



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

**December 11, 2024**

*Decision Date*

**1555 Valley View Road**

*Address*

**Administrative Design Review (ADR)**

*Review Type*

**5632-012-002**

*APN*

**PADR 003006-2024**

*Case Number*

**Efrain Olivares**

*Applicant*

**Roger Kiesel**

*Case Planner*

**Erick Yepes**

*Owner*

#### Project Summary

To construct a 1,228 SF addition to an existing 2,399 SF single story, single-family residence. The house, after the proposed addition, will be 3,627 SF. The existing tennis court located in the rear of the lot adjacent to Arbor Drive will be demolished. The existing detached garage located in the middle of the site with access from Valley View Drive will remain and will be expanded to include a third car tandem bay. The subject site is zoned R1R, FAR District II with an HD (historic district overlay). The property is a contributor to the Brockmont Park Historic District.

#### Environmental Review

The project is exempt from CEQA review as a Class 31 "Historic Restoration or Rehabilitation" exemption pursuant to Section 15331 of the State CEQA Guidelines because the additions meet the Secretary of the Interior's Standards for Rehabilitation.

#### Existing Property/Background

The subject site contains a one-story single-family residence, built in 1954, with a detached garage and a tennis court. The property, along with the two houses to either side, is located on the site of the former private park of the Brockmont Park subdivision. The rear yards of all three face Arbor Drive and these frontages feature extensive fencing and/or landscaping that largely screen the rear facades from view.

#### Staff Recommendation

Approve with Conditions

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#### Last Date Reviewed / Decision

First time submittal for final review.

**Zone: RIR FAR District: II**

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

None.

**Site Slope and Grading**

None proposed.

**Neighborhood Survey**

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	18,770 SF	10,332 – 30,030 SF	15,370 SF
Setback	30 FT	20 – 40 FT	31 FT
House size	3,684 SF	2,972 – 4,380 SF	3,627 SF
Floor Area Ratio	0.22	0.10 – 0.34	0.24
Number of stories	N/A	1 – one-story, 8 – two-stories	One

**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

**Garage Location and Driveway**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Predominant pattern on block
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

### **Landscape Design**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Complementary to building design
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

The applicant shall provide landscape plans for the area of the subject site between Arbor Drive and the proposed addition, including the area of the tennis court that will be demolished.

### **Walls and Fences**

☐ **yes**   ☒ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

### **Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition is located at the rear of the house and will not be visible from Valley View Road, which is appropriate to the historic district and conforms with the district design guidelines.
- Although the subject site is a double frontage lot, the front of the residence and the front door face Valley View. No changes to the site planning are proposed in this area. Areas adjacent to Arbor Drive constitute the rear yard, much of which is occupied by the tennis court, which will be demolished to allow the addition to the house.
- As conditioned, the applicant shall provide landscape plans for the area of the subject site between Arbor Drive and the proposed addition.

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### **Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

#### **Building Relates to its Surrounding Context**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

**Building Relates to Existing Topography**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

**Consistent Architectural Concept**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Concept governs massing and height

**Scale and Proportion**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

**Roof Forms**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- No changes to the front of the residence facing Valley View are proposed.
- The one-story addition is lower than the height of the house and will not be visible in the context of the front façade.
- The simple gabled roof forms of the additions to the house and garage feature ridge lines lower than the roofs they are attached to and are appropriately deferential to the existing buildings.

- The addition to the house steps in from the side (northeast) façade, allowing the original mass of the house to remain legible and preventing the new roof from interfering with the distinctive hip-on-gable roof form to which it attaches.

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## Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

### Entryway

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

### Windows

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

### Privacy

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

### Finish Materials and Color

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

**Paving Materials**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

**Lighting, Equipment, Trash, and Drainage**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

**Ancillary Structures**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

**Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The additions maintain the existing design language, primarily consisting of simple gabled roofs, stucco walls, and punched window openings.
  - The dovecote on the garage will remain in place.
  - No privacy issues will result from the project.
  - Existing metal windows will be refurbished and repainted.
  - No changes to the entryway of the residence are proposed.
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**Glendale Historic District Design Guidelines and Rehabilitation Standards Analysis*****Glendale Historic District Design Guidelines Analysis***

Staff believes that the proposed project meets the Historic District Design Guidelines. The proposed project is located on a double frontage lot, having frontage on both Valley View Road and Arbor Drive. The proposed additions to the single-family home and detached garage will be facing Arbor Drive. The addition to the house is approximately 85 feet from the Arbor Drive property line and the garage addition is approximately 60 feet away. The

primary façade of the residence is facing Valley View Road, where both the front entrance to the residence and the driveway leading to the detached garage are located. No changes to the primary façade are proposed as a result of the project, with the exception of the existing metal windows, which will be refurbished and repainted. The Ranch style residence is faced with stucco and brick wainscoting. The proposed one-story addition is set in further (a minimum of 6-ft., 10-in.) from the northern property line than the existing residence with a lower roofline and is not visible from the Valley View Road right-of-way. This allows its mass to defer to that of the existing house and to not interrupt the gable-on-hip roof configuration. The garage addition, creating a third car tandem bay, is also not visible from Valley View Road. The roofline of this addition is the same height as the existing roof. The proposed addition is in conformance with the “Massing and Additions” section for Ranch style homes because it is located away from the primary façade and is subordinate in massing. The roof forms, size, and scale of the two additions are in keeping with the existing house, as is their overall design.

### ***Secretary of the Interior’s Standards for Rehabilitation Analysis***

Staff believes the proposed work can comply with the Rehabilitation Standards if the recommended conditions are imposed, as follows:

*1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

- The property was developed as a single-family residence and will remain a single-family residence.

*2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

- The existing historic character of the property will not be affected by the project. The front façade will remain intact, and the additions will abut only the more utilitarian rear facades of the house and garage.
- The tennis court does not appear to be an original feature and its removal will not affect the overall character of the property.

*3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

- The addition will be a straightforward design and will read as an addition because of the offset walls of the addition facing the north. The project does not add conjectural features or elements from other buildings that may create a false sense of historical development.

*4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

- The property has not changed significantly from the time of its construction. The tennis court and unpermitted storage shed that will be removed have not acquired historic significance in their own right and do not contribute to the overall historic character of the subject property.

*5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

- The property's character-defining features will be retained at a level that allows for ongoing contributing status of the historic district. These include the brick wainscoting, steel windows, stucco wall cladding, and the decorative "bird house" on the detached garage.

*6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

- The existing steel windows will be refurbished and repainted.

*7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

- The existing windows will be refurbished and repainted in a manner that will not damage the steel sash.

*8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

- The property and its adjoining neighbors were built on land that had been the private park of the Brockmont Park subdivision. Prior to this, the area was part of the Brockman estate. The construction of the additions could possibly reveal features of this park, such as decorative stone or concrete elements. It is not known if any of these features were on the 1555 Valley View portion of the park, and previous grading, particularly at the tennis court, may have disrupted any that may have existed. A condition of approval for this project has been added indicating that City preservation staff must be notified if any decorative materials are discovered during excavation for any foundation work and that work be stopped until an assessment of potential significance is made

*9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

- The construction of the one-story additions will not result in the loss or destruction of any character defining features or materials that characterize the property. The proposed addition will not be visible from the primary Valley View frontage of the site. The addition will be subordinate in massing and size. The proposed addition will be set in from the existing house at the north elevation, which will allow the original corners of the house to remain exposed and provide a method of differentiation to indicate that the addition is not an original feature of the property.

*10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

- If one or both additions were removed in the future, the property could be returned to its original size and footprint with the limited construction of plain stucco walls.



## **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

### **Conditions**

1. The applicant shall provide landscape plans for the area of the demolished tennis court between Arbor Drive and the proposed addition.
2. Specifications for the refurbishment of the existing steel windows shall be provided for review and approval of preservation staff prior to commencement of any window work.
3. If any decorative artifacts are unearthed during construction of the additions, work shall stop and City preservation staff shall be notified to allow an assessment of any potential historic significance.

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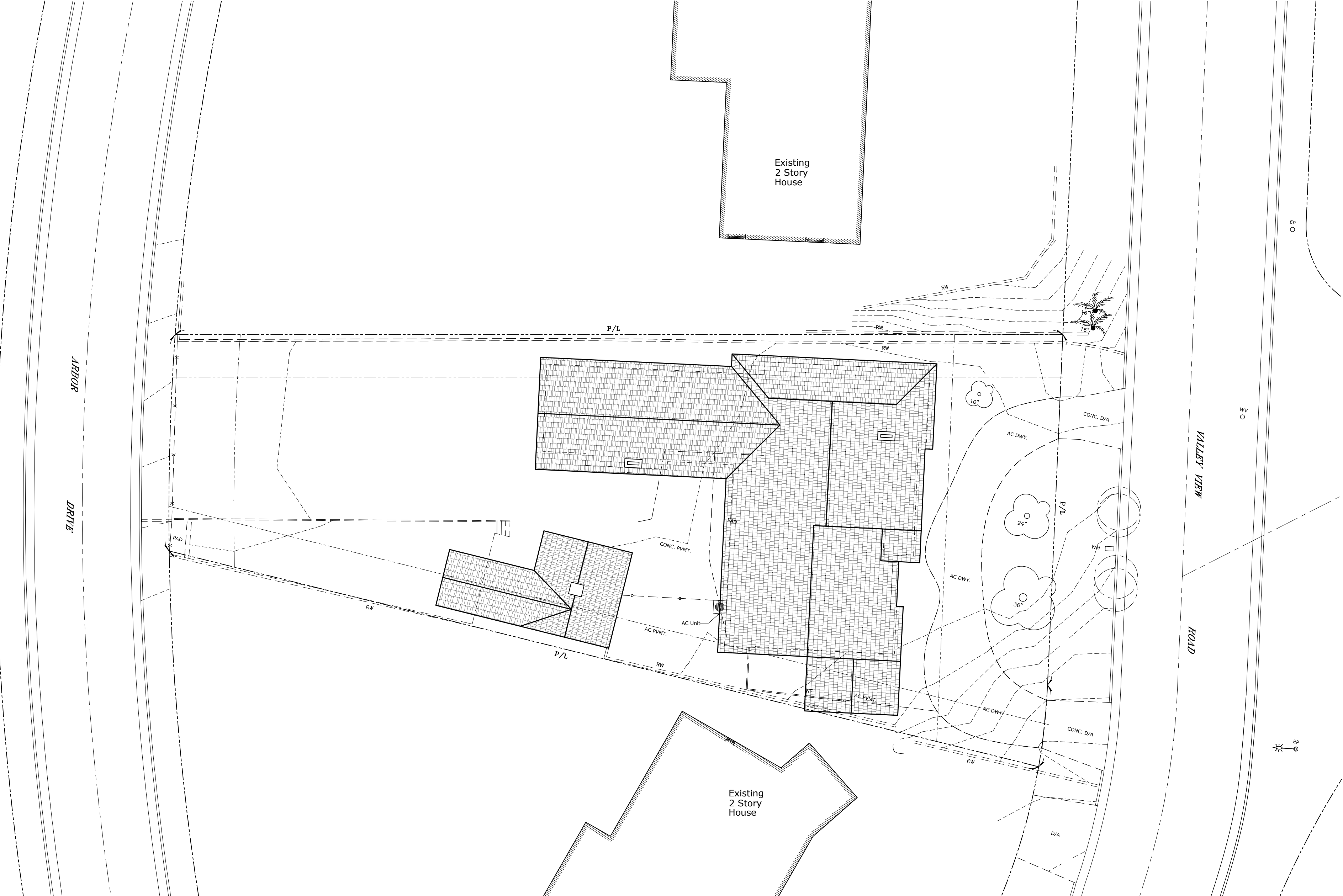
### **Attachments**













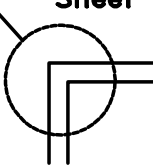


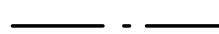


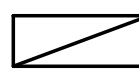

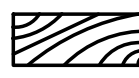



1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey



## ABBREVIATIONS

ADJC.	ADJACENT	JT.	JOINT
ADJ.	ADJUSTABLE	JST.	JOIST
ALT.	ALTERNATE	LAM.	LAMINATE(D)
AL.	ALUMINUM	LAV.	LAVATORY
A.B.	ANCHOR BOLT	L.H.	LEFT HAND
<	ANGLE	L.T.	LIGHT
ARCH.	ARCHITECT(URAL)	L.	LONG
AUTO.	AUTOMATIC	M.B.	MACHINE BOLT
BETW.	BETWEEN	MFR.	MANUFACTURER
BLK(G).	BLOCK(ING)	M.O.	MASONRY OPENING
BD.	BOARD	MATL.	MATERIAL
B.S.	BOTH SIDES	MAX.	MAXIMUM
BOT.	BOTTOM	MET.	METAL
BRZ.	BRONZE	MIN.	MINIMUM, MINUTES
BLDG.	BUILDING	MISC.	MISCELLANEOUS
B.U.R.	BUILT UP ROOF(ING)	MTD.	MOUNTED
C.I.	CAST IRON	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	N.T.S.	NOT TO SCALE
CLKG.	CAULKING	NO.	NUMBER
CLG.	CEILING	O.C.	ON CENTER
C.	CENTER LINE	OPP.	OPPOSITE
C.T.	CERAMIC TILE	O.T.O.	OUTSIDE TO OUTSIDE
CIR.	CIRCLE	O.V.	OVER
C.O.	CLEAN OUT	O.H.	OVERHEAD
CLR.	CLEAR	PNT.	PAINT
COL.	COLUMN	PLAS.	PLASTER
CONC.	CONCRETE	PL.	PLATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD.	PLYWOOD
CONSTR.	CONSTRUCTION	PT.	POINT
CONT.	CONTINUOUS	P.O.C.	POINT OF CONNECTION
CONTR.	CONTRACTOR	PVC.	POLYVINYL CHLORIDE
C.Y.	CUBIC YARD	POUN.	POUND
DEMO.	DEMOLISH, DEMOLITION	P.C.F.	POUNDS/CUBIC FOOT
DET.	DETAIL	P.L.F.	POUNDS/LINEAL FOOT
DIAG.	DIAGONAL	P.S.F.	POUNDS/SQUARE FOOT
DIA. Ø	DIAMETER	P.S.I.	POUNDS/SQUARE INCH
DISP.	DISPENSER	R.	PROPERTY LINE
DIV.	DIVISION	RAD.	RADIUS
DBL.	DOUBLE	REF. (ENCE)	REFERENCE
DN.	DOWN	REINFC.	REINFORCE(D)
D.F.	DOUGLAS FIR	REFR.	REFRIGERATOR
DS.	DOWNSPOUT	REFR.	REFRIGERATOR
DWG.	DRAWING	REINFOR.	REINFORCING BAR
EA.	EACH	REQ'D.	REQUIRED
E.W.	EACH WAY	R.A.	RETURN AIR
ELEC.	ELECTRIC(AL)	R.H.	RIGHT HAND
EL.	ELEVATION	R.	RISER
ELEV.	ELEVATOR	R.D.	ROOF DRAIN
EQ.	EQUAL	RM.	ROOM
EQUIP.	EQUIPMENT	R.O.	ROUGH OPENING
EXIST. (E)	EXISTING	S.S.	SANITARY SEWER
EXP. JT.	EXPANSION JOINT	SHT.	SHEET
EXT.	EXTERIOR	SHTG.	SHEATHING
F.O.C.	FACE OF CONCRETE	SIM.	SIMILAR
F.O.S.	FACE OF STUDS	SL.	SLIDING
FT.	FEET	S.C.C.	SOLID CORE
FIN.	FINISH	SPEC.	SPECIFICATION(S)
F.F.L.	FINISH FLOOR LEVEL	SQ.	SQUARE
		SSTL	STAINLESS STEEL



Legend			
	Column/Grid Line		Work Point or Control Point
	Building Section Sheet Where Drawn		Keynote
	Exterior Elevation Sheet Where Drawn		Window Number
	Interior Elevation Sheet Where Drawn		Door Number
	Detail Number Sheet Where Drawn		Equipment Number
	Detail Number Sheet Where Drawn		Room Name Room Number
			Revision
	Break Line		Center Line
	Continuous Wood Framing		Concrete
	Wood Blocking		Brick
	Finish Lumber/ Woodwork		Steel
	Concrete Masonry Unit		Earth

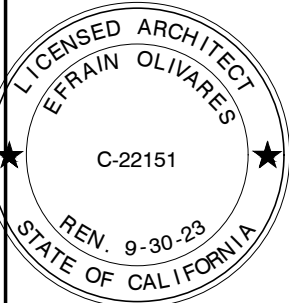
GENERAL NOTES	
1.	The contractor shall, to the full extent permitted by law, defend, indemnify and save harmless the owner, tenant and Architect Inc. and their respective directors, officers, partners, employees, and agents from any and all claims directly or indirectly arising or alleged to arise out of the performance of the failure to perform the work or conditions of the work, and from any and all claims by workmen, suppliers or subcontractors involved in performance of the work.
2.	The obligations set forth in this paragraph shall specifically include, but shall not be limited to, all claims directly or indirectly arising or alleged to arise under any scaffolding, structural work or safe place law, but shall not include any claims arising solely from the active negligence of the party asking to be defended. Indemnified or saved harmless.
3.	The Contractor shall visit the site and be knowledgeable of conditions thereof. He shall investigate, verify and be responsible for all conditions of the project and shall notify the Architect of any condition requiring modifications before proceeding with the work.
4.	All dimensions shall be verified in to field before proceeding with the work. The Architect shall be notified of any correction required.
5.	The contractor shall conform to all codes, ordinances, etc., which have jurisdiction over this work. The contractor shall retain responsibility for compliance with latest revisions of all other applicable codes and ordinances.
6.	All symbols and abbreviations used on the drawings are considered construction standards. If the contractor has questions regarding same, or their exact meaning, Architect Inc. shall be notified for clarification.
7.	Dimensions are to be considered "Nominal" unless otherwise noted. All wall dimensions are finished face of wall unless otherwise noted.
8.	All dimensions shall have preference over scale, do not scale drawings. Large scale details govern over small details.
9.	Provide access panels as required by applicable codes and as required for mechanical, electrical and plumbing equipment. All access panels shall be concealed and locations shall be reviewed with the Architect.
10.	Refer to mechanical and electrical contractor's drawings and manufacturer's template drawings for all mechanical and electrical equipment supports, bolt setting templates, isolations, spring isolations, etc., not shown on drawings.
11.	The Contractor shall provide all the necessary blocking, backing, framing, hangers, or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same.
12.	Contractor shall provide adequate bracing, where required, for all elements during construction.
13.	Remove demolished items from the site and dispose of them in a legal manner.
14.	All materials and finished indicated on the contract documents shall be new and unused, unless noted otherwise.
15.	Contractor shall provide for temporary toilet facilities during the course of construction.
16.	The act of starting any specific operation will be deemed as evidence acceptance by the Contractor of all related existing conditions as being satisfactory for such work.
17.	All requests for clarification of these drawings shall be directed to the Architect. All approvals and instructions to contractor shall be issued through the Architect.
18.	Specifications, along with these drawings, shall form a part of the Construction Document package.
19.	Separate permits are required for a separate structure, grading work, block walls, retaining walls, demolition, electrical, mechanical, & plumbing work.

FIRE DEPARTMENT NOTES	
1.	Provide Fire Sprinklers in area of construction, calculate to most demanding building hydraulic location, cap off and prepare for future expansion.
2.	Provide fire extinguishers per fire dept. field review.
3.	Provide off site reporting connections for the fire sprinkler system.
4.	Provide address viewable and legible from the public way.
ARCHITECTURAL NOTES:	
1.	Not used
2.	Plastered surfaces on walls, ceiling and roof soffits exposed to the weather shall have exterior lath and plaster conforming to 4708 and 4706 respectively. Exterior plaster reinforced per 4706-c may be applied over gypsum lath on ceiling and roof soffits.
3.	Inspection is required for all interior and exterior in-place lath and/or wallboard before any plastering is applied or any joints and fasteners have been taped and finished.
4.	A corrosion resistant weep screed which will allow trapped water to drain to the exterior of the building is required below the stucco at the foundation plate line.
5.	Interior wall finish in all rooms shall have a minimum flame spread classification of III. (T 42-A)
6.	Flame spread rating for all finish materials shall comply with latest codes.
PLUMBING & BATHROOM NOTES:	
1.	Wall covering at showers shall be finished to a height of not less than 70" above the drain. Materials other than structural elements used in such walls shall be of a type which is not adversely affected by moisture, or approved prefab's tubs and showers. Net area of shower receptor to be not less than 1,024 sq.in of floor area and encompass a 30 in. diameter circle.
2.	Where used, glass enclosure doors and panels must be 3/16" fully tempered, 1/4" laminated, or of an approved plastic. Swing door outward.
3.	Shower heads, lavatory faucets, and sink faucets shall be equipped with flow control devices to limit total flow to 3g.p.m.
4.	Provide rodent and insect proofing where all plumbing, wiring and vents pass through the framing plates.
5.	Provide ventilation of 5 air changes per hour where mechanical ventilation is required.
APPLICABLE CODES	
All work on this contract shall conform to the latest Codes, Regulations, and Local Ordinances including, but not limited to the following:	
2022 California Building Code	
2022 California Electrical Code	
2022 California Mechanical Code	
2022 California Plumbing Code	
2022 California Fire Code	
2022 California Energy Code	
2022 Glendale Building and Safety Code	

SAFETY GLAZING NOTES:	
1.	The following locations shall be provided with safety glazing:
a.	All glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers and glazing in any portion of a building wall enclosing these compartments where the bottom exposed edge of glazing is less than 60 inches above a standing surface or drain inlet.
b.	All glazing within 24 inches of a door and within 60 inches of the floor
c.	All glass over 9 square feet in area within 18 inches of the floor or 36 inches of grade, and glass doors and wall panels.
SECURITY NOTES:	
1.	Windows and door lights within 40 inches of the locking device of the door shall be fully tempered/approved burglar resistant.
2.	Door hinge pins accessible from the outside shall be non-removable.
3.	Sliding glass doors and sliding glass windows shall bear forced-entry-resistant labels.
4.	Door stops of wood jambs of in-swinging doors shall be of one piece construction or joined by rabbet.
5.	Entry doors shall be equipped with a dead bolt and a dead locking latch, both key operated from the outside. Dead bolt shall have a hardened insert, 1 inch minimum throw and 5/8 inch minimum embedment into jamb.
6.	All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with w/4" min. projection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long.
7.	Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools.
8.	Mullions shall be considered a part of adjacent panels unless sized as required herein for stiles and rails except mullions not over 18 inches long may have an overall width of not less than 2 inches.
9.	Other openable windows shall be provided with substantial locking devices. In B Occupancies, such devices shall be glide bars, bolts, cross-bars, and (or) padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps.
SCOPE OF WORK:	
New addition to the rear of existing single family home and convert existing 2 car garage to 3 car garage.	
ZONING INFO:	

PROJECT INFORMATION	
Owner:	Erick Yepes
Project Address:	1555 Valley View Rd. Glendale, CA 91202
Architect:	Efra Partners LLC
Firm Address:	1763 Blake Ave, Los Angeles, Ca 90031
BUILDING LIMITATION/ CODE ANALYSIS	
Assessor's ID No.	5632-012-002
Zone:	R1R District 2
Legal Description:	Portion of lot 49 of tract no. 9152, in the city of Glendale, County of Los Angeles, State of California, as per map recorded in book 124 pages 8-11 of maps, in the office of the county recorder of said county.
Occupancy Type:	R-3
Construction Type:	5-B
Lot Size:	15,370 sq. ft. Per Count Assessors
Number of stories:	1
CA Climate Zone:	9
Fire Hazard Zone:	Yes

VICINITY MAP	
INDEX OF DRAWINGS	
ARCHITECTURAL	
A0.0	Cover Sheet
A0.2	Survey
A0.4	Existing Site Demolition Plan
A1.0	Existing Site Plan
A1.1	Proposed Site/Roof Plan
A1.2	Landscape Area Diagram
A1.3	Landscape Plan
A1.4	Proposed Roof Plan
A2.0	Existing Floor Plan
A2.1	Proposed Floor Plan
A2.2	Garage Floor Plan
A3.0	Elevations
A3.1	Elevations
A3.2	Garage Elevations
A3.4	Existing Elevations
A3.5	Existing Elevations
A4.0	Sections
A6.0	Details
A6.1	Details



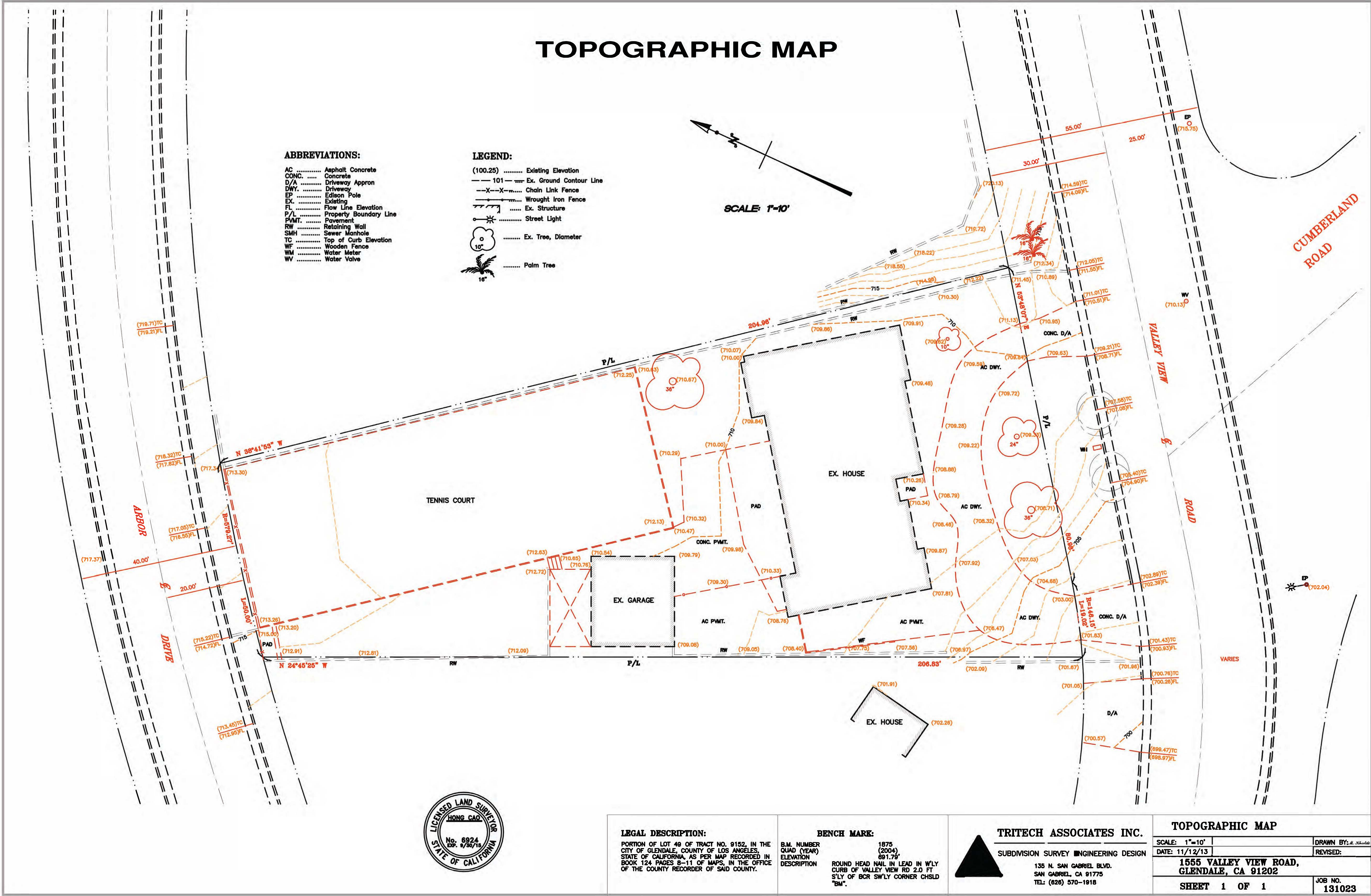
<div>EFRA</div> <div>partners</div>		Architecture Development Planning	Efrain Olivares AIA	info@efrapartners.com (323) 665-5760	
<div>Yepes Valley View Residence</div> <div>1555 Valley View Road, Glendale, CA 91202</div>					202010

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Cover Sheet

A0.0



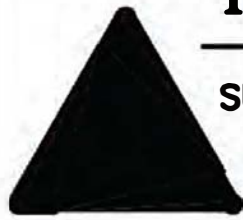


**LEGAL DESCRIPTION:**

PORTION OF LOT 49 OF TRACT NO. 9152, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 124 PAGES 8-11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BENCH MARK:**

B.M. NUMBER 1875  
QUAD (YEAR) (2004)  
ELEVATION 691.75'  
DESCRIPTION ROUND HEAD NAIL IN LEAD IN W/LY CURB OF VALLEY VIEW RD 2.0 FT S'LY OF BCR SW'LY CORNER CHSLD "BM".



**TRITECH ASSOCIATES INC.**

SUBDIVISION SURVEY ENGINEERING DESIGN

135 N. SAN GABRIEL BLVD.  
SAN GABRIEL, CA 91775  
TEL: (626) 570-1918

**TOPOGRAPHIC MAP**

SCALE: 1"=10'  
DATE: 11/12/13  
DRAWN BY: R. Shultz  
REVISED:  
1555 VALLEY VIEW ROAD,  
GLENDALE, CA 91202  
SHEET 1 OF 1  
JOB NO. 131023

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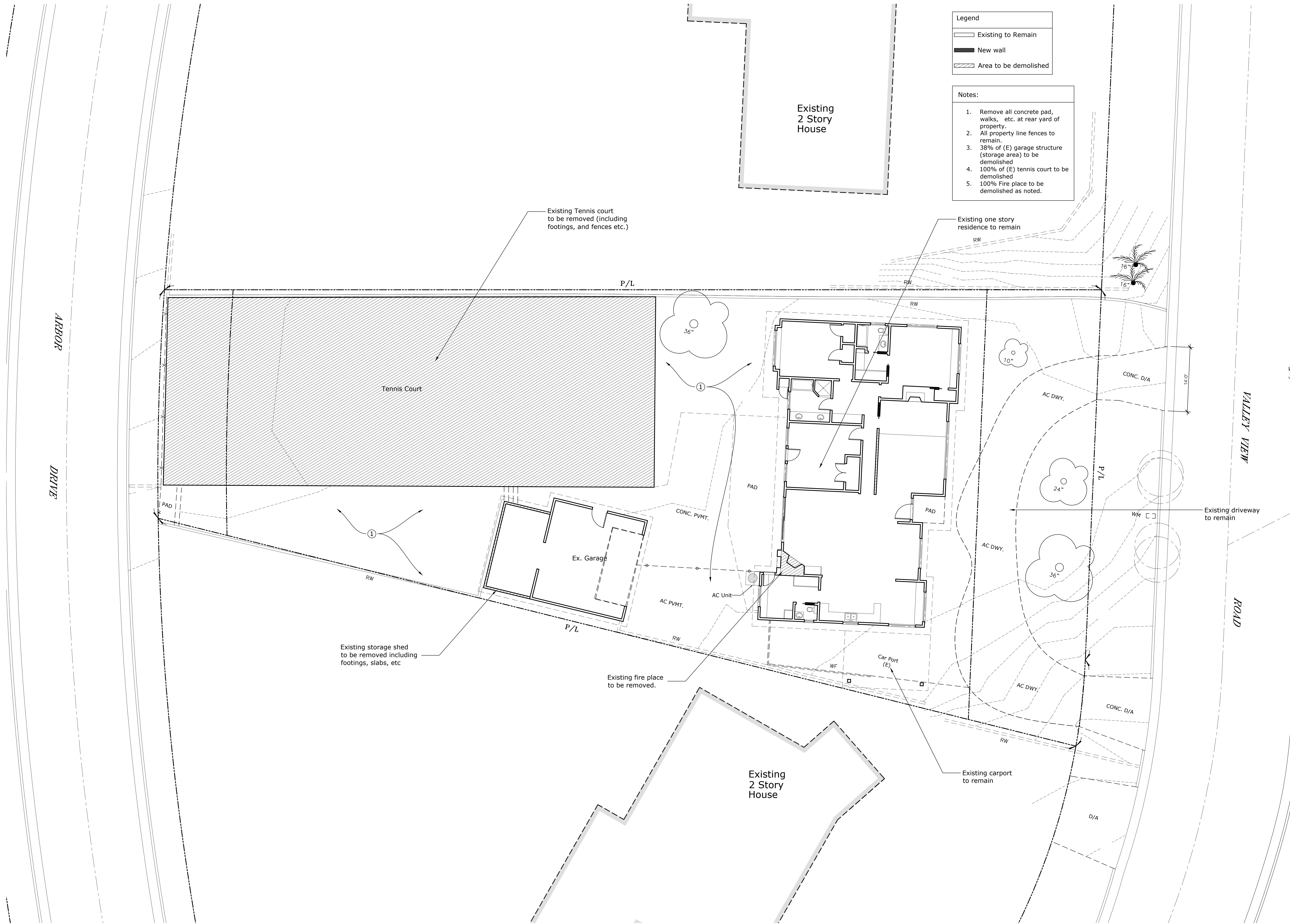
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Site Demolition Plan  
Scale: 1/4" = 1'-0"

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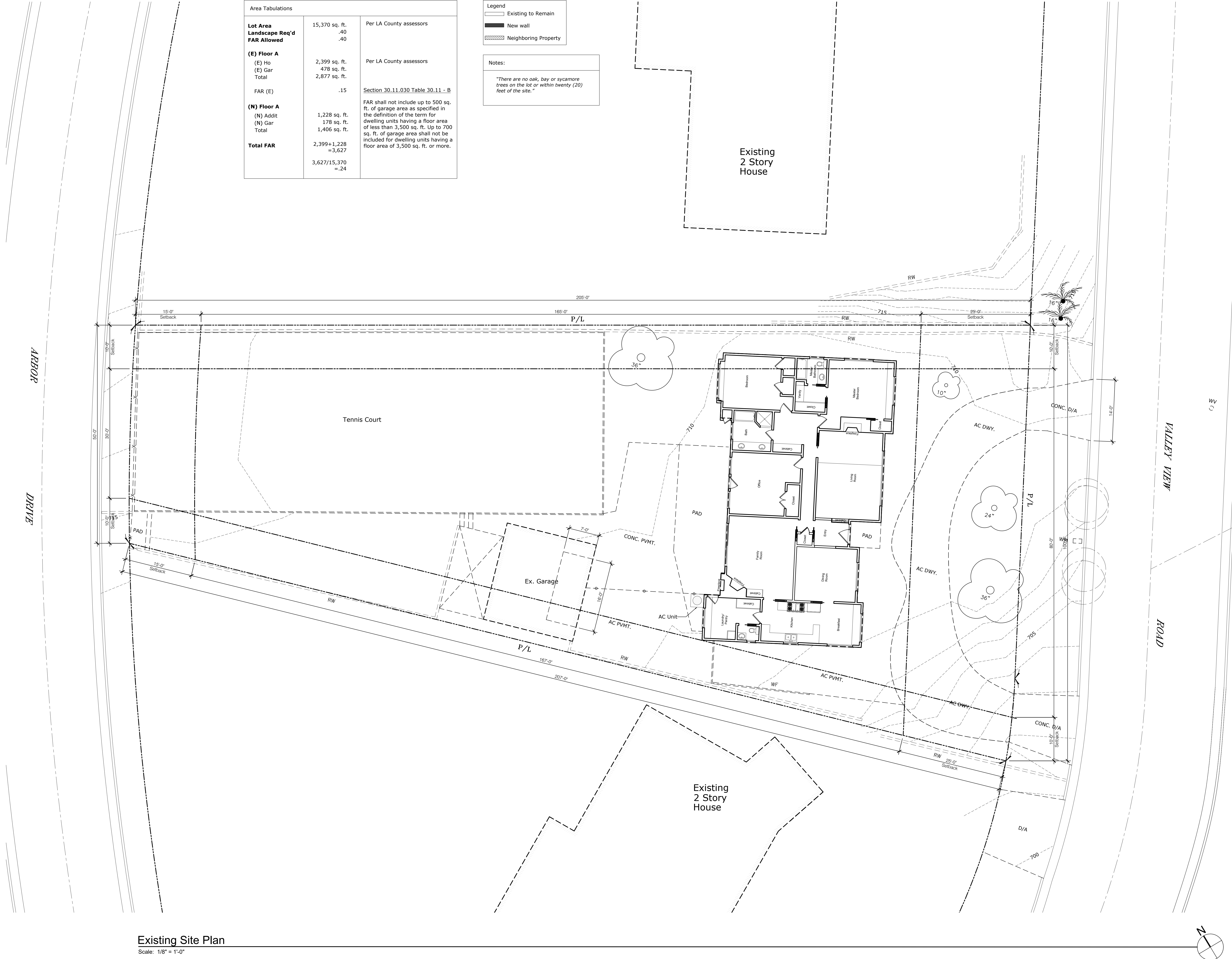
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Existing Site/  
Demolition Plan

A0.4



Existing Site Plan  
Scale: 1/8" = 1'-0"

Area Tabulations		
Lot Area Landscape Req'd FAR Allowed	15,370 sq. ft.	Per LA County assessors
	.40 .40	
(E) Floor A (E) Ho (E) Gar Total  FAR (E)	2,399 sq. ft. 478 sq. ft. 2,877 sq. ft.  .15	Per LA County assessors  Section 30.11.030 Table 30.11 - B
(N) Floor A (N) Addit (N) Gar Total  Total FAR	1,228 sq. ft. 178 sq. ft. 1,406 sq. ft.  2,399+1,228 =3,627 3,627/15,370 =.24	FAR shall not include up to 500 sq. ft. of garage area as specified in the definition of the term for dwelling units having a floor area of less than 3,500 sq. ft. Up to 700 sq. ft. of garage area shall not be included for dwelling units having a floor area of 3,500 sq. ft. or more.

Legend
Existing to Remain
New wall
Neighboring Property

Notes:

"There are no oak, bay or sycamore trees on the lot or within twenty (20) feet of the site."

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Existing Site Plan

A1.0

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Yepes Valley View Home

1555 Valley View Road, Glendale, CA 91202



Area Tabulations		
<b>Lot Area</b>	15,370 sq. ft.	Per LA County assessors
<b>Landscape Req'd</b>	.40	
<b>FAR Allowed</b>	.40	
<b>(E) Floor A</b>		
(E) Ho	2,399 sq. ft.	Per LA County assessors
(E) Gar	478 sq. ft.	
Total	2,877 sq. ft.	
FAR (E)	.15	
<b>(N) Floor A</b>		
(N) Addit	1,228 sq. ft.	FAR shall not include up to 500 sq. ft. of garage area as specified in the definition of the term for dwelling units having a floor area of less than 3,500 sq. ft. Up to 700 sq. ft. of garage area shall not be included for dwelling units having a floor area of 3,500 sq. ft. or more.
(N) Gar	178 sq. ft.	
Total	1,406 sq. ft.	
<b>Total FAR</b>	2,399+1,228 =3,627	
	3,627/15,370 =.24	


<b>Lot Area</b>	15,370 sq. ft.	Per LA County assessors
<b>Landscape Req'd</b>	.40	
<b>FAR Allowed</b>	.40	
<b>(E) Floor A</b>		
(E) Ho	2,399 sq. ft.	Per LA County assessors
(E) Gar	478 sq. ft.	
<b>Total</b>	2,877 sq. ft.	
<b>FAR (E)</b>	.15	<u>Section 30.11.030 Table 30.11 - B</u>  FAR shall not include up to 500 sq. ft. of garage area as specified in the definition of the term for dwelling units having a floor area of less than 3,500 sq. ft. Up to 700 sq. ft. of garage area shall not be included for dwelling units having a floor area of 3,500 sq. ft. or more.
<b>(N) Floor A</b>		
(N) Addit	1,228 sq. ft.	
(N) Gar	178 sq. ft.	
<b>Total</b>	1,406 sq. ft.	
<b>Total FAR</b>	2,399+1,228 =3,627	
	3,627/15,370 =.24	


<b>(E) Floor A</b>			
(E) Ho	2,399 sq. ft.		Per LA County assessors
(E) Gar	478 sq. ft.		
Total	2,877 sq. ft.		
FAR (E)	.15		
			Section 30.11.030 Table 30.11 - B
<b>(N) Floor A</b>			
(N) Addit	1,228 sq. ft.		FAR shall not include up to 500 sq. ft. of garage area as specified in the definition of the term for dwelling units having a floor area of less than 3,500 sq. ft. Up to 700 sq. ft. of garage area shall not be
(N) Gar	178 sq. ft.		
Total	1,406 sq. ft.		


<b>(N) Floor A</b>		FAR shall not include up to 500 sq. ft. of garage area as specified in the definition of the term for dwelling units having a floor area of less than 3,500 sq. ft. Up to 700 sq. ft. of garage area shall not be included for dwelling units having a floor area of 3,500 sq. ft. or more.
(N) Addit	1,228 sq. ft.	
(N) Gar	178 sq. ft.	
Total	1,406 sq. ft.	
<b>Total FAR</b>	2,399+1,228 =3,627	
	3,627/15,370 =.24	

<b>Total FAR</b>	2,399+1,228 =3,627	included for dwelling units having a floor area of 3,500 sq. ft. or more.
	3,627/15,370 =.24	

Legend

 Existing to Remain

 New wall

 Neighboring Property

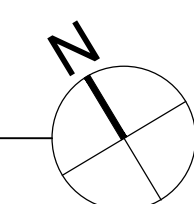
Notes:

*"There are no oak, bay or sycamore trees on the lot or within twenty (20) feet of the site."*



### Proposed Site Roof Plan

Scale: 1/8" = 1'-0"



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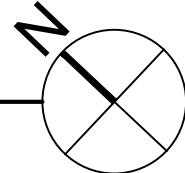
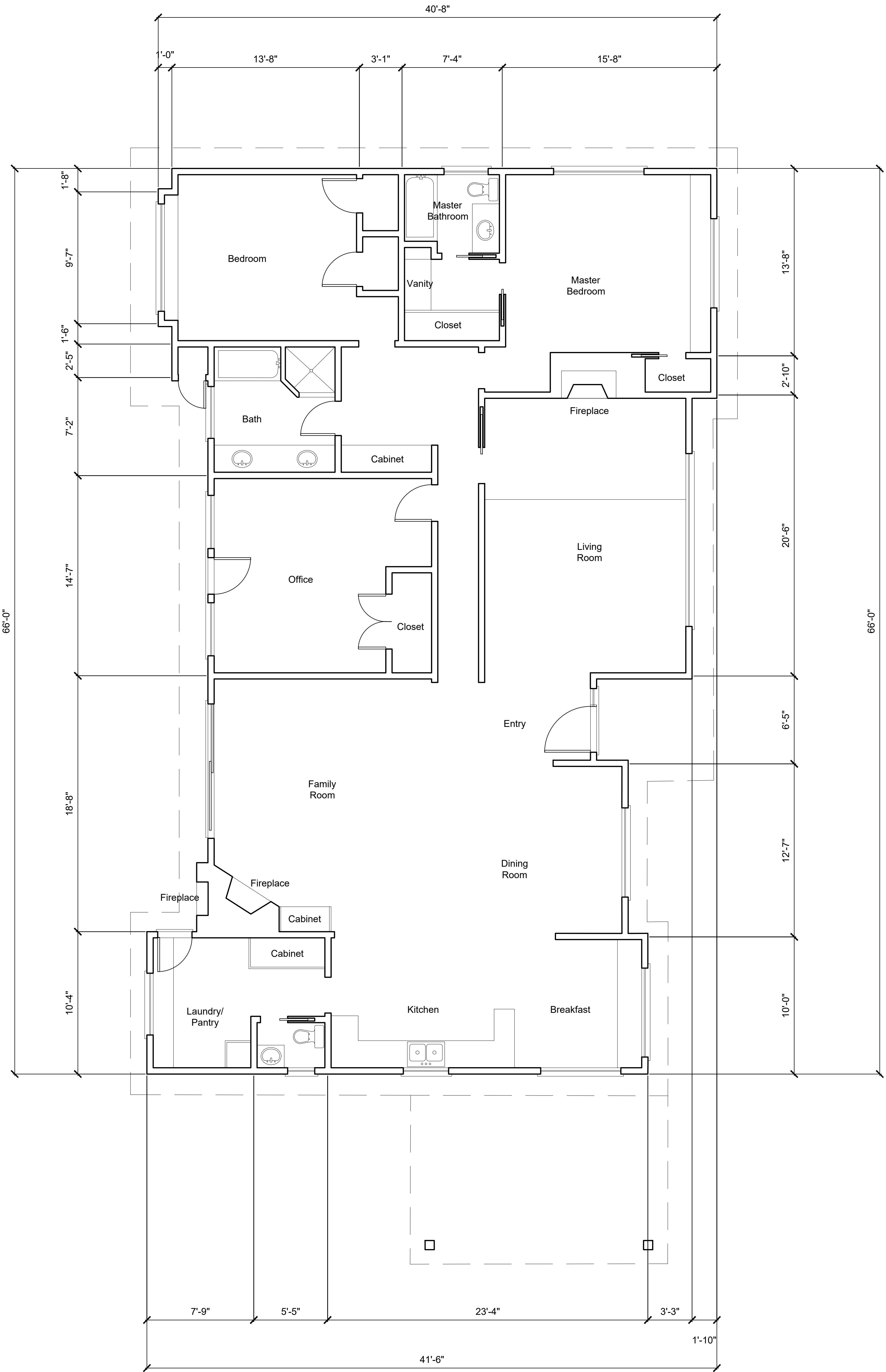
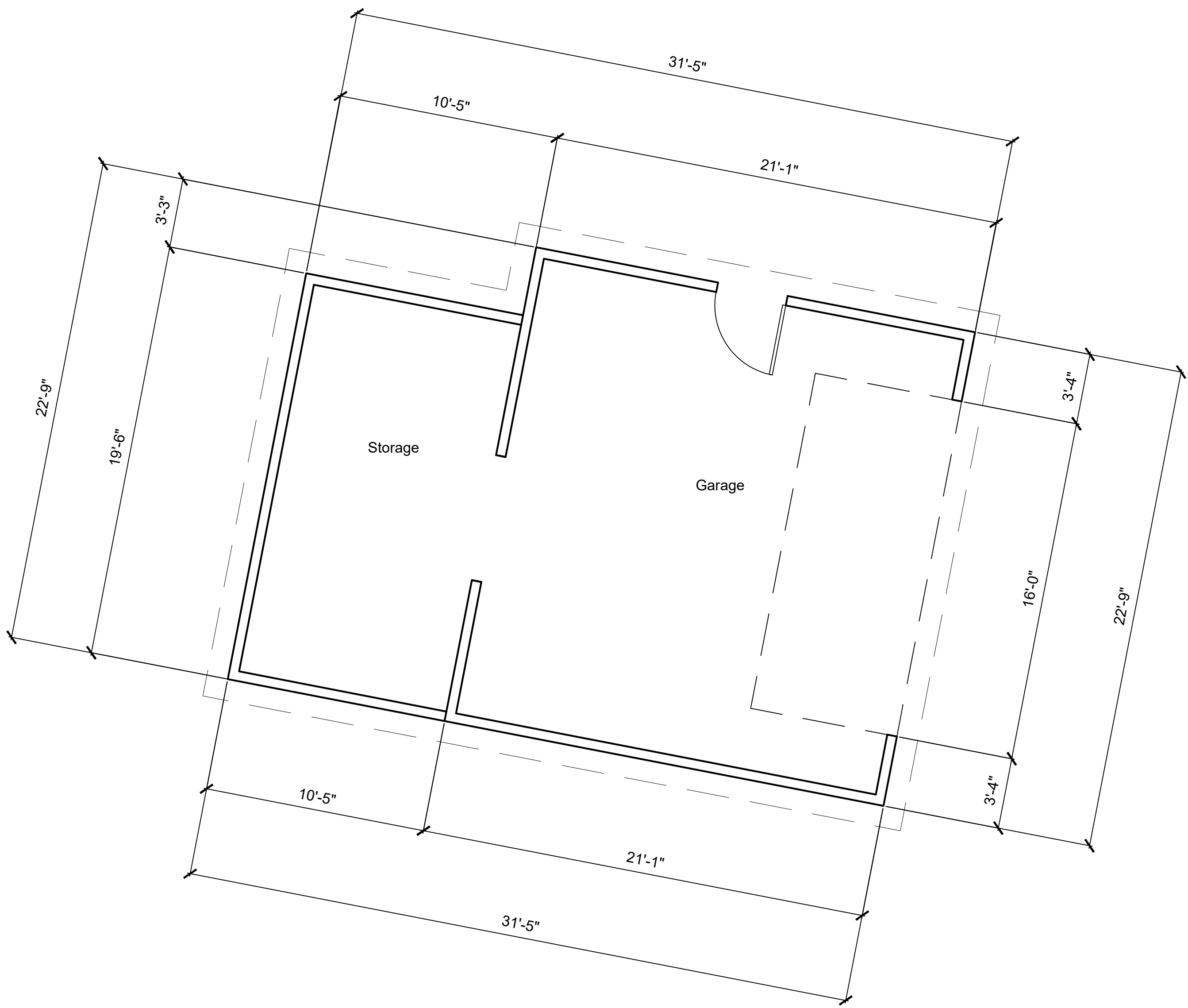
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### Proposed Site Roof Plan

## A1.1

Existing Floor Plan

Scale: 1/4" = 1' - 0"



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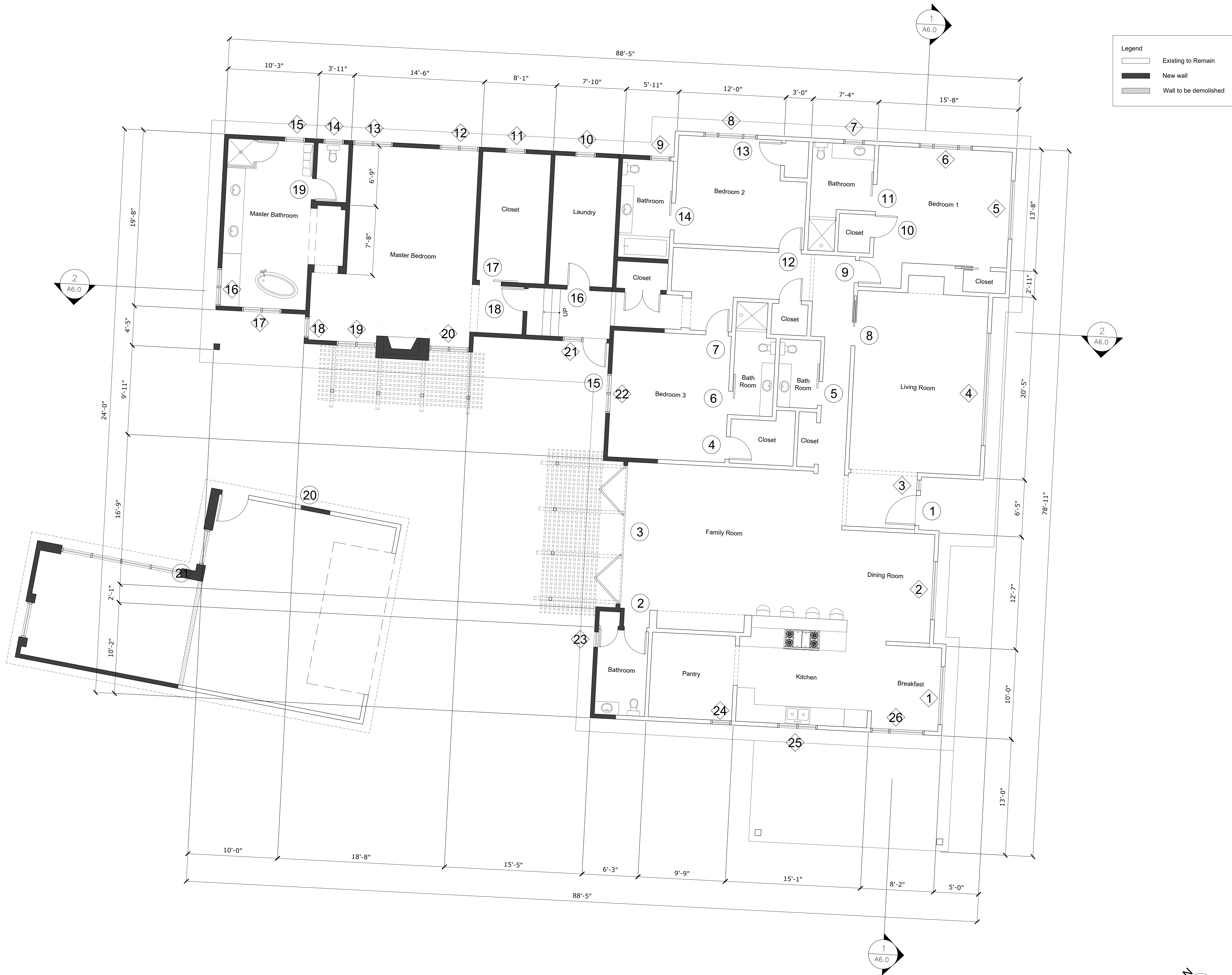
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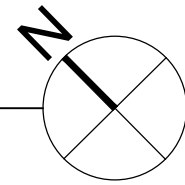
Existing  
Floor Plan

A2.0



Proposed Floor Plan

Scale: 1/4" = 1'-0"



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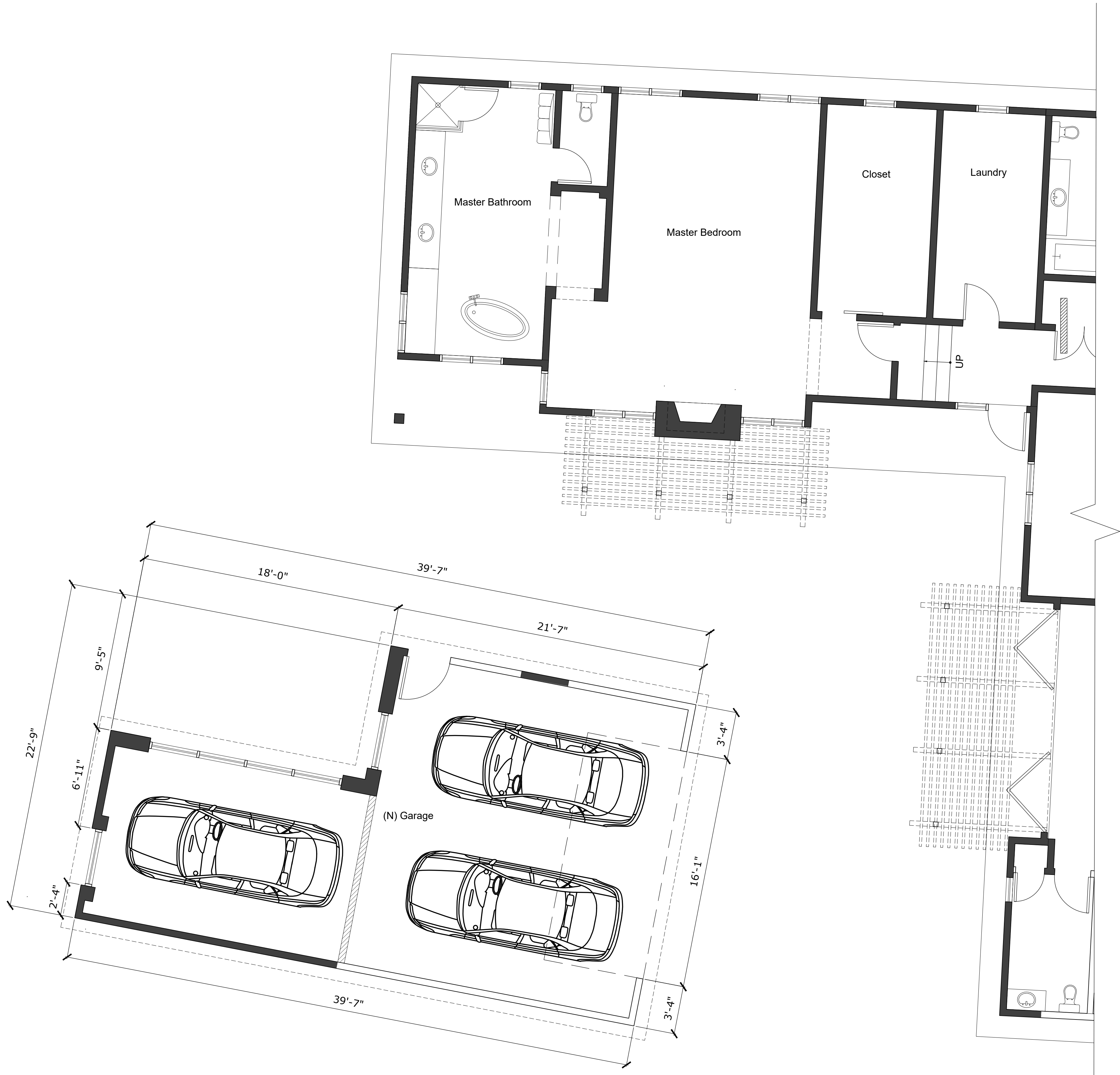
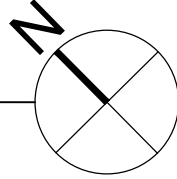
Proposed  
Floor Plan

A2.1



Garage Floor Plan

Scale: 1/4" = 1'-0"



Legend

- Existing to Remain
- New wall
- Wall to be demolished

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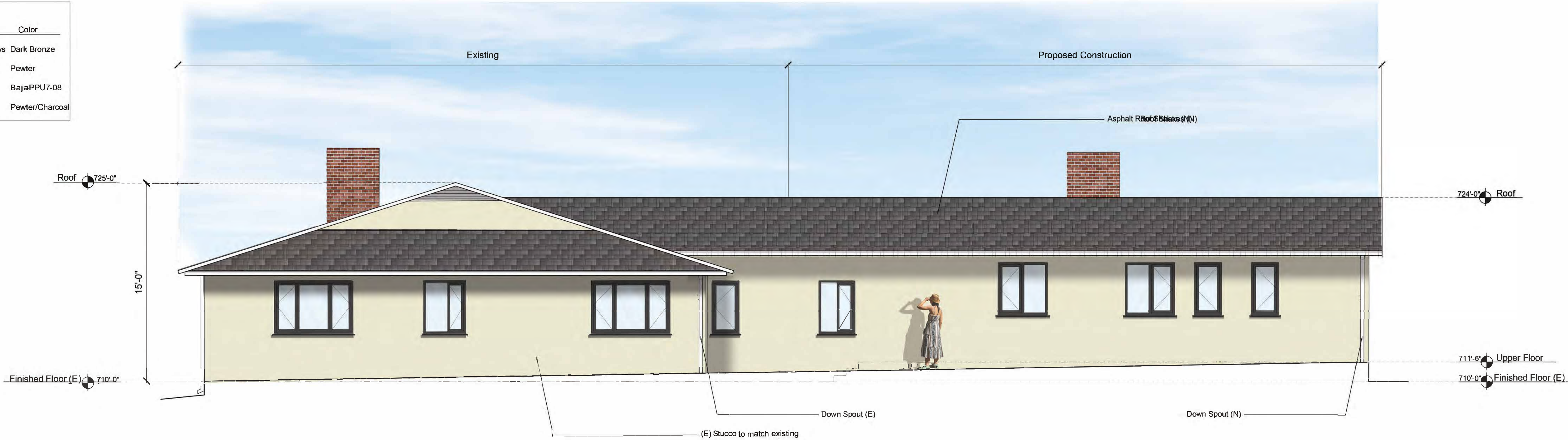
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Materials		
Product	Manufacturer	Color
1. Door/Window Frames	Lincoln Windows	Dark Bronze
2. Roof	Atlas Roofing	Pewter
3. Walls	Behr	BajaPPU7-08
4. Pavers	Angelus	Pewter/Charcoal



North Elevation  
Scale: 1/4" = 1' - 0"

2



East Elevations (Existing to Remain)  
Scale: 1/4" = 1' - 0"

1

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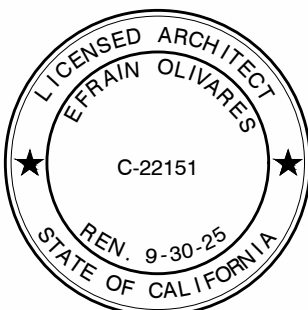
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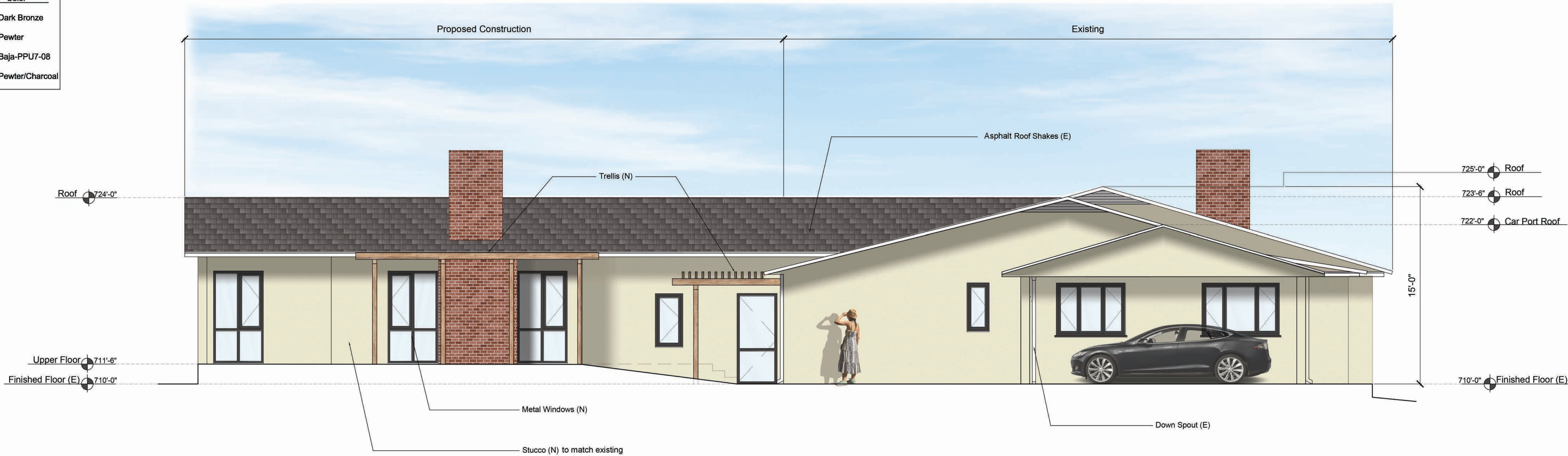


Elevations

A3.0



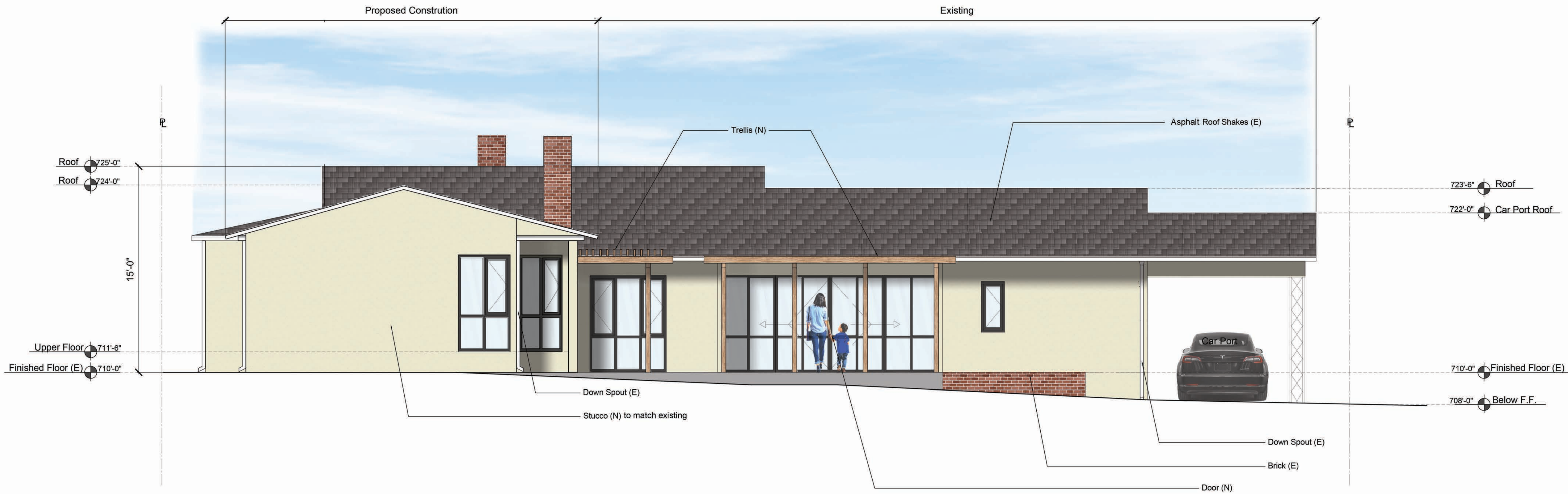
Materials		
Product	Manufacturer	Color
1. Door/Window Frames	Lincoln Windows	Dark Bronze
2. Roof	Atlas Roofing	Pewter
3. Walls	Behr	Baja-PPU7-08
4. Pavers	Angelus	Pewter/Charcoal



South Elevation

Scale: 1/4" = 1' - 0"

2



West Elevation

Scale: 1/4" = 1' - 0"

1

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Date

10.23.2024

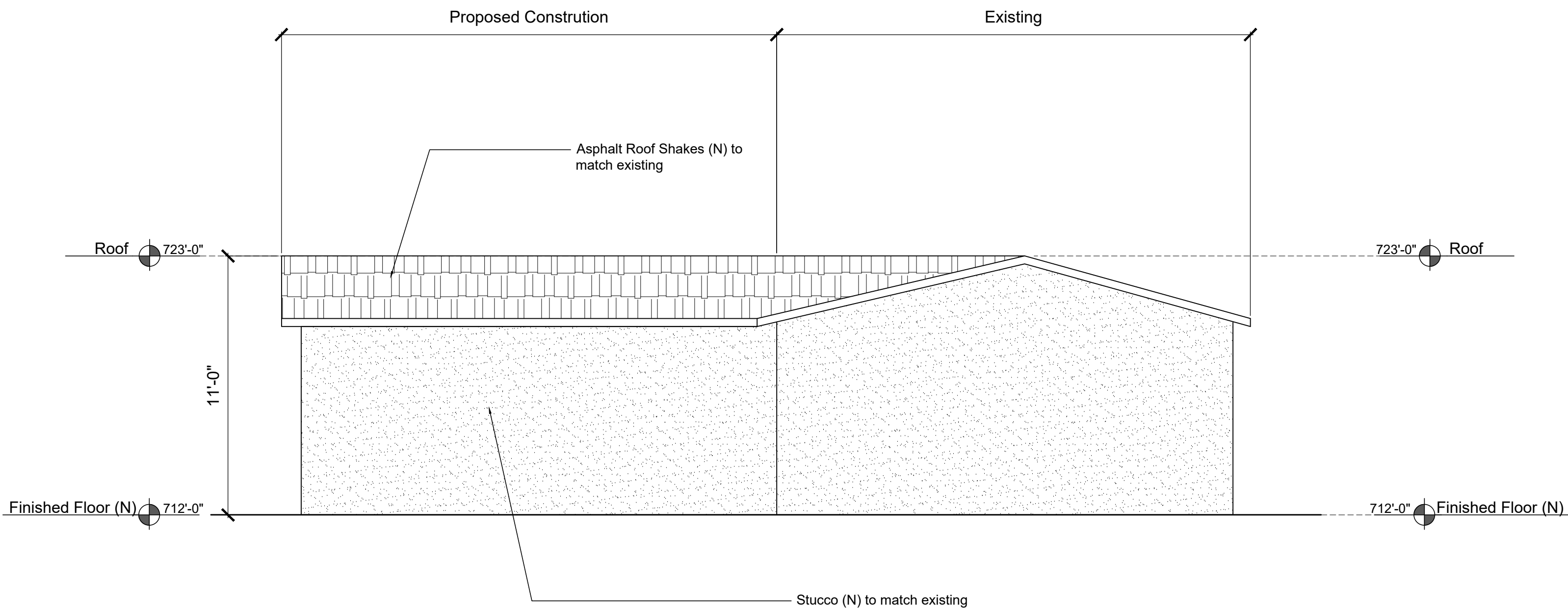
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Elevations

A3.1

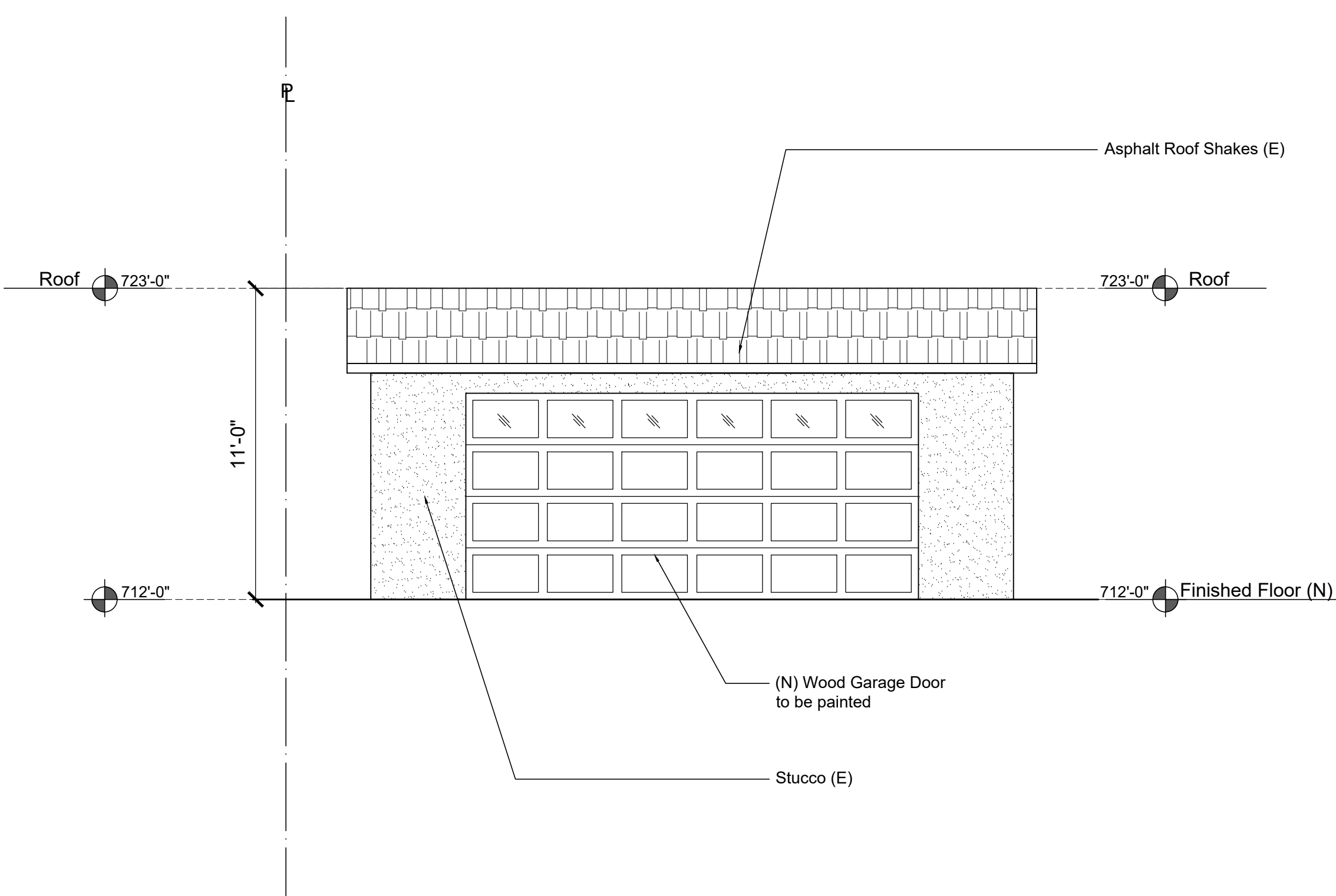




West Elevation

Scale: 1/4" = 1' - 0"

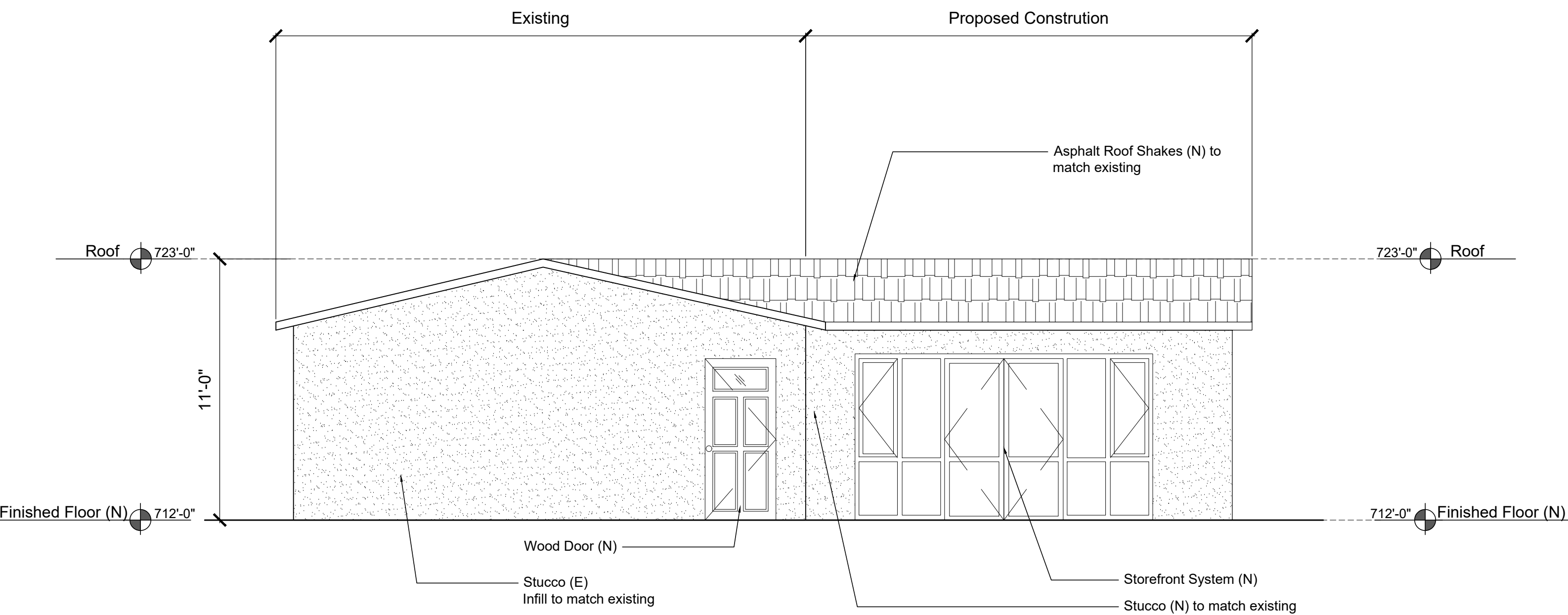
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South Elevation

Scale: 1/4" = 1' - 0"

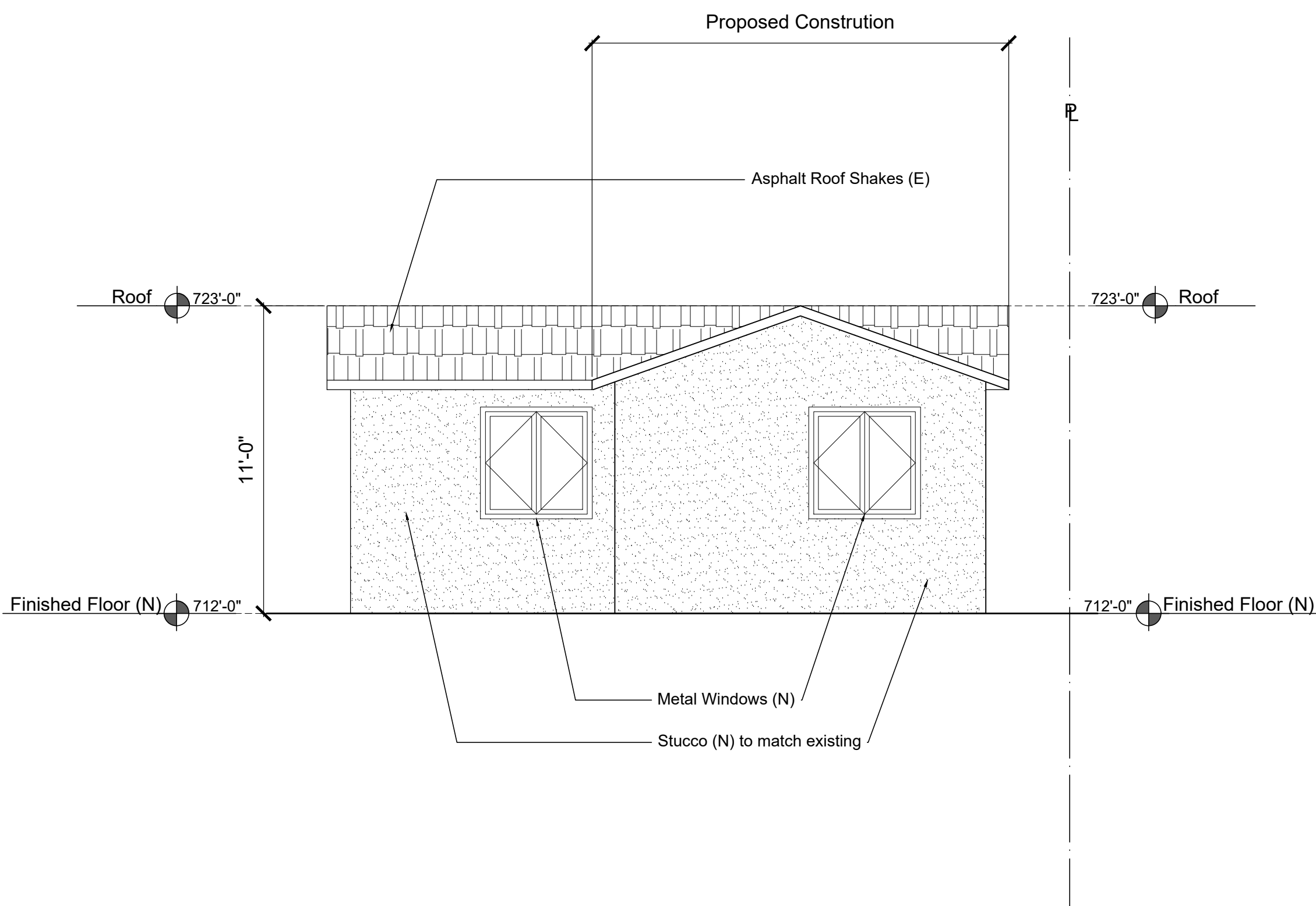
2



East Elevation

Scale: 1/4" = 1' - 0"

3



North Elevation

Scale: 1/4" = 1' - 0"

1

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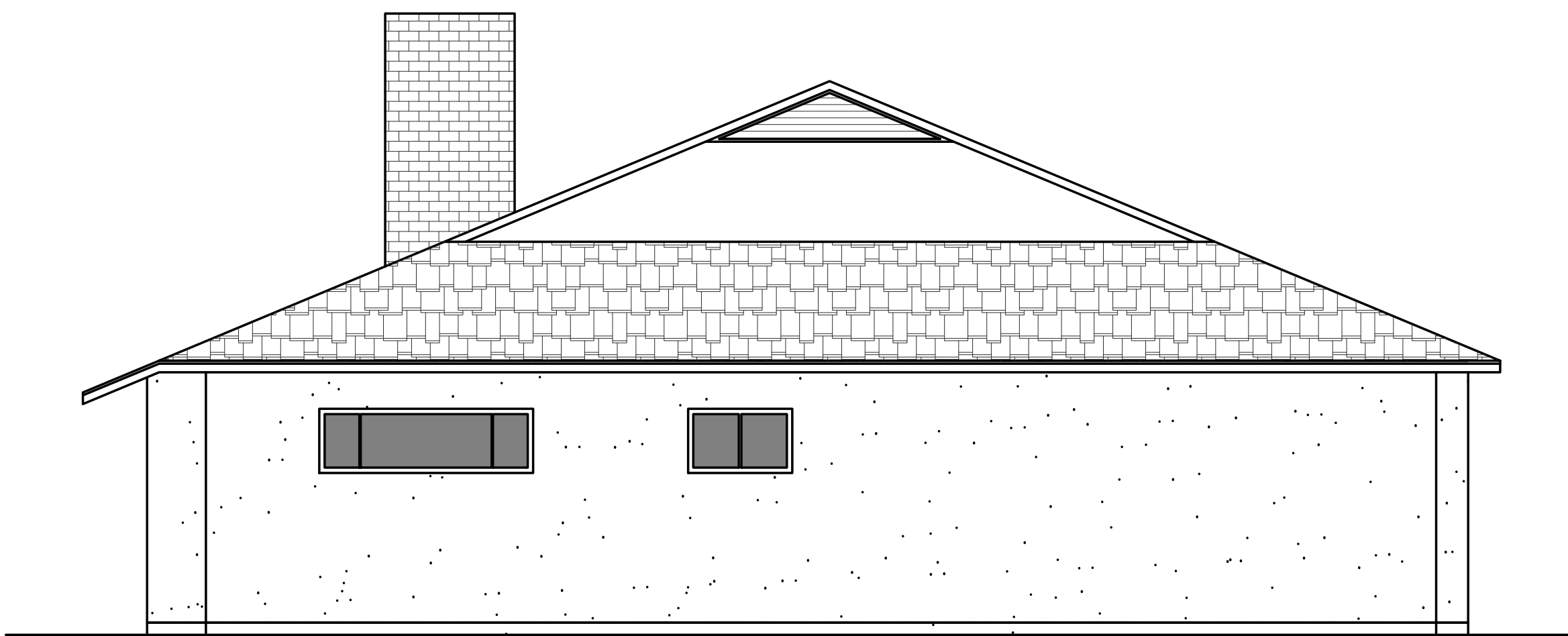
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Garage  
Elevation

A3.2



North Elevation

Scale: 1/4" = 1' - 0"

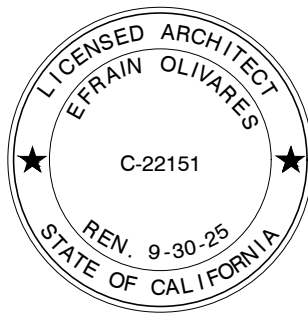
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East Elevations (Existing to Remain)

Scale: 1/4" = 1' - 0"

1



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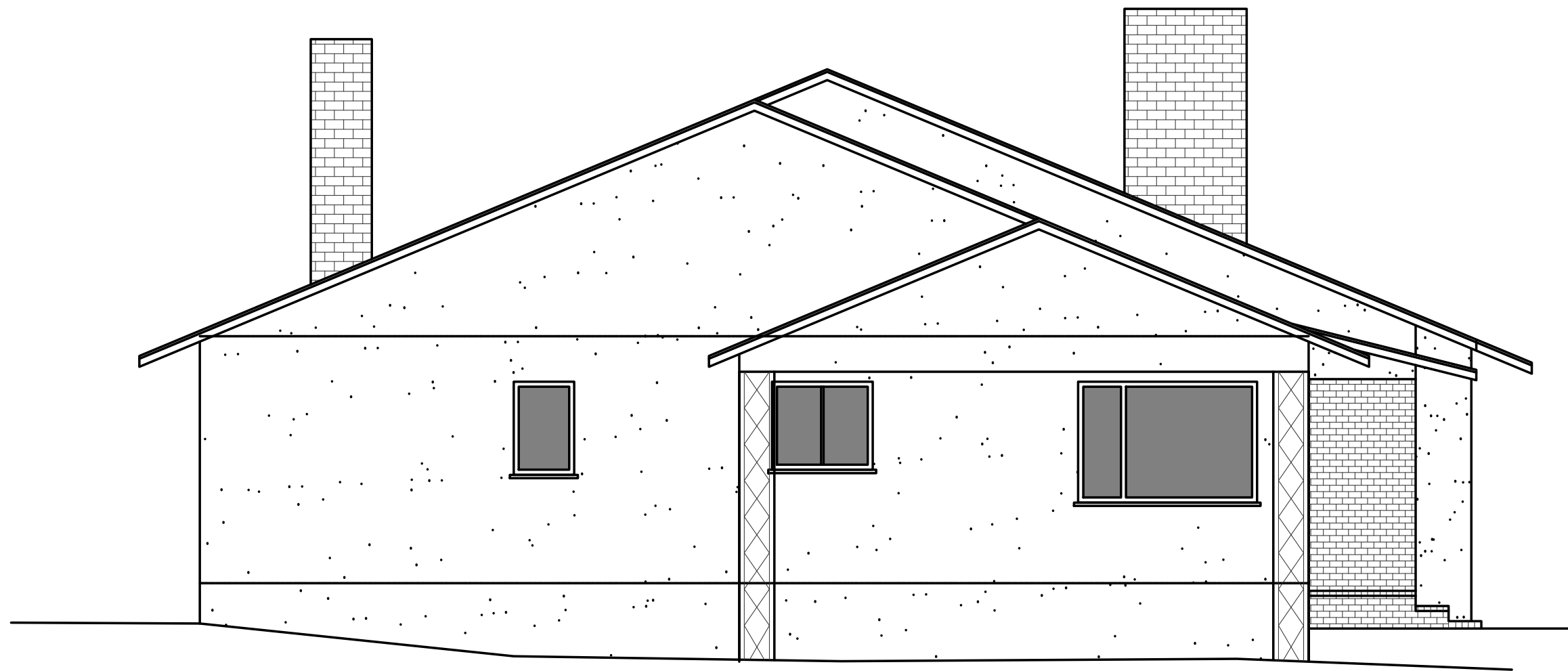
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Existing Elevations

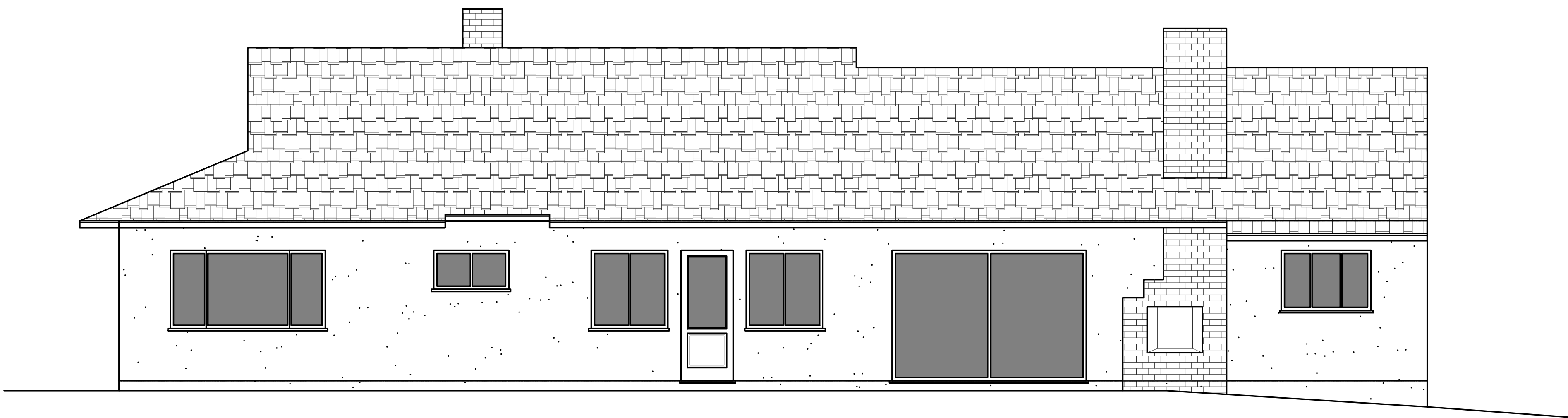
A3.4



South Elevation

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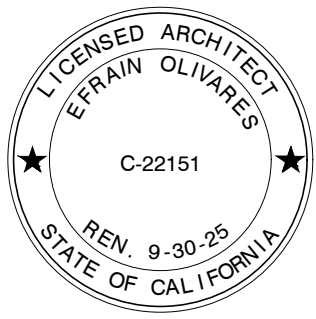
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West Elevation

Scale: 1/4" = 1' - 0"

1



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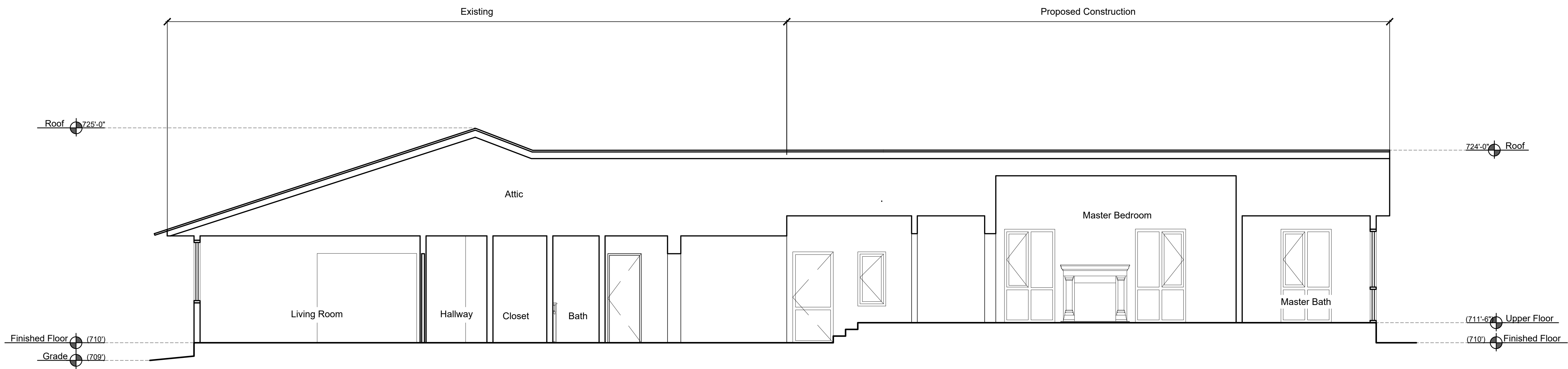
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Existing Elevations

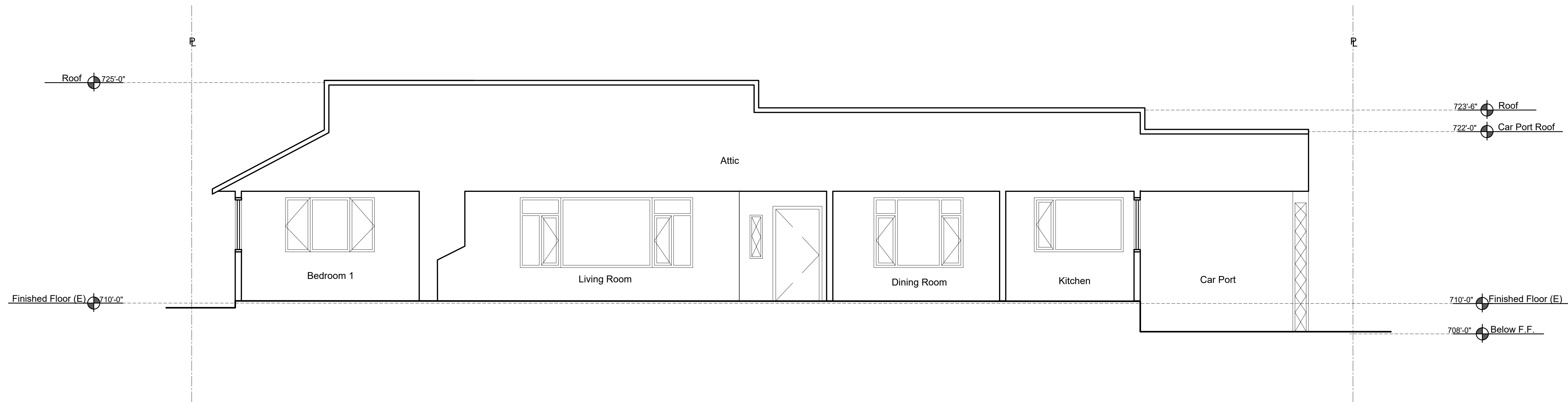
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East to West Section (Looking South)

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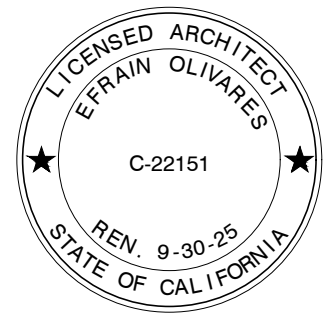
2



North to South Section (Looking East)

Scale: 1/4" = 1' - 0"

1



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Sections

A4.0





1



2



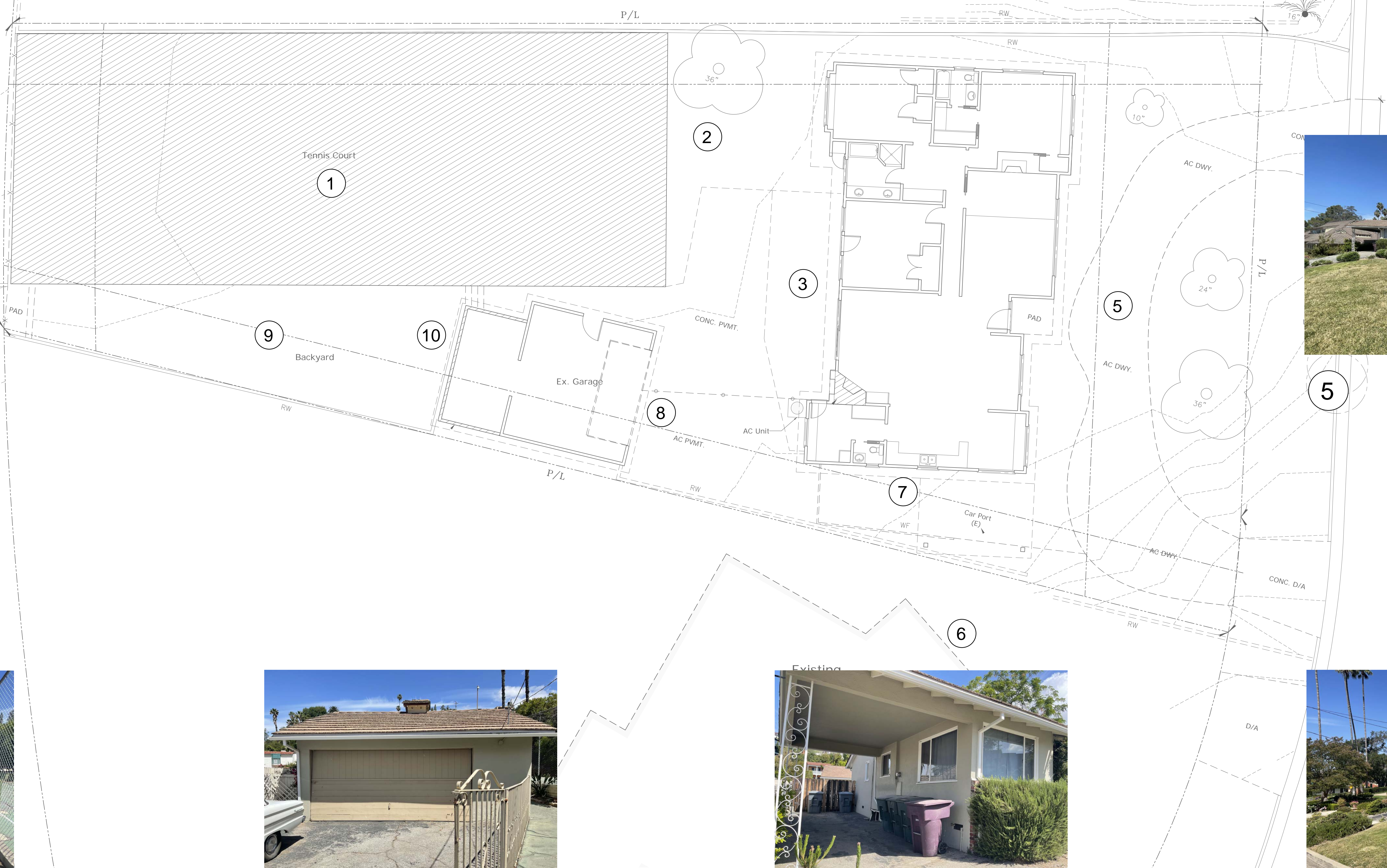
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4



10



5



9



8

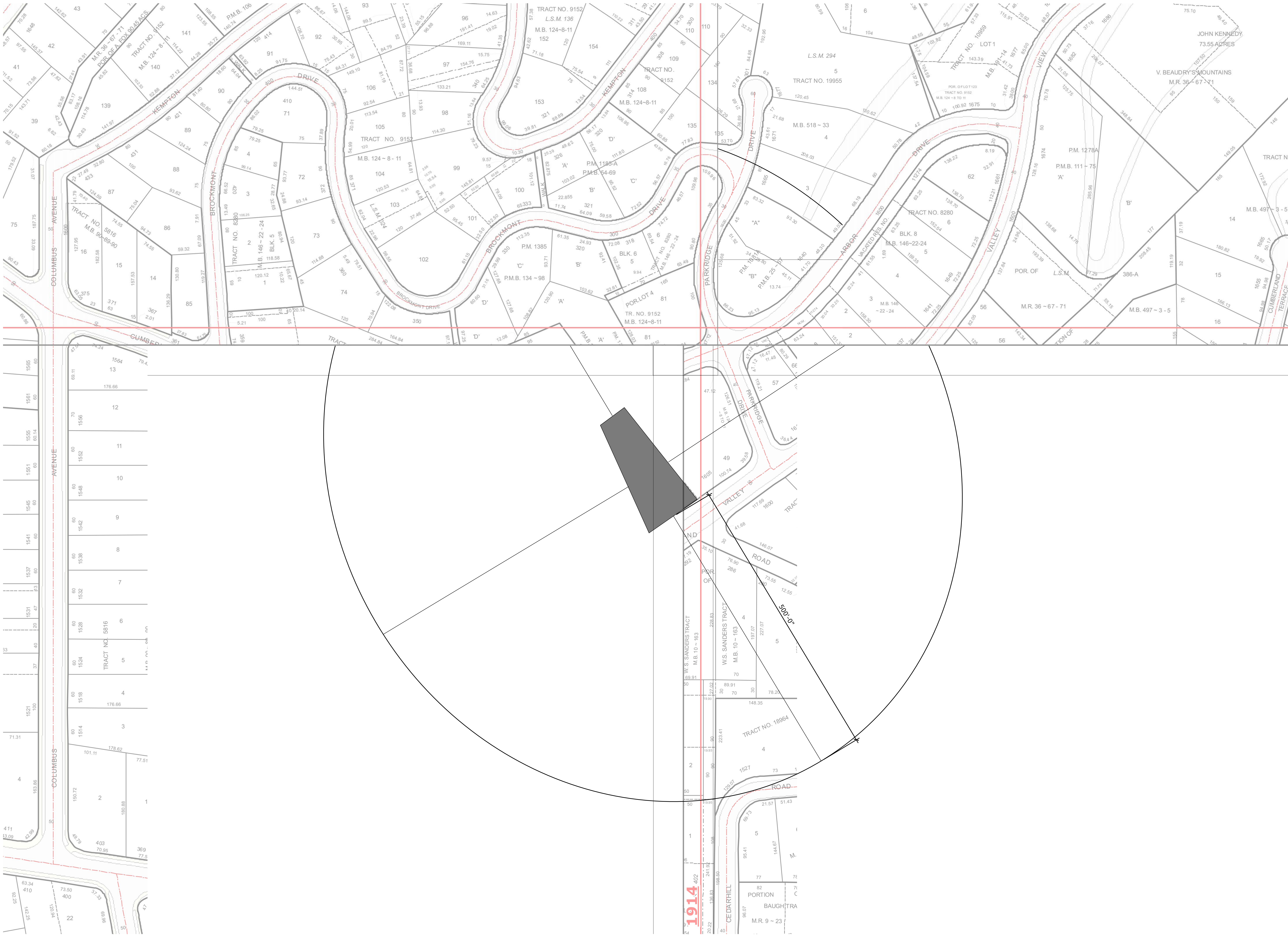


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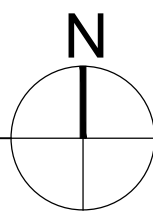
6





Location and Zoning Map

Scale: 1/64" = 1'-0"



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Date

Issued for:

Location and  
Zoning Map





## 1555 Valley View Rd. Survey List

Address	Height & Roof Survey	Setback Survey	Floor Area Ratio	House Size	Lot Size
1. 301 Cumberland Rd.	2	40'	.15	3,536 SF	23,095 SF
2. 1605 Valley View Rd.	2	45'	.10	3,066 SF	28,750 SF
3. 1619 Parkridge Dr.	2	25'	.27	3,371 SF	12,186 SF
4. 1625 Valley View Rd.	2	25'	.34	3,604 SF	10,332 SF
5. 1620 Valley View Rd.	2	20'	.14	4,380 SF	30,030 SF
6. 1600 Valley View Rd.	2	40'	.16	2,972 SF	17,980 SF
7. 292 Cumberland Rd.	2	25'	.24	3,910 SF	16,206 SF
8. 1542 Valley View Rd.	2	20'	.32	3,546 SF	10,800 SF
9. 300 Cumberland Rd.	1	30'	.19	4,011 SF	20,787 SF
10. 314 Cumberland Rd.	2	25'	.25	4,458 SF	17,538 SF