



## CITY OF GLENDALE, CA

### DESIGN REVIEW STAFF REPORT – MULTI-FAMILY / MIXED USE

**December 30, 2024**

*Decision Date*

**422 West Elk Avenue**

*Address*

**Administrative Design Review (ADR)**

*Review Type*

**5696-006-006**

*APN*

**PADR-003408-2024**

*Case Number*

**Sevan Avedian**

*Applicant*

**Eric Ji, Planning Associate**

*Case Planner*

**Sivan Bahbajian**

*Owner*

#### Project Summary

To add a new 1,068 square-foot (SF) two-story dwelling unit with an attached two-car garage. The new unit will be attached to an existing one-story, 1,161 SF single-family residence (built in 1964) on a 6,250 SF lot zoned R-2250 (Medium Density Residential), for a total of two dwelling units on the site.

The proposed work includes:

- The unpermitted windows currently installed on the existing residence will be replaced with vinyl recessed nail-in windows and the <Brief description of what is being done to the existing house/façade improvements (windows, siding, etc.).
- The new attached two-story unit at the rear will be 1,068 SF with 2 bedrooms and a 447 SF attached two-car garage.
- The project includes the code required common open space, private open space, and landscaping.

#### Environmental Review

The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 (b) of the State CEQA Guidelines because the proposal is in an urbanized area and will be to construct a second unit on-site, where the maximum allowed under this exemption is six units.

#### Existing Property/Background

Originally developed in 1964, the project site is a 6,250 SF rectangular-shaped interior lot fronting West Elk Avenue. The site is currently developed with a 1,161 SF, one-story, single-family residence with an uncovered parking area at the rear accessed by an existing driveway. The new second-story unit is attached to the rear of the existing single story house and will result in removal of the existing asphalt parking area. The subject property

is located within one-half mile of a major transit stop, and in a high-quality transit corridor; therefore, under the provisions of Assembly Bill (AB) 2097, it is eligible for parking relief in conjunction with the proposed development. On April 24, 2024, the Director of Community Development approved AB 2097 Case No. PAB2097-003168-2024, to allow two new parking spaces to be provided in an enclosed garage for the new unit, where the zoning code would require four spaces to be provided for both units.

### **Staff Recommendation**

Approve with Conditions

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### **Last Date Reviewed / Decision**

First time submittal for final review.

### **Zone:** R2250 - Medium Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

### **Active/Pending Permits and Approvals**

On April 24, 2024, the Director of Community Development approved AB 2097 Case No. PAB2097-003168-2024, to allow two new parking spaces to be provided in an enclosed garage for the new unit, where the zoning code would require four spaces to be provided for both units.

### **Site Slope and Grading**

None proposed.

## **DESIGN ANALYSIS**

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### **Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

#### **Building Location**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street

#### **Yards and Usable Open Space**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Outdoor space integrated into site design and acknowledges adjacent development
- ☐ Common space easily accessible from all units
- ☐ Appropriate separation/screening from residential units
- ☐ Discrete seating and amenity areas allow for multiple users



### **Garage Location and Driveway**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Garage fully integrated into overall structure
- ☐ Driveway and curb-cut widths minimized
- ☐ Grade-level garages and parking, if allowed, are appropriately screened from the street
- ☐ Decorative paving complements building design
- ☐ Stairs and lifts to subterranean garages incorporated into the design of the project

### **Landscape Design**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Complementary to building design
- ☐ Maintain existing trees when possible
- ☐ Provide landscaping adjacent to driveways and garages
- ☐ 20% of planting at above-grade common spaces is within nine inches of finish floor
- ☐ Above-grade tree wells are at least 6 inches higher than box size of tree
- ☒ Other

No landscaping plan was provided and will be required for the addition of a new unit on the site. Given the overall scope of the project, it is unlikely that the existing landscaping will be preserved as indicated, due to the necessary site disturbance typical of a construction site. Staff is recommending conditions of approval to address these items through the submittal of a landscape plan as required by GMC 30.31.020.

### **Walls and Fences**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Appropriate style/color/material for building design
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

### **Equipment, Trash, and Drainage**

☐ **yes**   ☐ **n/a**   ☒ **no**

*If “no” select from below and explain:*

- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ All screening integrated with overall building and/or landscape design
- ☒ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Downspouts and gutters have not been shown on the plans. A condition is recommended to provide this information.

### **Lighting**

☐ **yes**    ☐ **n/a**    ☒ **no**

*If “no” select from below and explain:*

- ☒ Light fixtures are appropriate to the building and/or landscape design
- ☐ Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- ☐ Utilize shielded fixtures to avoid light spillover onto adjacent properties

While the elevation shows light fixtures, the product information and specifications are not included. A condition is proposed requiring submittal of product sample image and specifications.

### **Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the site planning is appropriate and largely unchanged, with the new dwelling unit located on the existing rear concrete patio.
- The new two-story unit is attached to the rear of the existing single-story, single-family residential building, aligning with the development pattern observed in the lots developed with multifamily units in the immediate neighborhood.
- The new private outdoor spaces for both the existing and new dwelling units are positioned toward the rear of each unit to utilize the existing outdoor space and are out of public view to enhance privacy for the residents while maintaining the aesthetic integrity of the existing streetscape.
- The common outdoor space is located in the rear yard, five feet behind the new two-story unit. This placement allows the common outdoor space to be accessible for both dwelling units, serving as a secondary outdoor area to the private outdoor space.
- The new attached garage is located behind the existing building and hidden from public view to minimize its visual impact from the street, and to maintain the aesthetic continuity of the neighborhood.
- The trash bins for each unit are located side towards the rear of each respective unit and is not visible from the public street.
- The proposed plan features landscaped open space on three sides of the building with the majority of hardscape concentrated in the eastern side where the driveway is located.
- As a condition, the applicant must provide landscape plan pursuant to GMC 30.31.020.

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### **Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Relates to predominant pattern through appropriate proportions and transitions
- ☐ Impact of larger building minimized

**Building Relates to Existing Topography**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

**Consistent Architectural Concept**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Concept governs massing and height

**Scale and Proportion**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

**Roof Forms**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed two-story massing is designed to align with the three-story residential building on the east adjacent property, as well as many other two-story residential buildings in the neighborhood. To create a smooth transition between the one-story residential units on the west adjacent property, the second story is set back approximately 15 feet from the west property line, providing a harmonious balance between the differing building heights.
- The existing street-facing, one-story residence is to remain unchanged in both mass and scale, preserving the character of the streetscape of the existing neighborhood.
- The new dwelling unit is attached to the rear of the existing home with a setback of approximately 60 feet and 8 inches from the street, which reduces the visual impact of the larger mass from the street.
- The second unit orients the shorter side of the rectilinear volume to face the street to reduce visible mass. Additionally, the second-story volume steps back from the first story and cantilevers over the garage and portion of the driveway that reads as a separate volume with variation in roof forms and planes to break up the massing and provides visual interest.

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## Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

### Overall Design and Detailing

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Design is compatible with neighborhood context
- ☐ Design is stylistically consistent
- ☐ Employs consistent vocabulary of forms and materials while expressing architectural variety
- ☐ Cladding materials and features such as balconies, canopies, and trim elements enhance the architectural concept and are applied around the building

### Entryway

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

### Windows

☒ **yes**   ☐ **n/a**   ☐ **no**

*If "no" select from below and explain:*

- ☐ Appropriate to overall design
- ☐ Overall window pattern appropriate to style
- ☐ Window operation appropriate to style

- ☐ Recessed/flush window appropriate to style and/or location
- ☐ Openings are well detailed

### **Finish Materials and Color**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Textures and colors reinforce design
- ☐ High-quality materials, especially facing the street
- ☐ Materials appropriately enhance articulation and façade hierarchies
- ☐ Wrap corners and terminate appropriately
- ☐ Cladding is well detailed, especially at junctions between materials
- ☐ Foam trim, finished on site, is prohibited

### **Paving Materials**

☒ **yes**   ☐ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

### **Ancillary Structures**

☐ **yes**   ☒ **n/a**   ☐ **no**

*If “no” select from below and explain:*

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates, fences, and/or walls complement primary structure

## **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Both units feature gable-end fiber cement siding, creating continuity between the structures while adding visual interest to the most visible façade. This choice of siding provides a complementary contrast to the existing stucco building in the most prominent elevation facing the public street.
- The design features a traditional architectural style appropriate to the street and neighborhood, which feature a variety of eclectic styles.
- The design features a variety of materials complementary to the style, including white painted smooth stucco, wooden ornamental trim, wooden exterior doors, gray-white asphalt shingles, and fiber cement horizontal siding.
- The existing unpermitted Z-bar windows will be replaced with new sliding black vinyl windows with recessed frame and sills, to enhance the character of a traditional

architecture. The new unit also features matching windows with appropriately sized and recessed nail-in framing to ensure overall architectural consistency.

- Window placement avoids alignment with neighboring windows on adjacent properties to maintain privacy
- The existing concrete driveway will be replaced with interlocking decorative and permeable pavers to reduce stormwater runoff and enhance visual appeal.
- A condition is proposed to require the drawing show downspouts and gutters in appropriate locations.

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### **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

#### **Conditions**

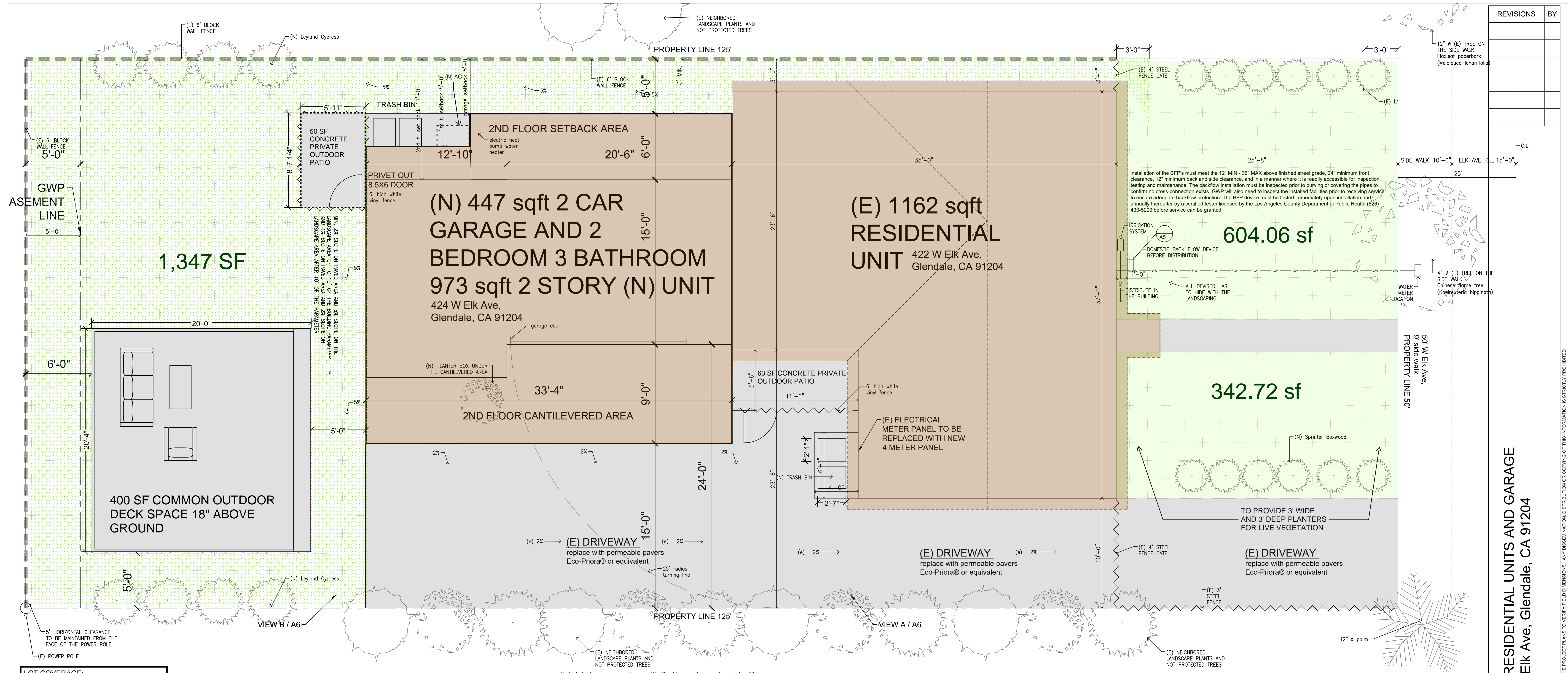
1. Provide a sample image of the new sconces with specifications.
2. Submit complete landscape plan(s) pursuant to GMC 30.31.020.
3. Revise plans to show the downspouts and gutters in appropriate locations.

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### **Attachments**

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey





LOT COVERAGE:		
(E) UNIT	1,162 SF	
(N) UNIT	973 SF	
1F	263 SF	
2F	263 SF (CANTILEVERED)	
(N) GARAGE	447 SF	
TOTAL:	2,135 SF	34%
MAX:	3,125 SF	50%

FLOOR AREA:		
(E) UNIT	1,162 SF	
(N) UNIT	1,515 SF	
1F	263 SF	
2F	885 SF	
GARAGE	447 SF	
TOTAL:	2,677 SF	42%
MAX:	5,312 SF	85%
LANDSCAPE:		
(E) LANDSCAPE	2,798 SF	44%
(N) LANDSCAPE	2,293 SF	36%
MINIMUM:	1,562 SF	25%

LOT SIZE: 6,250 SF
TURF

### LEGAL DESCRIPTION

ADDRESS : 422 W Elk Ave,  
Glendale, CA 91204

ASSESSOR PARCEL NO. : 5696006006

TRACT : GLENDALE VALLEY VIEW

BLOCK : 6

LOT : R 2250

ZONING : VB

CONSTRUCTION TYPE : NO

SPRINKLERS : (R-3/U)

OCCUPANCY GROPE : MFD

DESCRIPTION OF USES : 2

NUMBER OF STORIES : 25'

BUILDING MAX HEIGHT : 9

CLIMATE ZONE : 1964

YEAR SFD BUILT : NO

WUI AREA (HIGH FIRE HAZARD)

### SCOPE OF WORK

(N) 447 sqft ATTACHED 2 CAR GARAGE AND 2 BEDROOM 3 BATHROOM 973 sqft 2 STORY (N) UNIT

### SHEET INDEX

A1.1 NEW SITE PLAN  
A1.2 EXISTING SITE PLAN  
A2 DUPLEX FLOOR PLAN  
A3 DUPLEX ELEVATIONS  
A4 GREEN BUILDING  
A5 NOTES  
G1 GENERAL NOTES  
S1 DUPLEX FRAMING PLAN  
SD1 DETAILS  
SD2 DETAILS  
T1 DUPLEX ENERGY CALC  
T4 ENERGY NOTES

### OWNER

Sivan Bebejian 8186717753  
422 W Elk Ave, Glendale, CA 91204

### ENGINEER / DESIGNER

ALBERT VARTANIAN  
albert.vartanian1@gmail.com

### ENERGY CONSULTANT

STRCC sa@strcc.net

Protected oak, sycamore, bay trees, or City Street trees on the property and within 20' of the property are inaccessible to the proposed construction activity and will experience NO impact. No protective fencing is required.

### SEPARATE PERMIT IS REQUIRED FOR

- A. Fire sprinkler systems
  - B. Electrical Meter
  - C. Mechanical Unit/Water Heater
  - D. Each separate structure
- Retaining walls, pools, spas, jacuzzis, fences, and patio covers require separate permits. No new rooftop equipment is allowed.
- "DIG ALERT" prior to any ground work or excavation. No oak, bay, or sycamore trees are on the lot or within twenty (20) feet of the site.

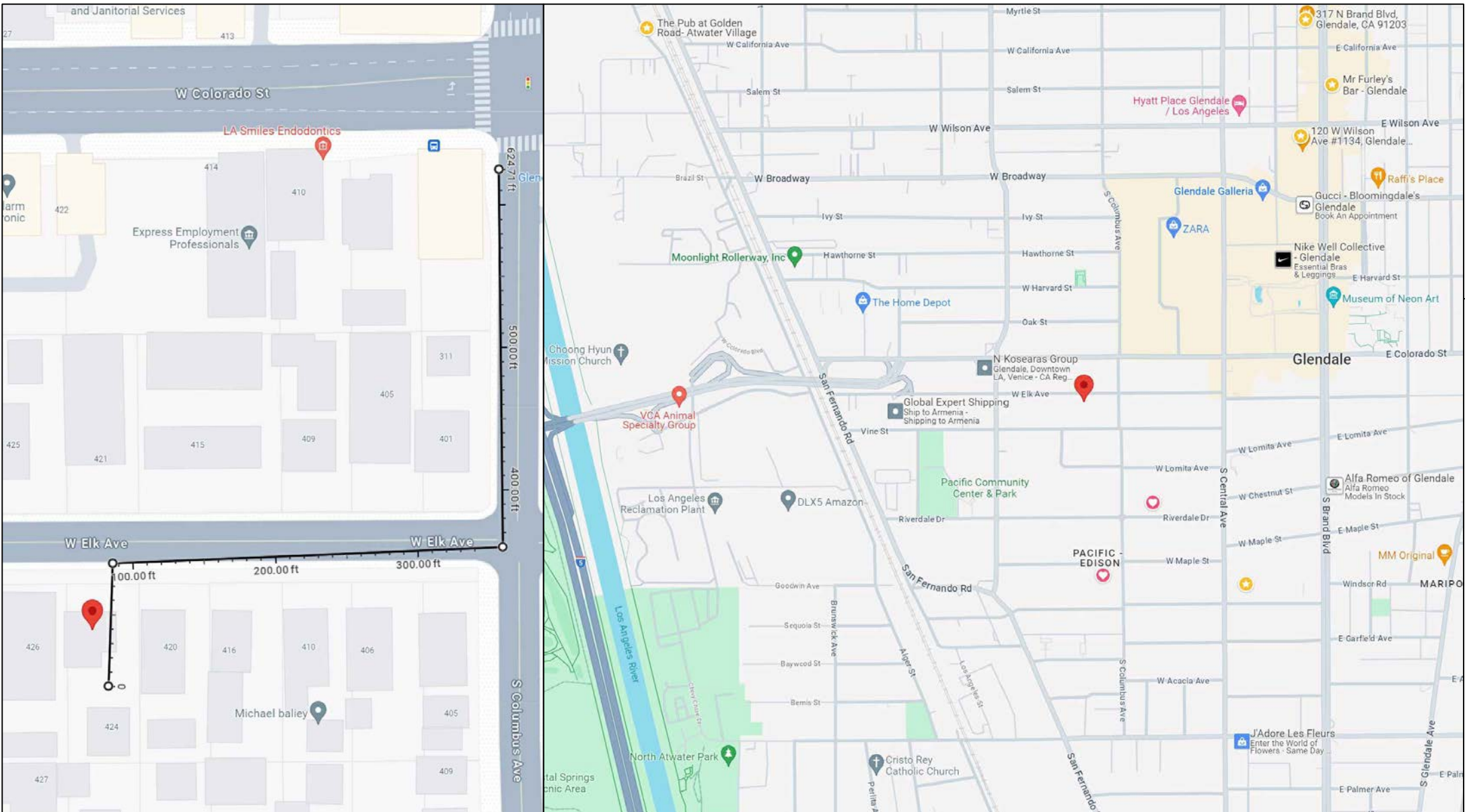
### HERS TESTING REQUIRED

- Quality insulation installation (QII)
- Indoor air quality ventilation
- Kitchen range hood
- Verified Refrigerant Charge
- Verified heat pump rated heating capacity

### COMPLIANCE CODE

CITY OF GLENDALE MUNICIPAL CODES  
CALIFORNIA BUILDING CODE 2022 (CBC)  
CALIFORNIA RESIDENTIAL CODE 2022 (CRC)  
CALIFORNIA ELECTRICAL CODE 2022 (CEC)  
CALIFORNIA MECHANICAL CODE 2022 (CMC)  
CALIFORNIA PLUMBING CODE 2022 (CPC)  
CALIFORNIA ENERGY CODE 2022 (CEC)  
CALIFORNIA HISTORICAL BUILDING CODE 2022  
CALIFORNIA FIRE CODE 2022 (CFC)  
CALIFORNIA GREEN BUILDING STANDARDS 2022  
CALIFORNIA REFERENCE STANDARDS 2022

DISTANCE TO PUBLIC TRANSPORT 625 < 2640' OR 1/2 MILE => OK  
DISTANCE TO FIRE HYDRANT 360' < 450' => OK



## VICINITY MAP

NEW SITE PLAN  
SCALE 1/4"=1'

CITY STAMP

REVISIONS	BY

PROPOSED: NEW RESIDENTIAL UNITS AND GARAGE  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204  
OWNER BLDG.: Sivan Bebejian



Date: 9/19/2024

Scale as noted

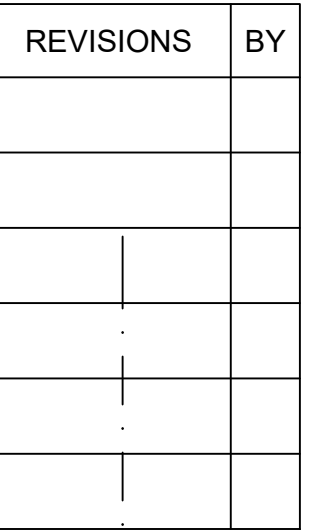
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Sheet

A1.1

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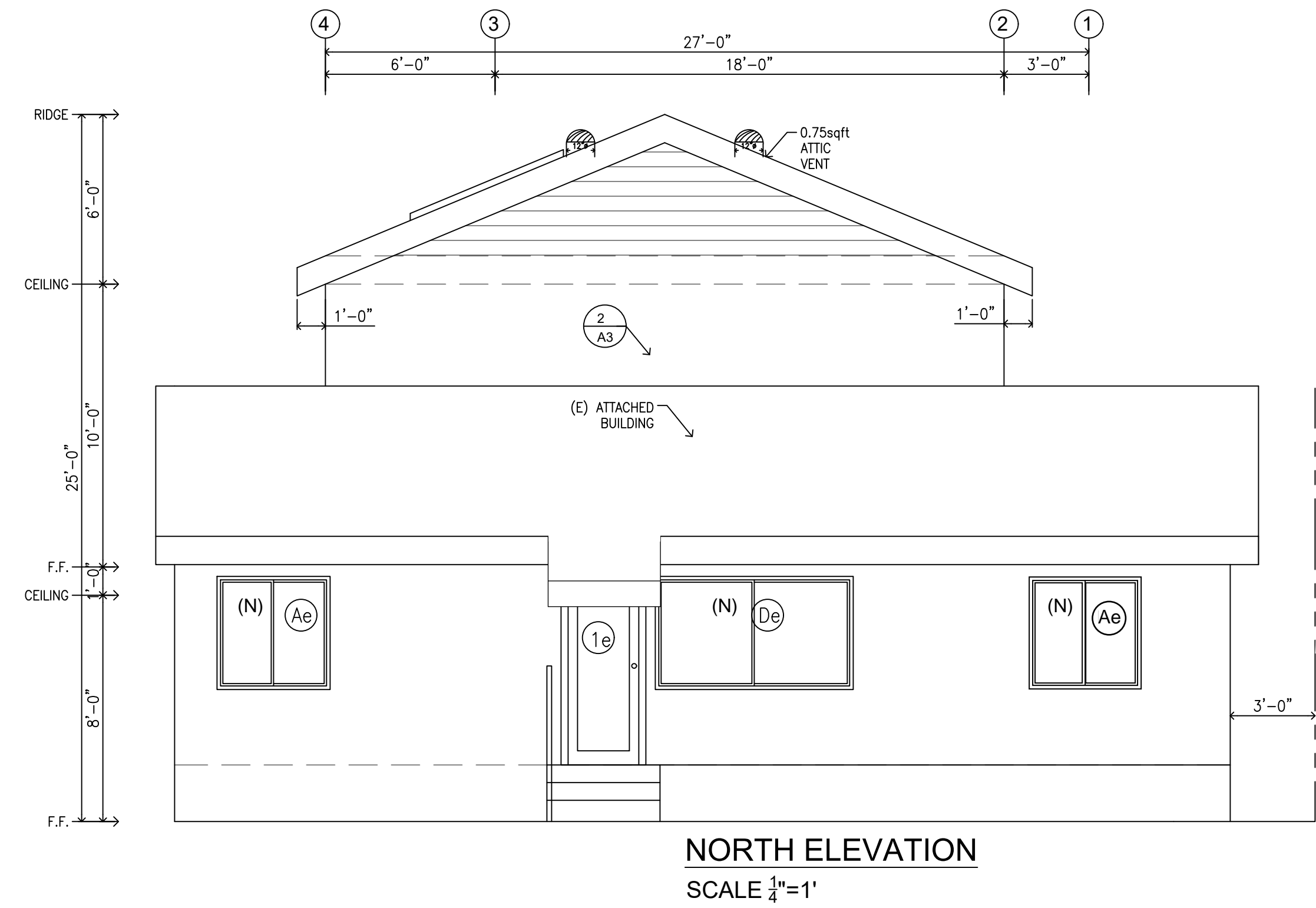
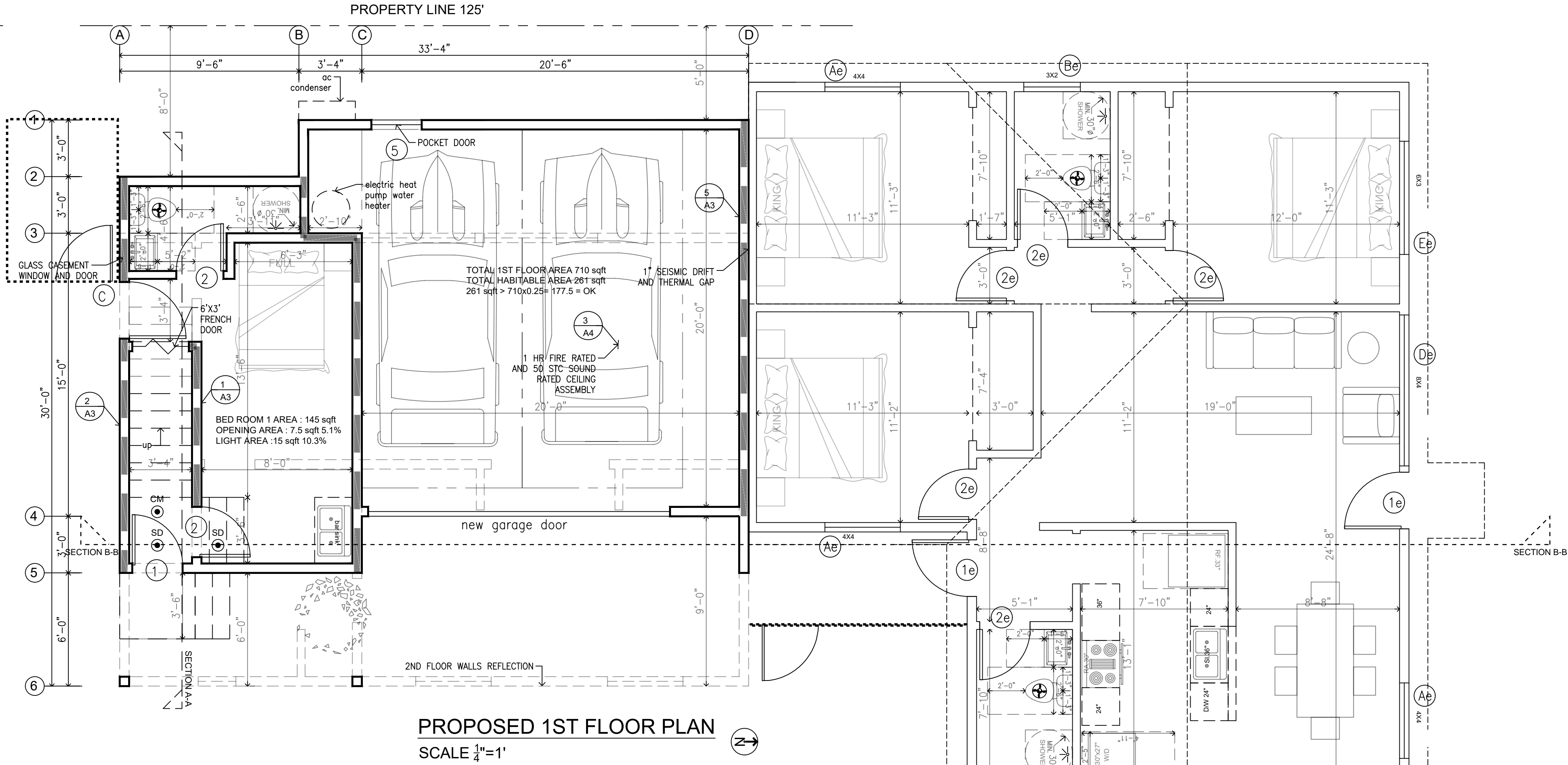
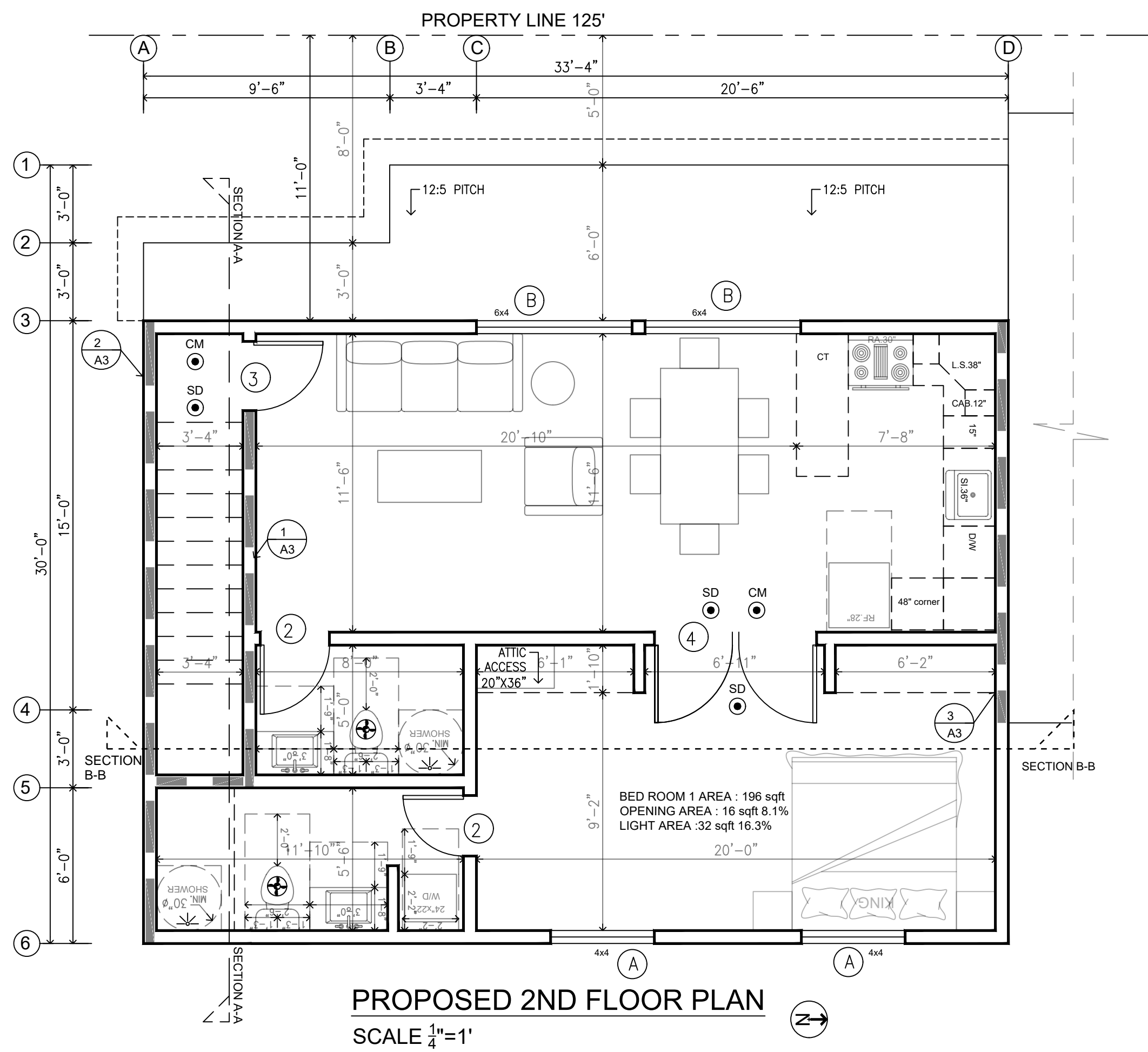


Date	9/19/2024
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Sheet  
**A1.2**





WINDOW SCHEDULE Any addition or changes made to the approved Exterior elevation design either on the drawings or during construction will require Planning Division and Building & Safety Division review and approval and may result in a delay of the project or the removal of non-approved work.

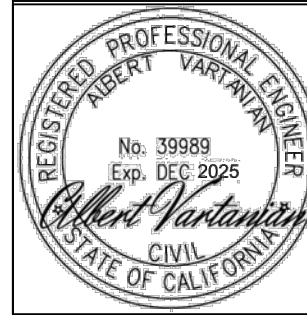
NO.	QTY.	(N)SIZE WxH	(E)SIZE WxH	(N)MATERIAL	(E)MATERIAL	STREET VISIBILITY	(N)OPERATION	(E)OPERATION	FRAME TYPE	EXTERNAL GRID	KEEP (E) SILL & FRAME	BUILD NEW SILL & FRAME	(E)EDGE DETAIL	(N)EDGE DETAIL	BEDROOM	ENERGY EFFICIENT	TEMPERED GLASS	FIRE HAZARD	WITHIN 18" OF FLOOR	WITHIN 40" OF DOOR	OPEN	REMARKS	SHGC	U FACTOR
(A)	2	4' x 4'	N/A	VINYL	N/A	NO	XO SLIDING	N/A	RECESSED NAIL-IN	NO	NO	YES	N/A	WOOD TRIM	YES	YES	YES	NO	NO	50%	NEW	0.23	0.3	
(B)	2	6' x 4'	N/A	VINYL	N/A	NO	XO SLIDING	N/A	RECESSED NAIL-IN	NO	NO	YES	N/A	WOOD TRIM	NO	YES	YES	YES	NO	NO	50%	NEW	0.23	0.3
(C)	1	3' x 6'	N/A	VINYL	N/A	NO	CASEMENT	N/A	RECESSED NAIL-IN	NO	NO	YES	N/A	WOOD TRIM	NO	YES	YES	YES	NO	NO	50%	NEW	0.23	0.3

Exterior window, skylights and exterior glazed door assemblies shall be dual glazed with a minimum of one pane shall be tempered. (R337.8.2.1) All doors & windows shall meet City of Glendale's Security ordinance. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

DOOR SCHEDULE

NO.	QTY.	SIZE WxH	MATERIAL	TYPE	REMARKS
(1)	1	3' x 6'0"	WOOD DOOR	EXTERIOR	NEW
(2)	4	2'8" x 6'8"	WOOD DOOR	INTERIOR	NEW
(3)	1	3' x 6'8"	WOOD DOOR	INTERIOR	NEW
(4)	1	6'3" x 6'8"	WOOD DOOR	INTERIOR	NEW
(5)	1	3' x 6'8"	WOOD DOOR	INTERIOR POCKET	NEW

PROPOSED: NEW RESIDENTIAL UNITS AND GARAGE  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204  
OWNER BLDR.: Sivan Bebejian



Date 9/19/2024

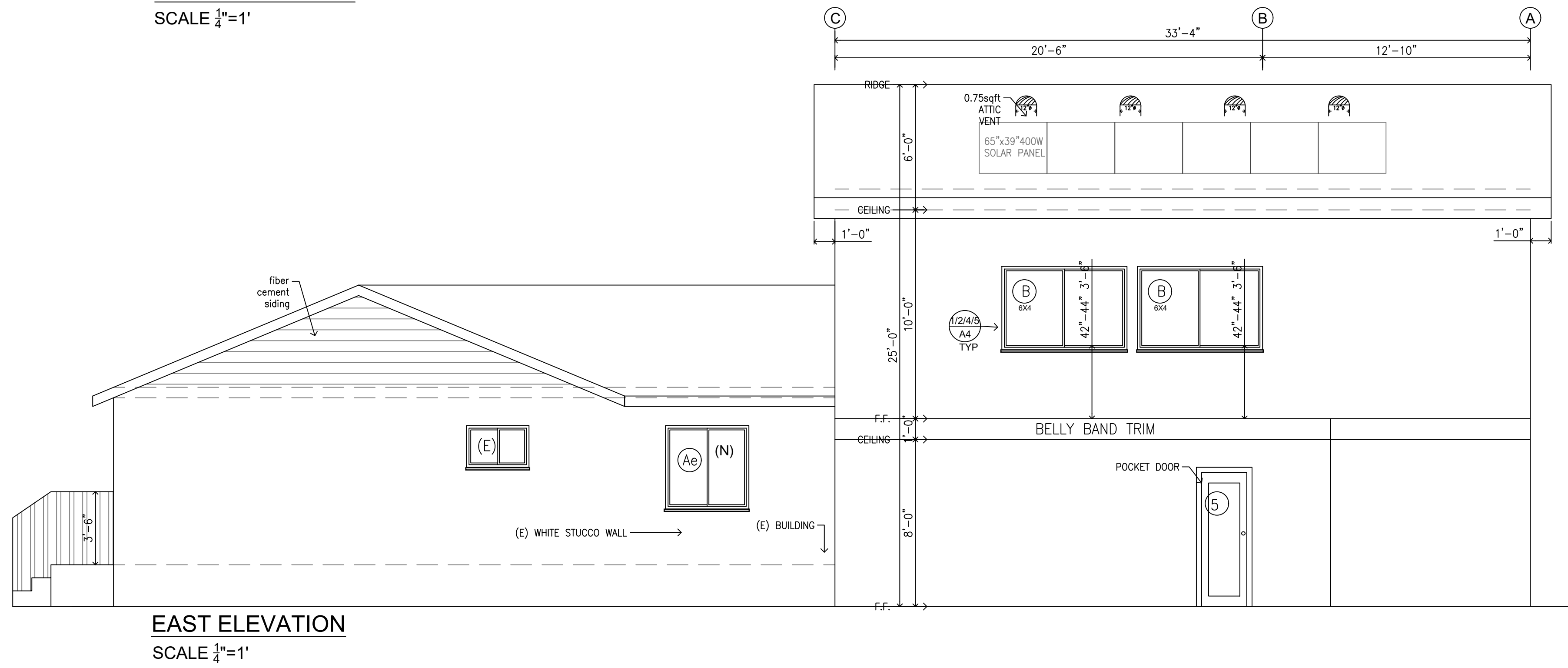
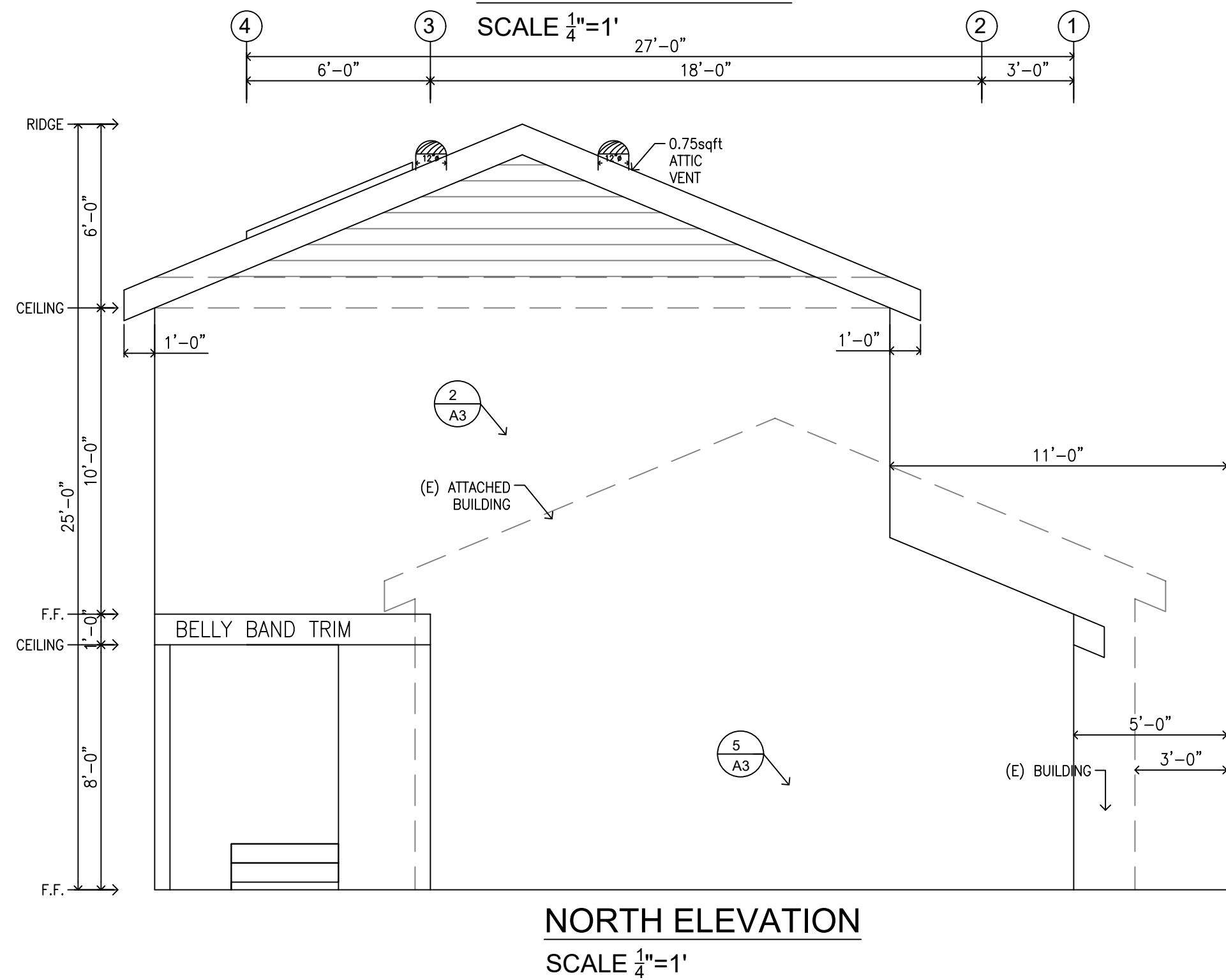
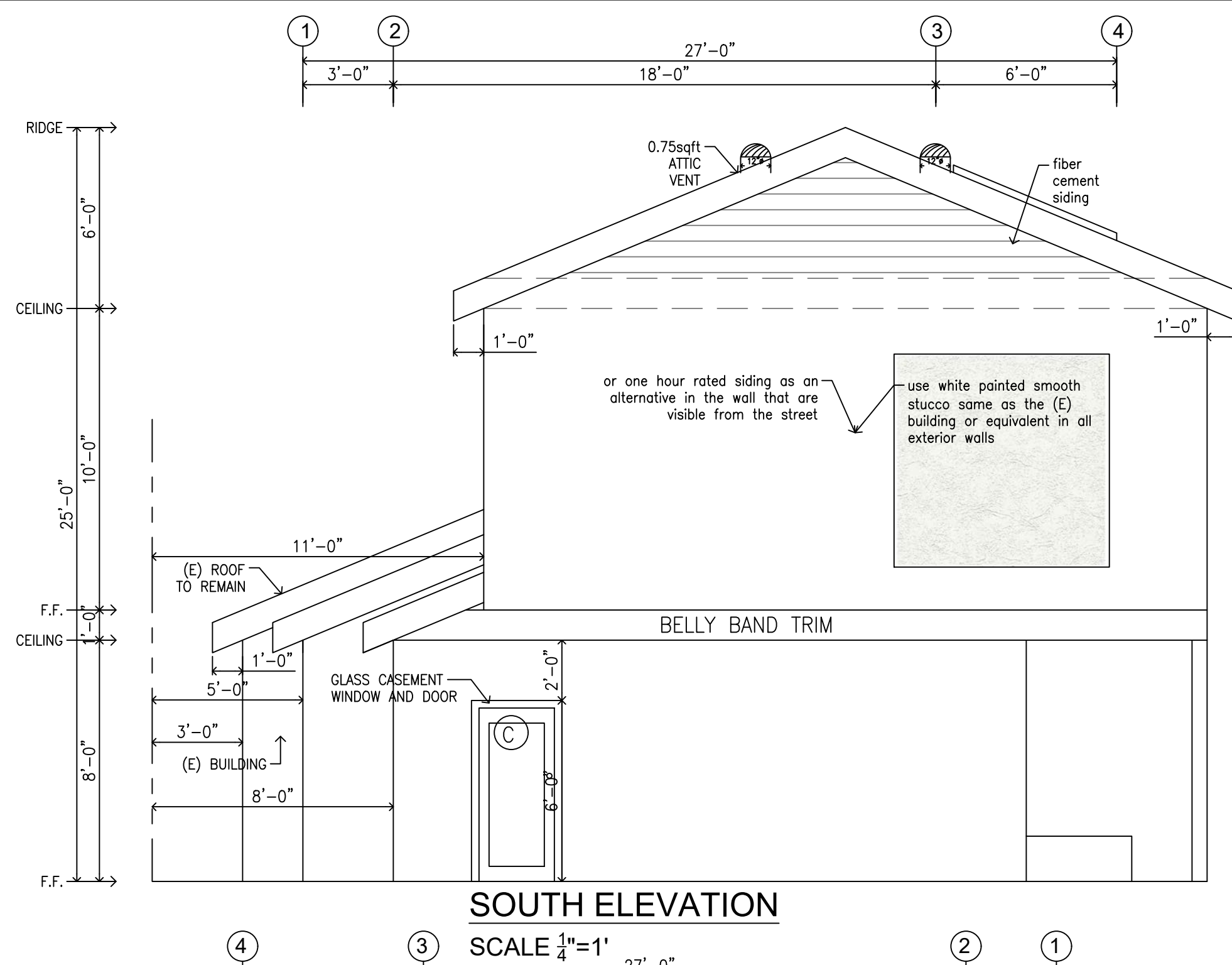
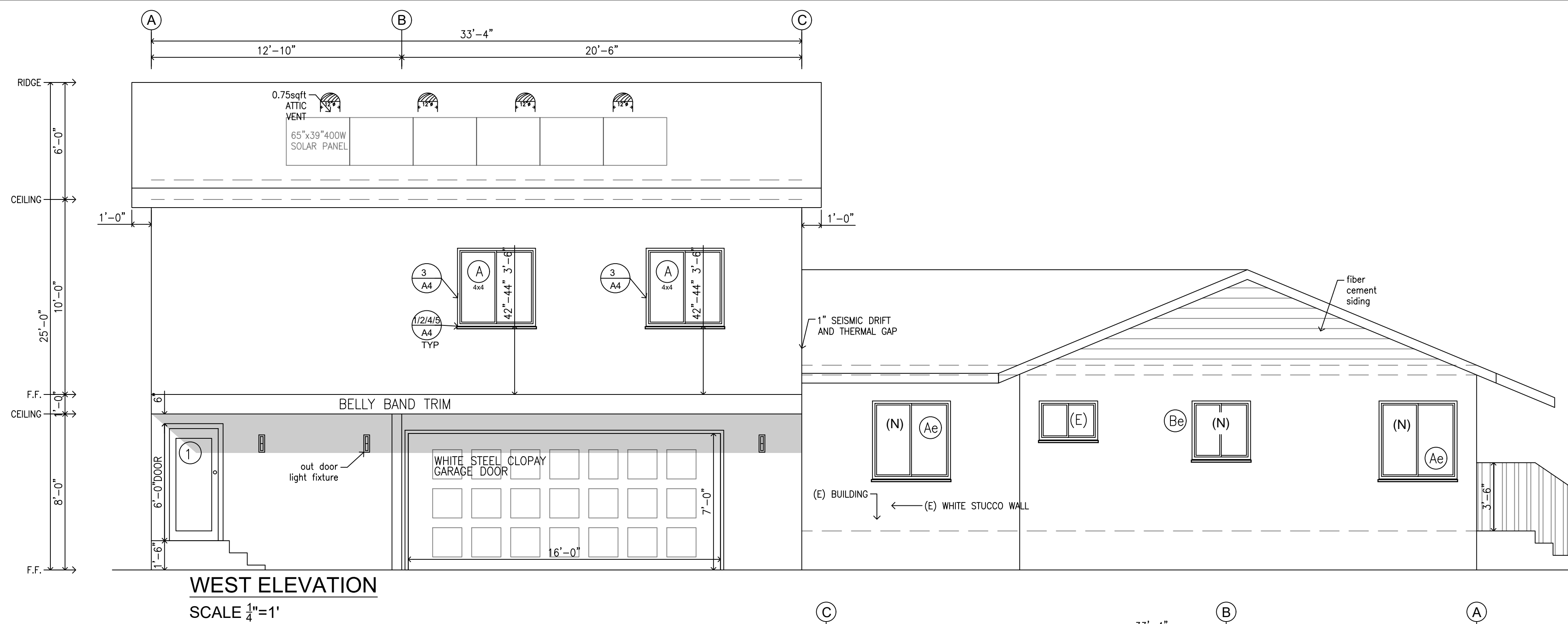
Scale as noted

Job 24016

Sheet

A2

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WINDOW SCHEDULE																										
NO.	QTY.	(N)SIZE	WxH	(E)SIZE	WxH	(N)MATERIAL	(E)MATERIAL	STREET VISIBILITY	(N)OPERATION	(E)OPERATION	FRAME TYPE	EXTERNAL GRID	KEEP (E) SILL & FRAME	BUILD NEW SILL & FRAME	(E)EDGE DETAIL	(N)EDGE DETAIL	BEDROOM	ENERGY EFFICIENT	TEMPERED GLASS	FIRE HAZARD	WITHIN 18" OF FLOOR	WITHIN 40" OF DOOR	OPEN	REMARKS	SHGC	U FACTOR
(Ae)	5	4' x 4'		4' x 4'		VINYL	ALUMINUM	YES	XO SLIDING	XO SLIDING	RECESSED NAIL-IN	NO	NO	NO	NO	NO	YES	YES	YES	YES	NO	YES	50%	REPLACE	0.23	0.3
(Be)	1	3' x 3'		3' x 3'		VINYL	ALUMINUM	NO	XO SLIDING	XO SLIDING	RECESSED NAIL-IN	NO	NO	NO	NO	NO	NO	YES	YES	YES	NO	NO	50%	REPLACE	0.23	0.3
(De)	1	8' x 4'		8' x 4'		VINYL	ALUMINUM	YES	XO SLIDING	XO SLIDING	RECESSED NAIL-IN	NO	NO	NO	NO	NO	NO	YES	YES	YES	NO	YES	50%	REPLACE	0.23	0.3

DOOR SCHEDULE					
NO.	QTY.	SIZE WxH	MATERIAL	TYPE	REMARKS
①	2	3' x 6'0"	WOOD DOOR	EXTERIOR	EXISTING
②	5	2'8" x 6'8"	WOOD DOOR	INTERIOR	EXISTING

WOOD PARTITION WALL		USG Fire-Resistant Assemblies	
<b>1 Hour Fire-Rated Construction</b> <b>Construction Detail</b> 		<b>Loadbearing</b> <b>Description</b> <ul style="list-style-type: none"> <li>• 5/8" Sheetrock Firecode C Core gypsum panels</li> <li>• 2 x 4 wood stud 16" or 24" o.c.</li> <li>• 3" thermalFiber SAFB</li> <li>• RC-1 channel or equivalent one side</li> <li>• joints finished</li> </ul>	
<b>Test Number</b> <b>UL Des U327</b>	<b>Acoustical Performance</b> <b>STC Test Number</b> <b>50     BBN-760903</b>	<b>Index</b> <b>Reference</b> <b>A-62</b>	

EXTERIOR WALL		USG Fire-Resistant Assemblies	
<b>1 Hour Fire-Rated Construction</b> <b>Construction Detail</b> wt. 9 psf 		<b>Loadbearing</b> <b>Description</b> <ul style="list-style-type: none"> <li>• 1/2" dUrocK cement board, interior side</li> <li>– 15/32" plywood</li> <li>– 2 x 4 wood studs 16" o.c.</li> <li>– 3" thermaFiber SAFB</li> <li>– joints finished</li> <li>• 5/8" SheetRock Firecode Core gypsum panels, Fiberbuck aquaTough exterior sheathing or SecUrocK glass-mat sheathing, other side</li> </ul>	
<b>Test Number</b> UL Des U303	<b>Comments</b>	<b>Reference</b> Index F-12	

WOOD FLOOR / CEILING	USG Fire-Resistant Assemblies
<b>1 Hour Fire-Rated Construction</b> <b>Construction Detail</b> 	<b>Dimensional Lumber</b> <b>Description</b> <ul style="list-style-type: none"> <li>• two layers 5/8" Sheetrock Firecode Core gypsum panels</li> <li>– 2 x 10 wood joists 24" o.c.</li> <li>– face layer joints finished</li> <li>– floor: 1/2" plywood with extending glue</li> </ul> <p>Also for roof-ceilings, including trusses</p>
<b>Test Number</b>  RC-2601 <b>GA-FC-5406</b>	

[illegible]


1/2" TYPE X DRYWALL  
 3x D.F.P.T. PLATE w/5/8"x12"  
 A.B.#4048" o.c.12" FROM ALL CORNERS  
 & SPLICES w/7" MIN. EMBEDMENT  
 (U.N.O.) w/3/32"x1/4" PL WASHERS.  
 (SEE FOUNDATION PLANS)  
 4" NOMINAL CONC. SLAB w/ #4016"  
 O/C EA. WAY U.N.O.  
 #4 DOWELS #16" BEND  
 36° IN THE SLAB  
 4" CONCRETE  
 10 MIL. VISQUEEN MEMBRANE DIRECT  
 1/2" THICK BASE OF 1/2" OR LARGER  
 CLEAN AGGREGATE  
 1/2" HR-RATED 3/4" USG Durock  
 cement board OR  
 DENS GLASS SHEATHING OR  
 EQUIVALENT (SEE PLANS)  
 1/2" GAP  
 1/2" WALL  
 MINERAL FIBER INSULATION  
 WITH RESILIENT  
 CHANNELS @ 16" O/C  
 4" WALL FOUNDATION  
 2" MIN.  
 2" #4 T.&B.  
 SEE PLAN

CITY STAMP

[illegible]

PROPOSED: NEW RESIDENTIAL UNITS AND GARAGE  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204

OWNER BLDR.: Sivan Bebejian



Date 9/19/2024

Scale as noted

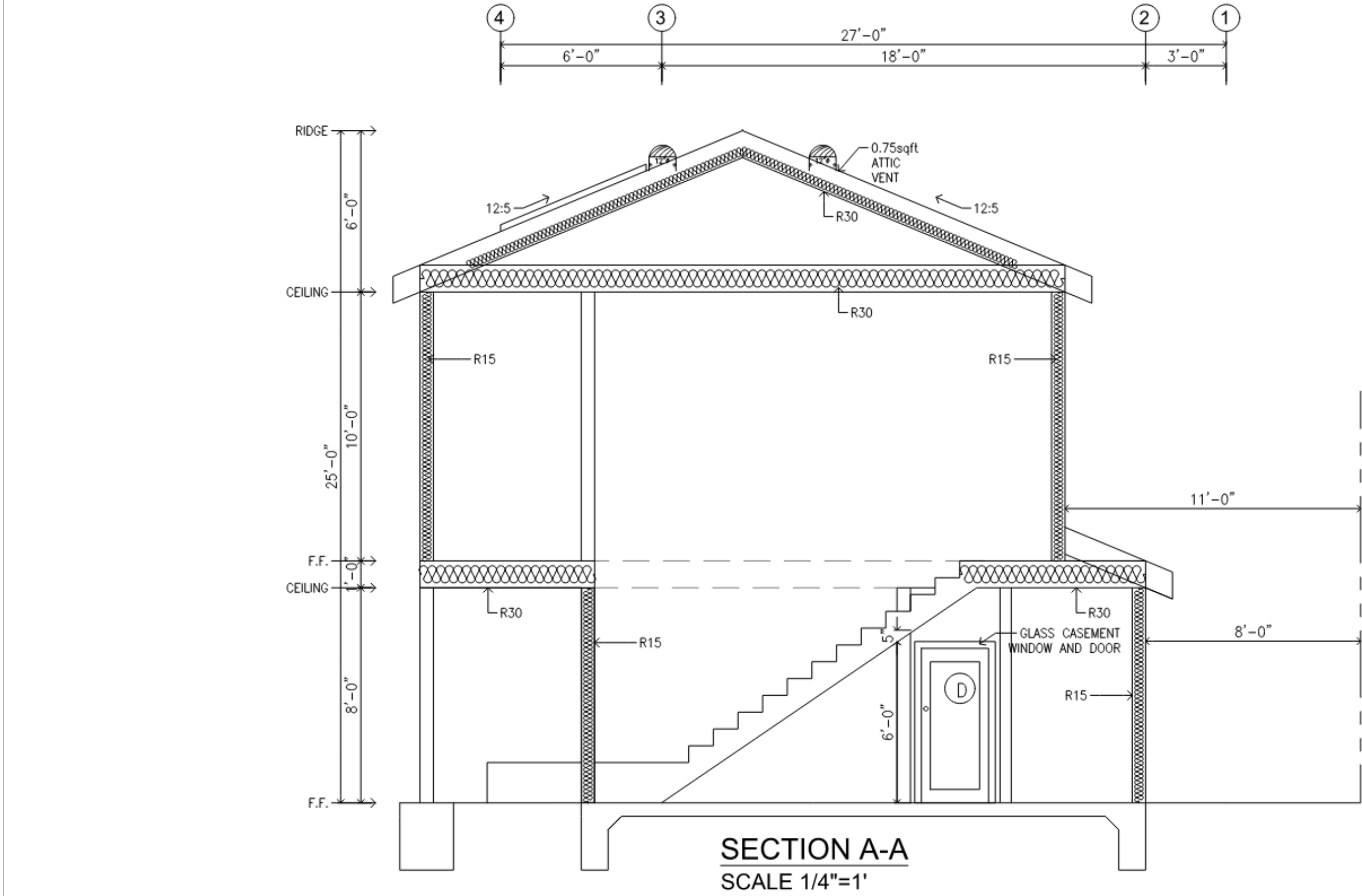
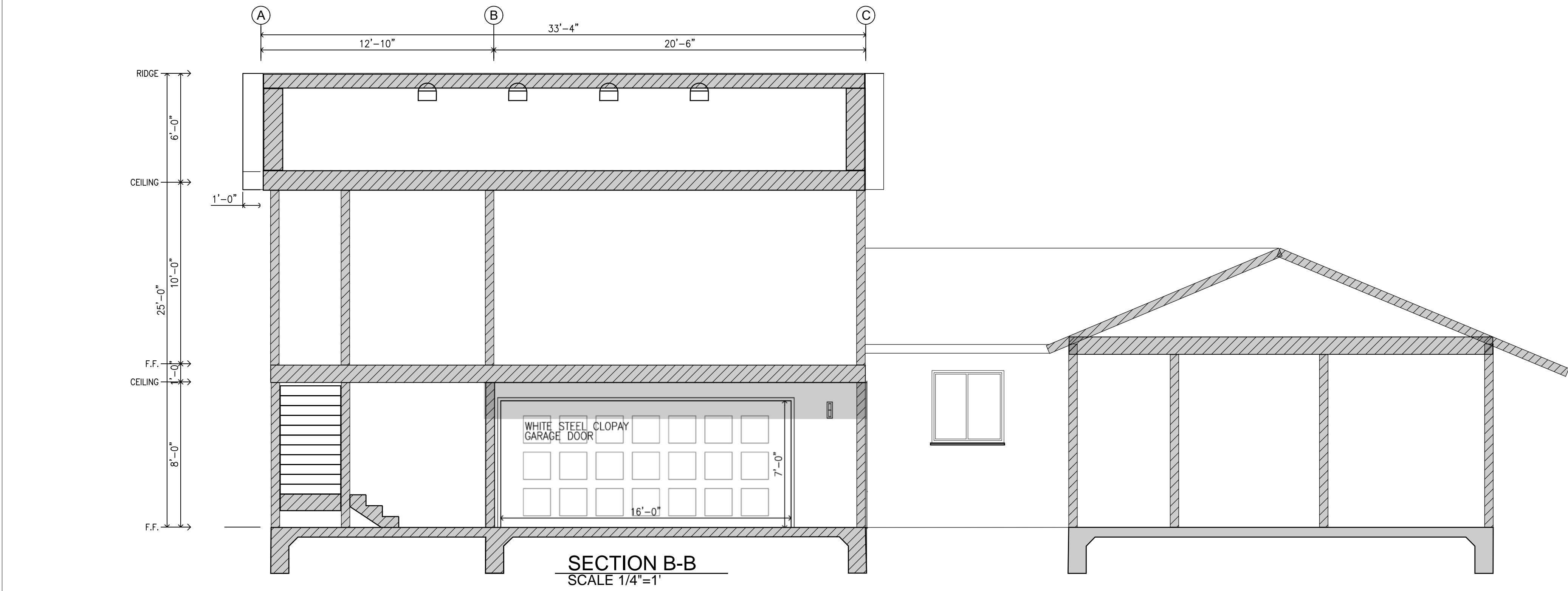
Job 24016

Sheet

# A3

DESIGNER AND/OR ENGINEER IS NOT LIABLE FOR ANY DIMENSION DISCREPANCIES IN PLANS IT IS THE RESPONSIBILITY OF ANY PARTY INVOLVE IN THE PROJECT PLANS TO VERIFY FIELD DIMENSIONS. ANY DISSEMINATION, DISTRIBUTION OR COPYING OF THIS INFORMATION IS STRICTLY PROHIBITED.





### ARCHITECTURAL LEGEND

- WALLS TO DEMO
- (E) WALLS  
1ST FLOOR ON 2 STORY BEARING WALLS  
REPLACE W/ 2X6-U.O.N
- (N) WALLS  
1ST FLOOR ON 2 STORY BEARING WALLS 2X6-U.O.N
- EAVE / CANOPY
- PROPERTY LINE
- LANDSCAPE BOUNDARY
- FENCE  
WOOD U.O.N.
- INSULATION  
R15 U.O.N.
- BLOCK WALL
- LANDSCAPE
- POOL AND SPA
- 2-2x4 U.O.N. POST
- RATED WALL  
2X6 U.O.N IN DETAILS, 50 STC & 1HR FIRE RATED
- (E. OR N.) C/M ALARM
- CARBON MONOXIDE ALARM
- (E. OR N.) SMOKE DETECTOR HARD
- WEIR WITH BATTERY BACKUP
- 50 CFM EXHAUST FAN "ENERGY STAR" COMPLIANT EXHAUST FAN CONTROLLED BY A HUMIDISTAT (4.506.1)

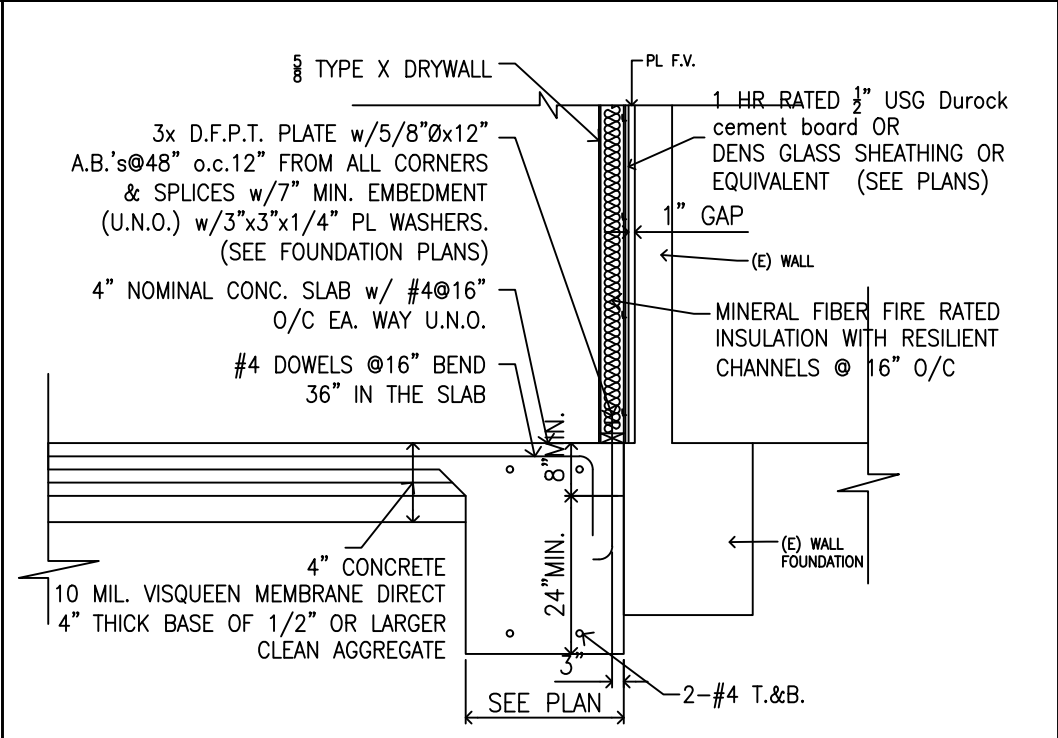
WOOD PARTITION WALL		
USG Fire-Resistant Assemblies		
1 Hour Fire-Rated Construction	Loadbearing	
Construction Detail	Description	
wt. 7	5/8" Sheetrock Firecode C Core gypsum panels	
5/8"	2 x 4 wood stud 16" or 24" o.c.	
	3" thermalFiber SAFB	
	RC-1 channel or equivalent one side	
	joints finished	
Test Number	Acoustical Performance	Reference
UL Des U327	STC Test Number 50	BBN-760903
		A-62

EXTERIOR WALL		
USG Fire-Resistant Assemblies		
1 Hour Fire-Rated Construction	Loadbearing	
Construction Detail	Description	
1" w/ 5/8"	1/2" dUrock cement board, interior side	
5/8"	15/32" plywood	
	2 x 4 wood studs 16" o.c.	
	3" thermalFiber SAFB	
	joints finished	
	5/8" Sheetrock Firecode Core gypsum panels, Fiberock aqUa-toUgh exterior sheathing or SecUrock glass-mat sheathing, other side	
Test Number	Comments	Reference
UL Des U303		F-12

WOOD FLOOR / CEILING		
USG Fire-Resistant Assemblies		
1 Hour Fire-Rated Construction	Dimensional Lumber	
Construction Detail	Description	
clg. wt. 5	two layers 5/8" Sheetrock Firecode Core gypsum panels	
	2 x 10 wood joists 24" o.c.	
	face layer joints finished	
	floor: 1/2" plywood with extending glue	
	Also for roof-ceilings, including trusses	
Test Number		
RC-2601		
GA-FC-5406		

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FIRE-RESISTANCE-RATED WOOD-FRAME WALL AND FLOOR/CeILING ASSEMBLIES 23



CITY STAMP

REVISIONS	BY

PROPOSED: NEW RESIDENTIAL UNITS AND GARAGE  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204  
OWNER BLDR.: Sivan Bebejian



Date	9/19/2024
Scale	as noted
Job	24016
Sheet	A3







**ZURN Model 375XL**  
Reduced Pressure Principle Assembly

**Application**  
Ideal for use where Lead-Free valves are required. Designed for installation on potable water lines to protect against both back-siphonage and backpressure of contaminated water into the potable water supply. Assembly shall provide protection where a potential health hazard exists.

- Standards Compliance**
- ASSE® Listed 1013
  - AIA/CES Listed
  - CSA® Certified B64.4
  - AWWA compliant C511
  - Approved by the Foundation for Cross Connection Control and Hydraulic Research at the University of Southern California
  - UL® Classified (less shut-off valves only, 3/4"-2")
  - C-UL® Classified (less shut-off valves only, 3/4"-2")
  - Meets the requirements of NSF/ANSI 61<sup>1</sup>
  - 10.25% MAX. WEIGHTED AVERAGE LEAD CONTENT

- Materials**
- Housing** Reinforced Nylon, FDA approved
- Fasteners** Stainless Steel, 300 Series
- Elastomers** Silicone (FDA Approved)
- Internals** Buna Nitrile (FDA Approved)
- Springs** Delrin, Nylon
- Ball Valves** Stainless Steel, 300 series
- Struts** Low Lead Cast Bronze, ASTM B 584
- Struts** Stainless Steel, 300 Series

**Features**

Sizes: 1/2", 3/4", 1", 1-1/4", 1-1/2", 2"

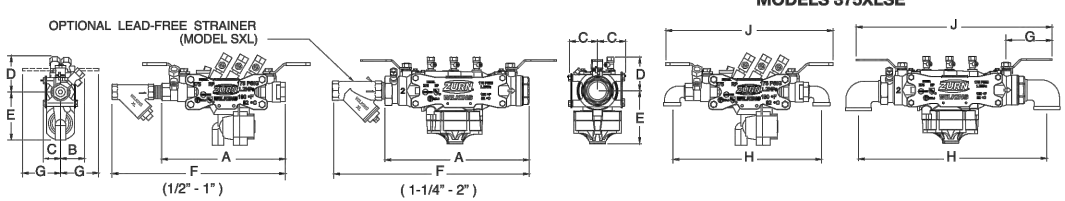
Maximum working water pressure: 175 PSI

Maximum working water temperature: 180°F

Hydrostatic test pressure: 950 PSI

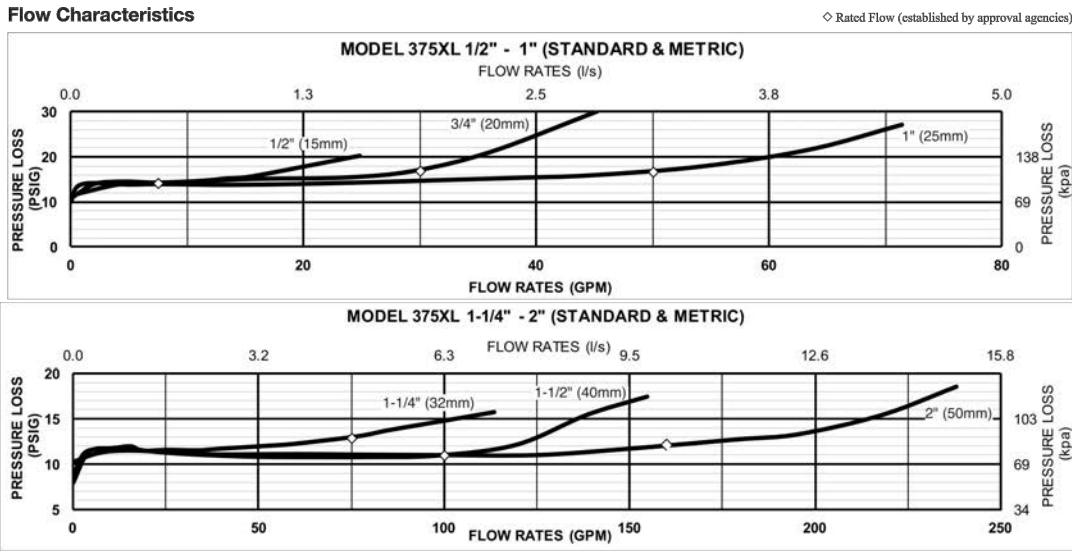
End connections Threaded FNPT

ANSI B1.20.1



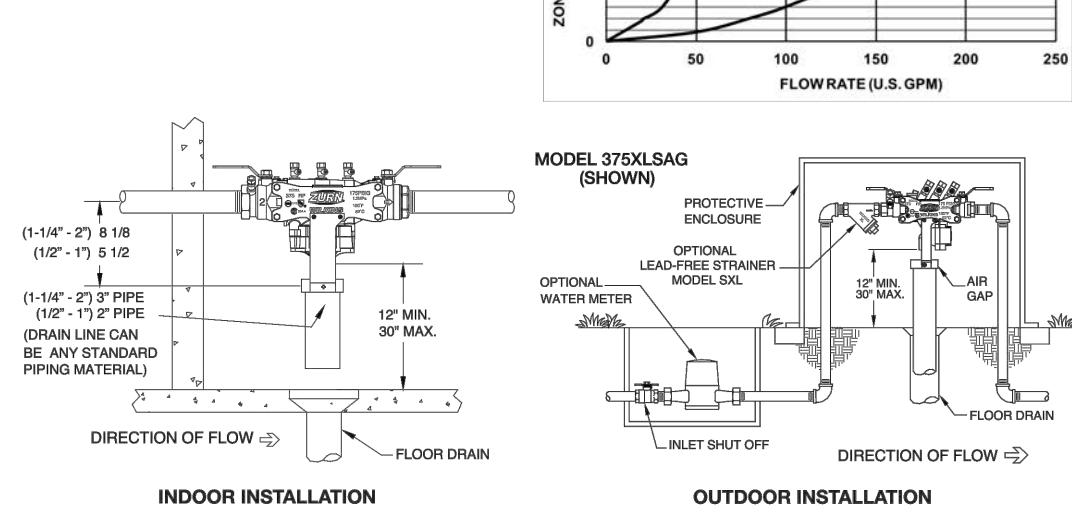
DIMENSIONS & Weights (do not include pkg.)		DIMENSIONS (approximate)											
MODEL SIZE	SIZE	A	B	C	D	E	F	G	H	J	Wt.	Wt.	Wt.
1/2"	1/2"	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	0.7	0.7	0.7
3/4"	3/4"	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	0.7	0.7	0.7
1"	1"	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	0.7	0.7	0.7
1-1/4"	1-1/4"	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	0.7	0.7	0.7
1-1/2"	1-1/2"	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	0.7	0.7	0.7
2"	2"	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	2.14	0.7	0.7	0.7

Zurn Industries, LLC | Wilkins  
1147 Commerce Way, P.O. Box 100, CA 91204-0100, Ph: 855-663-9876, Fax: 855-238-5766  
In Canada | Zurn Industries Limited  
7900 Gormley Drive, Unit 10, Brampton, Ontario L7R 5W8, 877-882-6216  
www.zurn.com



**Typical Installation**

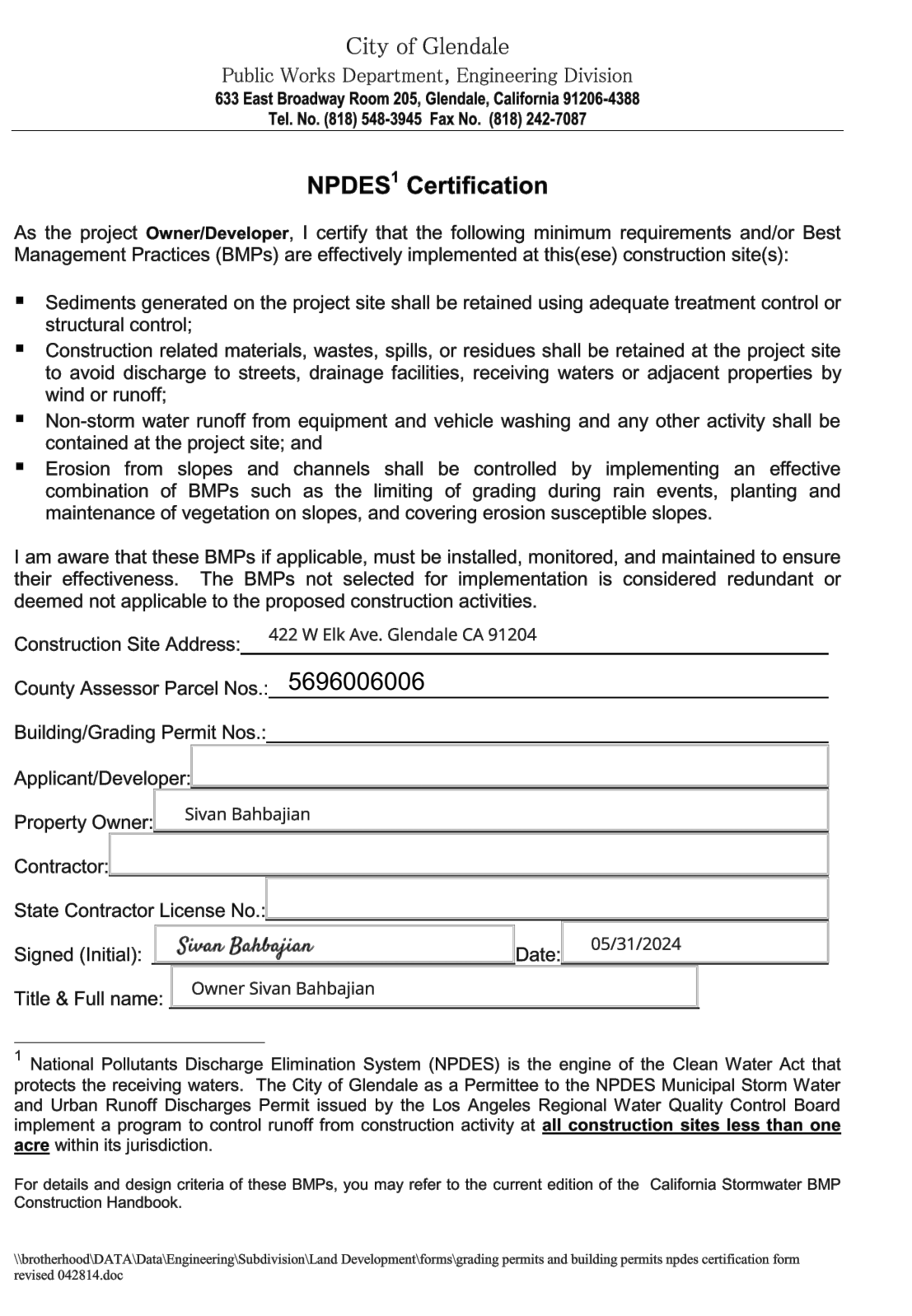
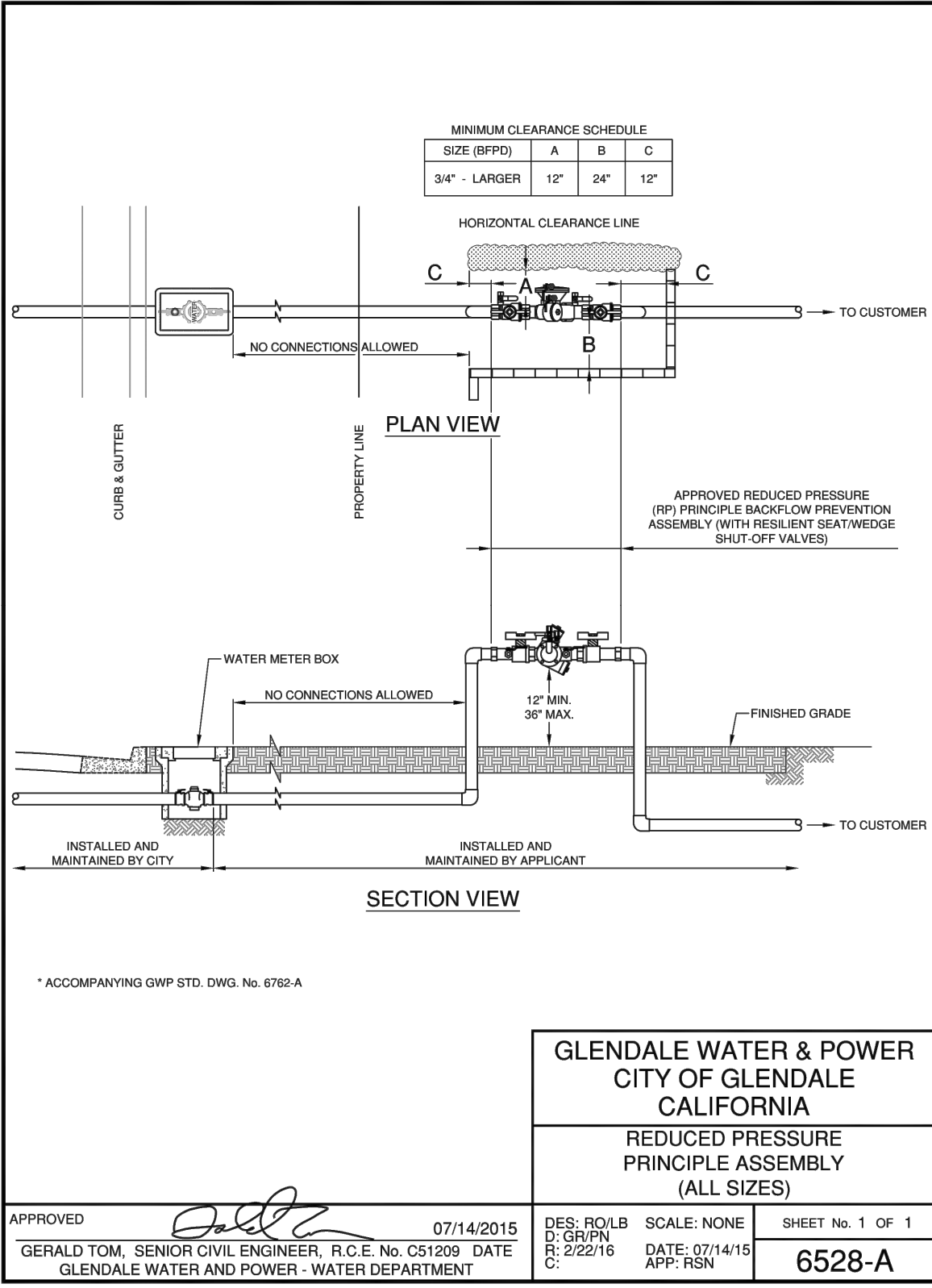
Local codes shall govern installation requirements. To be installed in accordance with the manufacturer's instructions and the latest edition of the Uniform Plumbing Code. Unless otherwise specified, the assembly shall be mounted at a minimum of 12" (305mm) and a maximum of 30" (762mm) above adequate drains with sufficient side clearance for testing and maintenance. The installation shall be made so that no part of the unit can be submerged.



**Specifications**

The Reduced Pressure Principle Backflow Preventer shall be certified to NSF/ANSI 61, ASSE® Listed 1013, rated to 180°F, and supplied with full port ball valves. The main body shall be Nylon and the seat disc elastomers shall be silicone. If installed indoors, the installation shall be supplied with an air gap adapter. The Reduced Pressure Principle Backflow Preventer shall be a ZURN WILKINS Model 375XL.

Zurn Industries, LLC | Wilkins  
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THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

All doors & windows shall meet City of Glendale's Security ordinance Based on City maps, this project is located within a Very High Fire Hazard Severity Zone (VHFHSZ) or Wildland-Urban Interface (WUI) Fire Area. All new buildings must comply with CBC Chapter 7A or CRC 337.

The installation or replacement of glass in exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SFM 12-7A-2. (Vol. IC GBSC 505.1)

Exterior window, skylights and exterior glaze door assemblies shall be dual glazed with a minimum of one pane shall be tempered. (R337.2.1)

THERE ARE NO OAK, BAY, OR SYCAMORE TREES ON THE LOT OR WITHIN TWENTY (20) FEET OF THE SITE. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE SEPARATE PERMIT. NO NEW ROOF-TOP EQUIPMENT IS ALLOWED.

The contractor must provide public protection in accordance with CBC Section 3306.1 for work on any building and structure adjacent to the public way.

"DIG ALERT" prior to any ground work or excavation.

Site grading as a result of removal and recompaction equal or greater than 50 cubic yard will require submittal of grading application and grading plans.

Adjoining public and private property shall be protected from damage during construction, remodeling, and demolition work. Provide notice to the owners of adjoining buildings advising them that the excavation is to be made and that the adjoining buildings should be protected. Notification shall be delivered not less than 10 days prior to the scheduled starting date of the excavation. (CBC [BS] 3307.1)

Cross-lot drainage onto adjacent property is not allowed:

Sheet flow drainage shall maintain a minimum 1/4" per foot slope.

All drainage on site must be directed to the street.

Drainage to the alley is not allowed.

The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

Bathbub and shower floors, walls above bathbubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. (R307.2)

Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)

Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)

The approval of plans and specifications does not permit the violation of any section of the building code or other city ordinance or State Law.

Temporary toilet facilities must be provided on site. (GBSC 118)

Shower floors and walls above bathbubs with installed shower head shall be finished with a nonabsorbent surface to a height not less than 6 ft. above the floor. (CRC R307.2, CBC 1209.2.3)

New installation of heat pump water heaters (HPWH) shall have all the following:

A 240V electrical receptacle is within 3 feet from the water heater and accessible with no obstructions.

A condensate drain no more than 2 inches higher than the base on water heater for natural draining.

A single 240-volt HPWH that meets the requirements of NEEA Advanced Water Heater Specification.

The storage tank shall be located in the garage or conditioned space.

The installation shall be in accordance with manufacturer's specifications.

Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring. (CRC R314.6 exceptions 1, 3, CBC 907.2.11.9)

Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit. (CRC R314.4, CBC 907.10.5)

Smoke detectors shall be "hard wired" and shall be equipped with battery backup. (CRC R314.6, CBC907.12.6, CBC 907.2.11.9)

CO alarms shall be "hard wired" and shall be equipped with battery backup. (CRC R315.5, CBC 915.4.1)

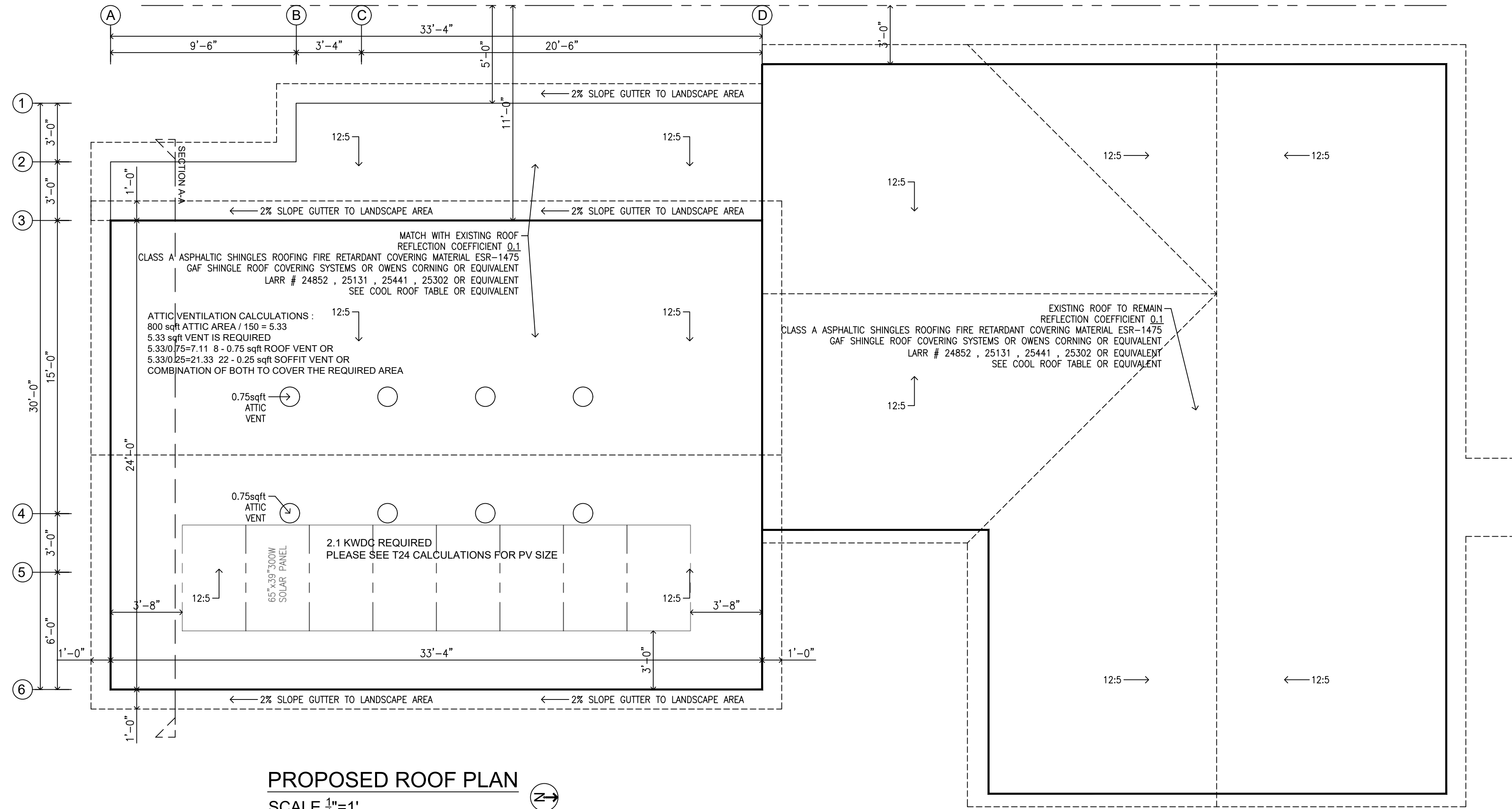
CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit. (CRC R315.5, CBC 915.4.5)

In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes. (CRC R315.5 exception 4, CBC 915.4.1 exception 3)

Valley flashings shall be not less than 0.019-inch (No. 26 galvanized sheet corrosion-resistant metal installed over a 36-in. wide underlayment consisting of one layer of 72-pound mineral-surfaced nonperforated cap sheet meeting ASTM D3909 running the full length of the valley. (705A.3,R337.5.3)

Roof gutters shall be provided to prevent the accumulation of leaves and debris.

Approved address numbers, building numbers or approved building identification shall be placed in a position that is plainly legible and visible from the street, road, alley, and walkways giving access to and within the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of 4 inches (102 mm) high with a minimum stroke width of 0.5 inch (12.7 mm) and shall be illuminated in an approved manner (if numbers are on the exterior). Number height and stroke width shall be increased as needed for legibility based on visibility distance.



**PROPOSED ROOF PLAN**  
SCALE 1/4"=1'

CITY STAMP

**PROPOSED: NEW RESIDENTIAL UNITS AND GARAGE**  
**ADDRESS : 422 W Elk Ave, Glendale, CA 91204**  
**OWNER BLDR.: Sivan Bebejian**



Date 9/19/2024

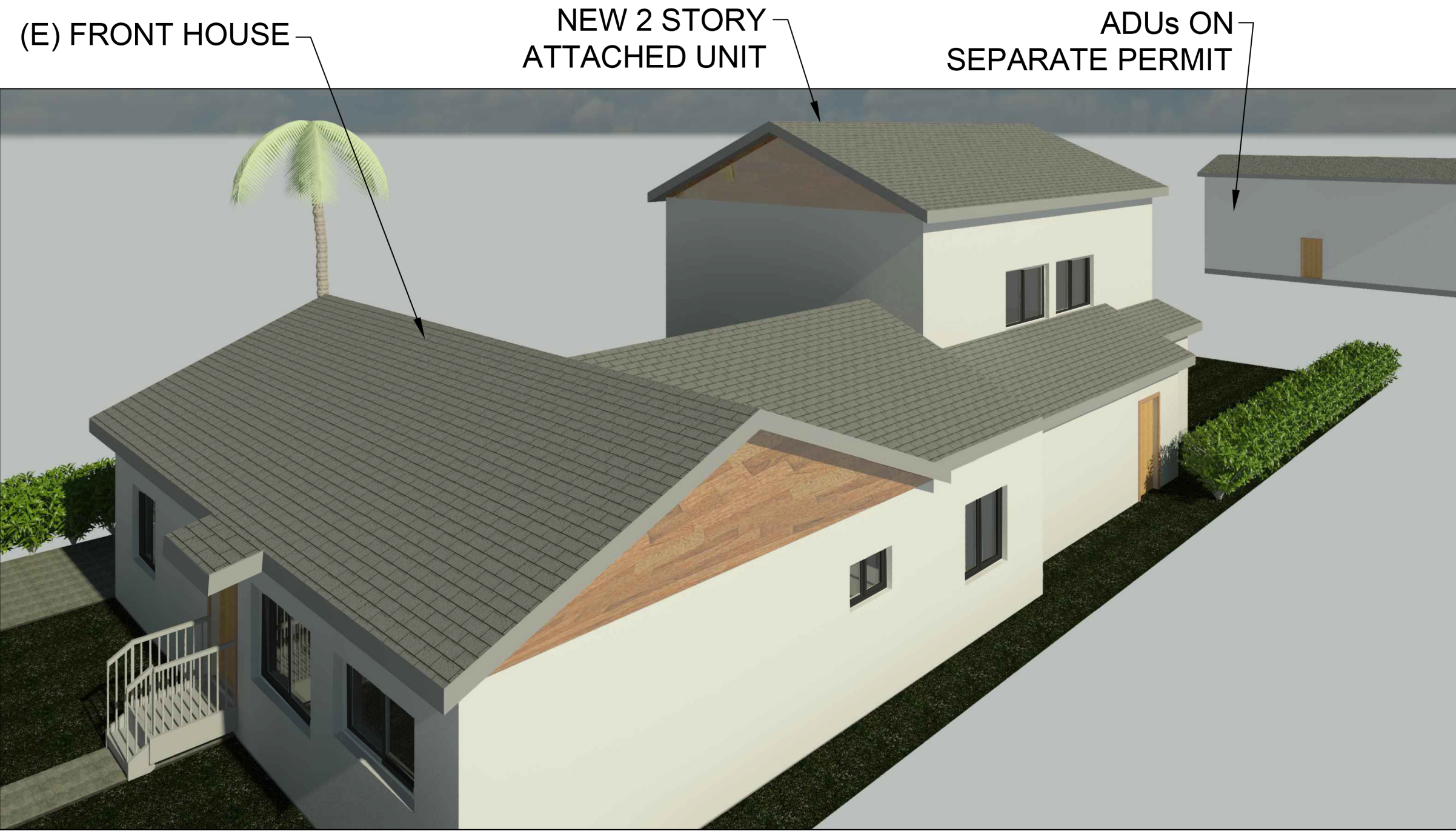
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Job 24016

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VIEW B

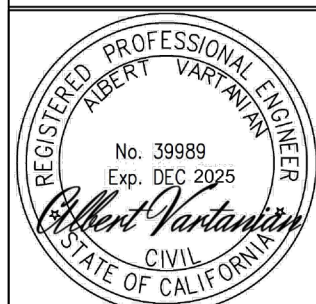


VIEW A



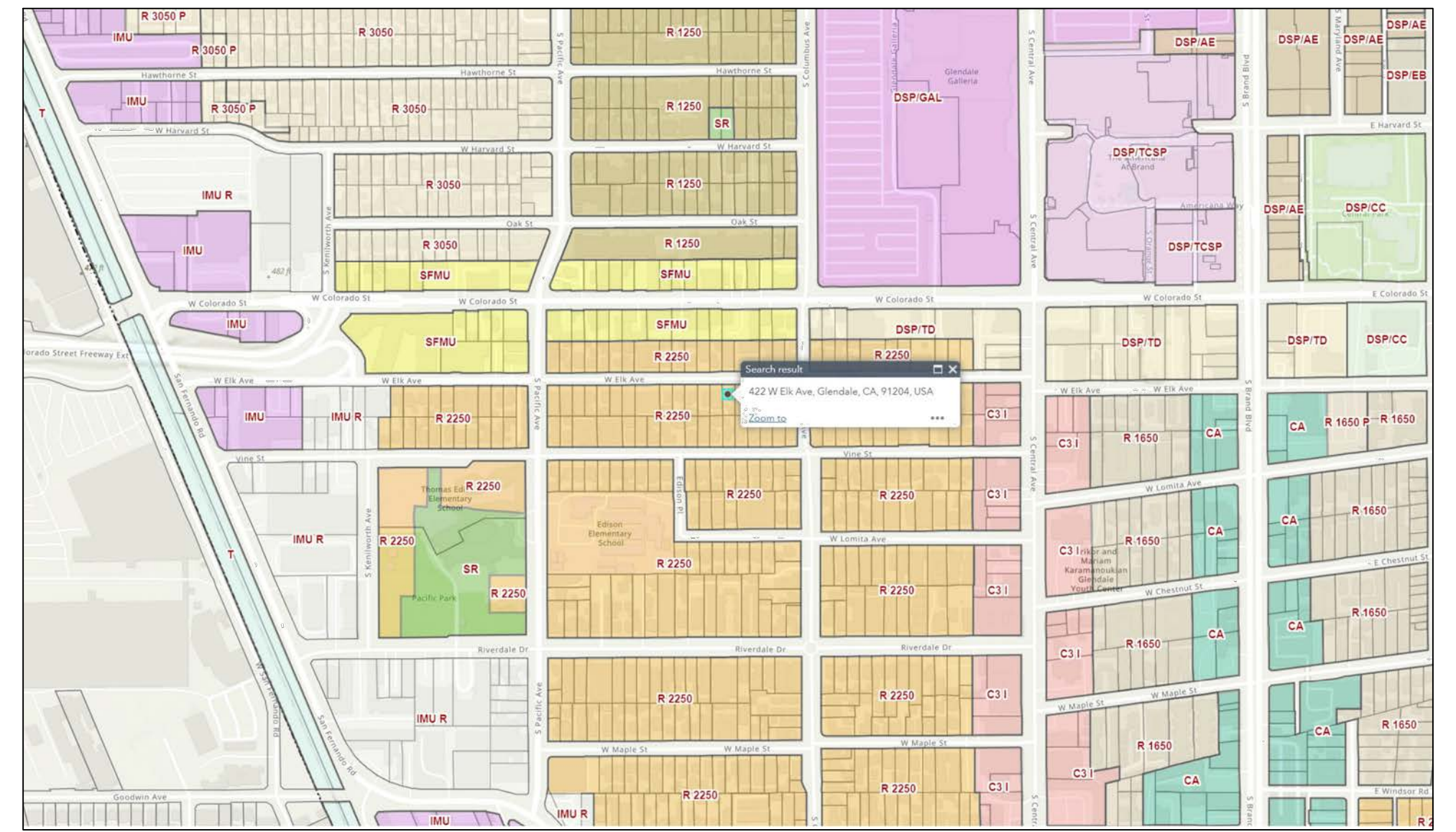
REVISIONS	BY

PROPOSED: NEW RESIDENTIAL UNITS AND GARAGE  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204  
OWNER BLDR.: Sivan Bebejian

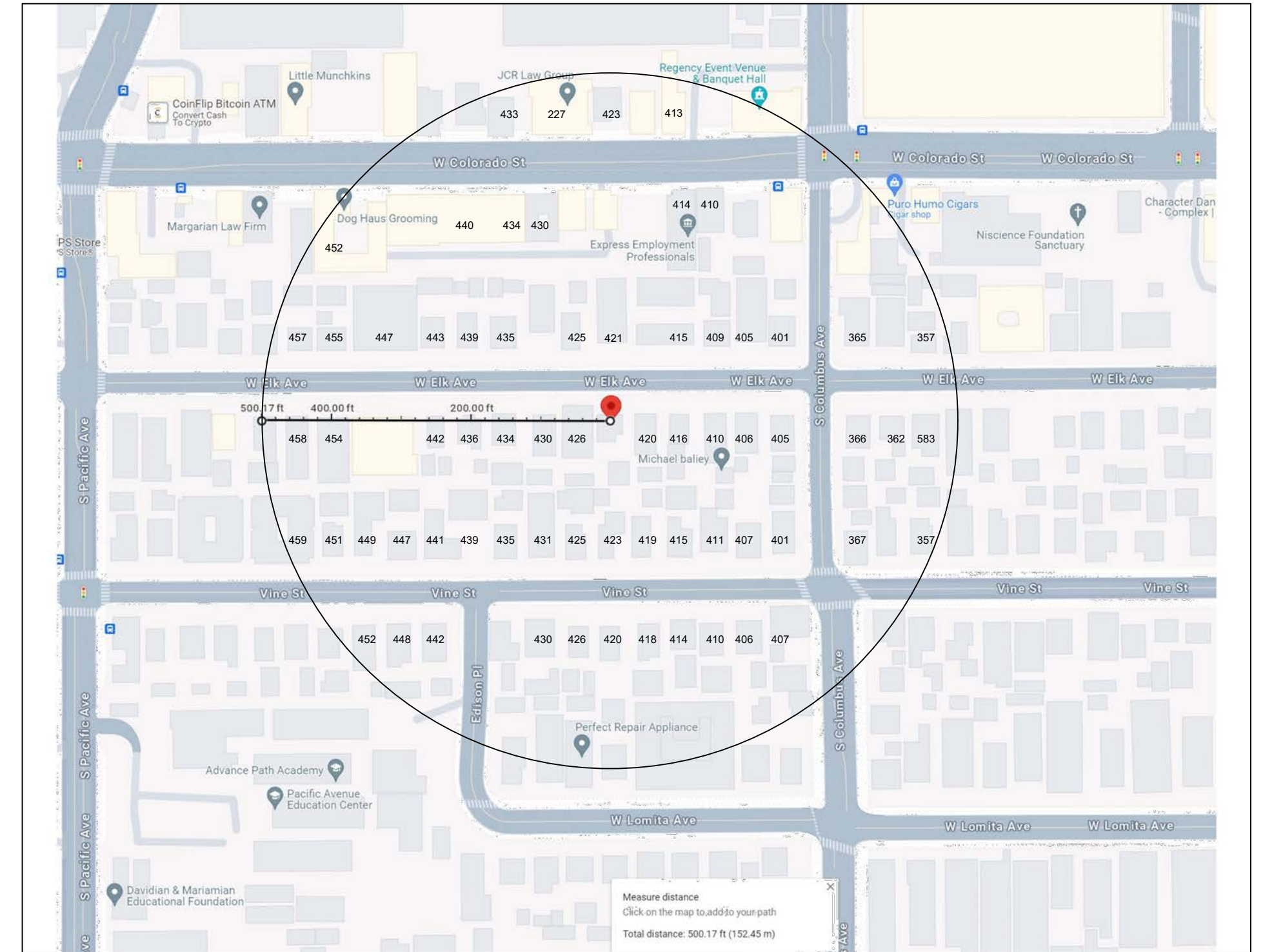


Date	9/19/2024
Scale	as noted
Job	24016
Sheet	A6





## ZONING MAP



500' RADIUS MAP PUBLIC NOTICE VICINITY MAP  
PROPERTY OWNERSHIP MAP  
SCALE 1"=200'

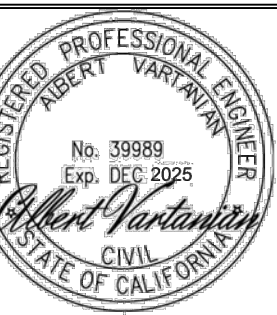
## PHOTO GRAPHIC SURVEY

MATERIAL LOCATION	ALL EXTERIOR WALLS	ALL WINDOWS	WOODEN TRIMS	GARAGE DOOR	EXTERIOR DOORS	ROOF SHINGLES	PATIO	DRIVE WAY	LANDSCAPE	LANDSCAPE	SIDING
BRAND	QUICK RATE	MILGARD	ORNAMENTAL MOULDINGS	CLOPAY	FEATHER RIVER	OWENS CORNING	DOUGLAS FIR	Eco-Priora	Sprinter Boxwood	Leyland Cypress	James Hardie
COLOR	WHITE	BLACK	WOODEN	WHITE	WOODEN	GRAY-WHITE	WOODEN	GRAY	GREEN	GREEN	WOODEN
MATERIAL	CEMENT	VINYL	WOOD	STEEL	WOOD	ASPHALT	WOOD	CONCRETE	PLANT	PLANT	FIBER CEMENT
PHOTO											

## TABLE OF MATERIAL

REVISIONS	BY

PROPOSED: NEW RESIDENTIAL UNITS AND GARAGE  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204  
OWNER BLDG.: Sivan Bebejian



Date 9/19/2024

scale as noted

Job 24016

Sheet

## A7

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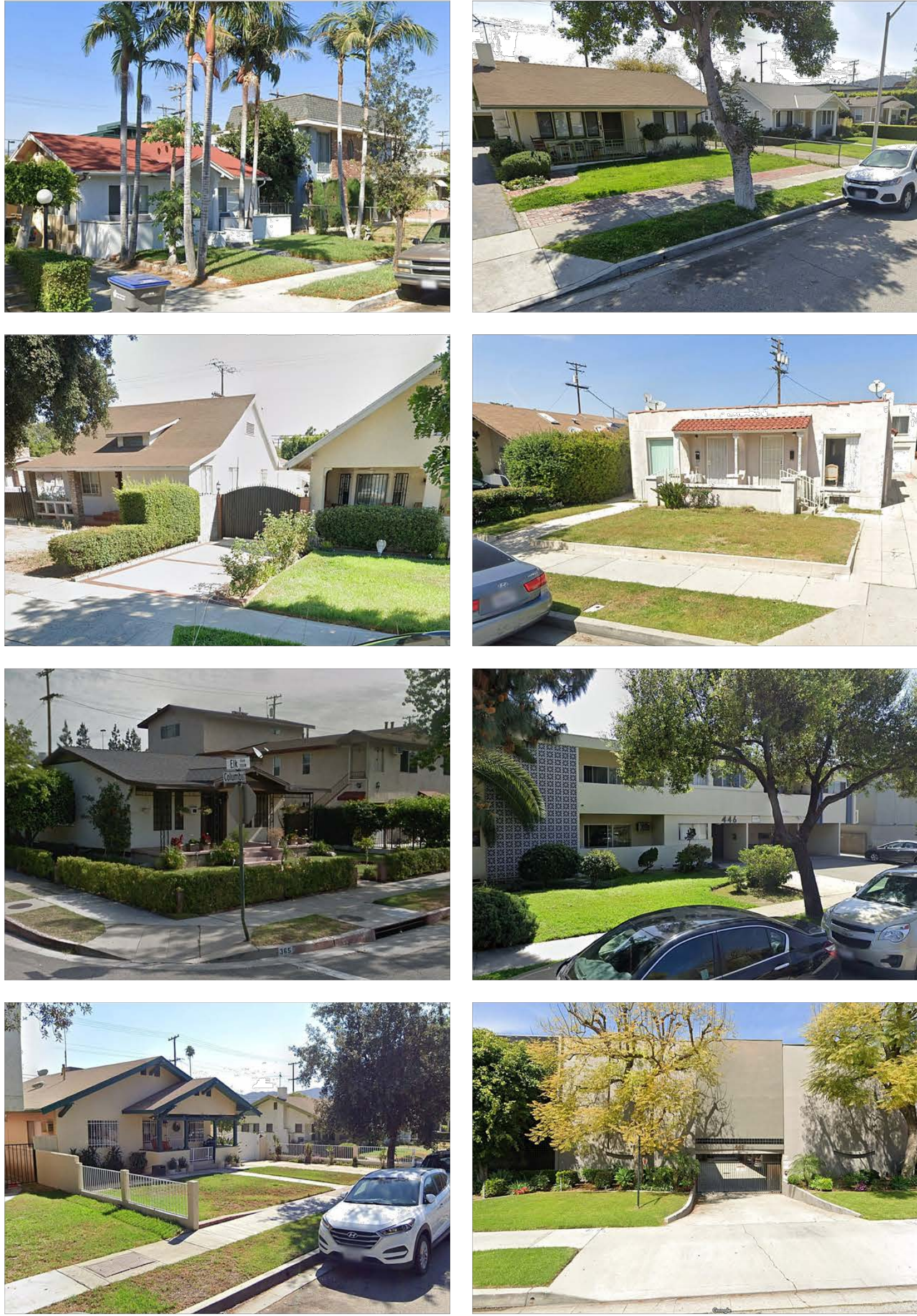
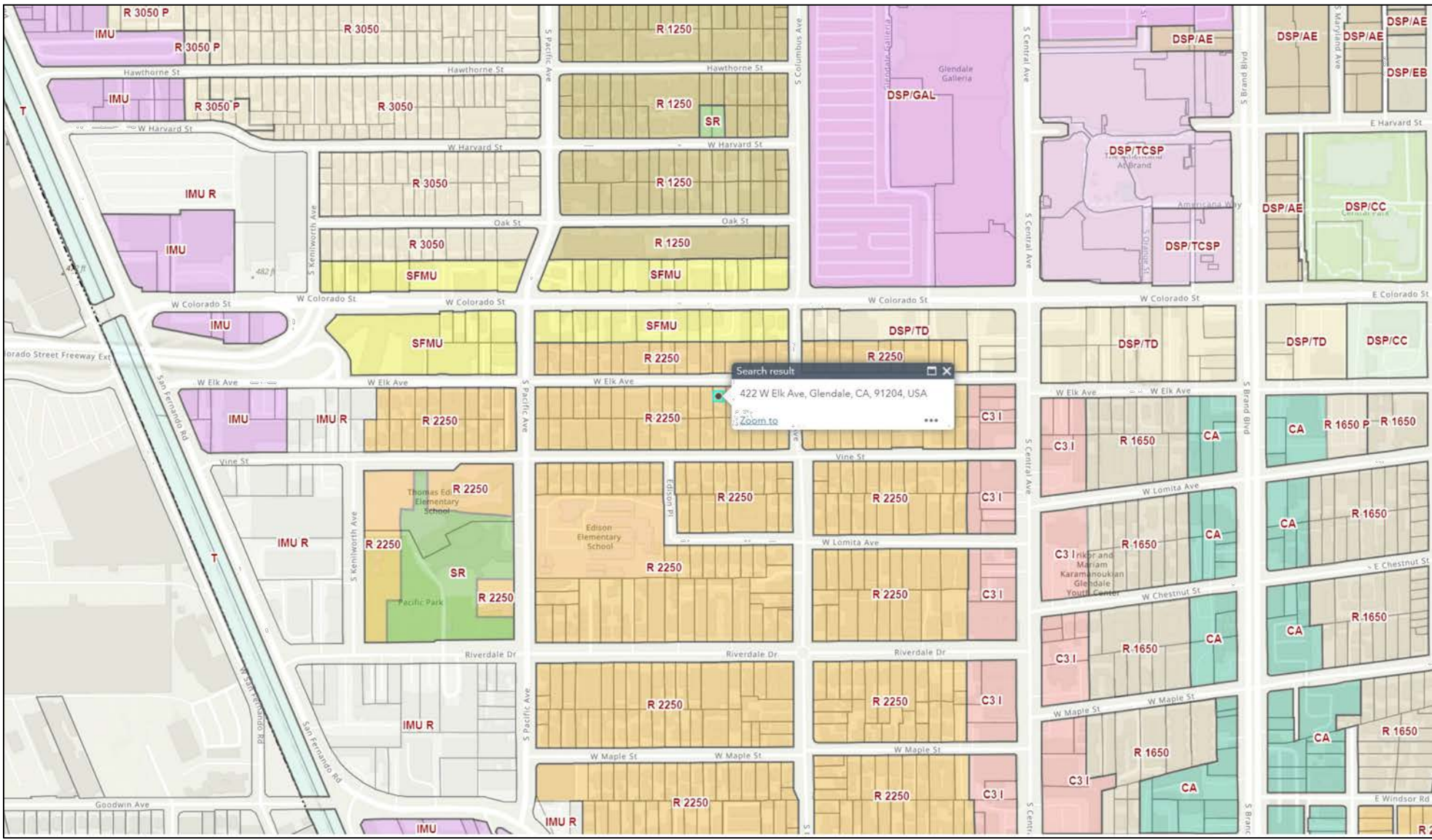
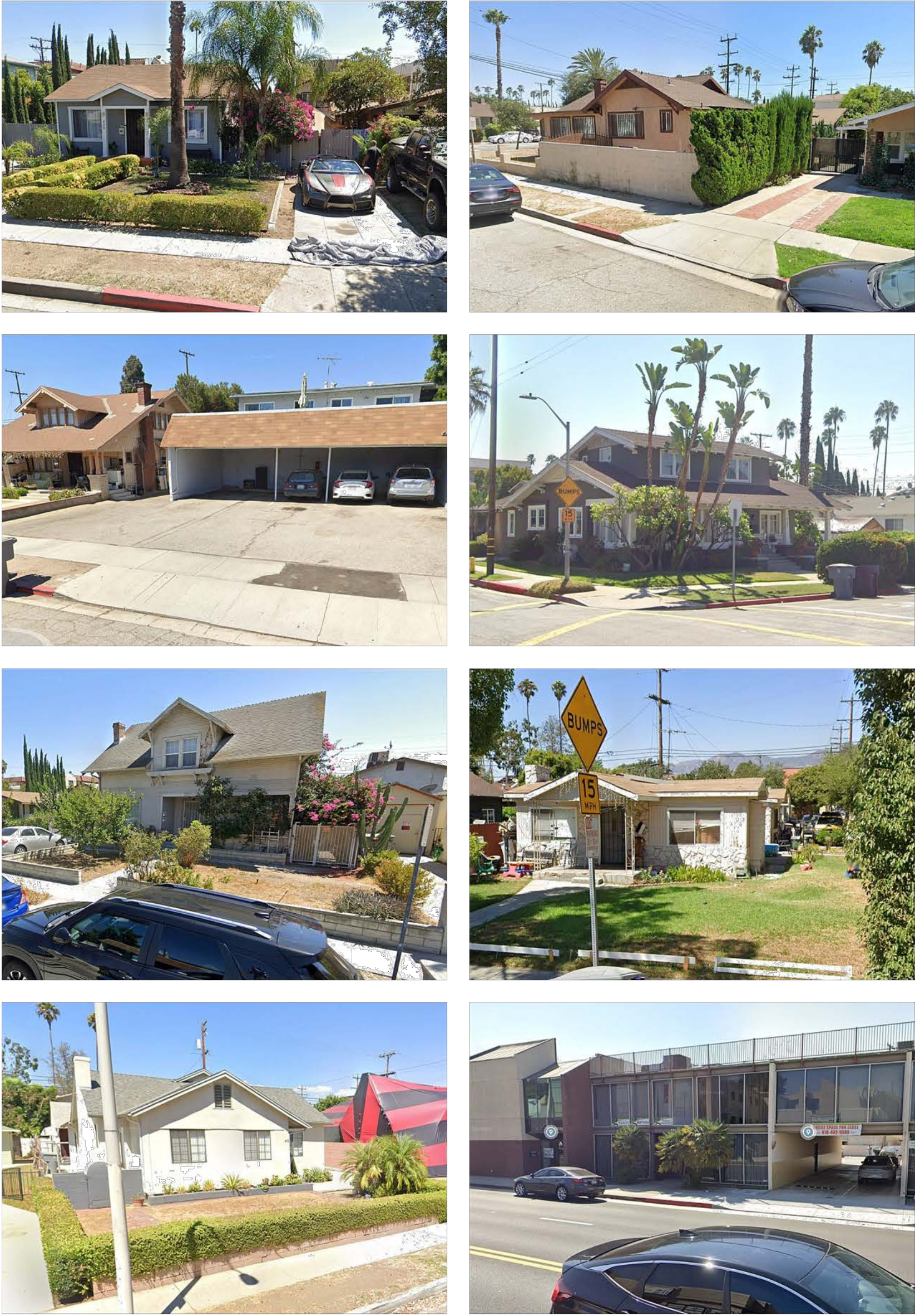
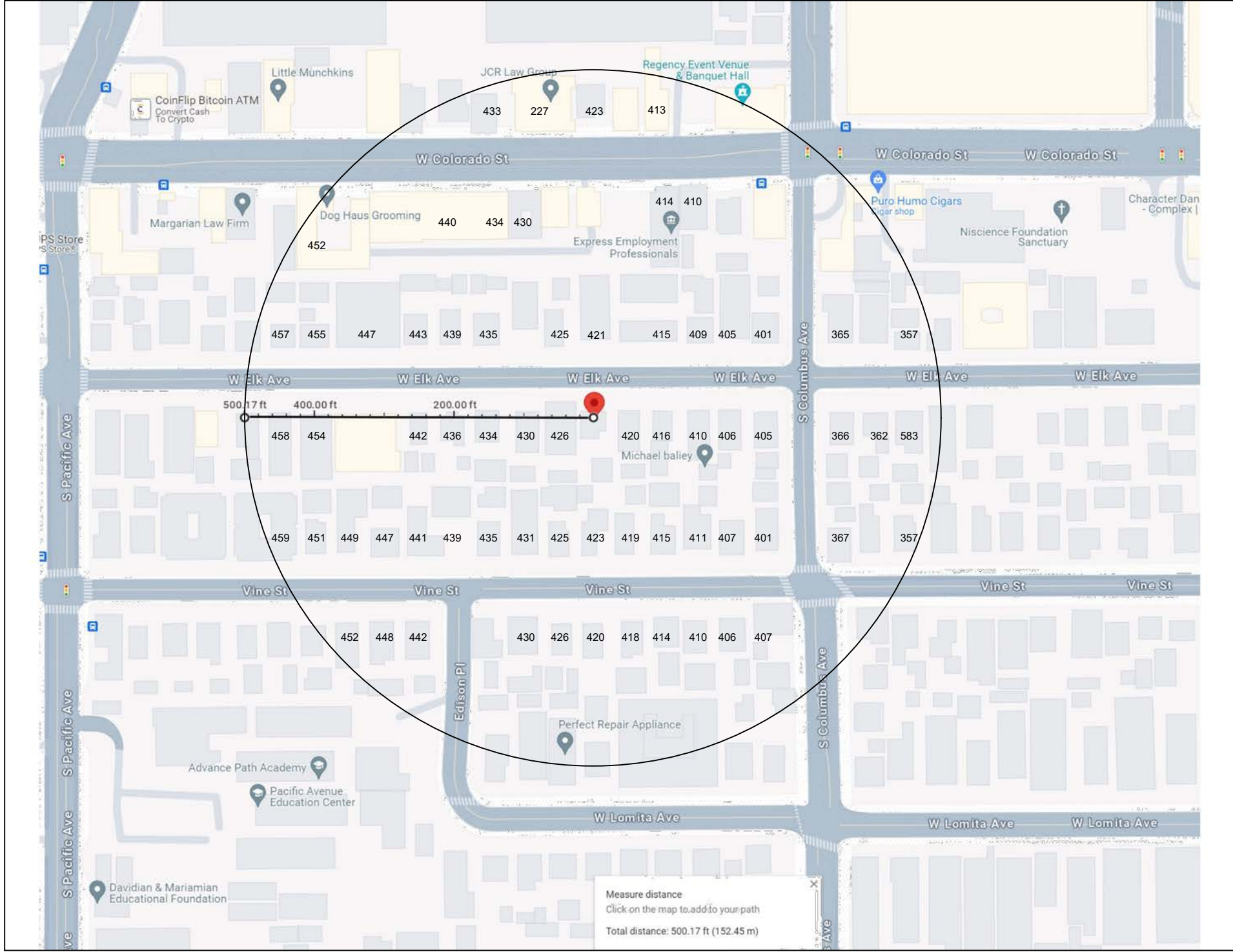


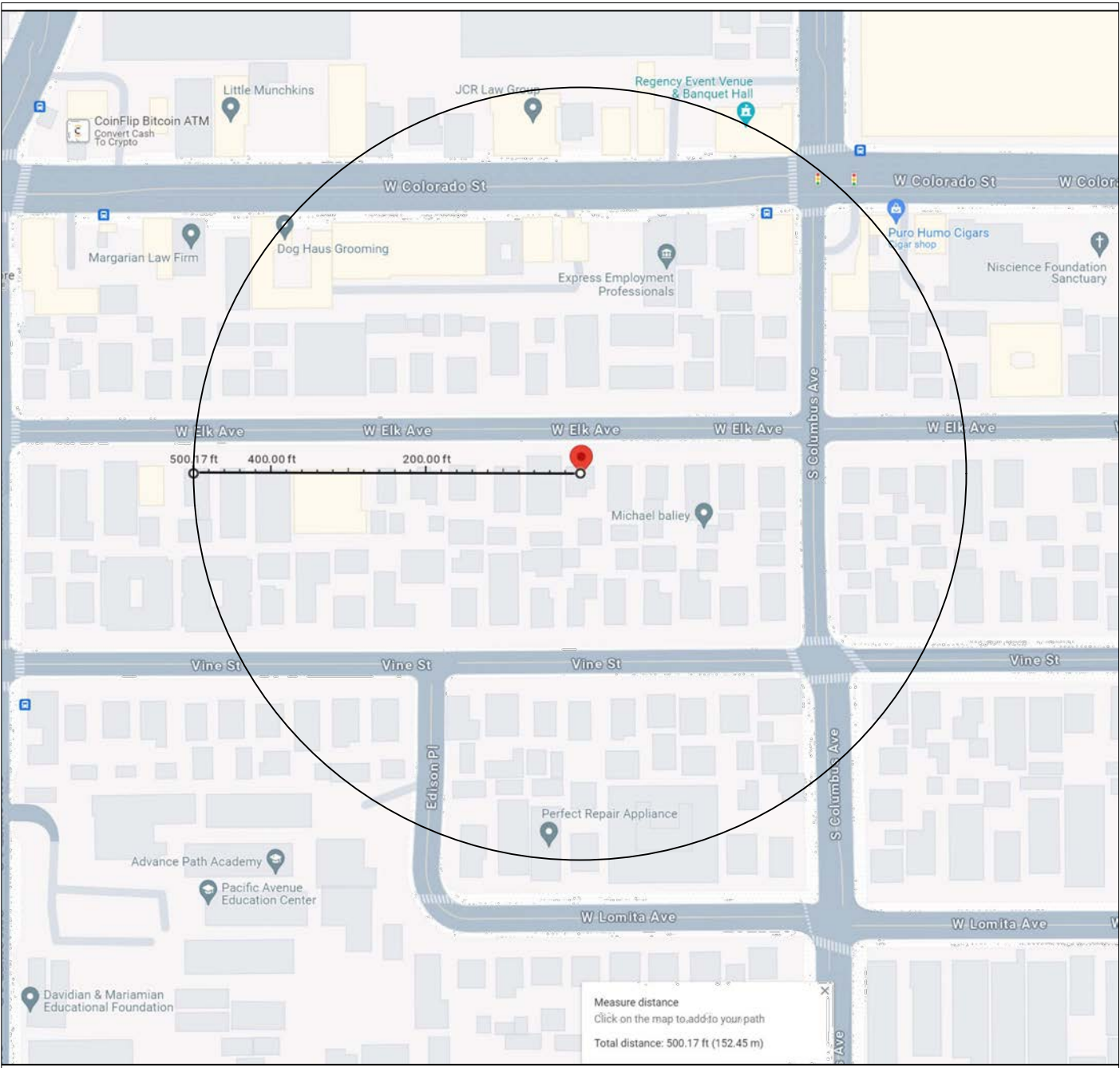
PHOTO GRAPHIC SURVEY



ZONING MAP



500' RADIUS MAP PUBLIC NOTICE VICINITY MAP



PROPERTY OWNERSHIP MAP  
SCALE 1"=200'

REVISIONS	BY

PROPOSED: NEW RESIDENTIAL UNIT  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204  
OWNER BLDR.: Sivan Bebejian

Date	5/23/2024
Scale	as noted
Job	24016
Sheet	A7



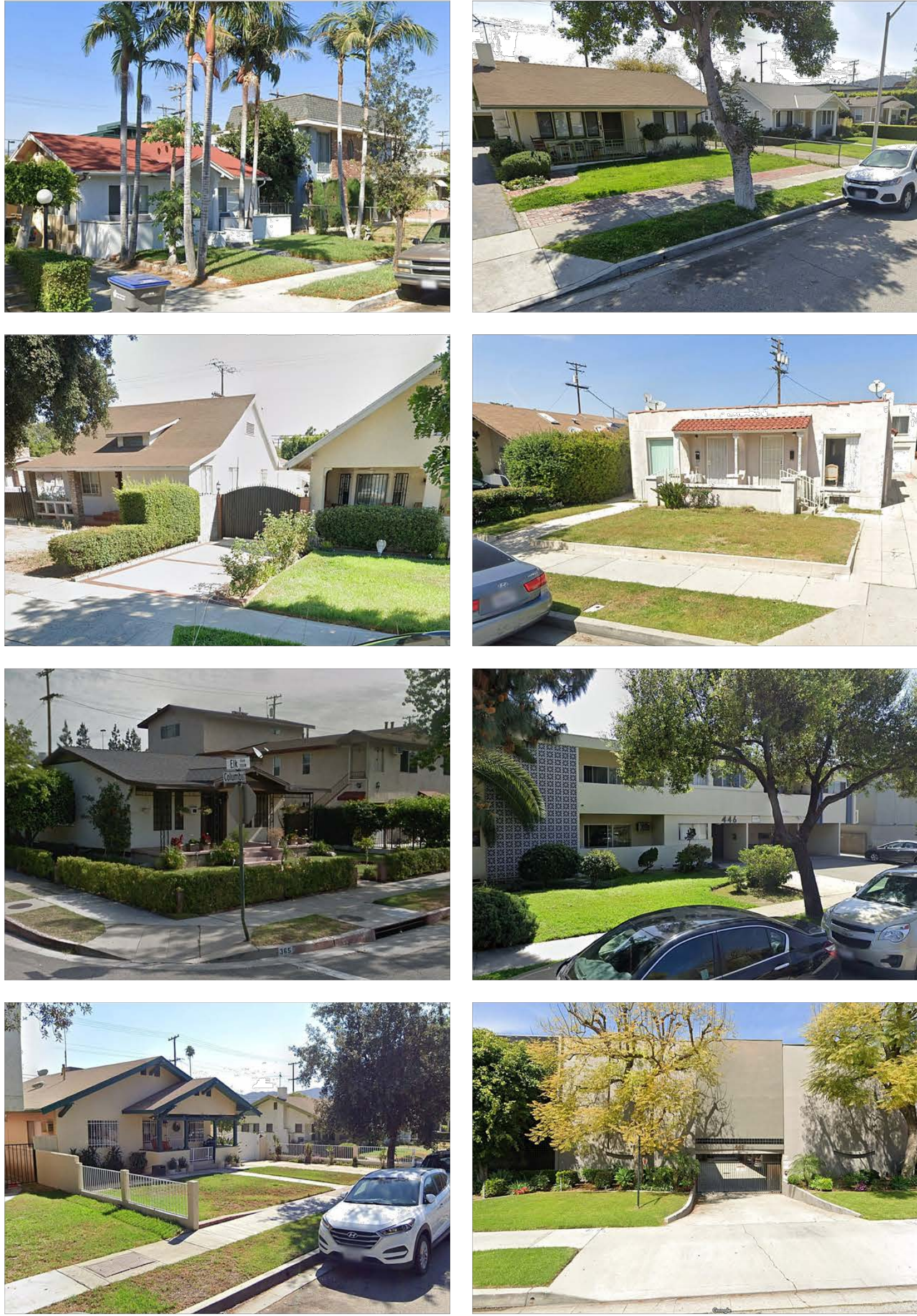
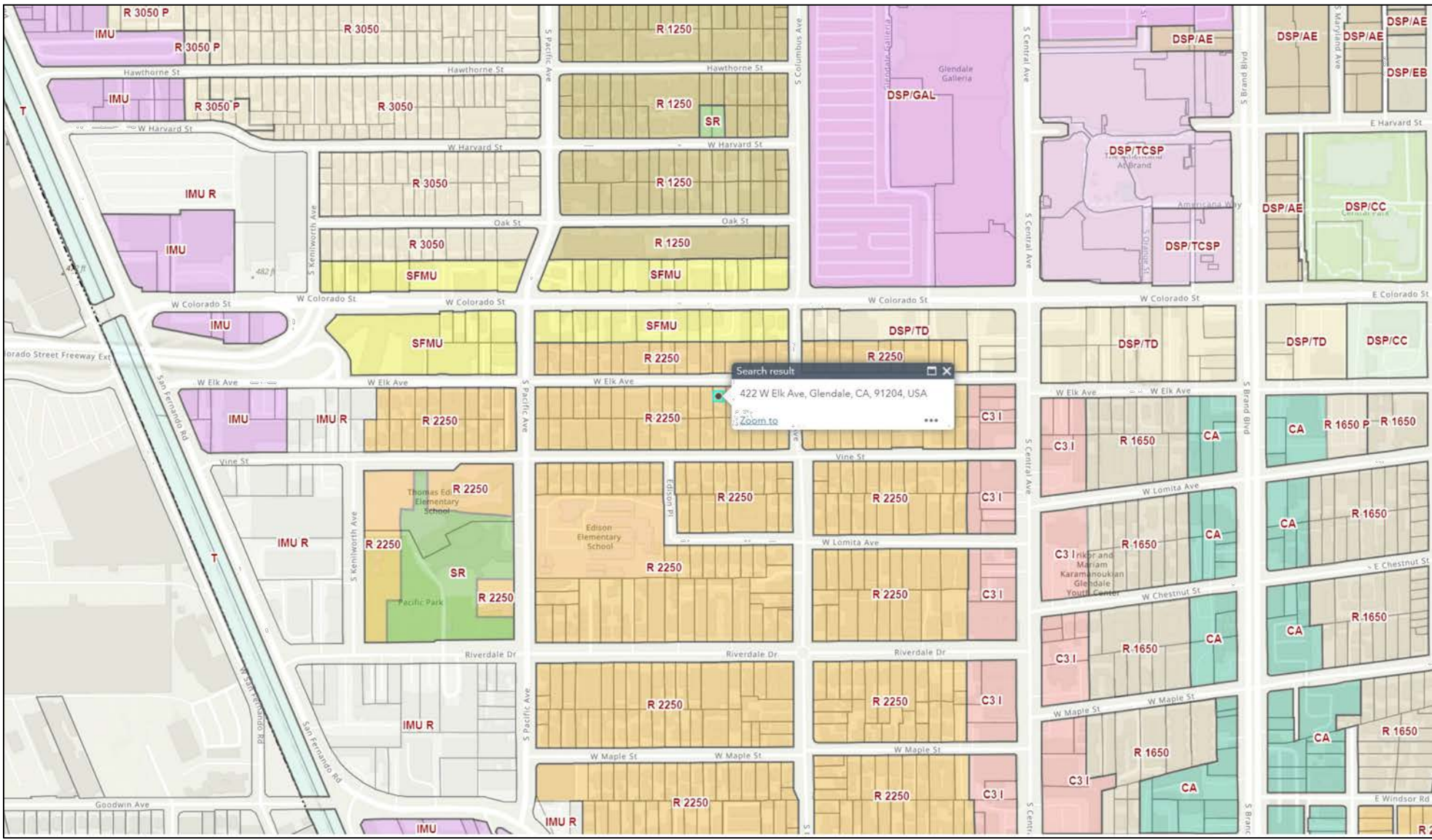
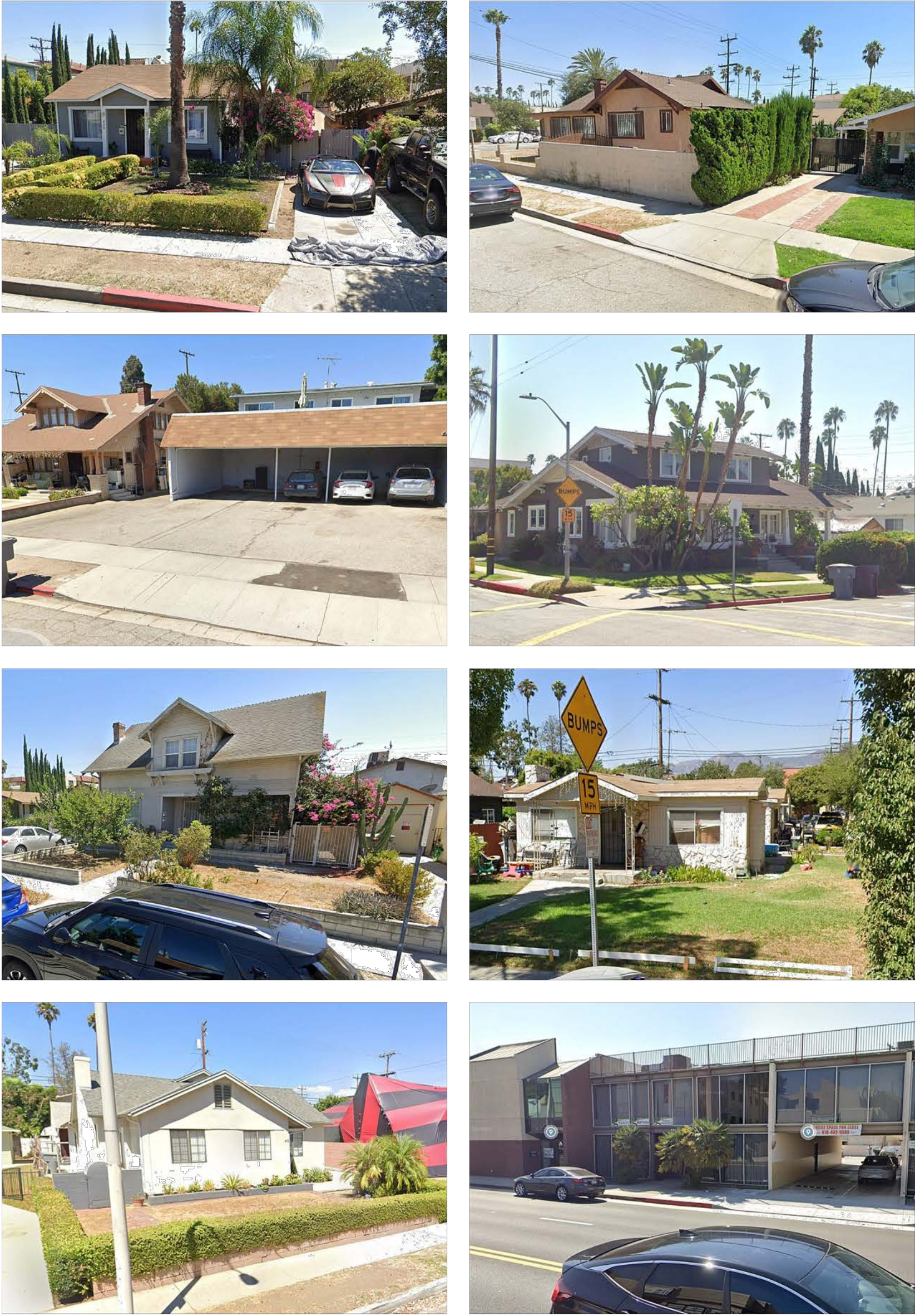
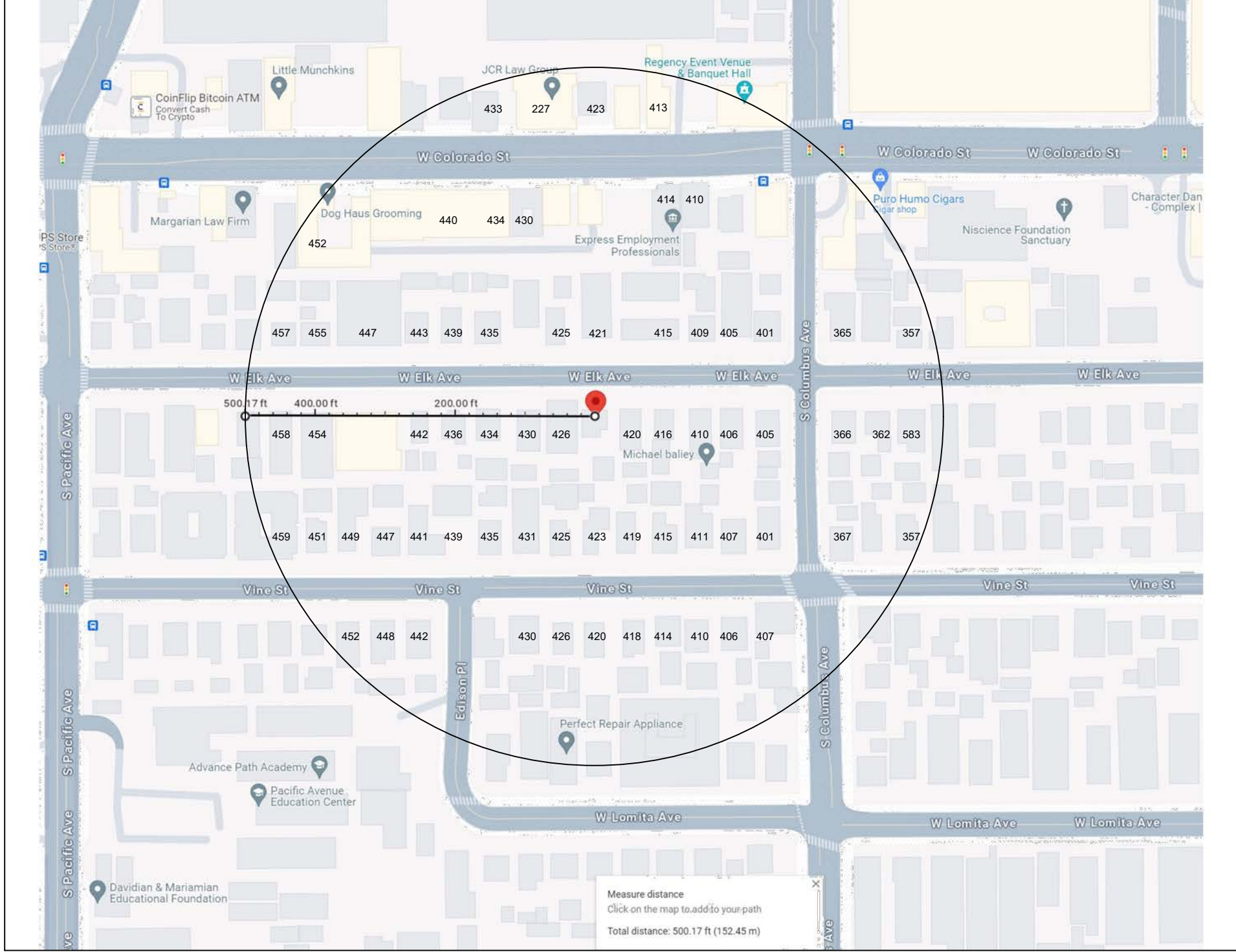


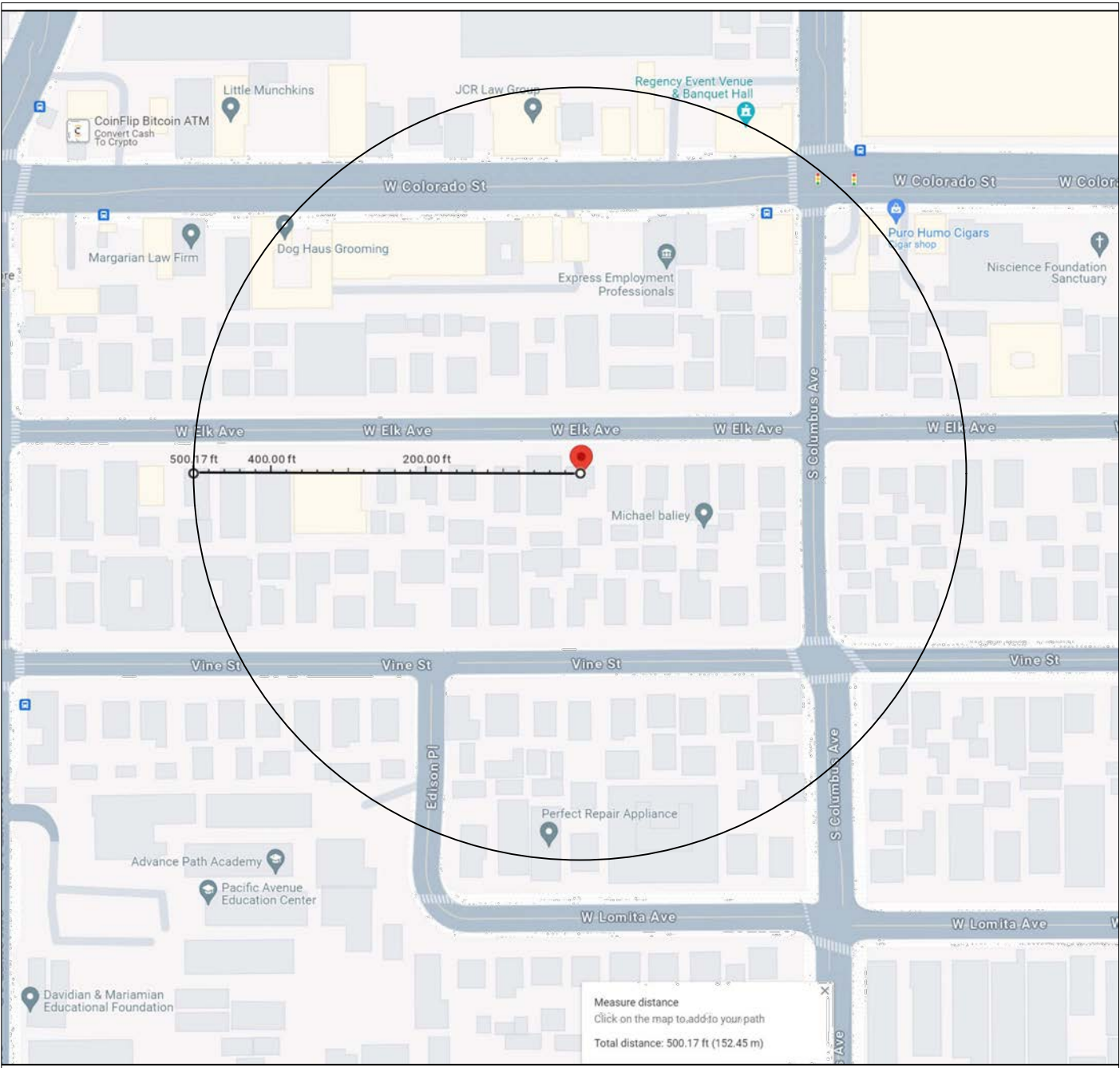
PHOTO GRAPHIC SURVEY



ZONING MAP



500' RADIUS MAP PUBLIC NOTICE VICINITY MAP



PROPERTY OWNERSHIP MAP  
SCALE 1"=200'

REVISIONS	BY

PROPOSED: NEW RESIDENTIAL UNIT  
ADDRESS : 422 W Elk Ave, Glendale, CA 91204  
OWNER BLDR.: Sivan Bebejian

Date	5/23/2024
Scale	as noted
Job	24016
Sheet	A7