	20.5
1-F	190	17
TOTALS	1,795.4	111.5
SETBACK CALCULATION = 1,795.4/111.5		
AVERAGE SETBACK PROPOSED = 16.1 FEET		
AVERAGE SETBACK REQUIRED = 11 FEET		
MINIMUM SETBACK PROVIDED = 12.25 FEET		
MINIMUM SETBACK REQUIRED = 8 FEET		



## SECOND LEVEL SETBACK AVERAGE PLAN

### FIRST LEVEL SETBACK REQUIREMENTS

INTERIOR: 8 FEET MINIMUM, 11 FEET AVERAGE  
FRONT: 25 FEET

## EXCLUSIVE DESIGN GROUP

3800 LA CRESCENTA AVE. suite 104  
LA CRESCENTA, CA 91214  
818-429-3373  
ArisArtunyan@gmail.com

SUBMITTAL:		DATE:	
REVISIONS:		DATE:	

PROJECT NAME:  
  
NEW 3-UNIT RESIDENTIAL

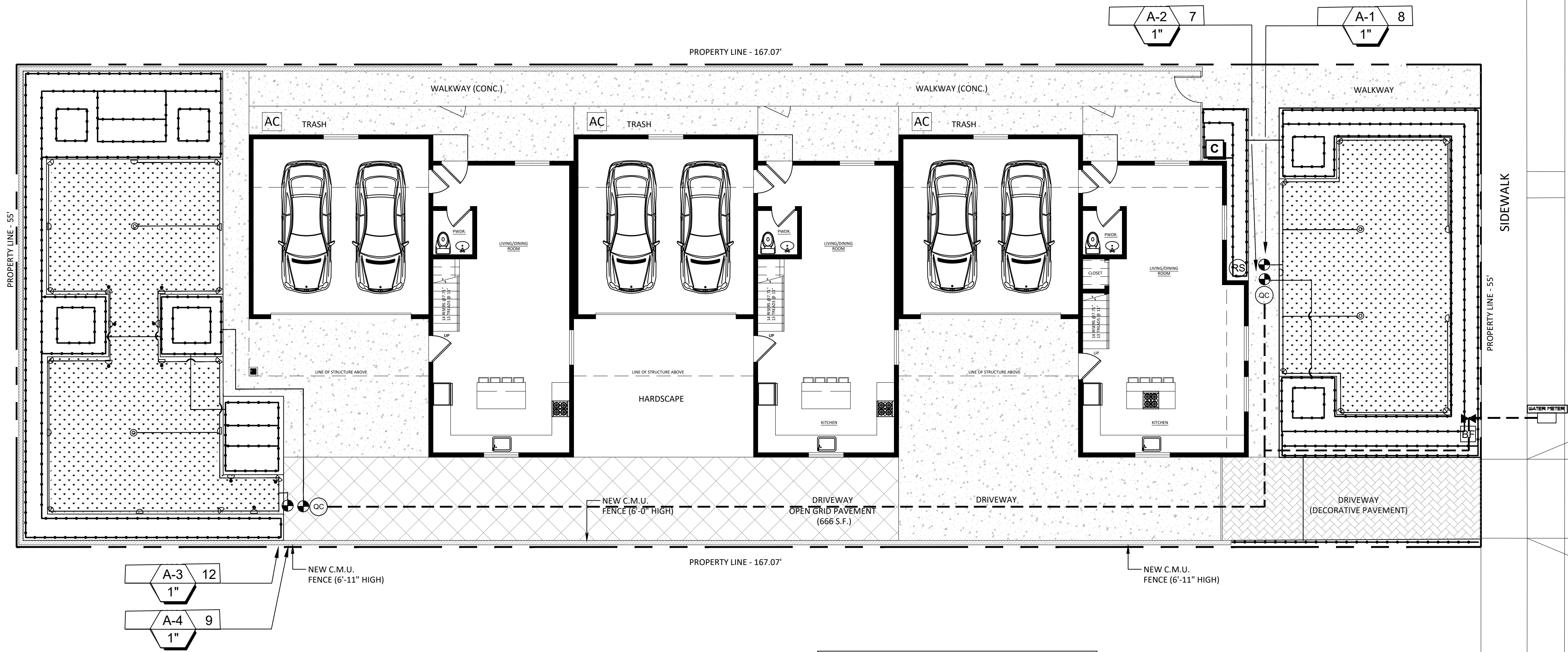
PROJECT OWNER:  
  
ARNO AGHAMALIAN  
614 W. COLORADO ST.  
GLENDALE, CA 91204

PROJECT ADDRESS:  
  
311 IRVING AVE.  
GLENDALE, CA 91201

DRAWING TITLE:  
  
SECOND LEVEL SETBACK  
AVERAGE CALCULATION

SCALE: 1/8"=1'-0"	
DATE: 7-30-2024	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:  A-5.02





**NOTE:**  
MWELI COMPLIANCE STATEMENT:  
I HAVE COMPLIED WITH THE CRITERIA  
OF THE CALIFORNIA MODEL WATER EFFICIENT  
LANDSCAPE ORDINANCE AND APPLIED THEM  
FOR THE EFFECTIVE USE OF WATER IN THE  
LANDSCAPE DESIGN PLAN.

#### WATER EFFICIENT LANDSCAPE WORKSHEET

**Point of Connection # 1**

Maximum Applied Water Allowance (MAWA)

Total MAWA = (ETo x 0.55 x LA in Sq. Ft. x 0.62) + (ETo x 1.0 x SLA in Sq. Ft. x 0.62) = Gallons per year for LA+SLA

where:  
MAWA = Maximum Applied Water Allowance (gallons per year)  
ETo = Reference Evapotranspiration (inches per year)  
0.55 = Evapotranspiration Adjustment Factor (ETAF) - For Residential Projects  
1.0 = ETAF for Special Landscaped Area  
LA = Landscaped Area (square feet)  
0.62 = Conversion factor (to gallons per square foot)  
SLA = Special Landscaped Area (square feet)  
NOTE: GLENDALE CIMIS = 43.70

MAWA Calculation:									
	ETo		ETAF		LA or SLA (ft²)		Conversion		MAWA (Gallons Per Year)
MAWA for LA =	43.70	X	0.55	X	2,318	X	0.62	=	34,542
MAWA for SLA =	43.70	X	1	X	0	X	0.62	=	0
Total MAWA =									34,542 GALLONS PER YEAR FOR LA+SLA

#### APPENDIX B

#### WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (ETo) 43.70 (GLENDALE)

Hydrozone # /Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
HYDRO ZONE A-1 LOW WATER	.30	DRIP	.81	.37	543 SQ. FT.	200.91	5,448.90
HYDRO ZONE A-2 LOW WATER	.30	DRIP	.81	.37	456 SQ. FT.	168.72	4,575.90
HYDRO ZONE A-3 HIGH WATER	.30	SPRAY	.75	.40	717 SQ. FT.	286.80	7,770.60
HYDRO ZONE A-4 LOW WATER	.30	DRIP	.81	.37	602 SQ. FT.	222.74	6,041.00
TOTAL (ETWU)					2,318 SQ. FT.		23,836.40
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)							34,542

NOTE: ETWU IS LOWER THAN THE MAXIMUM ALLOWED WATER ALLOWANCE  
NOTE: 100% OF THE LANDSCAPE IS LOW WATER PLANTS  
LOW WATER PLANTS- 100% - 2,318 SQ. FT.  
TOTAL LANDSCAPE - 2,318 SQ. FT.

#### GENERAL IRRIGATION NOTES:

- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, SLOPES, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
  - THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
  - THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
  - DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
  - IN ADDITION TO THE CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.
  - INSTALL ALL PIPE MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL PVC MALE PIPE THREADS ON ALL SPRINKLER SWING JOINT AND VALVE ASSEMBLIES.
  - ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB OR GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS 1" ABOVE FINISH GRADE.
  - ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEADS ARE FLUSH WITH ADJACENT SIDEWALK OR CURB.
  - ADJUSTING OF ALL HEADS BY THE IRRIGATION CONTRACTOR, SO THAT THE TOP OF THE SPRINKLER HEAD IS 1/4" ABOVE FINISH GRADE, SHALL BE ACCOMPLISHED WITHIN TEN (10) DAYS AFTER NOTIFICATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
  - THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- NOTE:  
1. CONTRACTOR SHALL INSTALL PRESSURE COMPENSATING NOZZLE SCREENS IN ALL SPRINKLER HEADS REQUIRING ADJUSTMENT OF RADIUS. REFER TO MANUFACTURERS LITERATURE.  
2. INSTALL AQUAPORE BETWEEN ALL STEPPERS AND OR PAVING W/ TURF BORDERS. INSTALL PER MFG. SPECS USE WITH SENNINGER PRESSURE REDUCERS, INSTALL PER MAUFACTERS SPECIFICATIONS  
3. CONTRACTOR TO LOCATE AND VERIFY POINT OF CONNECTION IN THE FIELD AND APPROVED WITH OWNER/LANDSCAPE ARCHITECT.  
4. CONTRACTOR TO CONNECT NEW IRRIGATION MAINLINE TO EXISTING MAINLINE IRRIGATION SYSTEM.

#### 1" WATER METER INFORMATION

Address: 311 IRVING AVE., GLENDALE, CA 91201

Area served (acres or sq. ft.) 2,318 Sq. ft.

Est. annual water use: .053 ac./ft. yr.

Max. GPM: 35

Static Pressure: 75

Design Pressure: 75

LC/ NOTE: THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE, WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE SELECTING THE COMPENSATING SCREEN TO FIT EXISTING SITE CONDITIONS.

GPM/GPH THROUGH VALVE  
CONTROLLER LETTER & STATION #  
PIPE SIZE

#### IRRIGATION LEGEND (Equipment)

SYMBOL	MANUF. / ITEM:	MODEL NO. / DESCRIPTION
	HUNTER VALVE	Model No: ICV-101G-FS REMOTE CONTROL VALVE
	HUNTER CONTROLLER	Model No: X-CORE OUTDOOR W/FL CONTROLLER - B6-IGX800 - 8 STATION IRRIGATION CONTROLLER- WALL MOUNT- VERIFY ACTUAL LOCATION AND POWER HOOK-UP WITH OWNER'S REP.
	HUNTER - SOLAR SYNC - RAIN SENSOR	
	APPROVED GATE VALVE	Model No: NIBCO BRONZE- LINE SIZE
	HUNTER QUICK COUPLER 3/4" ON PURPLE CAP	
	STRAINER- WILKINS 80	
	PRESSURE REGULATOR - WILKINS	
	BACKFLOW PREVENTATION DEVICE - LEAD FREE - REDUCED PRESSURE - DOMESTIC ONLY	
	APPROVED LATERAL LINE	Model No: SCHEDULE 40 PVC PURPLE PIPE SIZE AS NOTED ON PLAN - 12" MIN. COVER
	HUNTER 0.9 GPH, 12" SPACED, 500' COIL, HDL DRIP LINE - PER MANUFACTURERS SPECIFICATIONS	
	APPROVED MAIN LINE	Model No: 1 1/2" OR SMALLER (SCH 40 PVC PIPE), 2" AND LARGER (CL 315 PVC PIPE) SIZE AS NOTED ON PLAN - 18" MIN. COVER WITH PURPLE PIPE
	APPROVED PIPE SLEEVE	Model No: SCH. 40 PVC PIPE 4" MIN., INSTALL 18" BELOW GRADE, EXISTING 12" PAST EDGE OF HARDSCAPE.

#### IRRIGATION LEGEND (Spray Heads)

SYMBOL	MANUFACTURER	MODEL	NOZZLE	DESCRIPTION	GPM	PSI	RADIUS	ARC	DETAIL REF.
	RAINBIRD	1806-SAM-PRS	10Q	6" POP UP SPRAY HEAD	0.39	30	10'	90°	
	RAINBIRD	1806-SAM-PRS	10H	6" POP UP SPRAY HEAD	0.79	30	10'	180°	
	RAINBIRD	1806-SAM-PRS	10F	6" POP UP SPRAY HEAD	1.52	30	10'	360°	
	RAINBIRD	1806-SAM-PRS	RAINBIRD 50	6" POP UP SPRAY HEAD	0.10	30	5'	90°	
	RAINBIRD	1806-SAM-PRS	RAINBIRD 5H	6" POP UP SPRAY HEAD	0.20	30	5'	180°	

#### CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

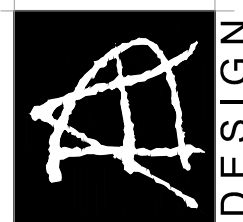
- I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- The landscape design and water use calculations for the property located at 311 IRVING AVE., GLENDALE, CA 91201 (provide street address or parcel number(s)) were prepared by me or under my supervision.
- The landscape design and water use calculations for the identified property comply with the requirements of the City of GLENDALE Water Efficient Landscape Ordinance (Municipal Code Sections ) and the City of GLENDALE Guidelines for Implementation of the City of GLENDALE Water Efficient Landscape Ordinance.
- The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of GLENDALE Guidelines for Implementation of the City of GLENDALE Water Efficient Landscape Ordinance.

**Anthony Dornian**  
Print Name  
Date **8.30.24**  
  
Signature  
License Number **6409**  
Address  
Telephone **323.459.5257**  
E-mail Address **anthony@addesigninc.net**

Landscape Design Professional's Stamp  
(If applicable)



AD DESIGN INC  
anthony@addesigninc.net  
P 323.459.5257  
www.addesigninc.net

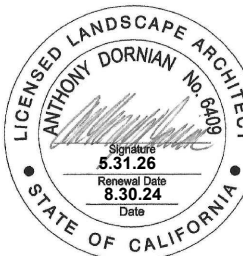


Project Name  
**NEW 3-UNIT  
RESIDENTIAL**

311 IRVING AVE  
GLENDALE, CA 91201

Sheet Title

**IRRIGATION  
PLAN**



Project No.

Date: 8-30-24

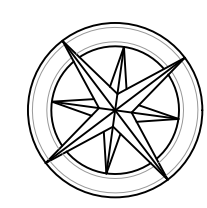
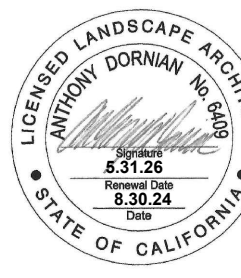
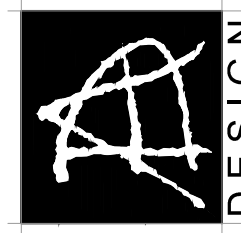
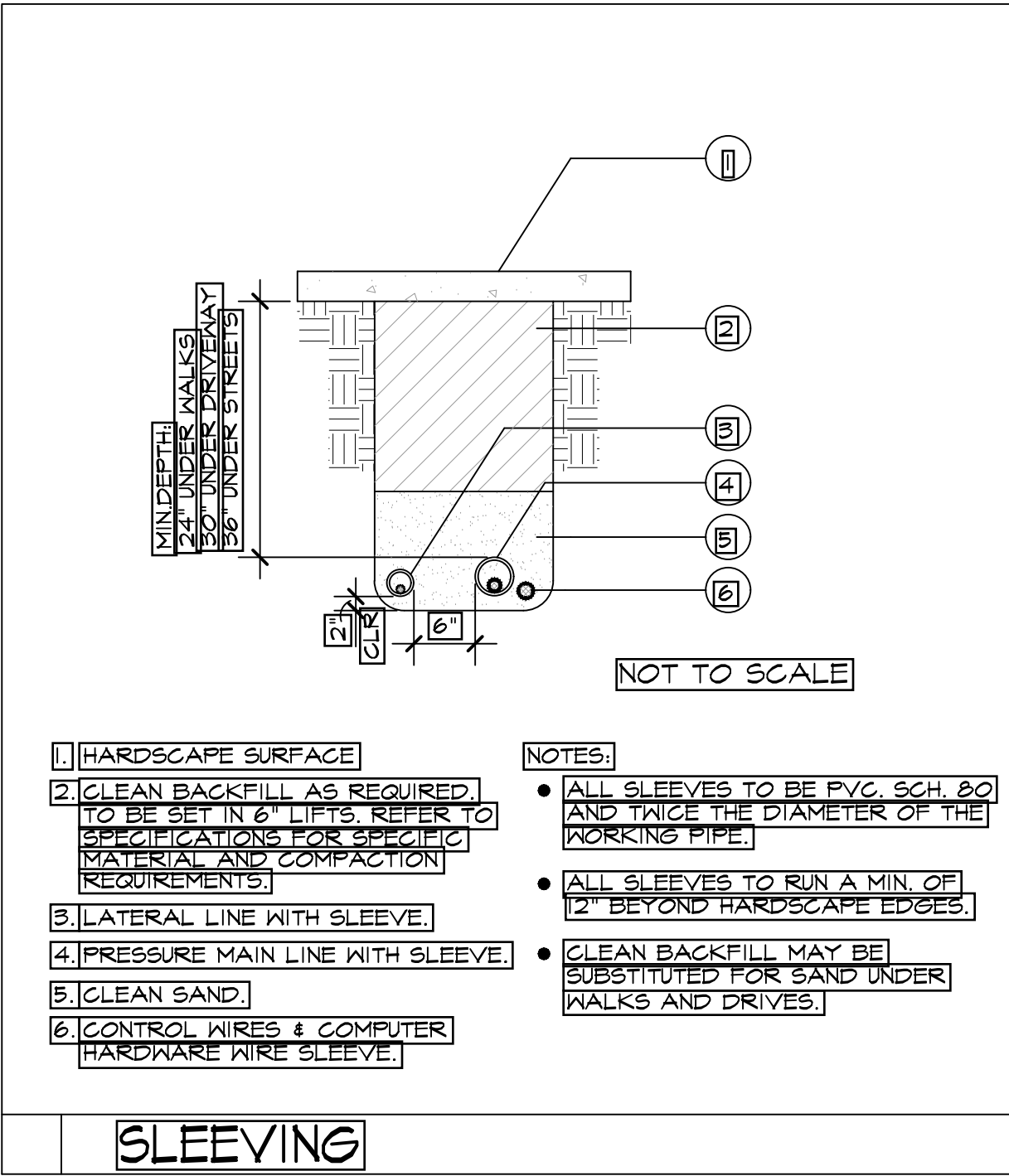
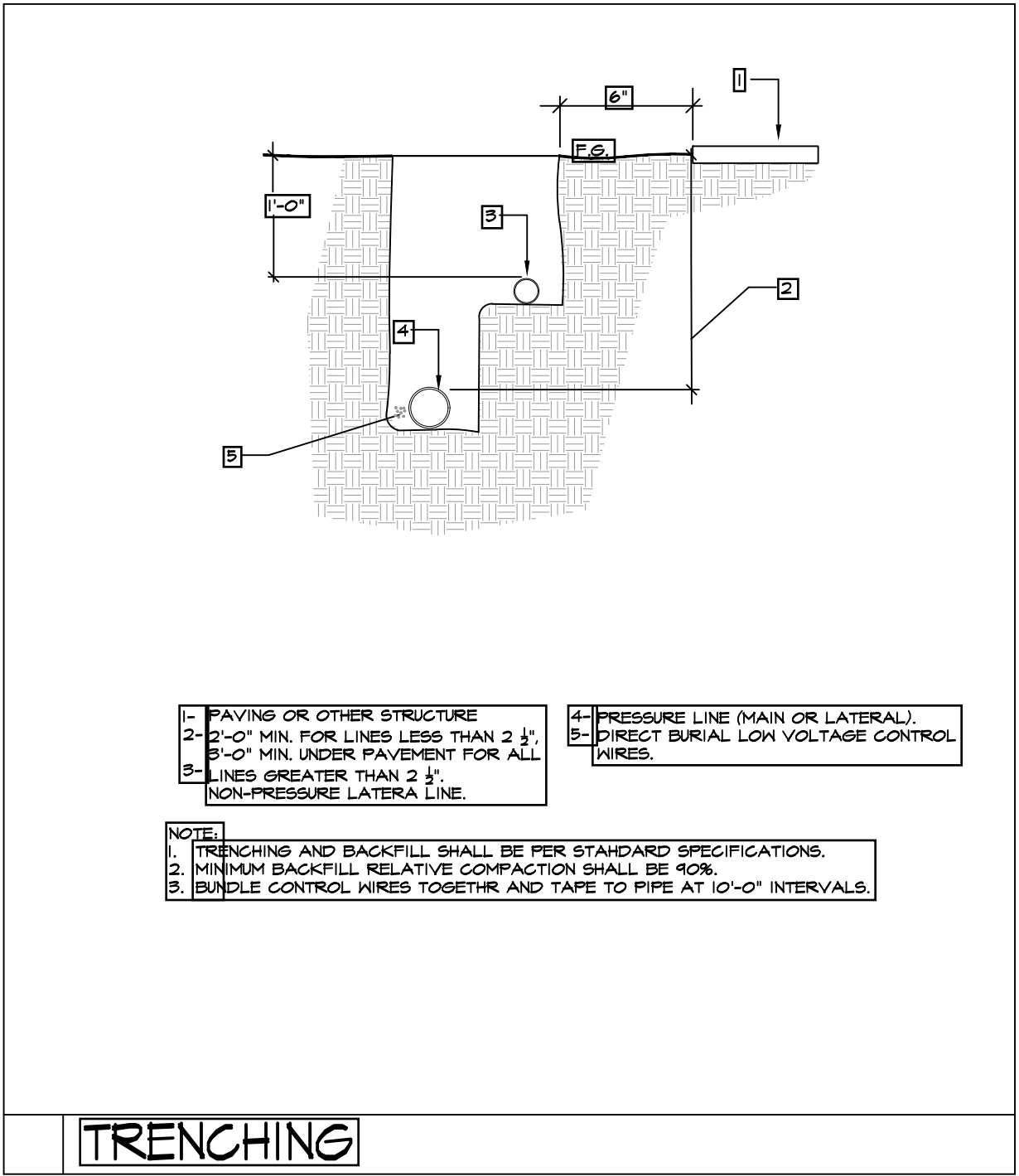
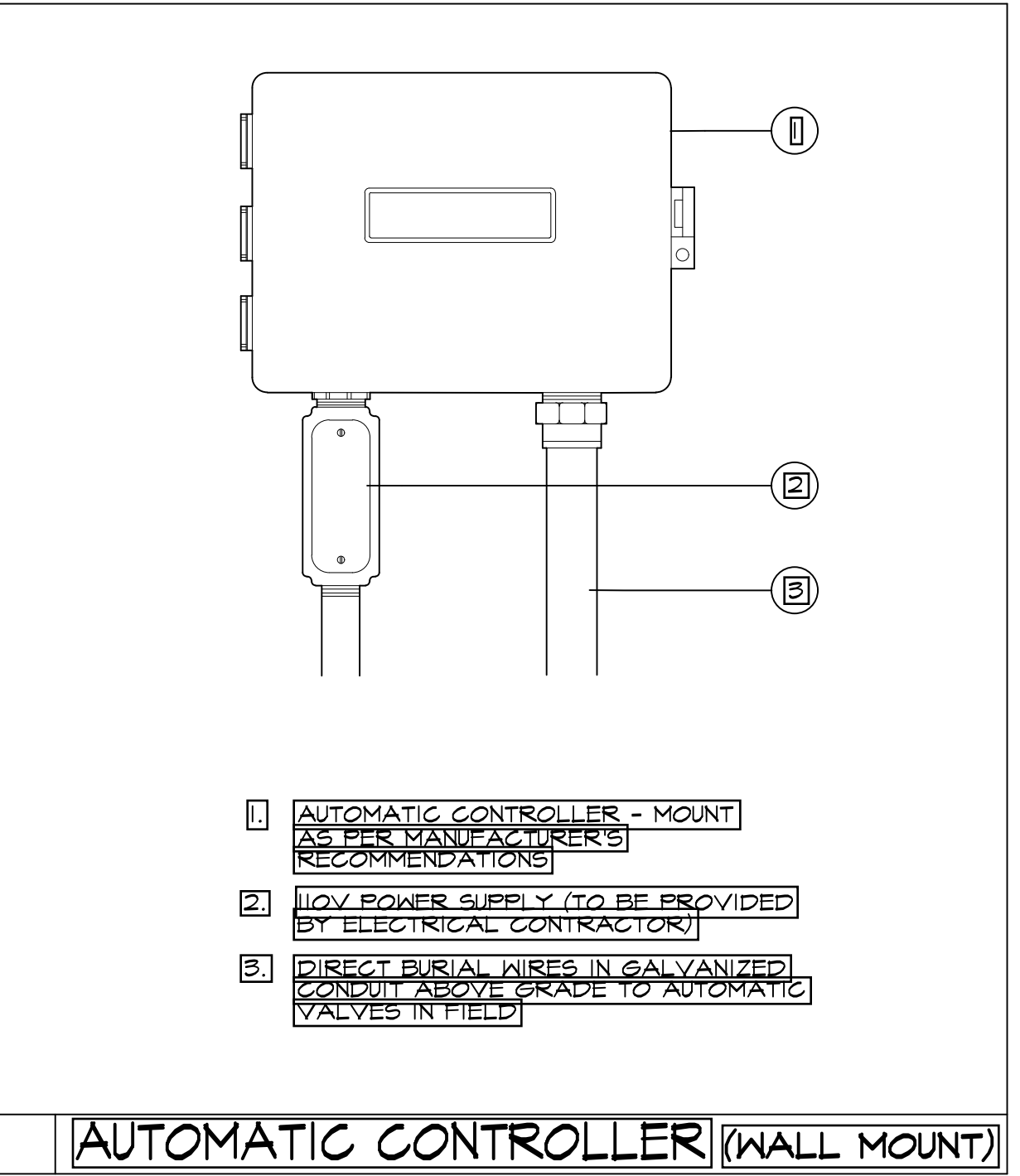
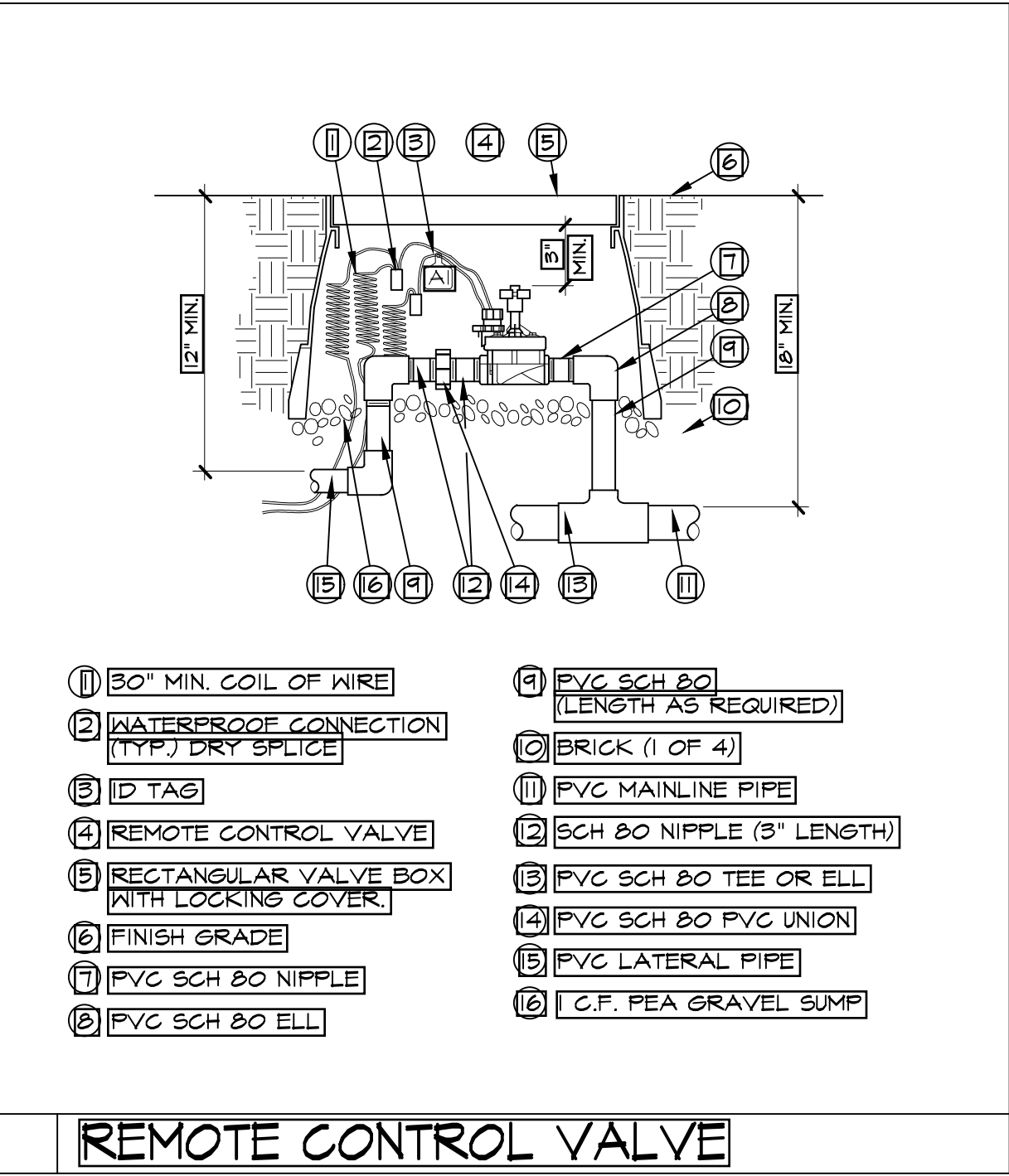
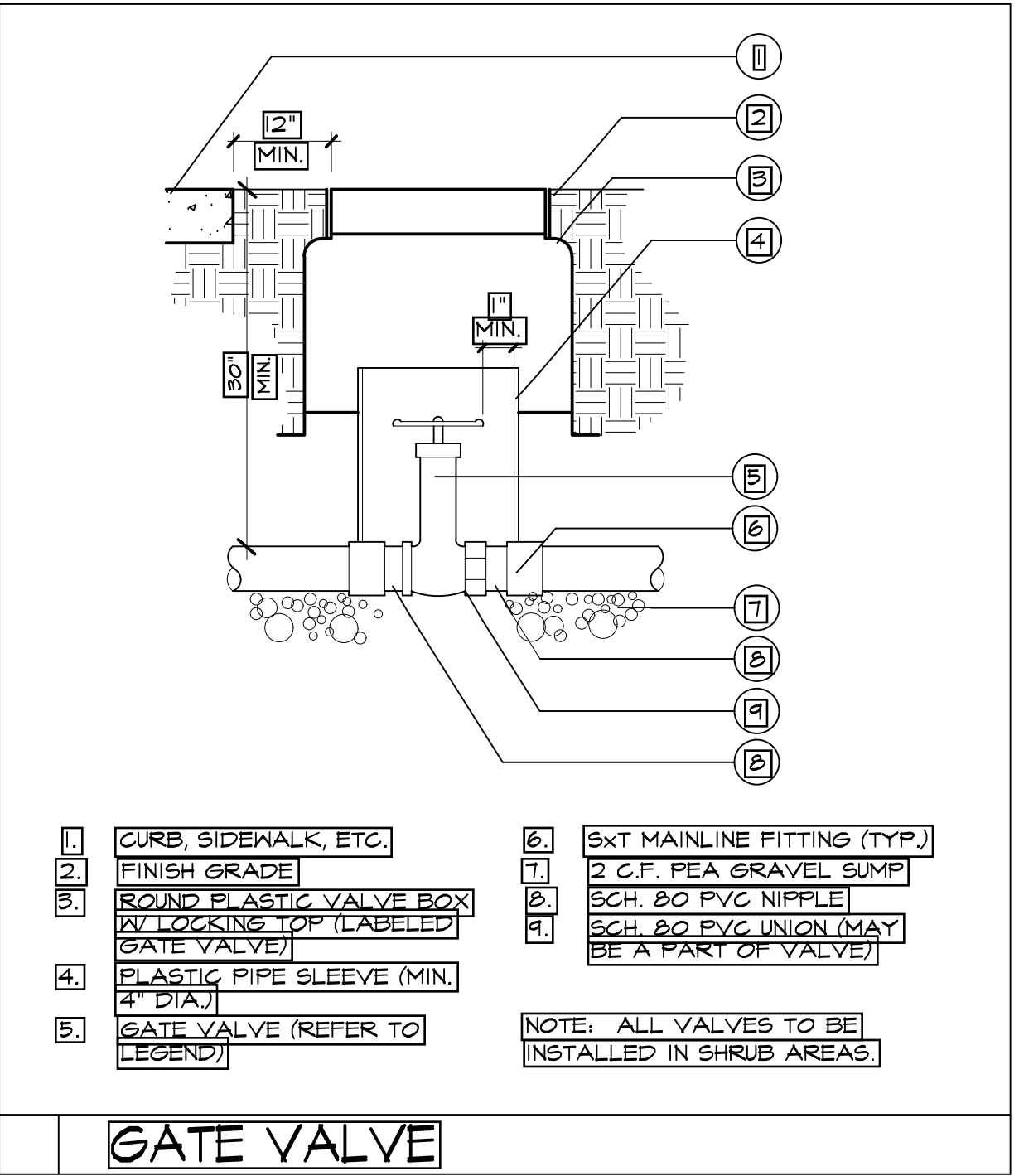
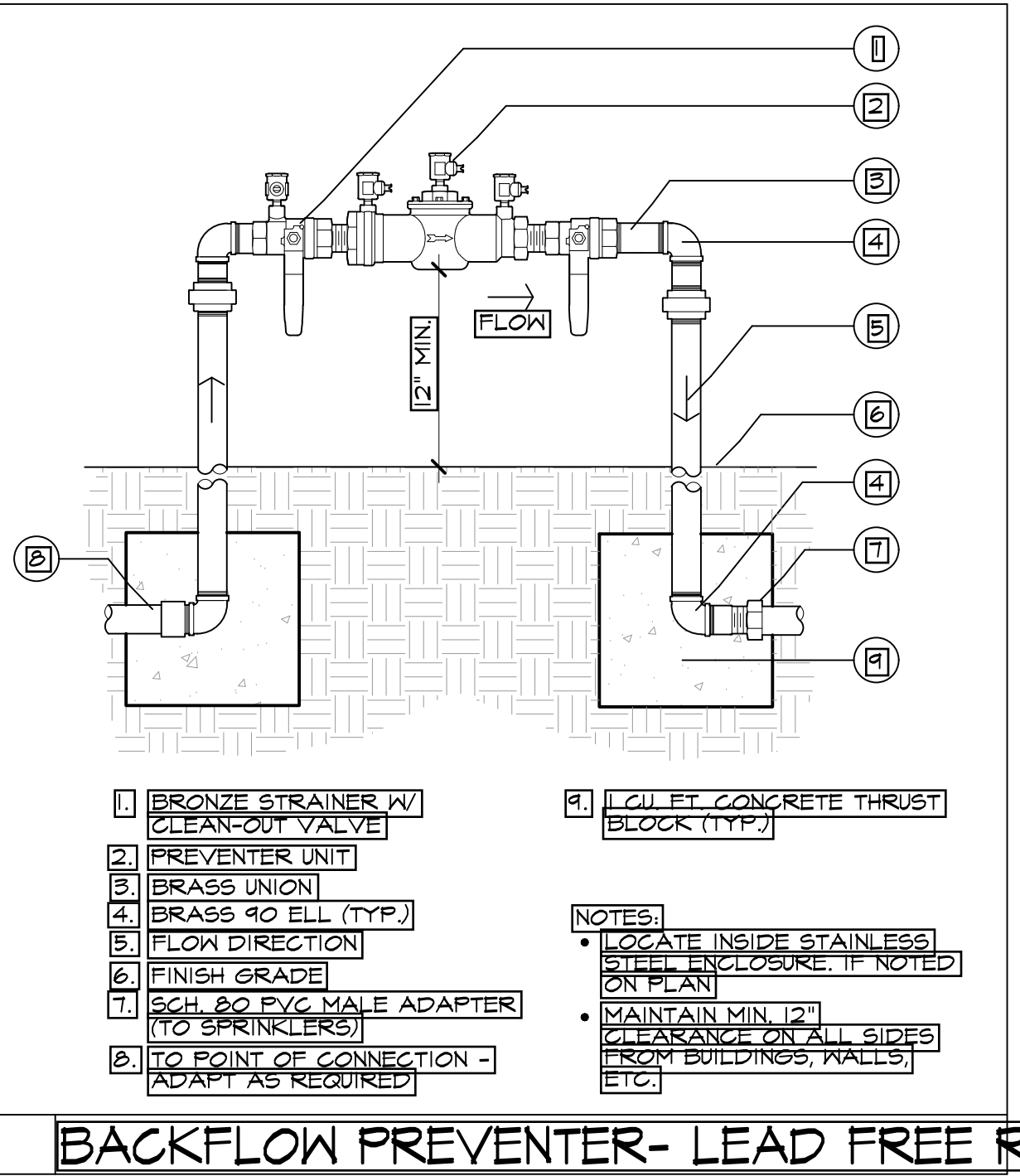
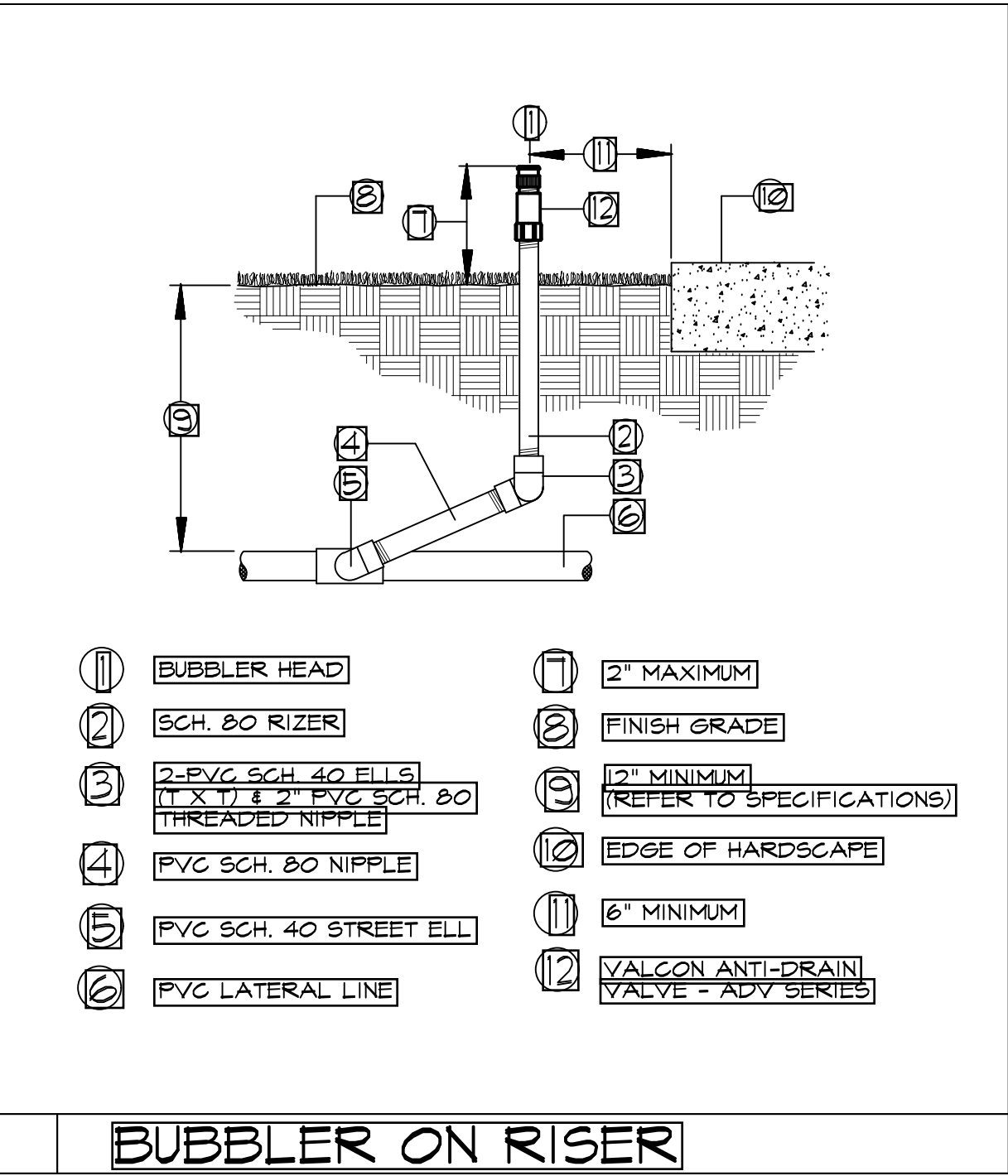
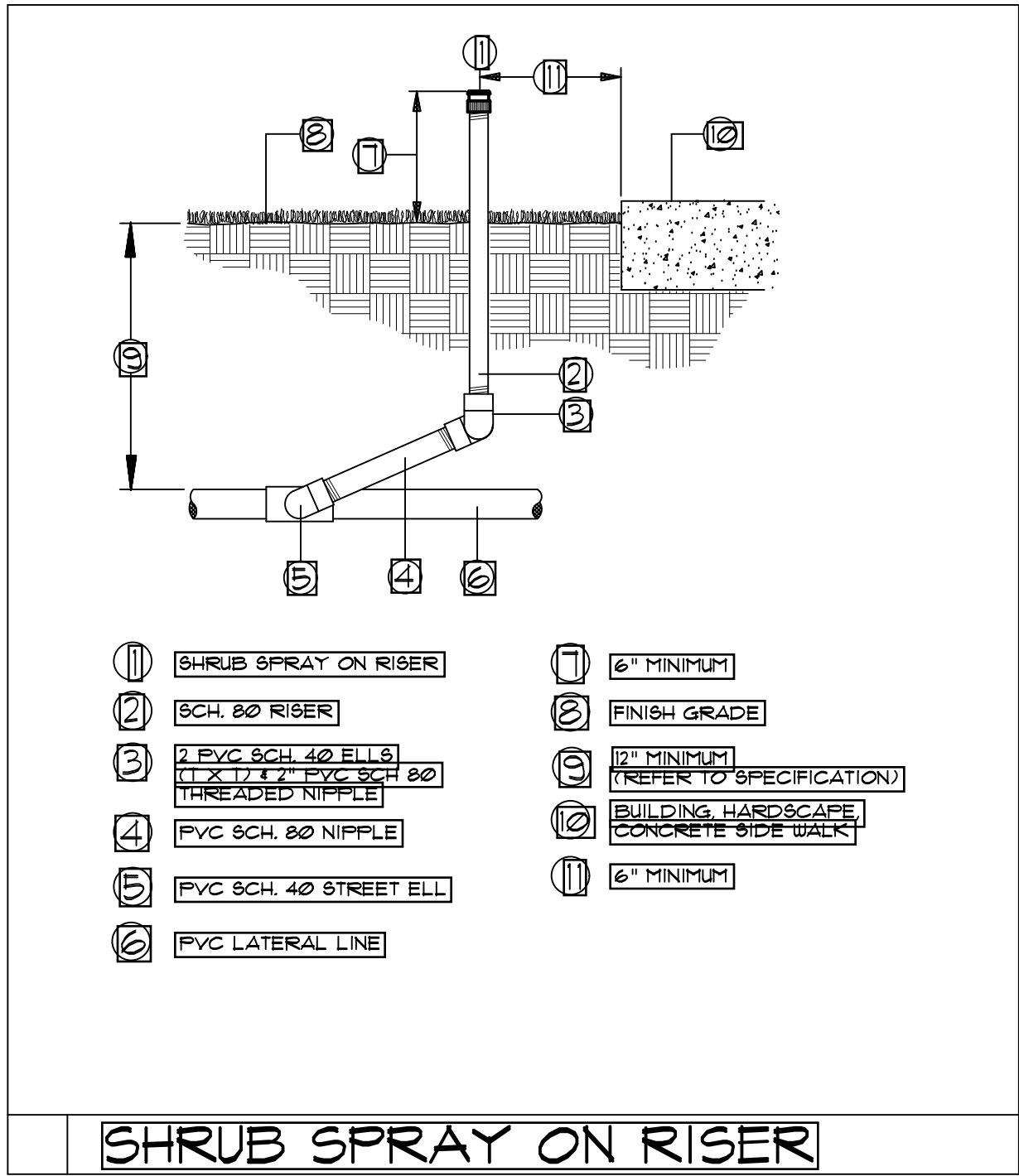
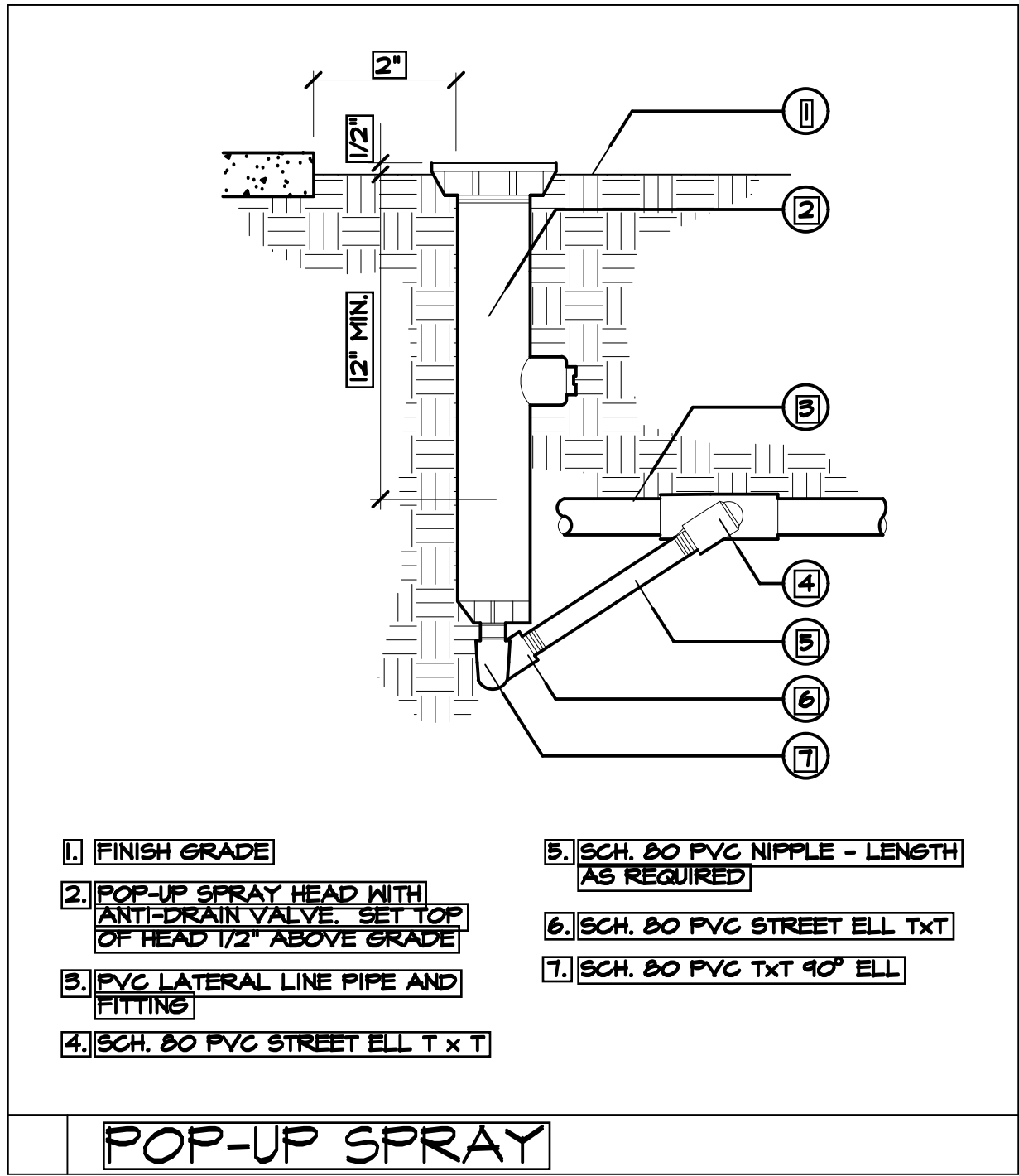
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Revision No. Description

Sheet No.

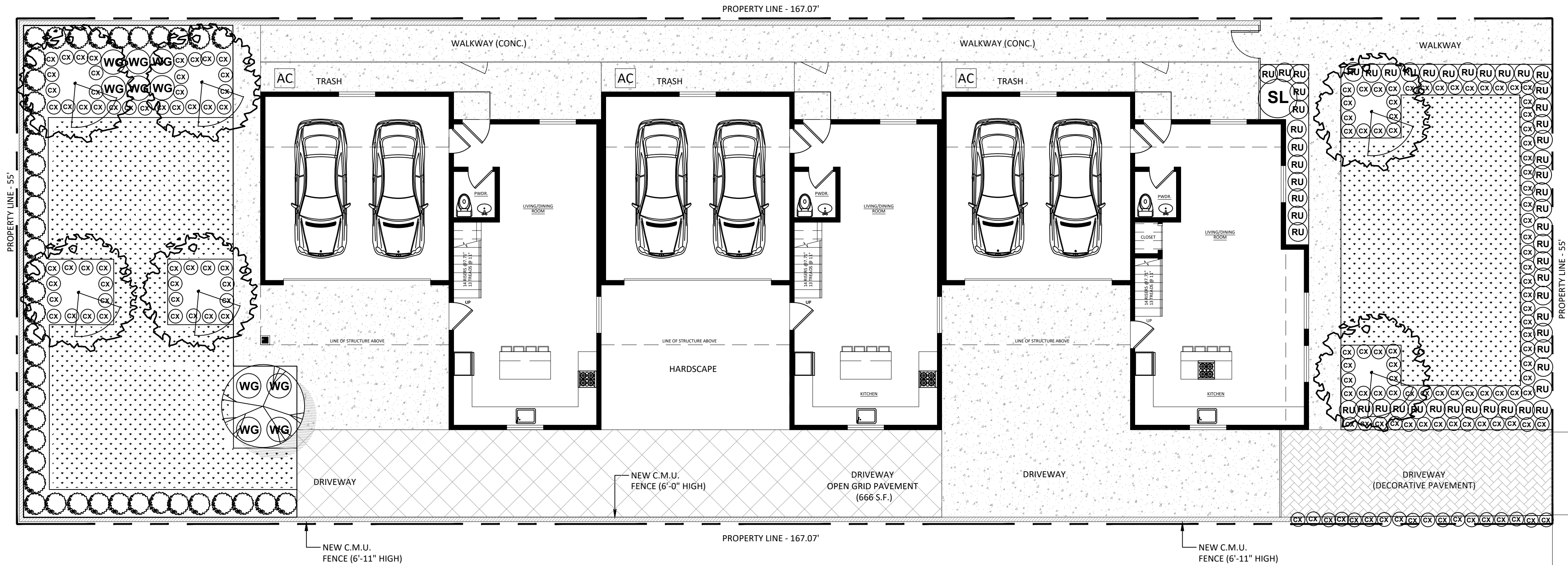
L-1





Revision No.		Description





IRVING AVE.

NOTE:

MWEO COMPLIANCE STATEMENT:  
I HAVE COMPLIED WITH THE CRITERIA  
OF THE CALIFORNIA MODEL WATER EFFICIENT  
LANDSCAPE ORDINANCE AND APPLIED THEM  
FOR THE EFFECTIVE USE OF WATER IN THE  
LANDSCAPE DESIGN PLAN.

NOTES:

1. For residential areas, 75% of landscape, excluding edibles and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3. WUCOLS plants database can be found online at: <http://ucanr.edu/sites/WUCOLS>
2. A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
3. Turf shall not exceed 25% of the landscape area in residential areas.
4. No turf permitted in non-residential areas
5. Turf not permitted on slopes greater than 25%
6. Turf is prohibited in parkways less than 10 feet wide.
7. Automatic weather-based or soil-moisture based Irrigation controllers shall be installed on the irrigation system.
8. Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
9. Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply.
10. Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
11. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
12. Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.

PLANTING LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARK
	OLEA EUROPEA 'SWAN HILL'	FRUITLESS OLIVE	36" BOX	12	MULTI-TRUNK LOW WATER USE
	ARBUTUS MARINA	STRAWBERRY TREE	36" BOX	1	MULTI-TRUNK LOW WATER USE
CX	CAREX DIVULSA	EUROPEAN GRAY SEDGE	1 GAL.	145	LOW WATER USE
WG	WESTRINGIA FRUTICOSA 'GRAY BOX'	DWARF COAST ROSEMARY	5 GAL.	10	LOW WATER USE
RU	RHAPHIOLEPIS UMBELLATA	DWARF YEDDO HAWTHORNE	5 GAL.	11	LOW WATER USE
SL	SALVIA LEUCANTHA	MEXICAN PURPLE SAGE	15 GAL.	1	LOW WATER USE
	LAURUS NOBILIS	BAY LAUREL	15 GAL.	24" O.C. (44)	LOW WATER USE HEDGE/SHRUB FORM

GROUND COVER

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARK
	LIPPIA NODIFLORA 'CAMPAGNA VERDE'	KURAPIA	1 GAL.	18" O.C.	LOW WATER USE

PLANTING IMAGES



OLEA EUROPEA 'SWAN HILL' - FRUITLESS OLIVE



ARBUTUS MARINA



SALVIA LEUCANTHA - MEXICAN PURPLE SAGE



WESTRINGIA FRUTICOSA 'GRAY BOX'



LAURUS NOBILIS - BAY LAUREL



RHAPHIOLEPIS UMBELLATA -  
DWARF YEDDO HAWTHORNE

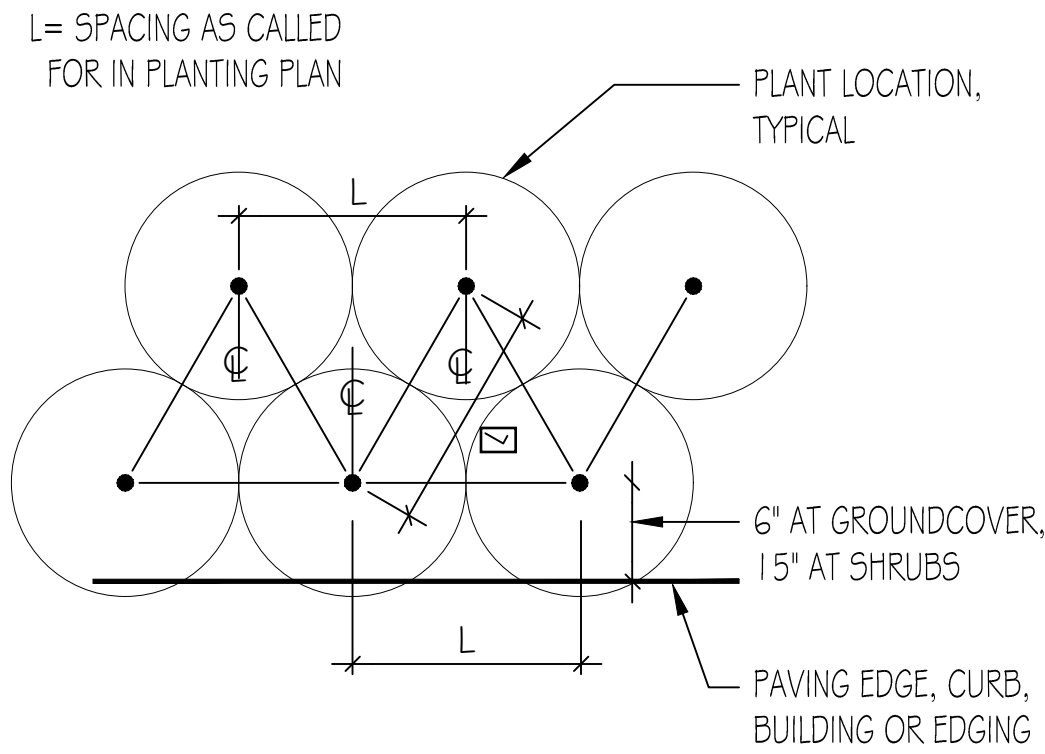


CAREX DIVULSA - LOW GRASS



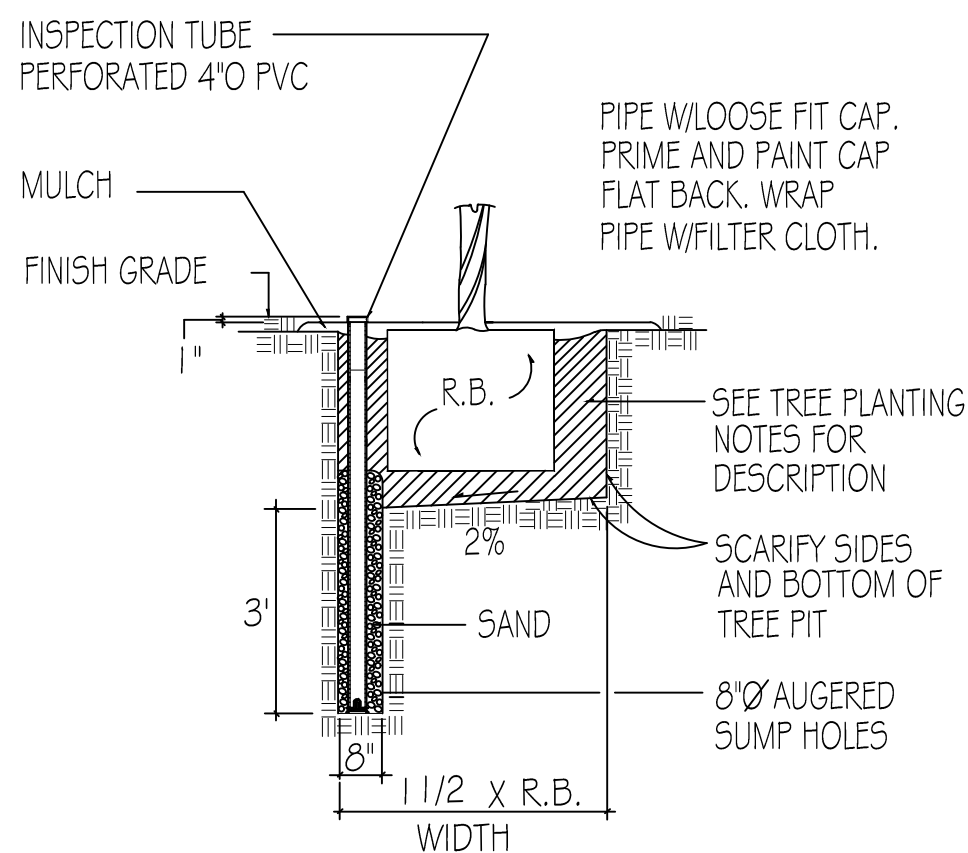
LIPPIA NODIFOLORA - KURAPIA GRASS





NOTE:  
SPACING DIAGRAM REFERS TO ALL PLANTING UNLESS NOTED OTHERWISE

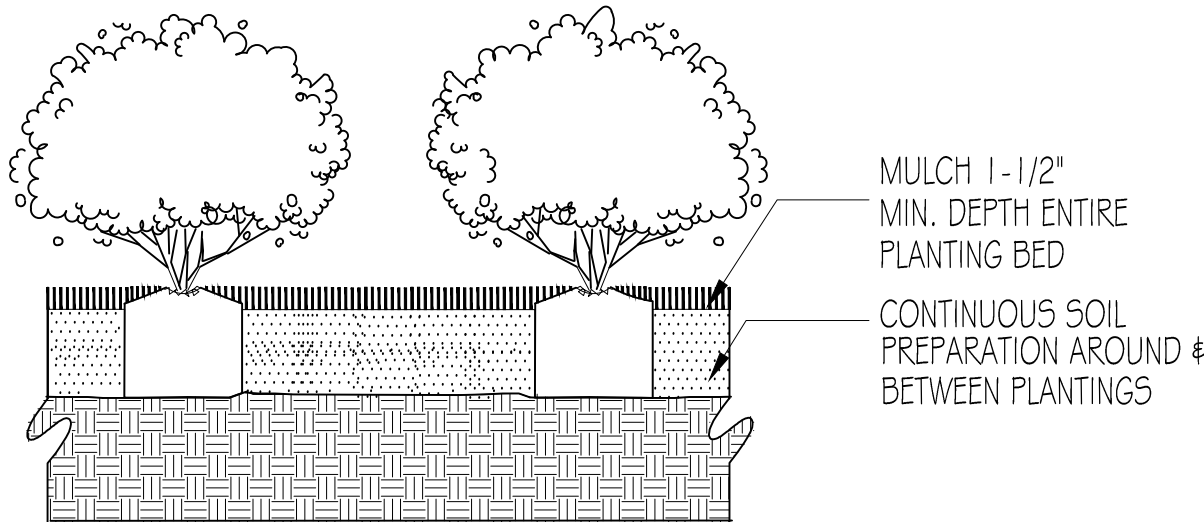
## TRIANGULAR SPACING



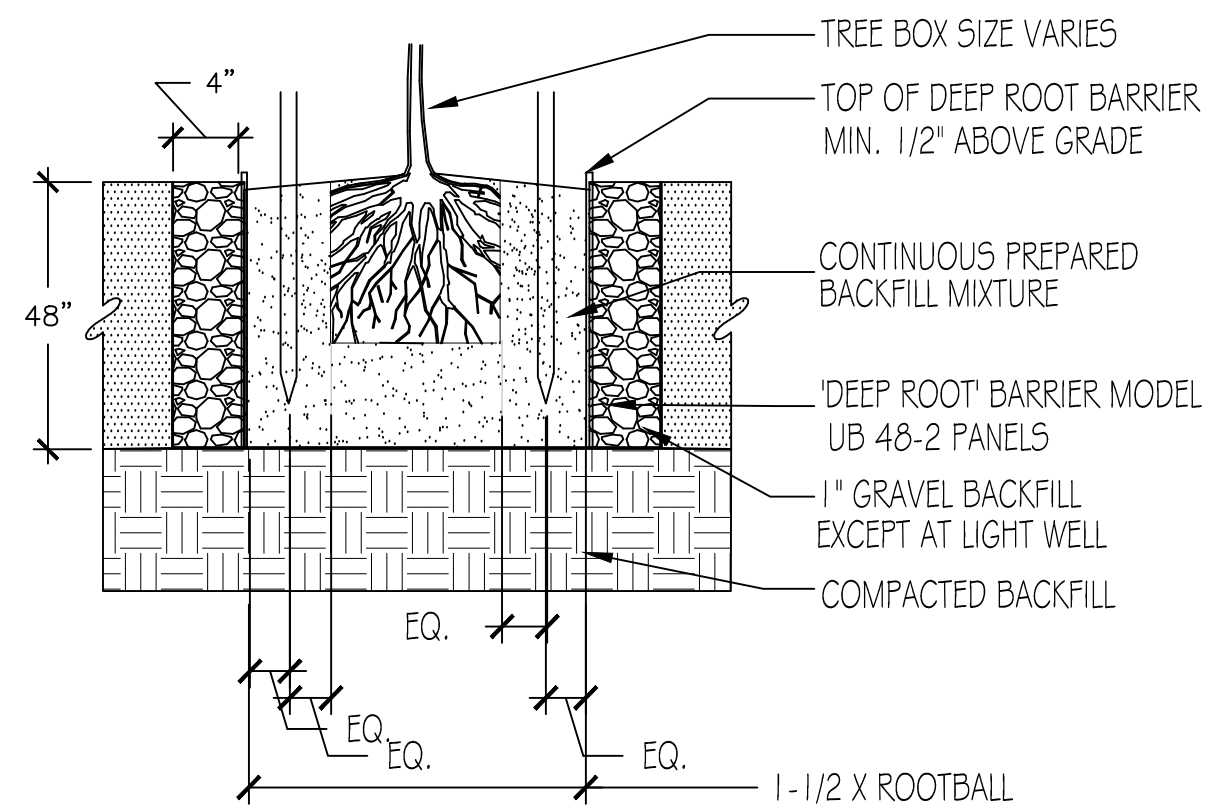
SUMP SCHEDULE

SIZE	# OF SUMPS
24" BOX OR SMALLER	0
36" - 48"	2
60" & up	2

## TREE SUMP

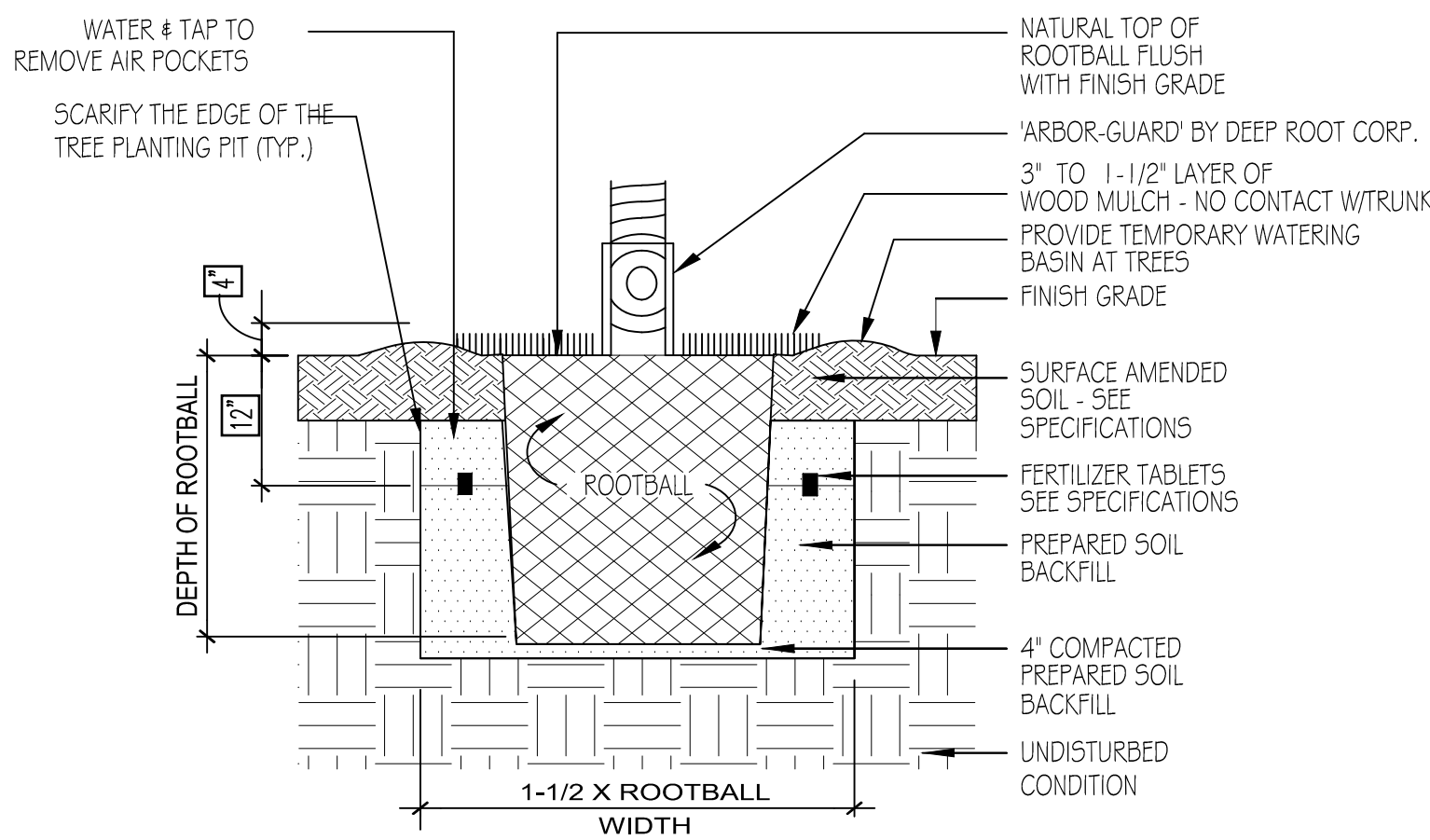


## SOIL PREPARATION



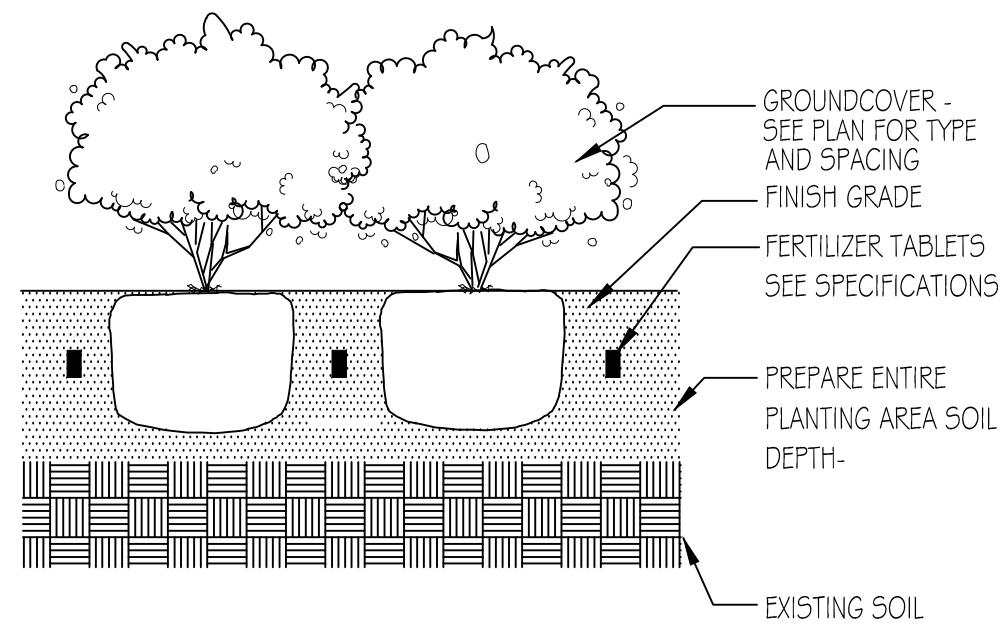
## ROOT CONTROL BARRIER

NOTE: ALL FICUS GREEN GEM HEDGES ARE TO BE INSTALLED WITH ROOT BARRIERS.



NOTES:  
1. FOR STAKING SEE DETAIL # 3  
2. PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE

## TREE PLANTING

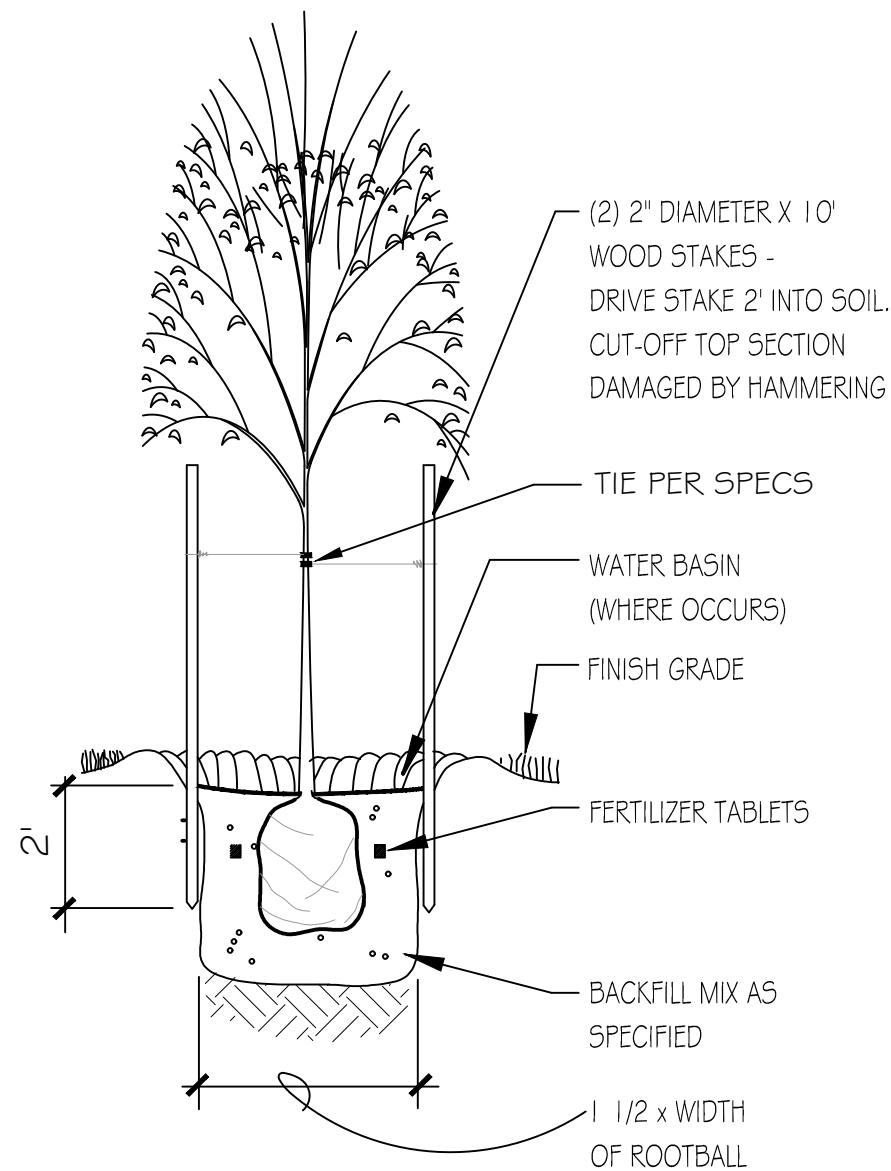


NOTES:  
CONTAINER GROWN SHRUBS - LOOSEN ROOTS AT EDGE OF ROOTBALL

WHERE SHRUBS & GROUND COVER ARE PLANTED IN BEDS, EXCAVATE ENTIRE BED AND PREPARE ENTIRE BED

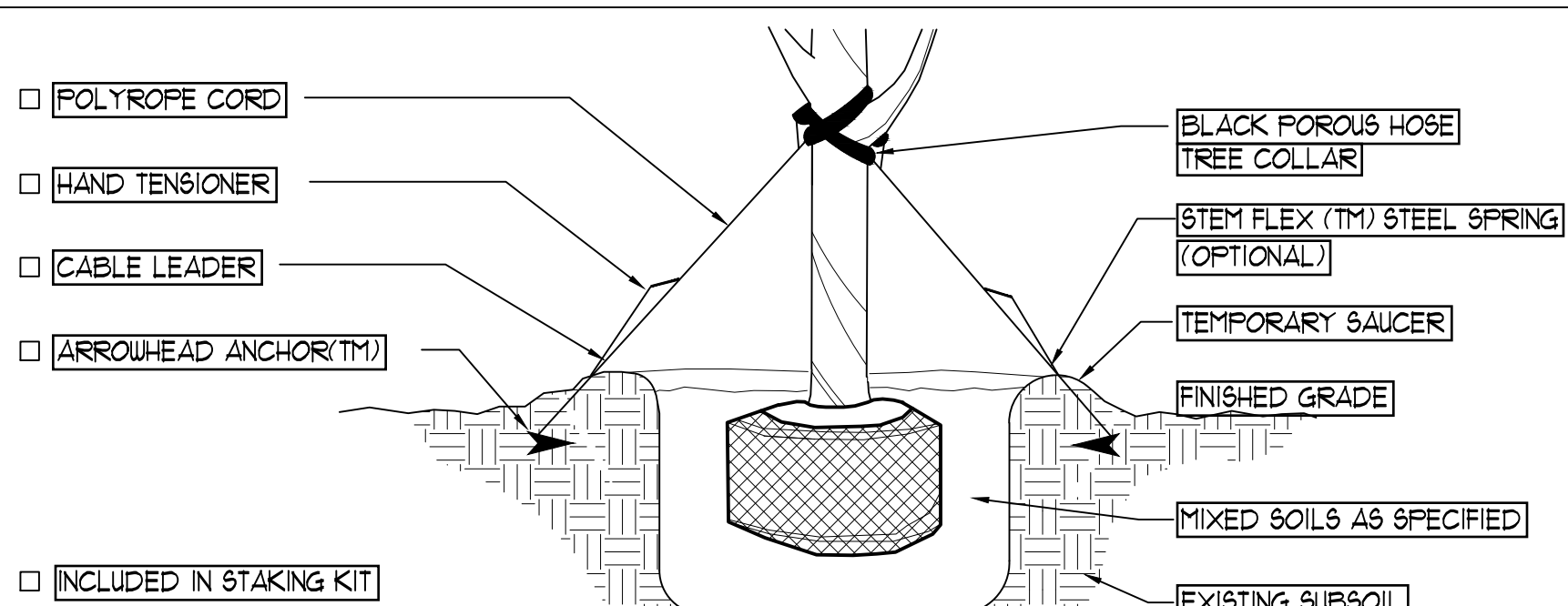
WIDTH OF PLANTING PIT SHALL NOT BE LESS THAN 1-1/2 TIMES THE DEPTH OF THE ROOTBALL

## SHRUB PLANTING



## TREE STAKING DETAIL

### NATURAL ANCHOR™ STAKING DETAIL SINGLE STEM TREE/MULTI-TRUNK TREE



## TREE GUYING

### NATURAL ANCHOR™ SYSTEM

FOR: UP TO 6" CALIPER TREES

INCLUDES:

(3) ARROWHEAD ANCHORS (TM) W/ CABLE LEADERS

(3) BLACK POROUS HOSE TREE COLLARS

(3) POLY-ROPE GUYLINES (12' EACH)

(3) TOOL-FREE TENSIONERS (TM)

(3) (OPTIONAL STEM FLEX SYSTEM (TM) - CALL FOR PRICE)

FOR: UP TO 10" TREES

INCLUDES:

(4) ARROWHEAD ANCHORS (TM) W/ CABLE LEADERS

(4) BLACK POROUS HOSE TREE COLLARS

(4) POLY-ROPE GUYLINES (15' EACH)

(4) TOOL-FREE TENSIONERS (TM)





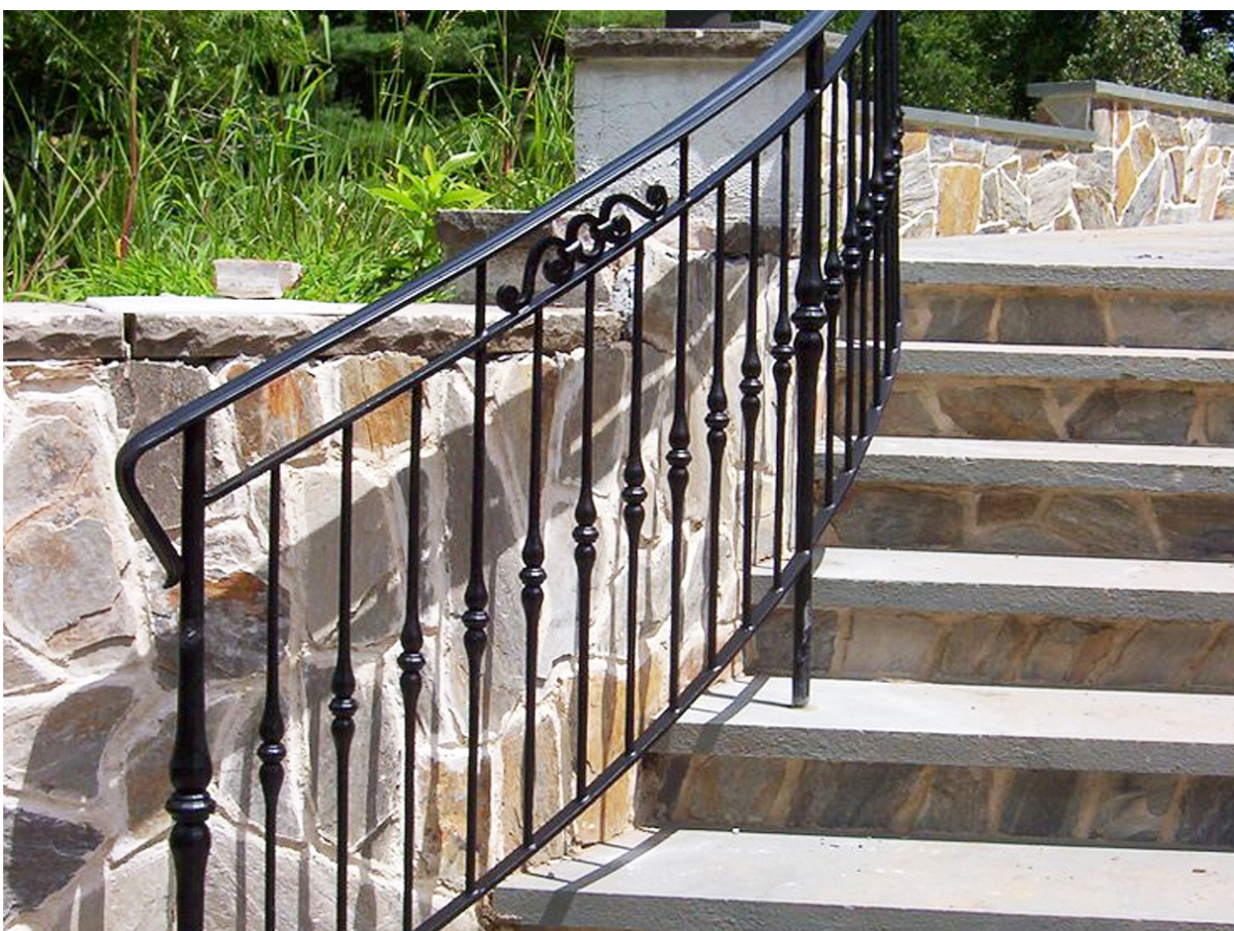

# 311 Irving Ave. Material Board



roof shingle  
charcoal color



“JamesHardie”  
horizontal siding  
white color



wrought iron  
guard rails  
charcoal color

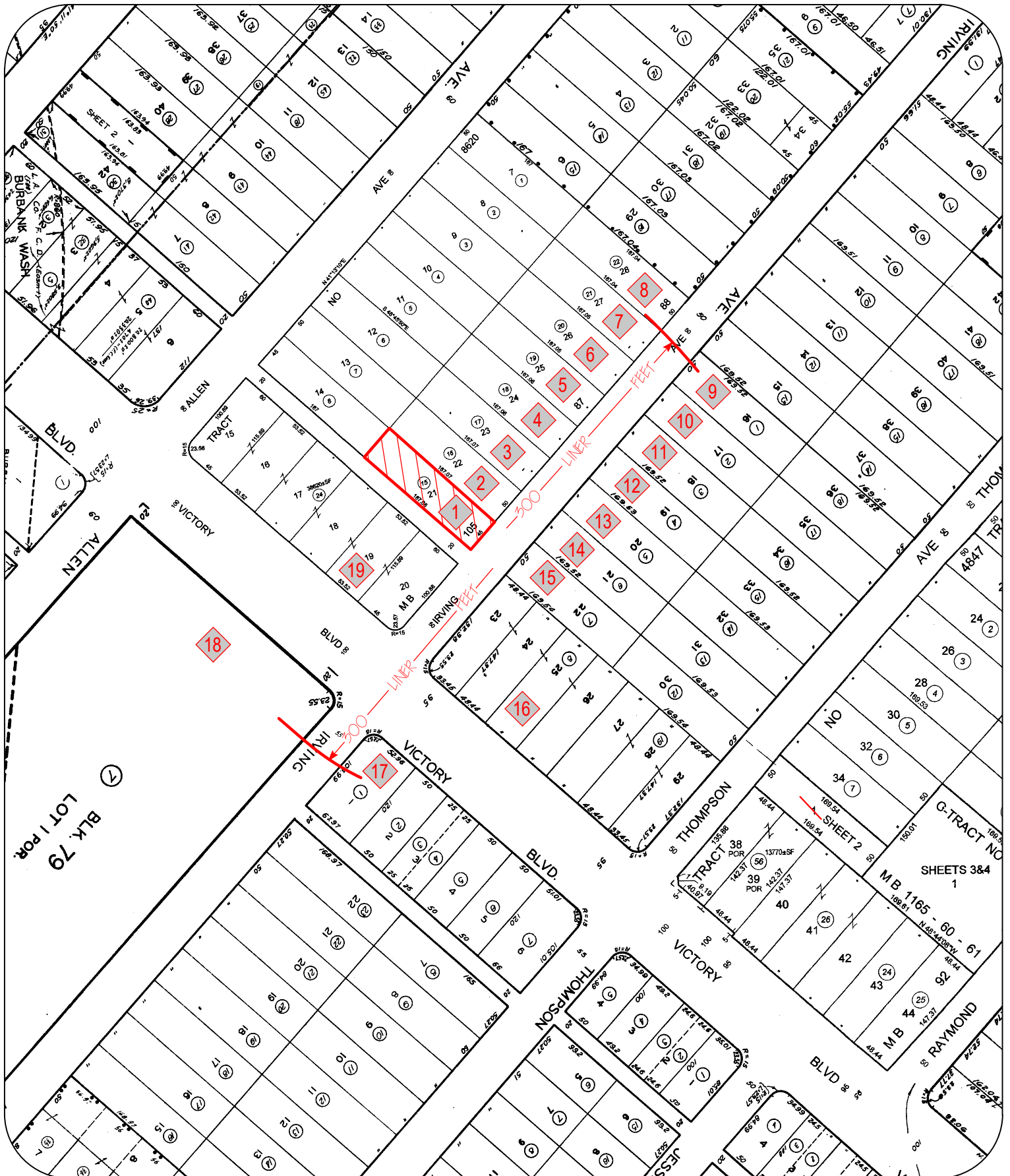


# PROJECT INFORMATION

311 IRVING AVE  
GLENDALE, CA.  
24-284

SURVEY MAP

SCALE 1" = 150'





## PROJECT INFORMATION

311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 1 OF 10



**SUBJECT PROPERTY:**  
311 IRVING AVE



**SUBJECT PROPERTY:**  
311 IRVING AVE



## PROJECT INFORMATION

311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 2 OF 10



2

315 IRVING AVE.



3

319 IRVING AVE.



## PROJECT INFORMATION

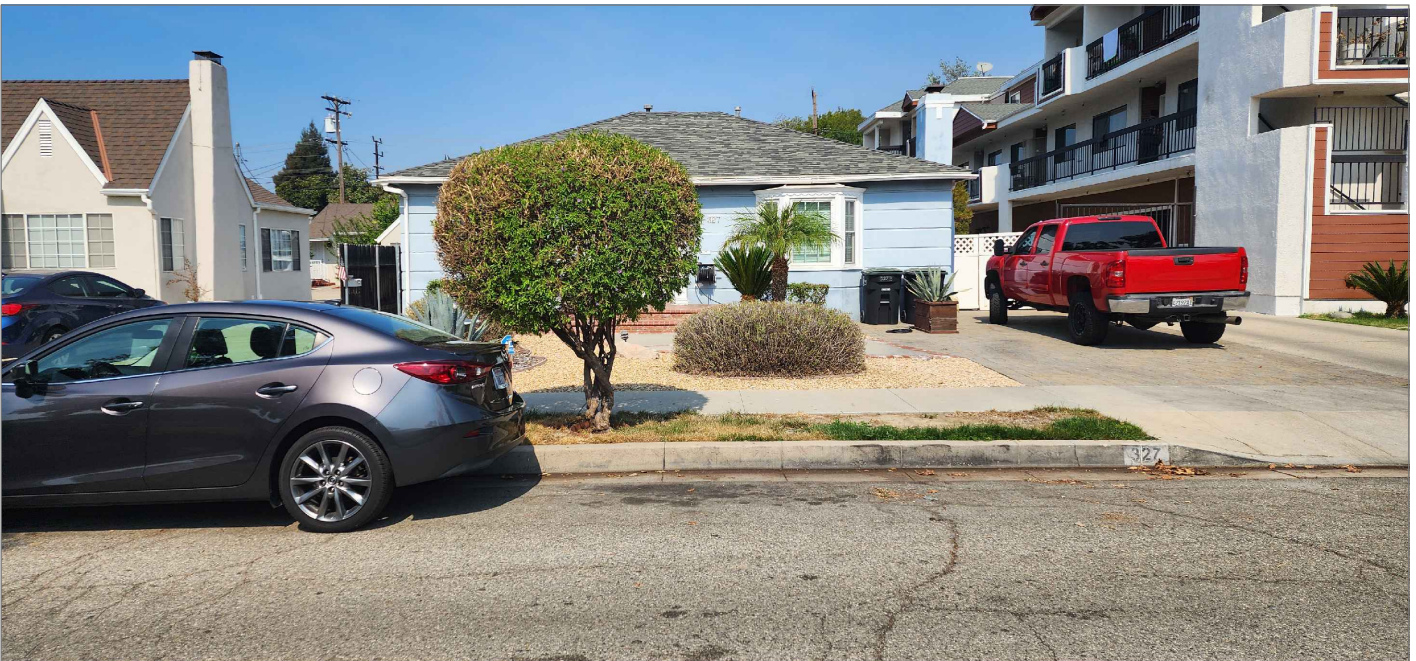
311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 3 OF 10



4

323 IRVING AVE.



5

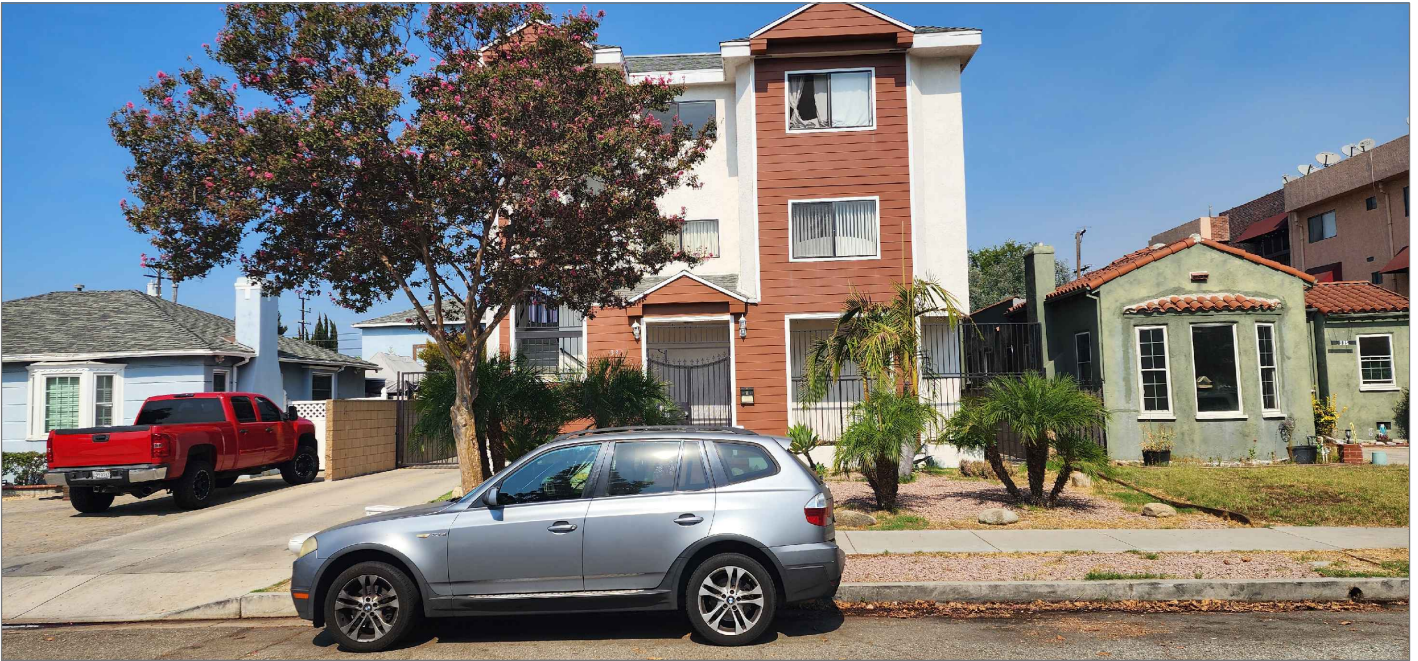
327 IRVING AVE.



## PROJECT INFORMATION

311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 4 OF 10



6

331 IRVING AVE.



7

335 IRVING AVE.



## PROJECT INFORMATION

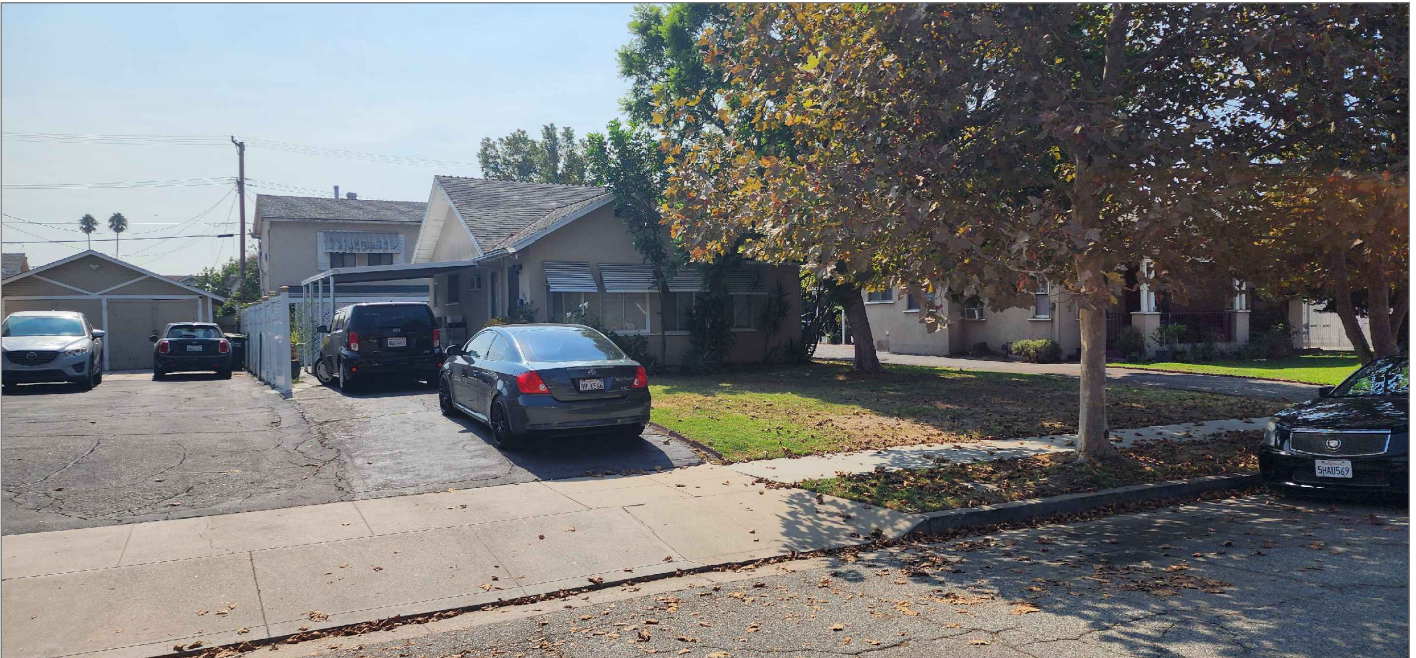
311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 5 OF 10



8

339 IRVING AVE.



9

336 IRVING AVE.



## PROJECT INFORMATION

311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 6 OF 10



10

332 IRVING AVE.



11

328 IRVING AVE.



## PROJECT INFORMATION

311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 7 OF 10



12

324 IRVING AVE.



13

318 IRVING AVE.



## PROJECT INFORMATION

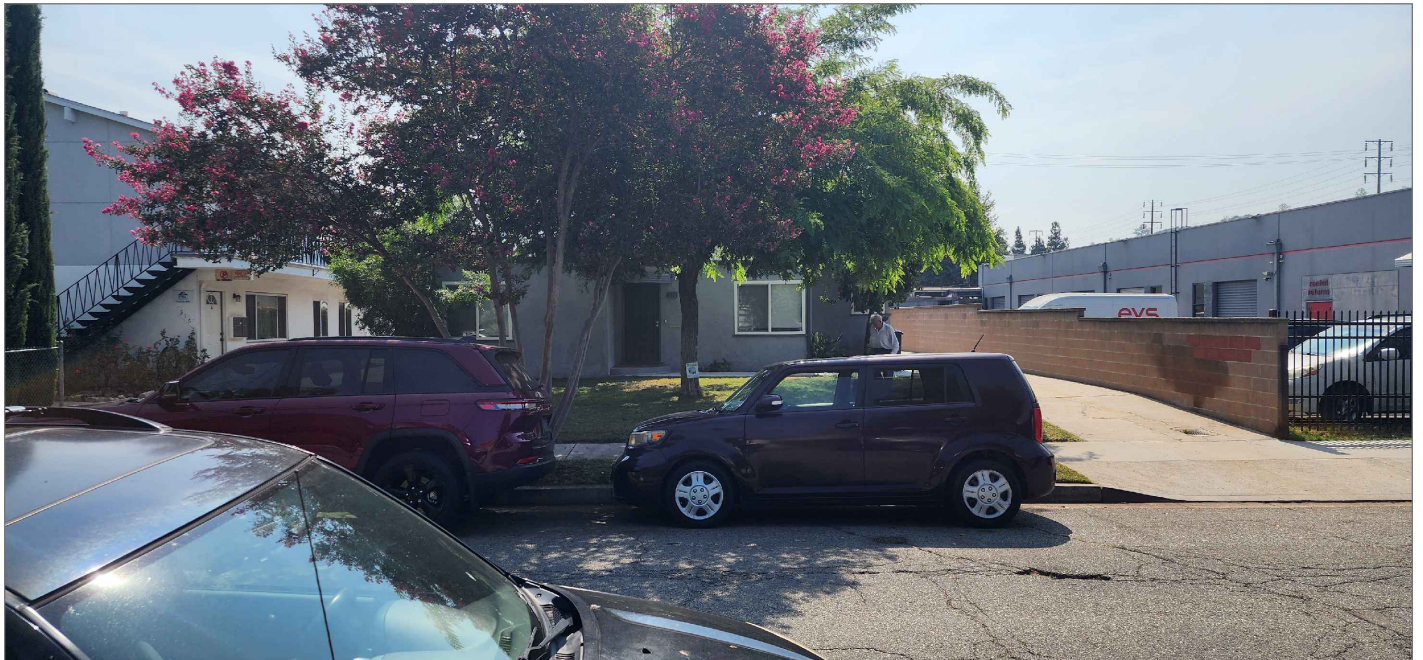
311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 8 OF 10



14

316 IRVING AVE.



15

312 IRVING AVE.



## PROJECT INFORMATION

311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 9 OF 10



16

1819 VICTORY BLVD



17

1822 VICTORY BLVD



## PROJECT INFORMATION

311 IRVING AVE.  
GLENDALE, CA.  
24-284

PHOTO SURVEY  
SHEET 10 OF 10



18

1840 VICTORY BLVD



19

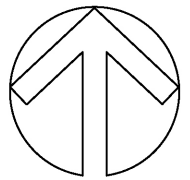
1833-1851 VICTORY BLVD



# PROJECT INFORMATION

311 IRVING AVE  
GLENDALE, CA.  
24-284

LOCATION MAP



SCALE 1" = 200'

