



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

November 20, 2024 <i>Decision Date</i>	926 East Dryden Street <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5646-006-022 <i>APN</i>
PADR-003840-2024 <i>Case Number</i>	Sevak Karabachian <i>Applicant</i>
Eric Ji, Planning Associate <i>Case Planner</i>	Matthew Islam <i>Owner</i>

Project Summary

To demolish the unpermitted enclosed porch at the rear façade and add a new 198 square-foot (SF) one-story addition in the same locations at the existing one-story, 1,334 SF, Spanish Colonial Revival-style house. The house was built in 1924 and is located on a 6,350 SF lot zoned R1 (Floor Area District II). The property is a contributor to the Rossmoyne Historic District.

Environmental Review

The project is exempt from CEQA review as a Class 31 "Historic Restoration or Rehabilitation" pursuant to Section 15331 of the State CEQA Guidelines because the addition meets the Secretary of the Interiors Standards for the Treatment of Historic Properties.

Existing Property/Background

Originally developed in 1924, the project site is a 6,350 SF corner lot with frontage on East Dryden Street and Cordova Avenue. The site is currently developed with a 1,334 SF, one-story single-family residence with a detached two-car garage and attached permitted carport. An accessory dwelling unit, adjoining the garage, will be reviewed under a separate application.

The subject property is a contributor to the Rossmoyne Historic District (Attachment #5). The home retains many of its original character defining features and possesses high historic integrity.

Staff Recommendation

Approve

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	6,956 SF	5,467 SF – 8,369 SF	6,350 SF
Setback	20'-0"	20'-0"	20'-0"
House size	1,927 SF	1,088 SF – 2,495 SF	1,532 SF
Floor Area Ratio	0.27	0.19 – 0.29	24%
Number of stories	1-story	1-story – 2-story	1-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography

Garage Location and Driveway

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Predominant pattern on block
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☐ yes ☒ n/a ☐ no

If "no" select from below and explain:

- ☐ Complementary to building design
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Walls and Fences

☐ yes ☒ n/a ☐ no

If "no" select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the site planning is appropriate and remains relatively unchanged, with the addition occupying the area of the current unpermitted enclosed patio. The proposed addition is approximately ten feet and seven inches from the street side property line facing Cordova Avenue.
- The addition is located behind the existing five-foot-tall concrete masonry unit (CMU) wall on the existing concrete pad.
- The placement of the addition is located away from the primary façade and is set in from the rear corner of the house in a manner consistent with the Historic District Design Guidelines.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Relates to predominant pattern
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized

☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed addition is located on the rear side of the existing home facing Cordova Avenue and located away from the main façade facing Dryden Street.
- By maintaining the asymmetrical massing characteristic of the Spanish Colonial Revival style, the addition remains compatible in size and scale with the original structure.
- The proposed addition is lower in height and steps in from the existing house to ensure it remains subordinate to the primary volume of the house, preserving the overall architectural integrity.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately

Paving Materials

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition’s design and detailing are appropriate and consistent with the existing Spanish Colonial Revival style of the residence through the use of the same materials and colors.
- The unpermitted addition that is currently in place is inappropriate to the style and design of the house and the addition will improve the overall appearance of the property.
- The addition will feature a smooth finish stucco in white color and red mission clay ‘S’ tile roofs that matches the finish details of the Spanish Colonial Revival home.
- The new windows at the addition will be white, aluminum clad wood casement and fixed windows recessed in their openings, with external muntin grids and wood sills
- Removing the non-original jalousie and aluminum sliding windows at the existing house and replacing them with new aluminum-clad wood sash will bring these openings closer to their early appearance.
- The roof of the proposed addition will match the existing gable roof design with matching 5 ½” / 12” slope.

Glendale Historic District Design Guidelines and Rehabilitation Standards Analysis

Glendale Historic District Design Guidelines Analysis

Staff finds that the project meets the Historic District Design Guidelines for the following reasons:

Massing & Additions

- The one-story addition is set to the rear of the main volume of the house and is subordinate in size and height. To accomplish this, the eave and ridge lines of the addition will be lower than those of the main house, and the pitch of the new gabled roof form will match the main roof.
- Because of the corner lot, the addition will be clearly visible from the street in the context of the streetside elevation. It will be stepped in from the rear corner of the house, allowing the volume and roof form of the original building to remain legible and helping mark the addition as a later feature of the property.
- The addition will maintain the asymmetrical massing associated with the house’s style and will match the existing stucco and clay tile cladding materials.

Windows & Doors

- The window patterns of the existing house will be maintained and the kitchen window of the addition that faces the street has an appropriate three-part configuration.

- The new aluminum-clad wood windows proposed for the addition and for replacing inappropriate existing windows will closely match the existing wood casement windows.
- A condition of approval is added to change the design and/or size of the window proposed at the previously altered opening at Bedroom #3, which is visible from the street, to better reflect windows traditionally found at bedroom window openings.

Secretary of the Interior's Standards for Rehabilitation Analysis

Staff believes the proposed work can comply with the Rehabilitation Standards if the recommended conditions are imposed, as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

- The property was developed as a single-family residence and will remain a single-family residence.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- The existing home contains an unpermitted patio enclosure at the western rear side of the home facing Cordova Avenue. The project proposes to replace this inappropriate structure with a new 198 SF addition. The unpermitted patio does not have historic materials or features that characterize the property, and the proposed addition will be consistent with the Spanish Colonial Revival style.
- The project proposes to replace two louvered windows and two sliding windows with aluminum wood clad casement windows that will match the existing windows on the property.
- The project does not propose to remove any original features or historic materials on the historic residence.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

- The addition will be a straightforward design and will read as an addition because of its offset from the side façade and deferral to the main volume of the front portion of the house. It does not add conjectural features or elements from other buildings that may create a false sense of historical development.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

- Standard 4 is not applicable to this project because the unpermitted covered patio has not acquired historic significance in its own right and does not contribute to the overall historic character of the property.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

- Staff believes that the property's character-defining features will be retained at a level that allows for ongoing contributing status of the historic district.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match

the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

- Two existing louvered metal windows and two sliding metal windows are not historic features and will be replaced with new aluminum clad wood casement windows that are consistent and compatible with the original wood casement windows.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

- Not applicable.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

- Not applicable.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- The construction of the one-story addition will not result in the loss or destruction of any character-defining features or materials that characterize the property. While the proposed addition will be visible from the street side along Cordova Avenue, it will be subordinate in massing and size, and it will not impact the front elevation of the property along East Dryden Street.
The offset of the addition from the west will allow the original corners of the house to remain exposed and will help differentiate the addition from the original portion of the house.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

- If the addition were removed in the future, the single-family residence could be returned to its original size and footprint through the reconstruction of the rear wall without impacting the form and integrity of the original property.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions.**

Conditions

1. Revise the design of the street-facing window at Bedroom #3 to better reflect the vertical orientation found at the original window openings. This could be accomplished by using two pairs of casement windows with horizontal muntins/grilles to match the other windows on the house.

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. DPR Survey Form



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PROJECT INFORMATION

1. OWNER NAME:

2. PROJECT ADDRESS:

3. LEGAL DESCRIPTION:

4. NO. DWELLING UNITS:

5. TYPE OF CONSTRUCTION:

6. OCCUPANCY:

7. PARCEL NUMBER:

8. PRIMARY ZONING:

9. OVERLAY DISTRICT:

10. NO. OF STORIES:

11. SITE DIMENSIONS:

12. SITE AREA:

13. EXISTING BLD SIZE:

14. EXISTING PROGRAM:

15. ACCESSORY STR. PROPOSED:

16. TOTAL NEW BLD AREA:

17. TOTAL LOT COVERAGE:

18. FIRE SPRINKLERS:

19. DESCRIPTION OF USES:

20. HEIGHT:

21. CLIMATE ZONE:

22. YEAR (E) GARAGE BUILT:

23. WUI AREA:

24. GUSD AREA:

25. JURISDICTION:
- MATTHEW ISLAM

926 E DRYDEN ST GLENDALE, CA 91207

ROSSMOYNE LOT 22 BLK 10

1 UNITS PLUS 1 ADU (SEPERATE PERMIT)

TYPE V-B

RESIDENTIAL

5646-006-022

R1 II HD

ROSSMOYNE HISTORIC DISTRICT

110.46 SF X 50 SF

6,350 SF

(SFR) 1334 SF, (GARAGE) 203 SF, (PATIO) 198 SF, (CARPORT) 404 SF

SINGLE FAMILY RESIDENCE

(N) 740 SF ADU

1,532 SF + 740 SF ADU (SEPERATE PERMIT)

1,738 SF

(E) NO, (N) NO

(E) SFD, (N) FR

SFR 14'-10 1/2" , ADU 12'-11" (SEPERATE PERMIT)

9

NO

XXX

GLENDALE

SCOPE OF WORK

PERMITTING OF EXISTING ENCLOSED 198 SF PATIO ADDITION.
SFR INTERIOR REMODEL OF KITCHEN AND BEDROOM, 1 FULL
BATHROOM, AND 1/2 BATHROOM.

APPLICABLE CODES

2023 GLENDALE BUILDING & SAFETY CODE (GBC)
GLENDALE BUILDING & SAFETY REACH CODE (GRC)
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA ENERGY CODE (CENC)
2022 CALIFORNIA GREEN BUILDING CODE (CGBS)

FRONT SETBACK REQUIREMENT

25' (30.11-B)

SIDE SETBACK REQUIREMENT

6' (30.11-B)

REAR SETBACK REQUIREMENT

6' (30.11-B)

HEIGHT REQUIREMENT

25' TO TOP PLATE & 32' TO THE HIGHEST RIDGE LINE
(17.22.070)

ENCROACHMENT PLANE

SIDE SETBACK ENCROACHMENT PLANE SLOPING UPWARD AND INWARD
TO THE SITE AT A 30-DEGREE ANGLE MEASURED FROM THE VERTICAL,
COMMENCING 6' ABOVE THE EXISTING GRADE ALONG THE INTERIOR
SIDE PROPERTY LINE. AB (17.40.160D)

LOT COVERAGE ALLOWED

2,540 SF (40% OF LOT AREA, INCLUDES ALL ROOFED
STRUCTURE) (30.11-B)

MAX FLOOR AREA RATIO:

2,540 SF = 0.40 X 6,350 SF
DISTRICT II: 0.40 FOR THE 1ST 10,000 SQ. FT. OF LOT AREA
AND 0.10 FOR THE PORTION OF LOT AREA THEREAFTER
(30.11.030)

PARKING REQUIREMENT

2 CAR FOR MAIN HOUSE (30.52)

LANDSCAPE REQUIREMENT

40% MIN. OF LOT AREA (30.31)

PROJECT NOTES:

1. ALL NEWLY CONSTRUCTED ADU'S SHALL BE AN "ALL
ELECTRIC APPLIANCE" IN COMPLIANCE THE CITY OF
GLENDALE REACH CODE ORDINANCE NO. 5999

MAXIMUM F.A.R: 2,540 SF
EXISTING F.A.R: 1,334 SF
PROPOSE F.A.R: 1,532 SF

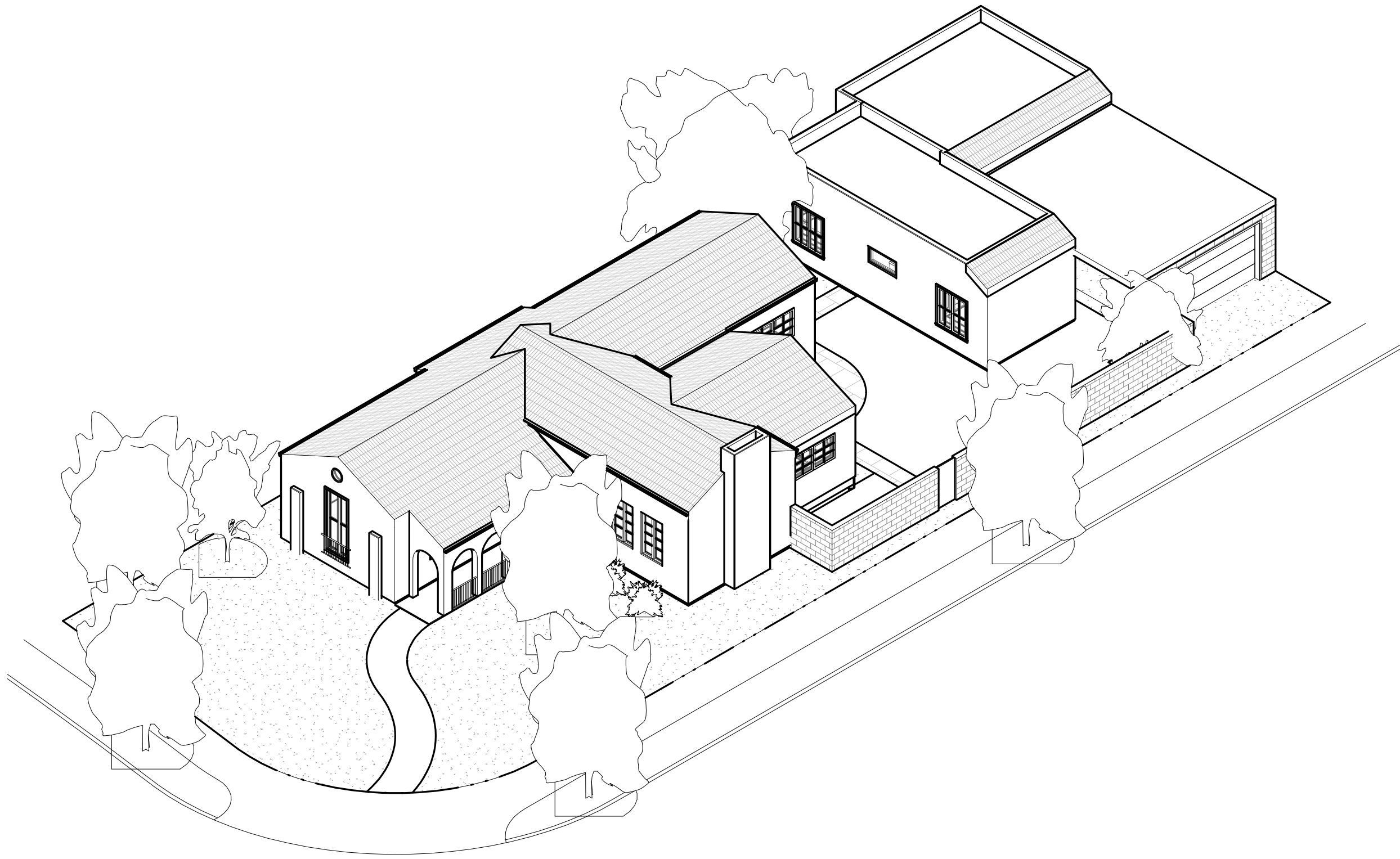
MAXIMUM LOT COVERAGE: 2,540 SF
EXISTING LOT COVERAGE: 2,306 SF
PROPOSED LOT COVERAGE: 1,936 SF
(E) GARAGE CONVERTED TO ADU) (-370 SF)

MINIMUM REQUIRED LANDSCAPING: 2,540 SF
EXISTING LANDSCAPE: 2,673 SF
PROPOSED LANDSCAPE: -133 SF
GRAND TOTAL LANDSCAPE: 2,556 SF

VICINITY MAP



● BUS STOP



ISLAM RESIDENCE

926 E DRYDEN ST.
GLENDALE, CA 91207

ADDITION & REMODEL

CONSTRUCTION DOCUMENT SET

PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

PROJECT INFORMATION

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

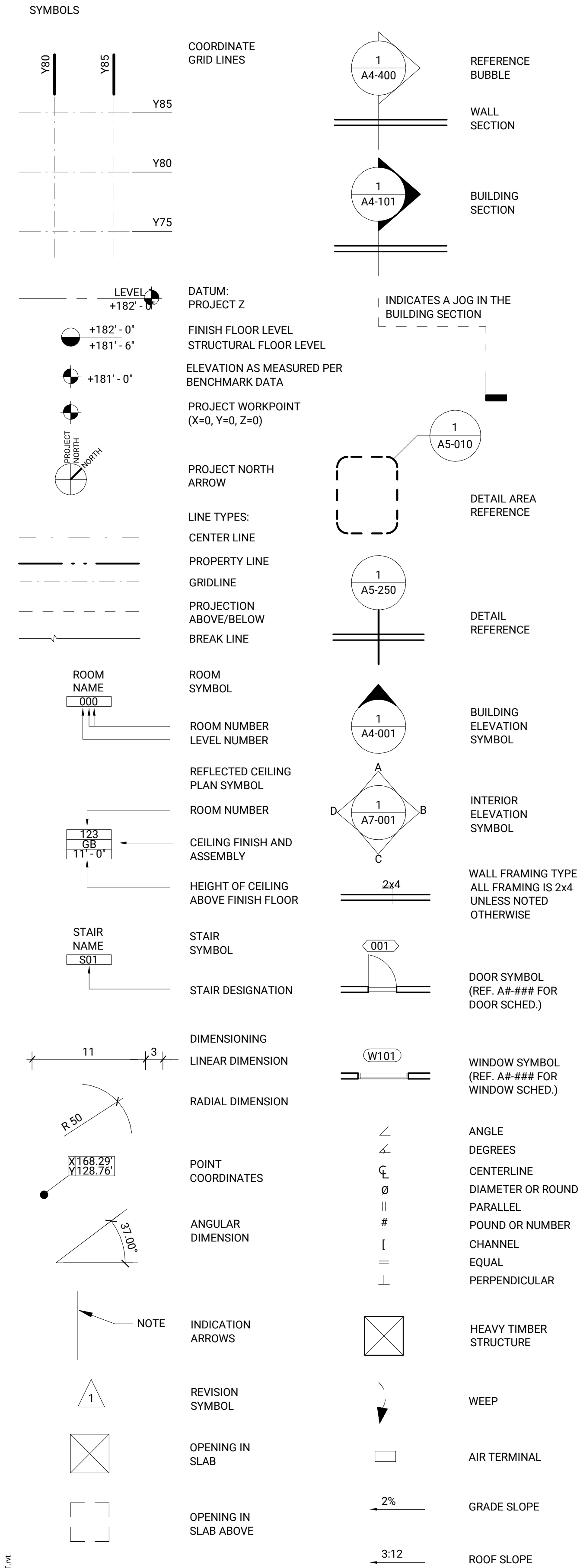
10/23/2024

SHEET NUMBER:

A0-100

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NOTE ABBREVIATIONS			
D	THREE DIMENSIONAL	L	LENGTH
DD	AREA DRAIN	LAM	LAMINATE
FF	ABOVE FINISH FLOOR	LAV	LAVATORY
LT	ALTERNATE	LD	LEADER DRAIN
LUM	ALUMINUM	LF	LINEAR FOOT
NG	AVERAGE NATURAL GRADE	LL	LIVE LOAD
AP	ACCESS PANEL	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
IV	AUDIO VIDEUAL	MIN	MINIMUM
		MIR	MIRROR
LDG	BUILDING		
BO	BOTTOM OF	N	NORTH
		NO	NUMBER
CB	CATCH BASIN	NTS	NOT TO SCALE
CBC	CALIFORNIA BUILDING CODE		
CJ	CONTROL JOINT	OC	ON CENTER
CL	CENTER LINE	OD	OUTSIDE DIAMETER (DIM)
LG	CEILING	OFD	OVERFLOW DRAIN
CLR	CLEAR	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNITS		
COL	CLEAN OUT	PCF	POUNDS PER CUBIC FOOT
DOL	COLUMN	PERF	PERFORATE(D)
CONC	CONCRETE	PL	PLATE
CONT	CONTINUOUS	PLUM	PLUMBING
CPT	CARPET	PSF	POUNDS PER SQUARE FOOT
CT	CERAMIC TILE	PSI	POUNDS PER SQUARE INCH
CU	CONDENSER UNIT	PTD	PARTITION
W	COLD WATER	PTN	PAINTED
		PVC	POLYVINYL CHOLORIDE
DTL	DETAIL	PWD	PLYWOOD
DIA	DIAMETER	R	RADIUS
DIAG	DIAGONAL	RCP	REFLECTED CEILING PLAN
DF	DOUGLAS FIR	RD	ROOF DRAIN
DN	DOWN	REF	REFERENCE
DR	DOOR	REV	REVISION
DS	DOWNSPOUT	RM	ROOM
WVG	DRAWING	RO	ROUGH OPENING
		S	SOUTH
		SD	STORM DRAIN
E	EAST	SEC	SECURITY
EA	EACH	SCHED	SCHEDULE
EC	EXPOSED CONSTRUCTION	SECT	SECTION
EJ	EXPANSION JOINT	SF	SQUARE FEET
EL	ELEVATION	SHTG	SHEATHING
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATOR	SPEC	SPECIFICATION
EQ	EQUAL	SQ	SQUARE
EQPT	EQUIPMENT	ST.STL.	STAINLESS STEEL
EXT	EXTERIOR	STC	SOUND TRANSMISSION CLASS
		STD	STANDARD
		STL	STEEL
FA	FIRE ALARM	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURAL
FDN	FOUNDATION		
F	FINISH FLOOR	T&B	TOP AND BOTTOM
FIXT	FIXTURE	T&G	TONGUE AND GROOVE
FLR	FLOOR	TC	TOP OF CURB
F	FOOT OR FEET	TEMP	TEMPERATURE
		THK	THICKNESS
		THR	THRESHOLD
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZED	TOC	TOP OF CURB
SAW	GALVANIZED AFTER WELD	TP	TOP OF PAVING
GC	GENERAL CONTRACTOR	TV	TELEVISION
GL	GLASS	TW	TOP OF WALL
GND	GROUND	TYP	TYPICAL
GP	GYPSUM PLASTER		
SWB	GYPSUM WALL BOARD	UNO	UNLESS NOTED OTHERWISE
		UL	UNDERWRITERS'S LABORATORY
H	HEIGHT		
HDR	HEADER	VENT	VENTILATION
HW	HARDWOOD	VGDF	VERTICAL GRAIN DOUGLAS FIR
HDWD	HOT WATER		
D	INSIDE DIAMETER	W	WEST
V	INVERT ELEVATION	W/	WITH
N	INCH	WC	WATER CLOSET
NCL	INCLUDING	WD	WOOD
NT	INTERIOR	WDB	WOOD BASE
V	IRRIGATION VALVE	WDF	WOOD FLOOR
OTE	JOINT	WDP	WOOD PANELING
		WIN	WINDOW
		W/O	WITHOUT
		WP	WATERPROOFING
		YD	YARD DRAIN

GENERAL NOTES - CONTINUED

31. TOILETS SHALL HAVE 24" FRONT CLEARANCE AND A 30" MINIMUM WIDTH CLEARANCE.
32. HOSE BIBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW PREVENTION VALVE.
33. DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE APPLICABLE MECHANICAL CODE.
34. ELEMENTS OF APPLIANCES WHICH CREATE A GLOW, SPARK, OR FLAME SHALL BE LOCATED A MINIMUM OF 18" ABOVE GARAGE FLOOR. (MC 308.1).
35. PROVIDE PASSAGEWAY 24" WIDE OF SOLID CONTINUOUS FLOORING FROM ATTIC ACCESS TO FAU. CONTROLS. LENGTH OF PASSAGEWAY SHALL NOT EXCEED 20 FEET. (MC 904.11).
36. PROVIDE A MINIMUM 36 INCH LANDING MEASURED IN THE DIRECTION OF TRAVEL AT ALL EXTERIOR DOORS.
37. CONTRACTOR TO PROVIDE KIT-KAT BARS AT ALL SITE VISITS PERFORMED BY ARCHITECT.
38. REQUIRED EGRESS DOORS SHALL NOT SWING OVER A LANDING THAT IS MORE THAN 1.5 INCH EIGHT BELOW THE THRESHOLD.
39. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (11 LUX).
40. IN ANY INTERIOR AREA USED FOR CHARGING ELECTRIC VEHICLES, ELECTRIC EQUIPMENT SHALL BE INSTALLED PER LOS ANGELES COUNTY ELECTRICAL CODE.
41. UNDER-FLOOR VENTING ADDITIONAL NOTES - ONE VENTILATION OPENING SHALL BE PLACED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE CRAWL SPACE AREA. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH ¼ INCH MINIMUM AND ¾ INCH MAXIMUM OPENING. UN-VENTED UNDER-FLOOR SPACE SHALL COMPLY WITH SECTION 408.3.
42. SPECIAL INSPECTOR MUST BE EMPLOYED BY THE OWNER OR DESIGN PROFESSIONAL IN CHARGE AGAINST AS THE OWNER'S AGENT. SPECIAL INSPECTOR MAY NOT BE EMPLOYED BY THE CONTRACTOR (CBC 1704.2).
43. ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY FIXTURES (CENC 150.0(K)1.A)
44. FIXTURE WATER USE VALUES SUMMARY:

SHOWERHEADS, RESIDENTIAL	2.0 GPM @80 PSI
LAVATORY FAUCETS, RESIDENTIAL	0.8 GPM @ 20 PSI AND MAX 1.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
WATER CLOSET	1.28 GALLONS / FLUSH

FIRE PROTECTION NOTES

1. IF REQUIRED BY CITY ORDINANCES OR FIRE DEPARTMENT, FIRE SPRINKLERS SHALL BE INSTALLED AND ONE-HOUR FIRE SEPARATIONS SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE SPRINKLER PLAN TO FIRE MARSHALL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
2. SMOKE ALARM SHALL BE INTERCONNECTED HARDWIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. BATTERY SMOKE ALARM PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH 10 YEAR BATTERY AND HAVE A SILENCE FEATURE.

GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT SITE AS DESCRIBED IN THE CONTRACT DOCUMENTS PRIOR TO STARTING CONSTRUCTION, AND SHALL CROSS-CHECK DETAILS AND DIMENSIONS ON THE CIVIL, ARCHITECTURAL, AND STRUCTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO CONSTRUCTION. ALL TRADES SHALL VERIFY AT THE PROJECT SITE, CONDITIONS AND MEASUREMENTS RELATED TO THEIR WORK AND COORDINATE THEIR WORK THROUGH THE GENERAL CONTRACTOR WITH ALL TRADES WORKING IN THE VICINITY OF THEIR WORK.
2. ITEMS MARKED N.I.C. ON THE DRAWINGS ARE NOT PART OF THIS CONTRACT.
3. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES, UNLESS SPECIFICALLY DETAILED OTHERWISE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS SHOWN FOR OTHER SIMILAR WORK.
4. DO NOT SCALE DRAWINGS.
5. NO OMISSIONS OR CHANGES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
6. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER.
7. ALL DIMENSIONS ARE FACE OF STUD WALL, CENTERLINE OF COLUMN, OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
8. NO MATERIALS FROM THE WORK ARE TO BE STOCK-PILED ON PUBLIC RIGHT-OF-WAYS ALL RUBBISH AND DEBRIS IS TO BE REMOVED FROM THE SITE.
9. ALL WORKMANSHIP SHALL BE PERFORMED BY SKILLED LABORERS USING THE BEST STANDARD PRACTICE OF THE TRADE.
10. DAMAGE DONE TO CITY AND/OR ADJOINING PROPERTY, OR EXISTING STRUCTURES NOT INCLUDED IN THIS CONTRACT, SHALL BE RESTORED TO EXISTING CONDITIONS AT THE EXPENSE OF THE CONTRACTOR.
11. MECHANICAL SYSTEM SHALL BE DESIGN-BUILD BY THE CONTRACTOR AND SHALL CONFORM TO ALL TITLE 24 AND MECHANICAL CODE REQUIREMENTS. 1/150 SF OF ATTIC AREA IS TO BE VENTED CONTRACTOR TO PROVIDE VENTILATION AS PER ELEVATIONS.
12. PROVIDE GALVANIC INSULATION BETWEEN DISSIMILAR METALS.
13. CLASS "A" ROOFING IS REQUIRED FOR FIRE PROTECTION.
14. ALL GYPSUM BOARD SHALL BE ½" TYPE "X". WATER RESISTANT (W/R) SHALL BE ½" TYPE "X" WATER RESISTANT UNLESS OTHERWISE NOTED. USE MOLD-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
15. CONTRACTOR SHALL VERIFY ALL UTILITIES AND NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
16. WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 4" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN A 30 DEGREE POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE.
17. WHERE THE CHOICE OF FINISH COLOR IS POSSIBLE, IT IS TO BE SELECTED BY THE OWNER.
18. ABOVE GROUND GAS METERS, REGULATORS, AND PIPING EXPOSED TO VEHICULAR DAMAGE DUE TO THEIR PROXIMITY TO ALLEYS, DRIVEWAYS, OR PARKING AREAS, SHALL BE PROTECTED IN AN APPROVED MANNER. (MC 308.1).
19. ALL MANUFACTURED DOORS AND WINDOWS SHALL BE LABELED AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AND UL LABELED FOR RATED DOORS AND/OR WINDOWS.
20. ALL SLOPES ADJACENT TO BUILDINGS SHALL SLOPE AWAY AT A 2% GRADE MINIMUM FOR ALL GRADES, ELEVATIONS, AND DRAINAGE.
21. PROPERTY ADDRESS SHALL BE NUMBERS IN CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF ½".
22. GLASS PANES WITHIN 18" ABOVE FINISH FLOOR OR LESS SHALL BE TEMPERED.
23. RADIANT BARRIER REQUIRED AT ALL NEW ROOF CONSTRUCTION.
24. WALL COVERINGS IN SHOWERS AND TUBS SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 70" ABOVE THE DRAIN. ENCLOSURES MUST BE APPROVED SAFETY GLAZING AND DOORS MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.
25. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR A THERMOSTATIC MIXING VALVE. (PC 418).
26. ADDITIONAL VENTING NOTES - A MINIMUM OF 1 INCH AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING. UN-VENTED ATTIC ASSEMBLIES SHALL MEET ALL THE CONDITIONS IN SECTION R806.4.
27. PROVIDE A MINIMUM OF 30" VERTICAL CLEARANCE ABOVE COOK-TOP TO UNPROTECTED COMBUSTIBLE MATERIALS.
28. CLOTHES DRYER SHALL BE VENTED TO EXTERIOR WITH 4" SMOOTH METAL DUCT AND BACK-DRAFT DAMPER. DUCT SHALL NOT EXCEED 14'-0" LENGTH WITH A MAXIMUM OF 2 ELBOWS. DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF THE TWO (MC 504.3.2).
29. ALL BEDROOMS SHALL HAVE A WINDOW THAT IS DESIGNATED AN ESCAPE WINDOW. THE ESCAPE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.75 SF. WITH A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND HEIGHT OF 24". THE WINDOW SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR. (1026.1, 1026.2, 1026.2.1, 1026.3) CONTRACTOR TO VERIFY PROPER DIMENSIONS PRIOR TO ORDERING WINDOWS.
30. AN ATTIC ACCESS OPENING SHALL BE PROVIDED INTO ALL ATTIC SPACES WITH A MINIMUM OPENING DIMENSION OF 22"x30". 30" MINIMUM CLEAR HEADROOM IS REQUIRED ABOVE THE OPENING. (R807.1) PROVIDE SWITCH AND LIGHT.

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ARCHITECTS, INC.**

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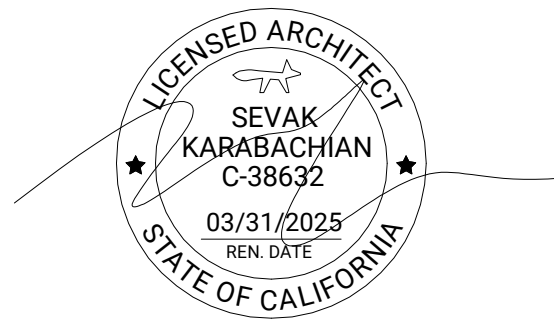
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NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE

GENERAL NOTES

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008
SCALE:

DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

AO

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A0-200





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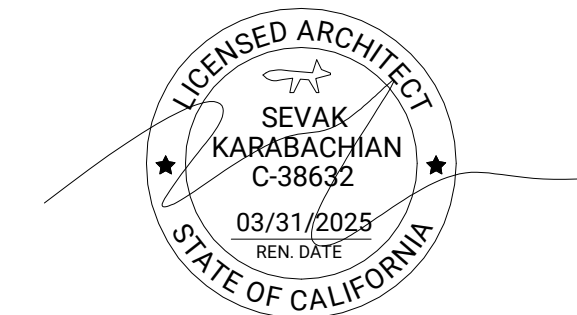
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NO. ISSUE DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

ENERGY CALCULATIONS ADDITION

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008
SCALE:

DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

A0-201



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01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Rt/Et)	Standby Loss or Recovery Eff	3rd Hr. Rating or Flow Rate	Tank Location	Status	Verified Existing Condition
DHW Heater 1	Gas	Consumer Instantaneous	1	0	UEF	0.95	Br/Hr	200000	0	n/a	n/a	New	n/a	

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Required Distribution Type	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System
HVAC System1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	HVAC Fan 1	air Distribution System 1	n/a	Existing	No	

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01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Default roof Prior to 1978	Ceilings (below attic)	Wood Framed Ceiling	2x8 @ 16 in. O.C.	R-11	None / None	0.054	Cavity / Frame: R-11.0 / 2x8 Inside Finish: Gypsum Board
R-19 Floor No Crawlspace	Exterior Floors	Wood Framed Floor	2x8 @ 16 in. O.C.	R-19	None / None	0.048	Floor Surface: Carpeted Floor Deck: Wood Siding/heating/decking Cavity / Frame: R-19 / 2x8

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Not Required	n/a	n/a	n/a	n/a

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	New	NA	

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01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Default Wall 1978 to 1993	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R-11	None / None	0.11	Inside Finish: Gypsum Board Cavity / Frame: R-11 / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-11 Roof No Attic 2x8	Cathedral Ceilings	Wood Framed Ceiling	2x8 @ 16 in. O.C.	R-11	None / None	0.08	Roofing: Light Roof (Asphalt Shingles) Roof Deck: Wood Siding/heating/decking Cavity / Frame: R-11 / 2x8 Inside Finish: Gypsum Board
R-19 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x8 @ 16 in. O.C.	R-19	None / None	0.054	Roofing: Light Roof (Asphalt Shingles) Roof Deck: Wood Siding/heating/decking Cavity / Frame: R-19 / 2x8 Inside Finish: Gypsum Board
R-0 Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic RoofZone 1	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingles) Roof Deck: Wood Siding/heating/decking Cavity / Frame: no insul. / 2x4
R-11 Floor Crawlspace 2x8	Floors Over Crawlspace	Wood Framed Floor	2x8 @ 16 in. O.C.	R-11	None / None	0.067	Floor Surface: Carpeted Floor Deck: Wood Siding/heating/decking Cavity / Frame: R-11 / 2x8

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01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Adimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window 8	Window	Rear Wall 2	Back	180			1	40	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Window 9	Window	Right Wall 2	Right	270			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA

OVERHANGS AND FINS																
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17
Window	Overhang					Left Fin				Right Fin						
	Depth	Dist Up	Left Extent	Right Extent	Flag Ht.	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up	Status	Verified Existing Condition	Existing Construction
	Window 5	5	0.1	4.5	6	0	0	0	0	0	0	0	0	0	New	NA

SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	Zone 2	198	0.1	none	0	80%	No	New	n/a

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01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Adimuth	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition	Existing Construction
Vaulted Roof	Zone 1	R-11 Roof No Attic 2x8	0	Front	350	0	4	0.1	0.85	No	Existing	No	
Roof	Zone 2	R-19 Roof No Attic	0	Front	198	0	4	0.1	0.85	No	New	n/a	

01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Zone 1	Attic RoofZone 1	Ventilated	4	0.3	0.85	No	No	Existing	No

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Adimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window	Window	Front Wall	Front	0			1	70	0.35	NFRC	0.25	NFRC	Bug Screen	Existing	No
Window 2	Window	Left Wall	Left	90			1	66	0.35	NFRC	0.25	NFRC	Bug Screen	Existing	No
Window 3	Window	Left Wall	Left	90			1	20	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Window 4	Window	Rear Wall	Back	180			1	15	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Window 5	Window	Right Wall	Right	270	3	5	1	15	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Window 6	Window	Right Wall	Right	270			1	2	0.35	NFRC	0.25	NFRC	Bug Screen	Existing	No
Window 7	Window	Right Wall	Right	270			1	20	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA

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01		02	03		04		05	06		07	08	09	10	11
Zone Name	Zone Type	HVAC System Name		Zone Floor Area (ft²)		Avg. Ceiling Height		Water Heating System 1		Status		07		
Zone 2	Conditioned	HVAC System1		198		9		DHW Sys 1		New				

OUTSIDE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Adimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	TIR (deg)	Wall Exceptions	Status	Verified Existing Condition
Front Wall	Zone 1	Default Wall 1978 to 1993	0	Front	180	70	90	none	Existing	No
Left Wall	Zone 1	Default Wall 1978 to 1993	90	Left	590	85	90	none	Existing	No
Rear Wall	Zone 1	Default Wall 1978 to 1993	180	Back	190	15	90	none	Existing	No
Right Wall	Zone 1	Default Wall 1978 to 1993	270	Right	470	37	90	none	Existing	No
Rear Wall 2	Zone 2	R-15 Wall	180	Back	180	40	90	none	New	n/a
Right Wall 2	Zone 2	R-15 Wall	270	Right	110	18	90	none	New	n/a
Interior Surface 1	Zone 2>Zone 1	R-0 Wall	n/a	n/a	180	0	n/a	n/a	New	n/a
Interior Surface 2	Zone 2>Zone 1	R-0 Wall	n/a	n/a	110	0	n/a	n/a	New	n/a
Attic Roof	Zone 1	Default Roof Prior to 1978	n/a	n/a	984	n/a	n/a	n/a	Existing	No
Raised Floor	Zone 2	R-19 Floor No Crawlspace	n/a	n/a	198	n/a	n/a	n/a	New	n/a
Raised Floor 2	Zone 1	R-11 Floor Crawlspace 2x8	n/a	n/a	1334	n/a	n/a	n/a	Existing	No

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ENERGY USE INTENSITY				
	Standard Design (kBtu/ft ² · yr)	Proposed Design (kBtu/ft ² · yr)	Compliance Margin (kBtu/ft ² · yr)	Margin Percentage
Gross EU1	22.25	21.62	0.63	2.83
Net EU1	22.25	21.62	0.63	2.83

Notes

1. Gross EU1 is Energy Use Total (not including PV) / Total Building Area.

2. Net EU1 is Energy Use Total (including PV) / Total Building Area.

REQUIRED SPECIAL FEATURES

The following are features that must be installed as conditions for meeting the modeled energy performance for this computer analysis.

* Window overhangs and/or fins

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a verified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered C22Ns and C33Rs are required to be completed in the HERS Registry

Kitchen range hood

Refrigerant Charge verification required if a refrigerant containing component is altered

Duct leakage testing

BUILDING FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
926 E Dryden St - Addition	1532	1	3	2	0	1

ZONE INFORMATION

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area	Avg. Ceiling Height	Water Heating System 1	Status
Zone 1	Conditioned	HVAC System1	1334	9	DHW Sys 1	Existing/Unchanged

Registration Number: 424-P010242184A-000-000-0000000-0000
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CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Registration Date/Time: 10/09/2024 10:47
HERS Provider: CHEERS
Report Generated: 2024-10-03 20:45:28

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 926 E Dryden St - Addition
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2024-10-03T20:45:09-07:00
Input File Name: 926 E Dryden St - Addition.rbd22x

CF1R-PRF-01-E
(Page 2 of 12)

ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft² · yr)	Standard Design TDY Energy (EDR2) (kWh/ft² · yr)	Proposed Design Source Energy (EDR1) (kBtu/ft² · yr)	Proposed Design TDY Energy (EDR2) (kWh/ft² · yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	17.16	0	16.93	0	0.23
Space Cooling	0	54.95	0	57.65	0	-2.7
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	24.39	0	21.72	0	2.67
Self Utilization/Flexibility Credit				0		0
Efficiency Compliance Total	0	96.5	0	96.3	0	0.2
Photovoltaics		0		0		
Battery				0		
Flexibility						
Indoor Lighting	0	7.09	0	7.09		
Appl. & Cooking	0	23.64	0	23.65		
Plug Loads	0	36.34	0	36.34		
Outdoor Lighting	0	1.67	0	1.67		
TOTAL COMPLIANCE	0	165.24	0	165.05		



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CONSULTANTS

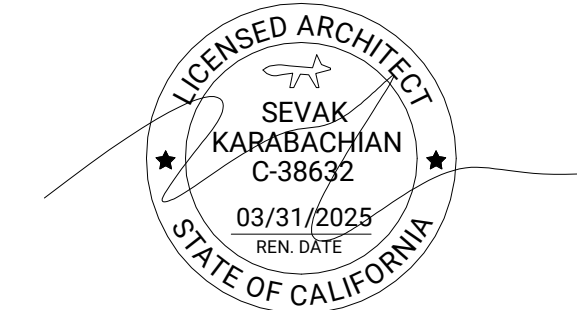
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NO.	ISSUE	DATE
-----	-------	------



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
**ENERGY
CALCULATIONS
ADDITION**
PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008

SCALE:

DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

A0-202



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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: 926 E Dryden St - Addition
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2024-10-03T20:45:09-07:00
Input File Name: 926 E Dryden St - Addition.rbd22x
CF1R-PRF-01-E
(Page 12 of 12)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Patric Novshadian	Documentation Author Signature: <i>Patric Novshadian</i>
Company: Pat's Mechanical Engineering Group	Signature Date: 10/09/2024
Address: 9154 Tujunga Canyon Blvd City/State/Zip: Los Angeles, CA 91042	CEA/HERS Certification Identification (if applicable): Phone: 818-281-0470
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 1 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Sevak Karabachian	Responsible Designer Signature: <i>Sevak Karabachian</i>
Company: Karabachian Architects, Inc.	Date Signed: 10/09/2024
Address: 3234 1/2 Foothill Blvd City/State/Zip: Glendale, CA 91214	CE-#: C-38632 Phone: 6265525746

Registration Number: 424-P0102421844-000-000-00000000-0000
HERS Provider: CHEERS
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CA Building Energy Efficiency Standards - 2022 Residential Compliance
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Schema Version: rev 20220901
Registration Date/Time: 10/09/2024 10:47
Report Generated: 2024-10-03 20:45:28

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Calculation Date/Time: 2024-10-03T20:45:09-07:00
Input File Name: 926 E Dryden St - Addition.rbd22x
CF1R-PRF-01-E
(Page 11 of 12)

HVAC DISTRIBUTION - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 1-hers-dist	Yes	10.0	Not Required	Not Required	Not Required	Credit not taken	Not Required	No
HVAC - FAN SYSTEMS								
01	02		03		04			
Name	Type		Fan Power (Watts/CFM)		Name			
HVAC Fan 1	HVAC Fan		0.58		HVAC Fan 1-hers-fan			
HVAC FAN SYSTEMS - HERS VERIFICATION								
01	02		03					
Name	Verified Fan Watt Draw		Required Fan Efficacy (Watts/CFM)					
HVAC Fan 1-hers-fan	Not Required		0					
HERS RATER VERIFICATION OF EXISTING CONDITIONS								

Registration Number: 424-P0102421844-000-000-00000000-0000
HERS Provider: CHEERS
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Input File Name: 926 E Dryden St - Addition.rbd22x
CF1R-PRF-01-E
(Page 10 of 12)

HVAC - HEAT PUMPS																
01	02	03	04	05	06	07	08	09	10	11	12	13				
Name	System Type	Number of Units	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification					
			Heating Efficiency Type	HSPF/HSP2/COP	Cap 47	Cooling Efficiency Type	SEER/SEER2	EER/EER2/CER								
Heat Pump System 1	Central split HP	1	HSPF	7.5	48000	37000	EER/SEER	14.3	10.5	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump				
HVAC HEAT PUMPS - HERS VERIFICATION																
01	02	03	04	05	06	07	08	09								
Name	Verified Airflow	Airflow Target	Verified EER/SEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSP2	Verified Heating Cap 47	Verified Heating Cap 17								
HVAC - DISTRIBUTION SYSTEMS																
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Design Type	Duct Ins. R-value	Duct Location	Supply n	Return n	Supply n	Return n	Surface Area	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts >= 25 ft
Air Distribution System 1	Unconditioned attic	Non-Verified	R-8	R-8 Attic	Supply n	Return n	Supply n	Return n	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist	Existing + New	No		Yes

Registration Number: 424-P0102421844-000-000-00000000-0000
HERS Provider: CHEERS
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Schema Version: rev 20220901
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Report Generated: 2024-10-03 20:45:28



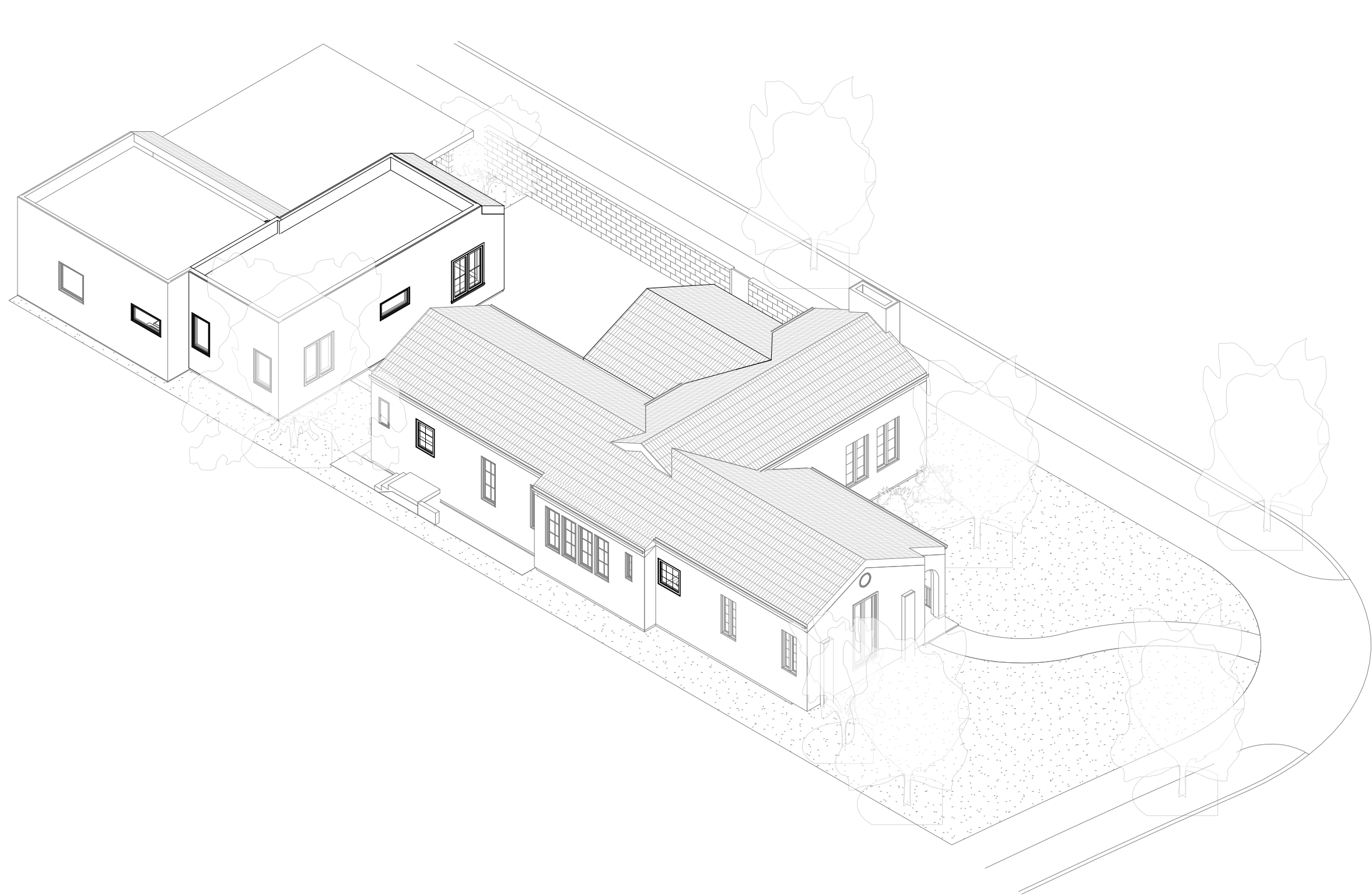
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CA LICENSE: C-38632

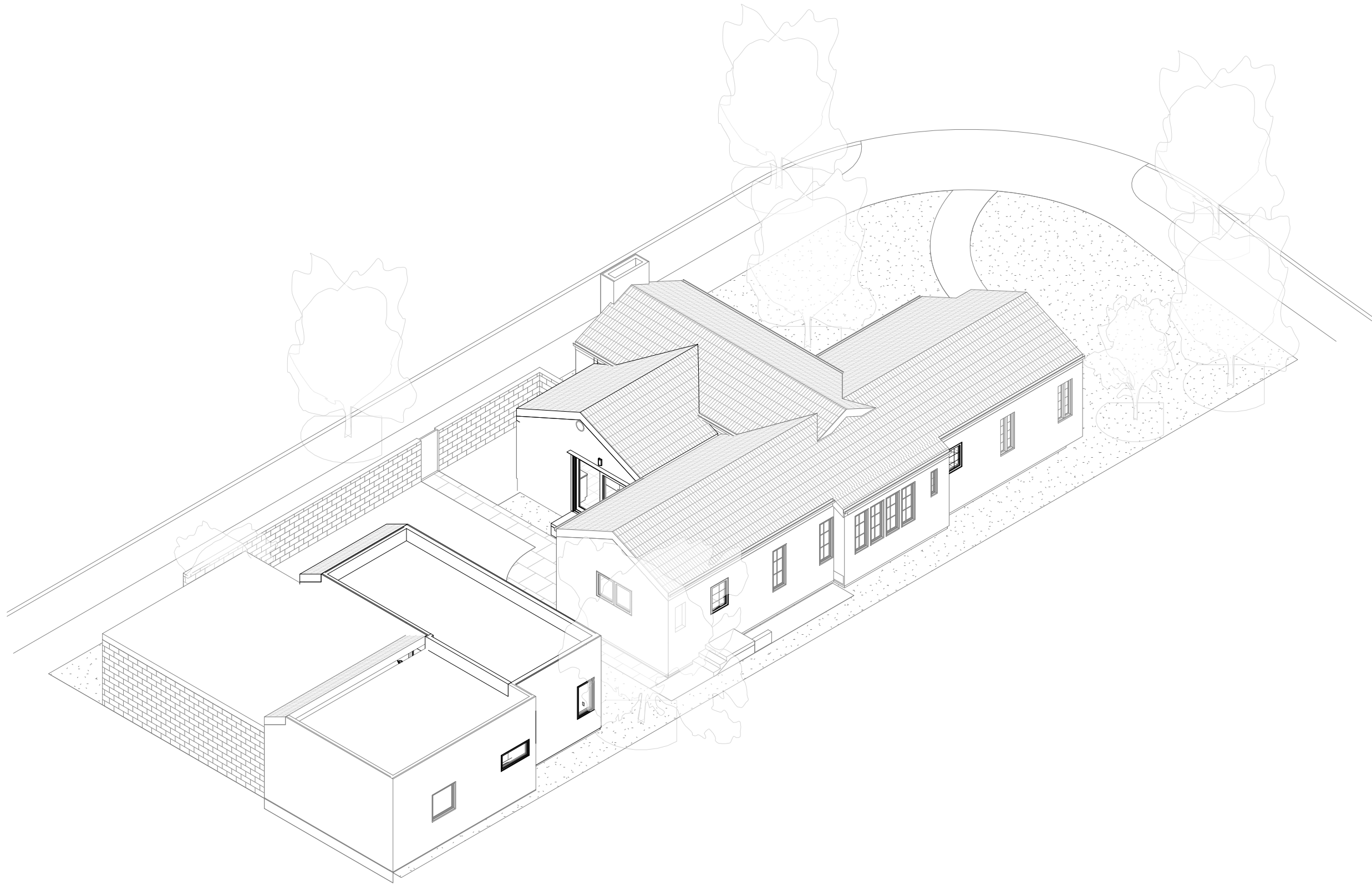
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E: MATTHEWISLAM17@GMAIL.COM

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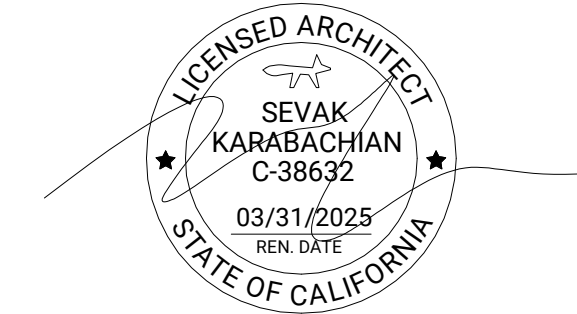


4 BIRD'S EYE AXON - SOUTHWEST



3 BIRD'S EYE AXON - NORTHWEST

NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
3D VIEWS

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"
PROJECT:
2024-008
SCALE:

DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

A0-205

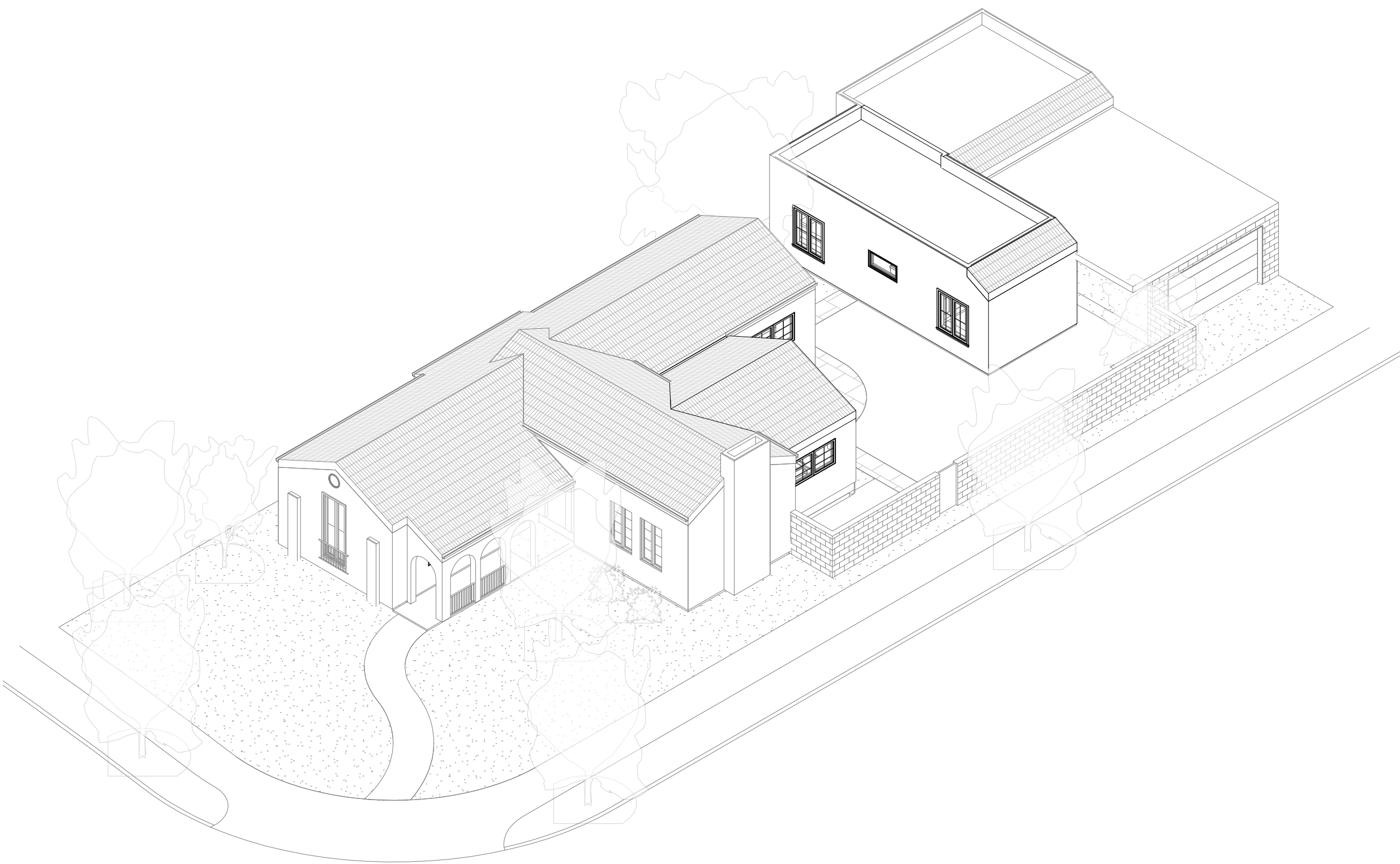


K:\2024\008 926 Dryden St. 3DLS Revit1 Models and Drawings\008 E DRYDEN ST. 1025.rvt

2 BIRD'S EYE AXON - NORTHEAST



1 BIRD'S EYE AXON - SOUTH EAST





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2016 California Building Code
& 2016 California Residential Code

Window Requirements — Acknowledgement Form

Section 1029.2 Minimum size. Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).

Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465m²).

Exception: See the Historical Building Code for the Historic portion of qualified historic buildings.

Section 1029.2.1 Minimum dimensions. The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.

Section 1029.3 Maximum height from the floor. Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.

The requirements listed above are duplicated in Section R310 of the 2013 California Residential Code.

Acknowledgement:

I attest that I have read the foregoing requirements that pertain to emergency escape and rescue openings. I understand that the net clear opening dimensions of a window may be significantly smaller than the nominal dimensions of a window, and that prior to securing a permit for the installation and/or replacement of a window I am responsible for ensuring compliance. I further acknowledge that emergency escape and rescue windows that do not meet these minimum standards should not be installed, because windows that do not meet all of the standards may be required to be removed at the owner's expense.

Additionally, I acknowledge that windows that differ in style and/or appearance from windows that have been approved by Planning Department staff may not be substituted, regardless of weather such windows may appear to be similar. I acknowledge that prior approval for substitution of any window (s) must be secured from the Planning Department prior to installation of any windows. I acknowledge that failure to secure Planning Department approval prior to any window substitutions may result in a requirement to remove such windows at the owner's expense, regardless of inspection and/or approval of same by a building inspector.

I attest that as the owner of the property or as the owner's agent, I have read the foregoing information. Furthermore I attest that as the owner of the property or the owner's agent, I understand the foregoing conditions and will ensure compliance with same.

☐ Property Owner

☒ Property Owner's Agent

Signature

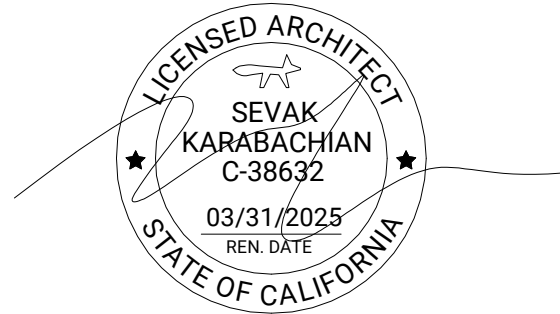
Property Address

Permit Number

Window Acknowledgment

Rev 11/22

NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

WINDOW
REPLACEMENT
FORM

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008
SCALE:

DRAWN BY:

DATE:
10/16/2024

SHEET NUMBER:





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LEGEND:

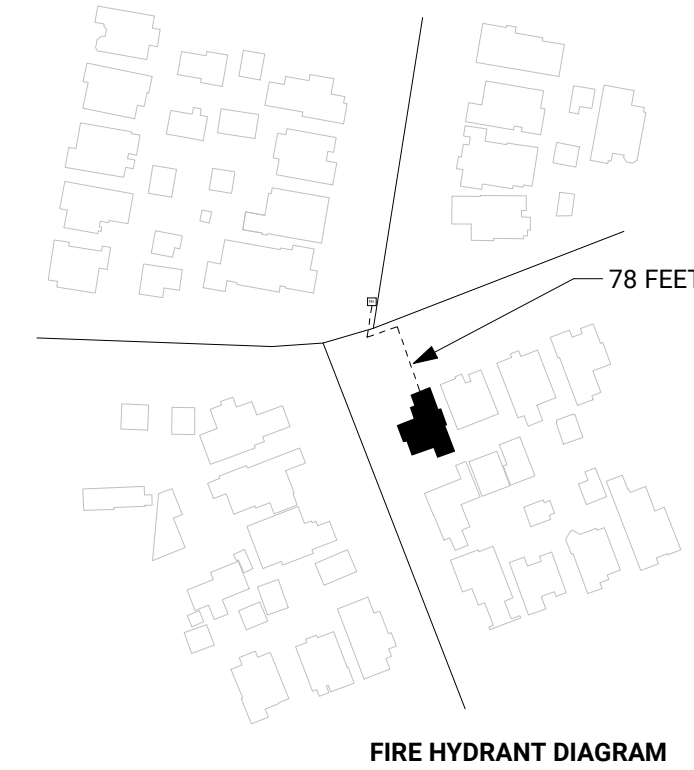
- NEW WALL
- DEMO WALL
- EXISTING WALL
- PROPERTY LINE
- ROOF OVERHEAD
- SETBACK LINE
- NEW ADDITION
- 1HR RATED PARTITION, SEE A6-302
- PARTITION TAG. REFER TO SHEET A6-301
- LANDSCAPE AREA

DRAINAGE LEGEND:

GENERAL DRAINAGE ARROW 2% TYPICAL AT CONCRETE WALKWAYS, LANDINGS, AND DRIVEWAYS. PROVIDE A MINIMUM GRADE FALL OF 6" WITHIN THE FIRST 10 FEET OF FOUNDATION WALL. CRC401.3

AREA CALCULATION

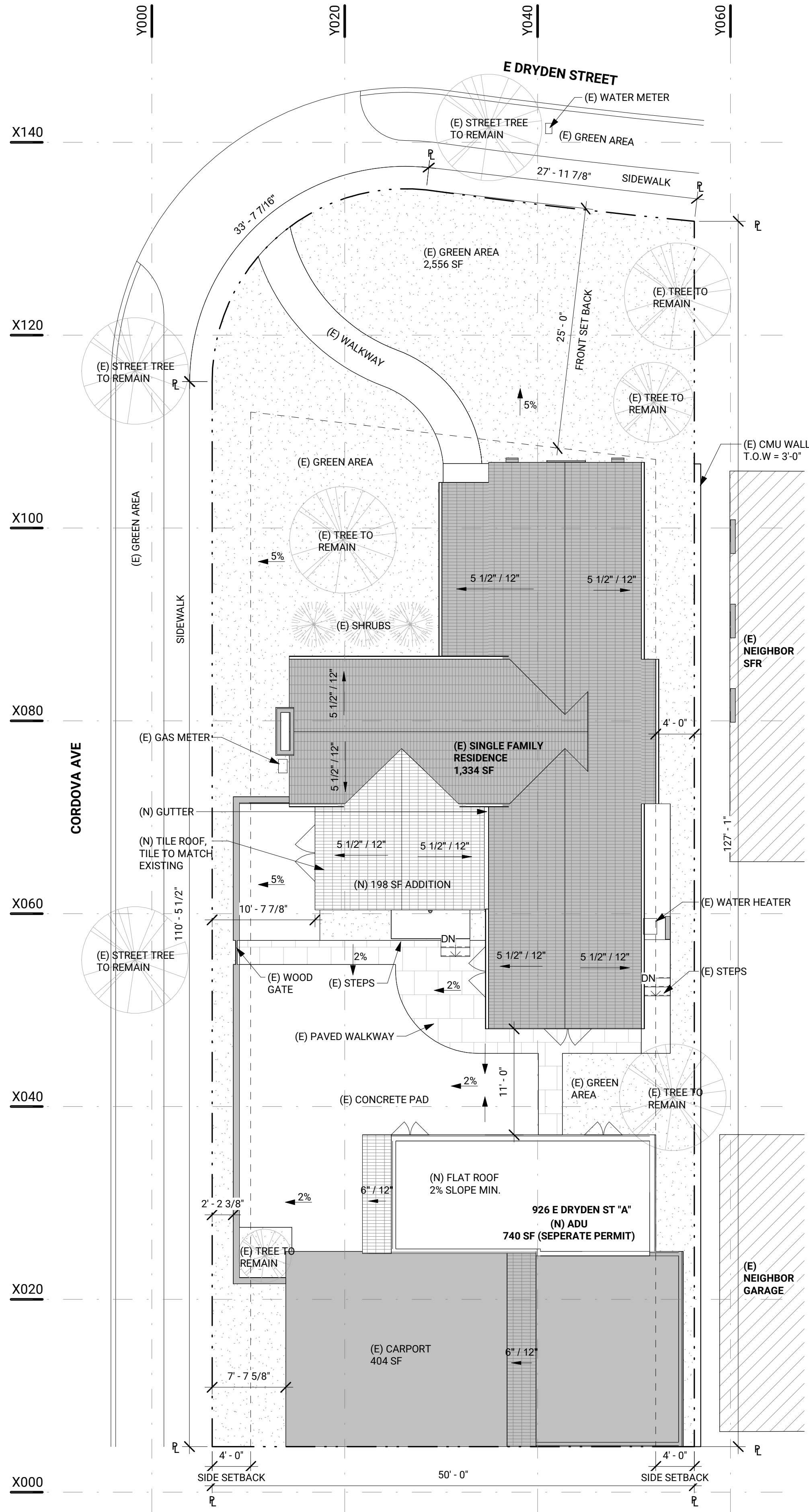
LEVEL	AREA
(E) SINGLE FAMILY RESIDENCE	1332 SF
(E) CARPORT	404 SF
(E) GARAGE (TO BE CONVERTED TO NEW ADU)	370 SF
(E) ENCLOSED PATIO	198 SF
(N) ADU ADDITION (SEPERATE PERMIT)	370 SF



LANDSCAPE NOTES:
PROTECTED OAK SYCAMORE BAY TREES OR CITY STREET TREES ON THE PROPERTY AND WITHIN 20' OF THE PROPERTY ARE INACCESSIBLE TO THE PROPOSED CONSTRUCTION ACTIVITY AND WILL EXPERIENCE NO IMPACT. NO PROTECTIVR FENCING IS REQUIRED.

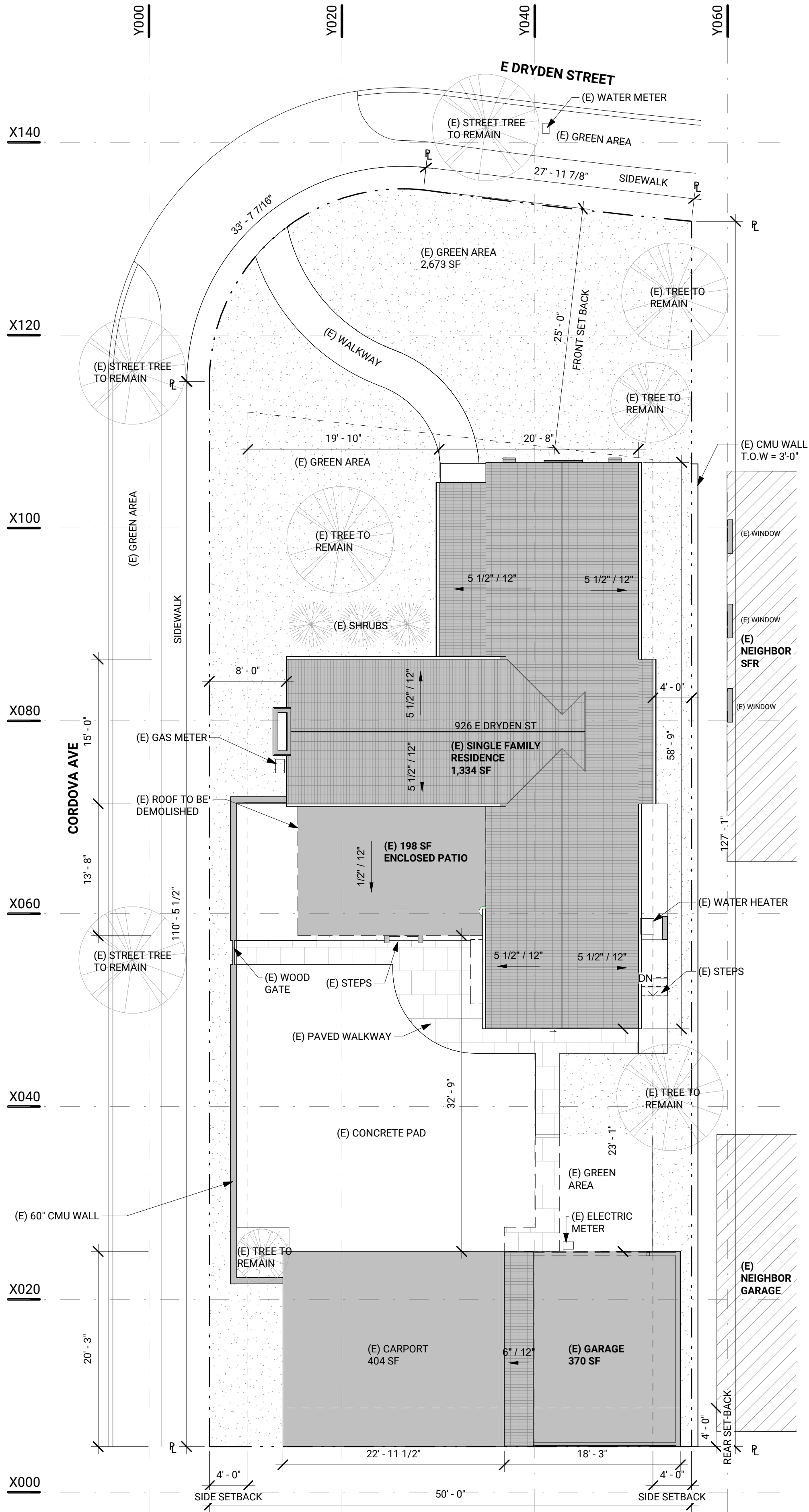
DRAINAGE NOTES:

- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- OWNER SHALL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.
- A PROPERTY LINE SURVEY, PREPARED BY A CALIFORNIA LICENSED LAND SURVEYOR MAY BE REQUIRED BY THE BUILDING OFFICAL BASED UPON SITE CONDISHIONS IN ACCORDANCE WITH LACBC SECTION 108.1.
- NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF OAK TREE WITHOUT AN OAK TREE REPORT AND PERMIT.
- SURROUND THE CONSTRUCTION AREA WITH SILT FENCE, GRAVEL BAGS OR FIBER ROLLS DURING RAINY SEASON BETWEEN OCT 15TH AND APRIL 15TH.
- FINISH FLOOR SHALL BE A MINIMUM OF 8 INCHES ABOVE FINISH GRADE IMMEDIATELY OUTSIDE THE BUILDING.
- PROVIDE A MINIMUM GRADE FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (5% SLOPE) FROM FOUNDATION WALL.
- DOWNSPOUTS SHALL DISCHARGE AT LEAST 5 FEET AWAY FROM EXTERIOR WALLS.
- SHEET FLOW DRAINAGE SHALL MAINTAIN A MINIMUM 1/4" PER FOOT SLOPE.
- ALL DRAINAGE ON SITE MUST BE DIRECTED TO THE STREET.
- DRAINAGE TO THE ALLEY IS NOT ALLOWED.



0 4 8 16'
0 2'
1/8" = 1'-0"

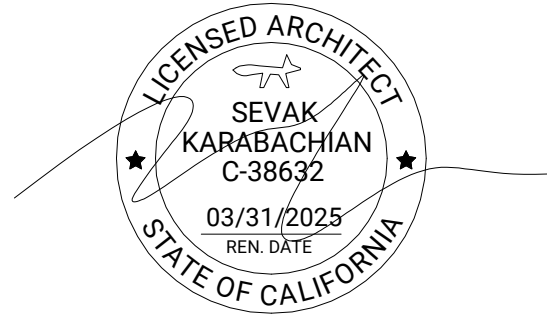
2 (N) SITE PLAN
1/8" = 1'-0"



0 4 8 16'
0 2'
1/8" = 1'-0"

1 (E) SITE PLAN
1/8" = 1'-0"

NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

SITE PLAN

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008

SCALE:
As indicated
DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

A1-101

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PATRICNOV@PATSMECH.COM

LEGEND:	
	NEW WALL
	DEMO WALL
	EXISTING WALL
	PROPERTY LINE
	ROOF OVERHEAD
	SETBACK LINE
	NEW ADDITION
	1HR RATED PARTITION, SEE A6-302
	PARTITION TAG. REFER TO SHEET A6-301
	LANDSCAPE AREA

DEMOLITION CALCULATION

A) AREA OF WALLS TO BE DEMOLISHED
WALL #01 17'-6"
WALL #03 11'-8"

TOTAL: 29'-2" X 7'-6" TALL = **218.75 SF**

B) AREA OF EXISTING ROOF TO BE DEMOLISHED: **198 SF**

C) TOTAL AREA OF EXISTING WALLS:

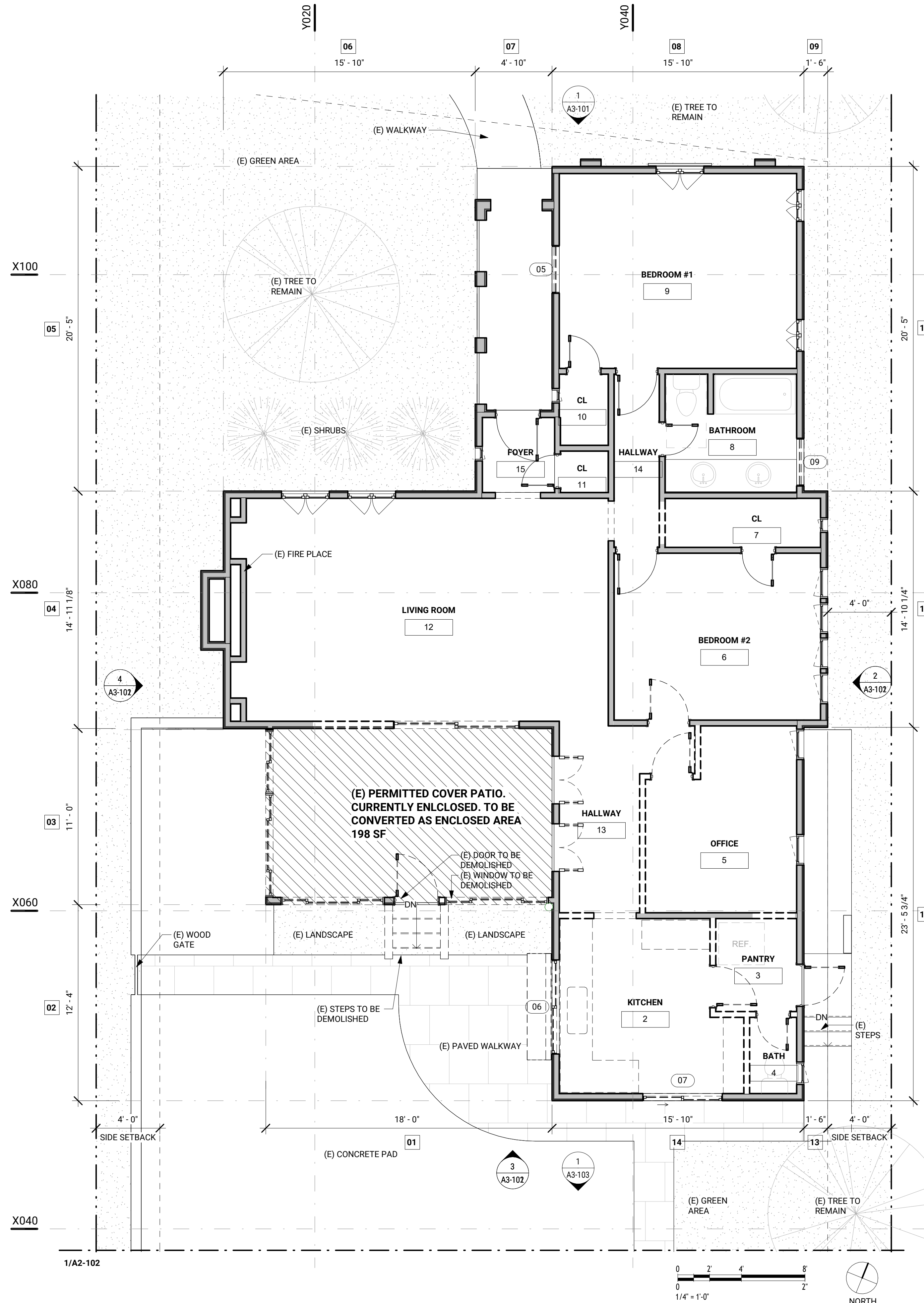
WALL #1 18'-0"
WALL #2 11'-0"
WALL #3 12'-4"
WALL #4 15'-0"
WALL #5 20'-5"
WALL #6 15'-10"
WALL #7 4'-10"
WALL #8 15'-10"
WALL #9 1'-6"
WALL #10 20'-5"
WALL #11 15'-0"
WALL #12 23'-4"
WALL #13 1'-6"
WALL #14 15'-10"

TOTAL: 190'-2" X 8'-6" TALL = 1,616 SF

(D) TOTAL AREA OF EXISTING ROOF: 1,334 SF

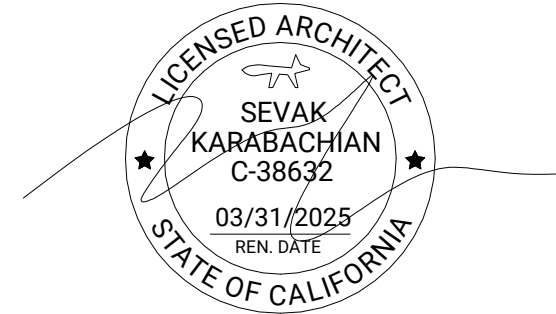
DEMOLITION CALCULATION: (A+B) / (C+D) = X

(218.75 SF + 198 SF) / (1,616 SF + 1,334 SF) =
(416.75 SF) / (2,950 SF) = 0.14 X 100 = **14%**



1 DEMO PLAN
1/4" = 1'-0"

NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

DEMO PLAN

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A2-101

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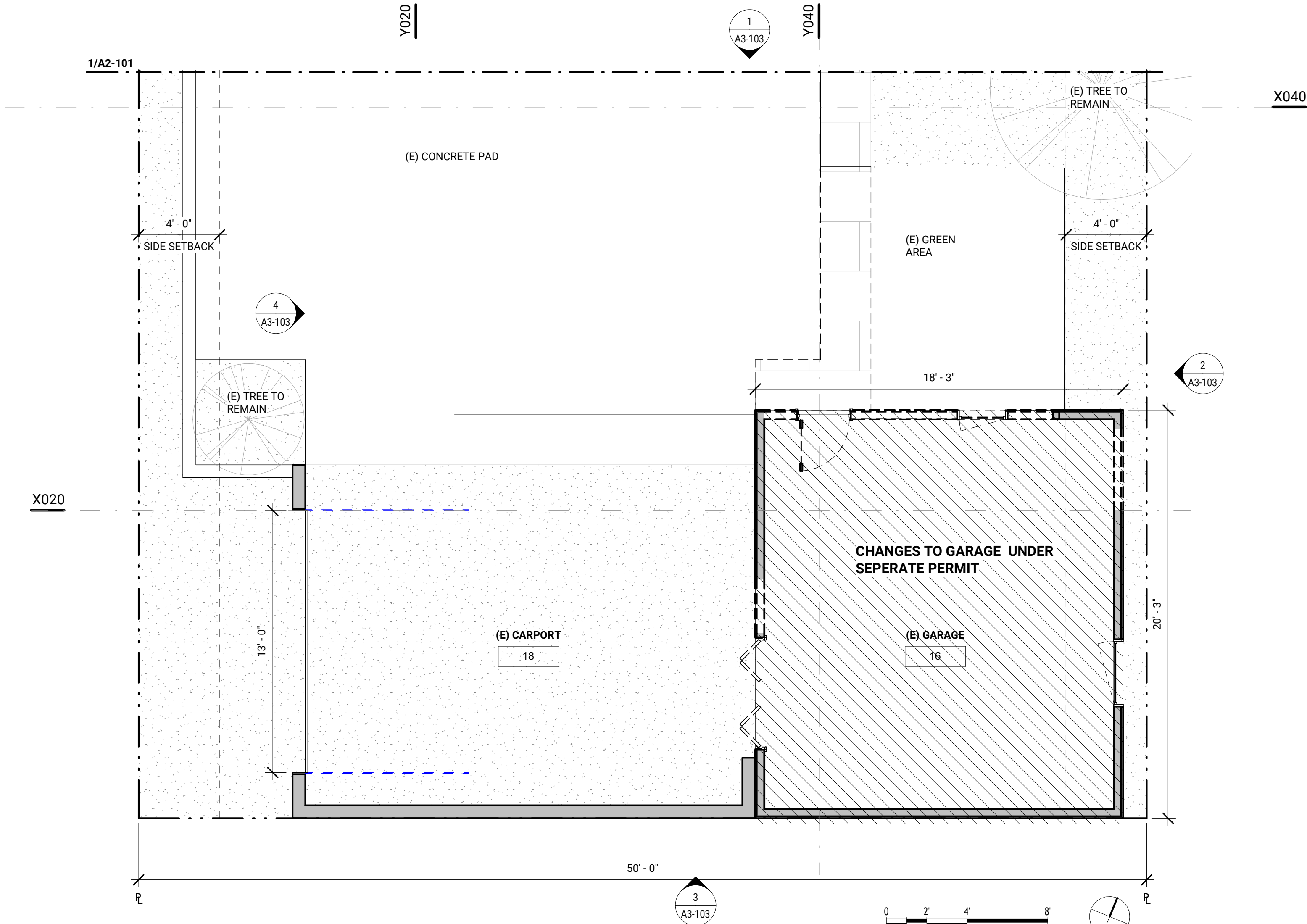
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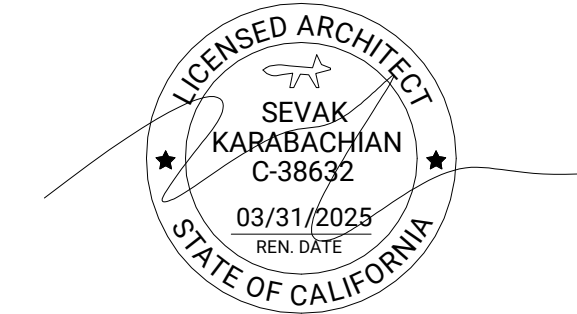
LEGEND:

- NEW WALL
- DEMO WALL
- EXISTING WALL
- PROPERTY LINE
- ROOF OVERHEAD
- SETBACK LINE
- NEW ADDITION
- 1HR RATED PARTITION, SEE A6-302
- PARTITION TAG, REFER TO SHEET A6-301
- LANDSCAPE AREA



1 (E) CARPORT & GARAGE FL PLAN
1/4" = 1'-0"

NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
DEMO PLAN

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A2-102

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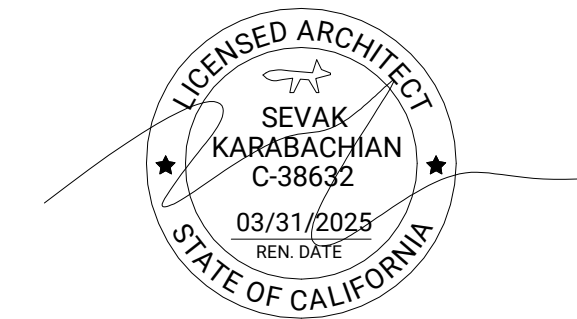
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LEGEND:	
	NEW WALL
	DEMO WALL
	EXISTING WALL
	PROPERTY LINE
	ROOF OVERHEAD
	SETBACK LINE
	NEW ADDITION
	1HR RATED PARTITION, SEE A6-302
	PARTITION TAG. REFER TO SHEET A6-301
	LANDSCAPE AREA

GENERAL NOTES:

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE- FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE OWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. R306.3
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. R307.2
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. R306.4
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). R308.6.9
- WATER HEATER MUST BE STRAPPED TO WALL. SEC. 507.3, LAPC
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. R314.2
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. R315.2
- VERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE TO SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. R303.1
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- THE EXTERIOR DOOR MUST OPEN OVER A MIN. 36" LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
- ALL DOORS AND WINDOWS SHALL MEET CITY OF GLENDALES SECURITY ORDINANCE
- ASPHALT SHINGLES SHALL MEET THE CLASSIFICATION REQUIREMENTS OF CRC T-R905.2.4.1 OR CBC T-150.1.1 FOR THR APPROPRIATE MAXIMUM BASIC WIND SPEED.

NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

(N) MAIN HOUSE FLOOR PLAN

PERMIT #: BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A2-103



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BUILDING NOTES:

- ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22" X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)
- PROVIDE 1-HOUR-RATED ON THE UNDERSIDE OF ROOF EAVES WHERE THE FIRE SEPARATION DISTANCE BETWEEN THE EDGE OF THE PROJECTION AND THE ADJACENT PROPERTY LINE IS LESS THAN 5'. (CRC TABLE R302.1(1))

MECHANICAL NOTES:

- BATHROOMS THAT CONTAIN A TUB, SHOWER OR TUB/SHOWER MUST HAVE EXHAUST FANS CONTROLLED BY A HUMIDISTAT.
- MECHANICAL EQUIPMENT (WATER HEATERS, HVAC, ET.) UNDER SEPARATE REVIEW AND PERMITS.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (CRC R303.10)
- NEW INSTALLATION OF HEAT PUMP WATER HEATERS (HPWH) SHALL HAVE ALL THE FOLLOWING:
 - A 240V ELECTRICAL RECEPTACLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS.
 - A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.
 - A SINGLE 240-VOLT HPWH THAT MEETSD THE REQUIREMENTS OF NEEA ADVANCED WATER HEATER SPECIFICATION.
 - THE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

PLUMBING NOTES:

- EFFECTIVE JAN 1, 2015 CALIFORNIA SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN, 1994 WITH WATER CONSERVING PLUMBING FIXTURES.
- SHOWER STALLS AND BATHTUB WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6'-0" ABOVE THE FLOOR (CBC 1210,CRC R307.2)
- CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GUSSS MAT GYPSUM OR FIBER REINFORCE GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS (CRC R702.4.2)
- SHOWERS AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC. (CPC 408.3)
- MAXIMUM FLOW RATES FOR ALL PLUMBING FIXTURES PER CGBSC 4.303:
 - WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
 - SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS PER MINUTE AT 80PSI.
 - LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI
 - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI
- WATER CLOSET SHALL BE SET NO CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTIN OR NO CLOSER THAN 30" CENTER TO CENTER TO ANY SIMILAR FIXTURE AND THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR A BIDET SHALL BE AT LEAST 24" CPC 402.5 SHOW ON FLOOR PLAN.
- A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM OF 6'-8" CEILING HEIGHT ABOVE A MINIMUM AREA OF 30' X 30' AT THE SHOWERHEAD (CRC R305.1 EXCEPTIONS 2)
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE REGARDLESS OF NATURAL VENTILATION AND FENESTRATION SUCH AS WINDOWS AND DOORS. (CRC R303.3)
- ALL NEW WATER HEATER IN ALL NEWLY CONSTRUCTED SFD/ADU'S SHALL BE AN "ALL ELECTRIC APPLIANCE/EQUIPMENT" IN COMPLIANCE THE CITY OF GLENDALE REACH CODE ORDINANCE NO. 5999. COORDINATE WITH TITLE-24 COMPLIANCE FORMS.

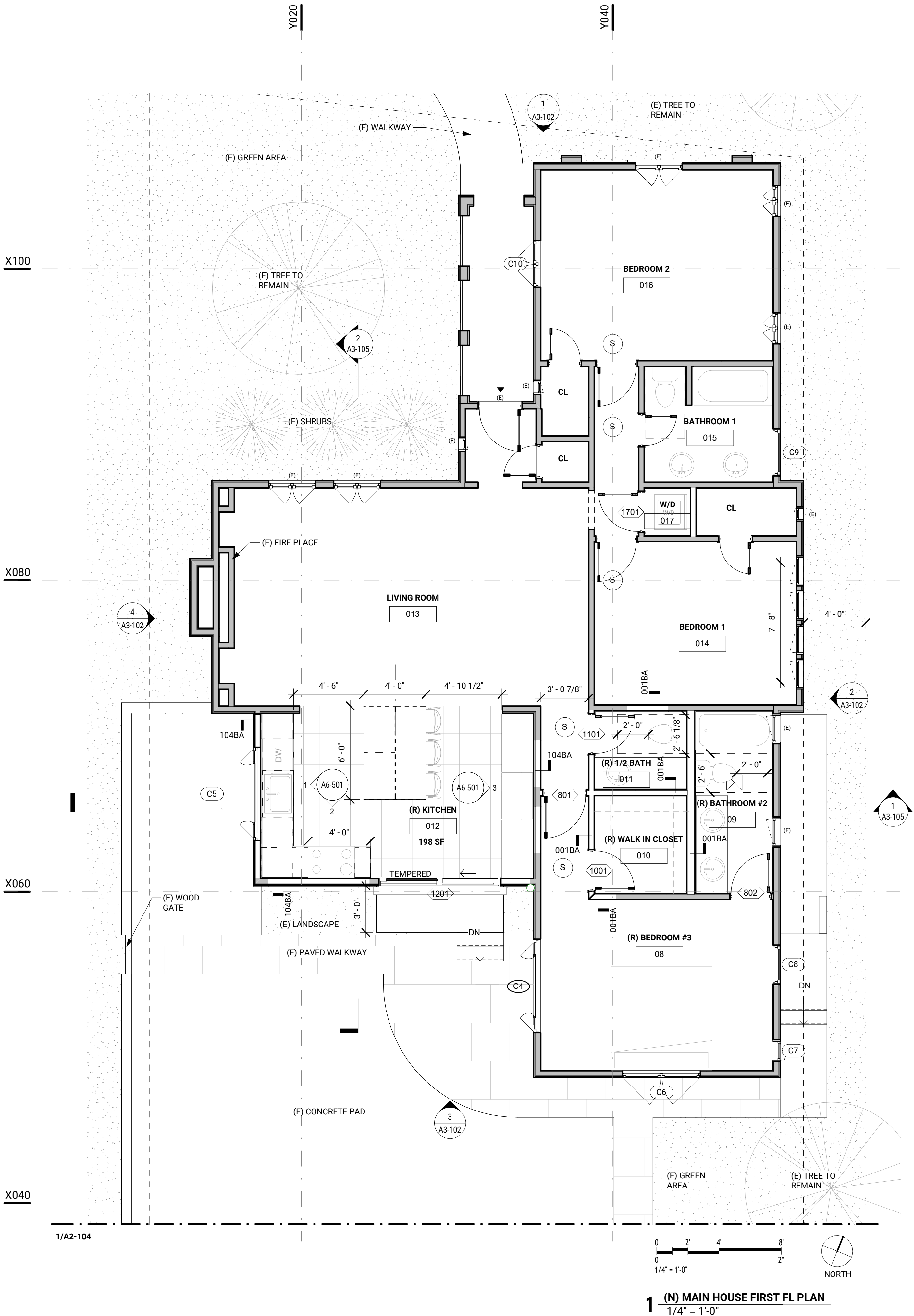
AGING-IN-PLACE DESIGN NOTES:

- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS INTENDED TO BE USED BY OCCUPANTS SHALL BE LCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX. ABOVE THE FINISH FLOOR.
- SPECIFY DOORBELL CONTROLS TO NOT EXCEED 48" ABOVE EXTERIOR FLOOR, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY.
- INFORMATION AND/OR DRAWINGS DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATIONAL AND MAINTENANCE MANUAL IN ACCORDANCE WITH THE CALIFORNIA BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4.

SMOKE ALARM REQ:

SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS PER NFPA 72 SECTION 29.8.3.4. (CRC R314.3.3, CBC 907.2.11.8)

- AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. (CRC R14.8.2)
- BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXSISTING BUILDINGS WHERE NO COSTRUCTION IS TAKING PLACE OR IN BUILDING INDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMET WHICH COULD PROVIDE ACCESS FOR WIRING. (CRC R314.6 EXCEPTIONS 1, 3, CBC 907.2.11.9)
- SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC R314.4, CBC 907.10.5)
- SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CRC R314.6, CBC 907.12.6, CBC 907.2.11.9)



1 (N) MAIN HOUSE FIRST FL PLAN
1/4" = 1'-0"



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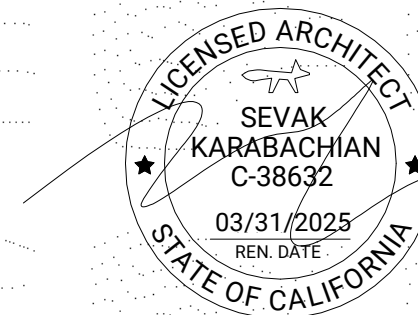
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NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

**EXISTING
ELEVATIONS**

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

1/4" = 1'-0"

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A3-101

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ADU ATTIC VENT CALCULATIONS:

TOTAL ATTIC AREA: 740 SF

740 SF / 150 = 4.93 SF TOTAL VENT AREA

50% HIGH = 2.46 SF

PROVIDE (7) LOW PROFILE ROOF VENT @ MIN. 37 SQ.IN. NFA PER VENT

50% LOW = 2.46 SF

PROVIDE 0.3 SF NFA PER BAY, MIN. 8 BAYS REQUIRED.

MAIN HOUSE ADDITION ATTIC VENT CALCULATIONS:

TOTAL ATTIC AREA: 198 SF

198 SF / 150 = 1.32 SF TOTAL VENT AREA

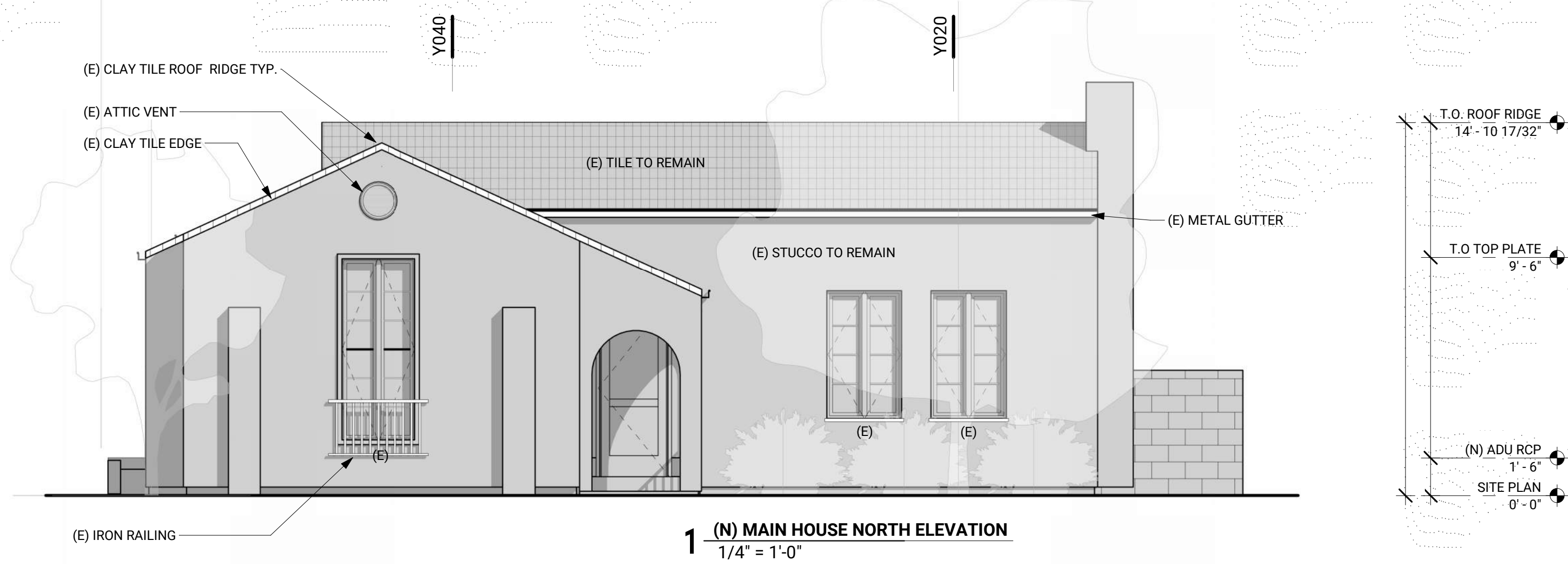
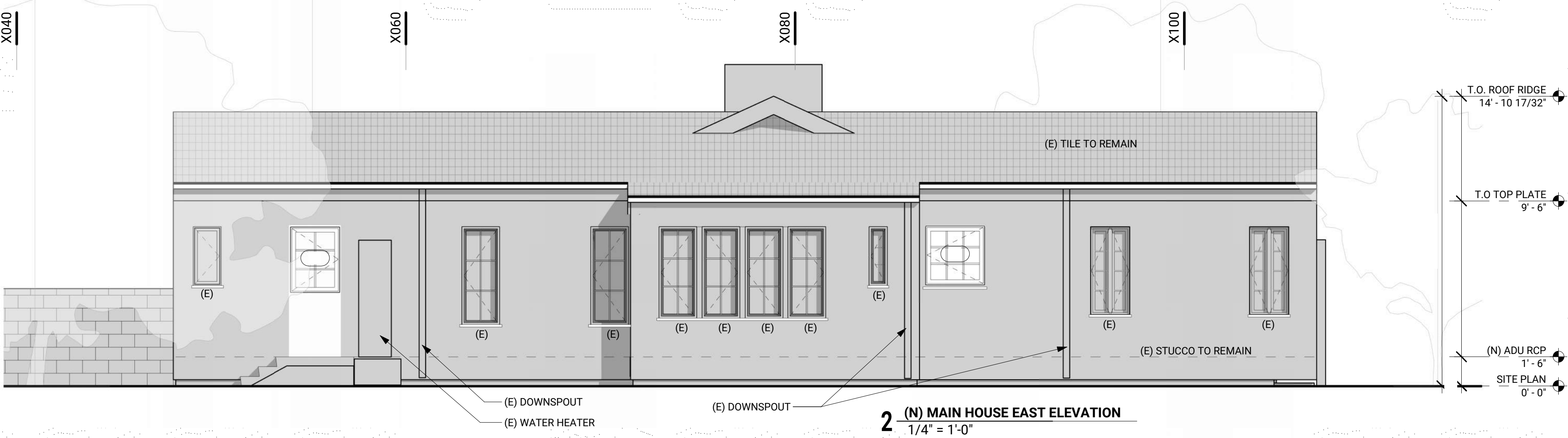
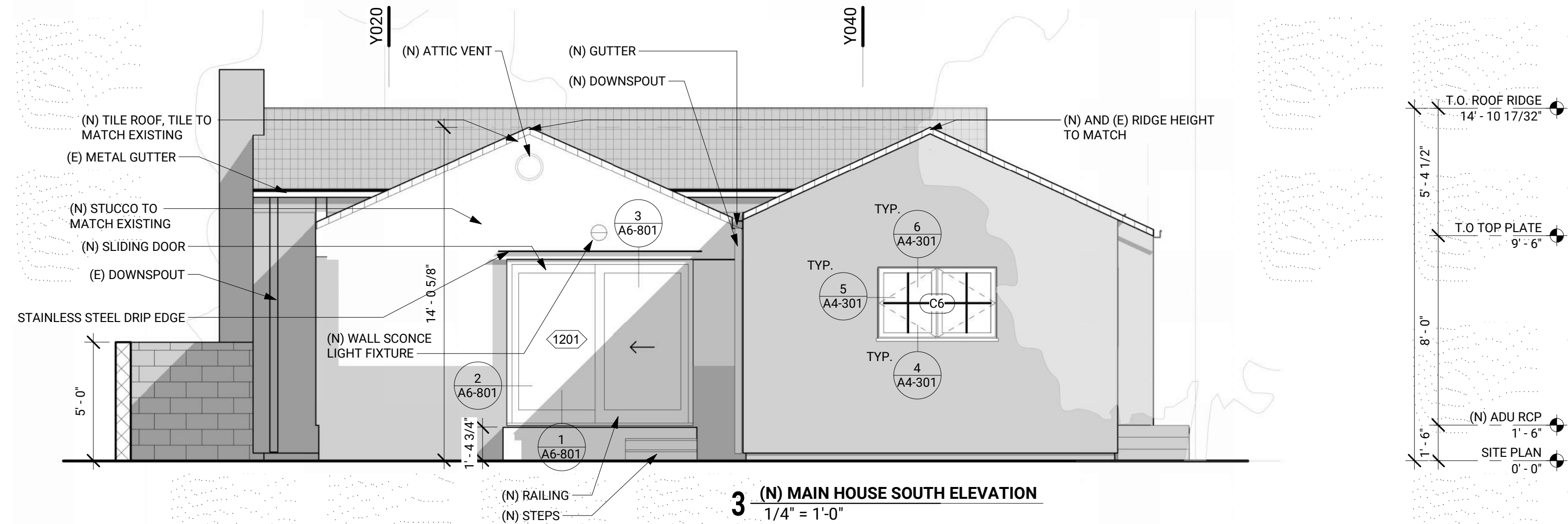
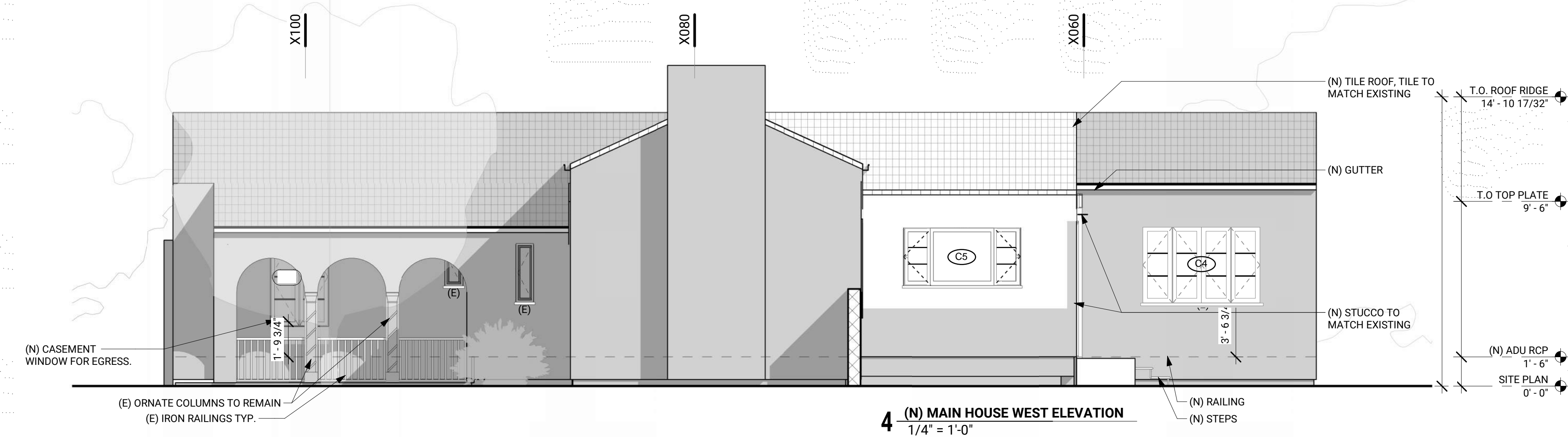
50% HIGH = 0.66 SF

PROVIDE (2) LOW PROFILE ROOF VENT @ MIN. 37 SQ.IN. NFA PER VENT

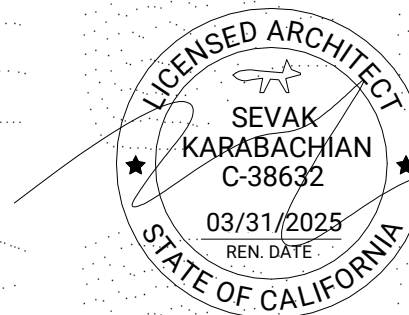
50% LOW = 0.66 SF

PROVIDE 0.3 SF NFA PER BAY, MIN. 3 BAYS REQUIRED.

VENTILATION OPENINGS SHALL HAVE A MIN. DIMENSION OF 1/16" MIN.
AND 1/4" MAX. AND PROVIDED WITH CORROSION RESISTANT WIRE CLOTH
SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL.



NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

**MAIN HOUSE NEW
ELEVATIONS**

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008

SCALE:
1/4" = 1'-0"

DRAWN BY:

DATE:
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SHEET NUMBER:

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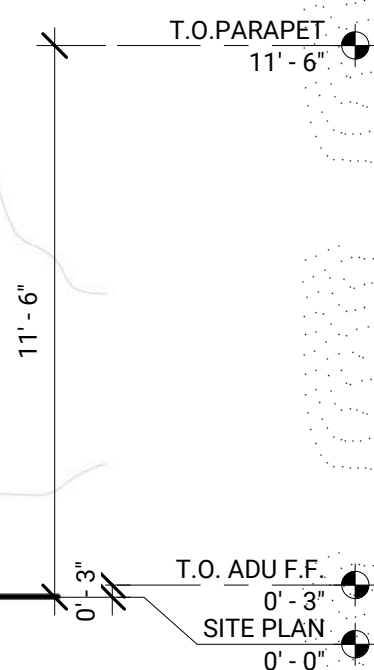
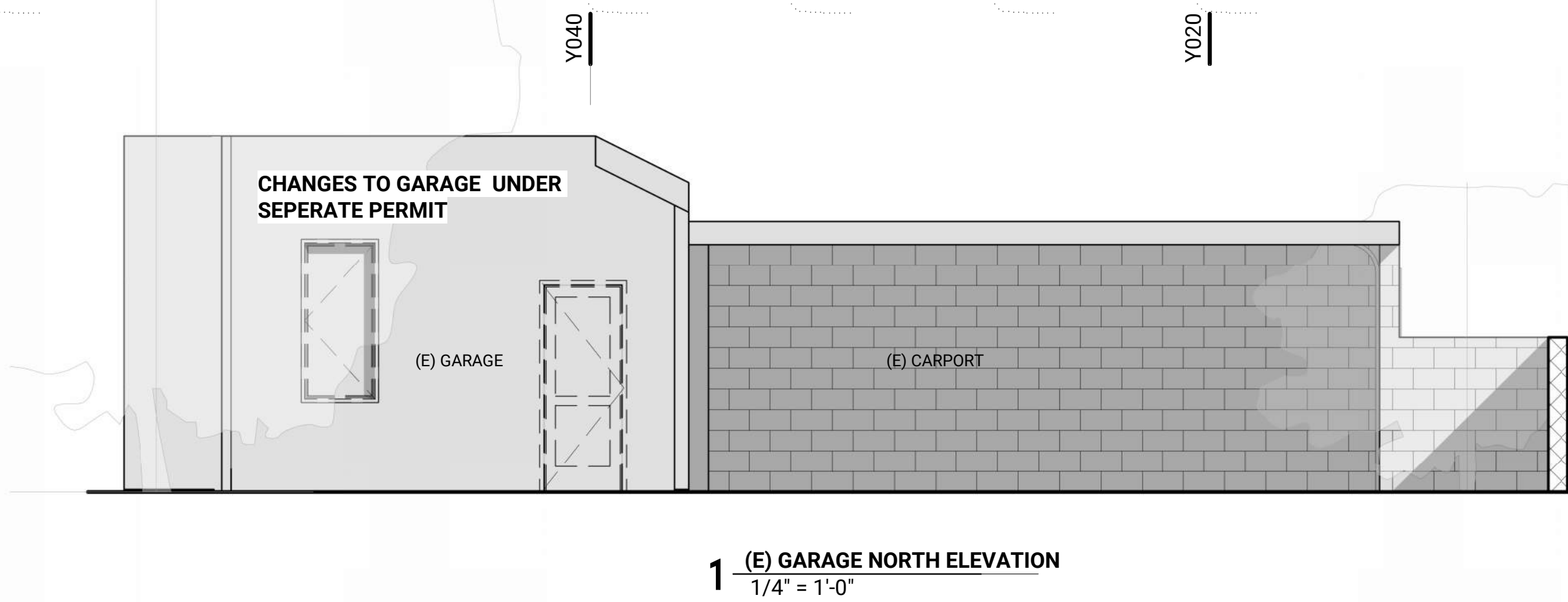
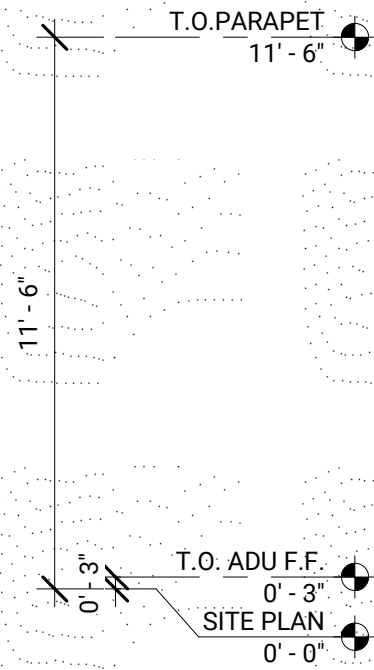
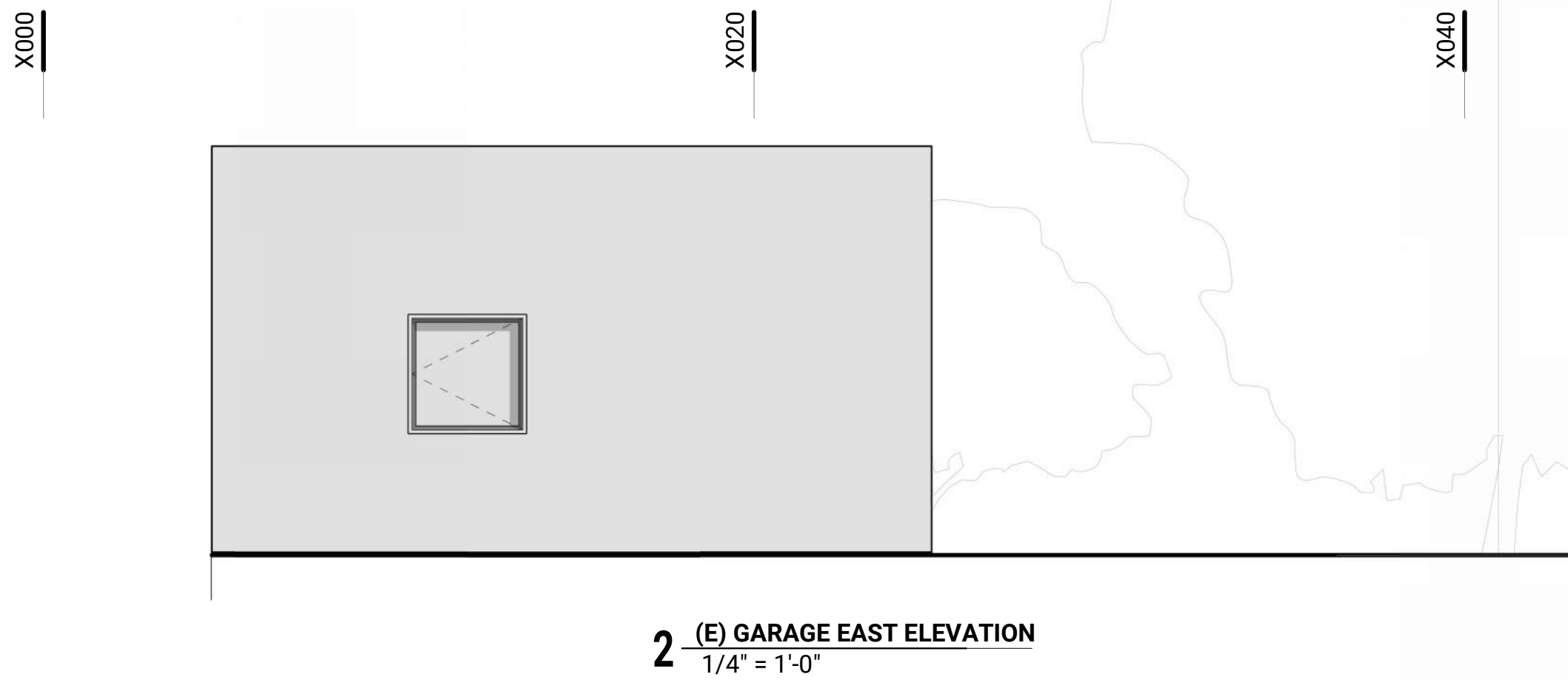
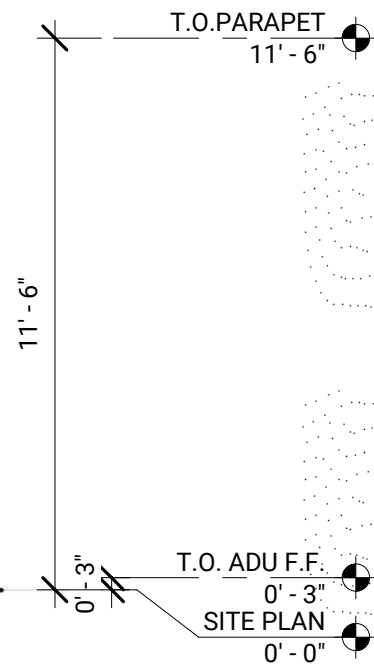
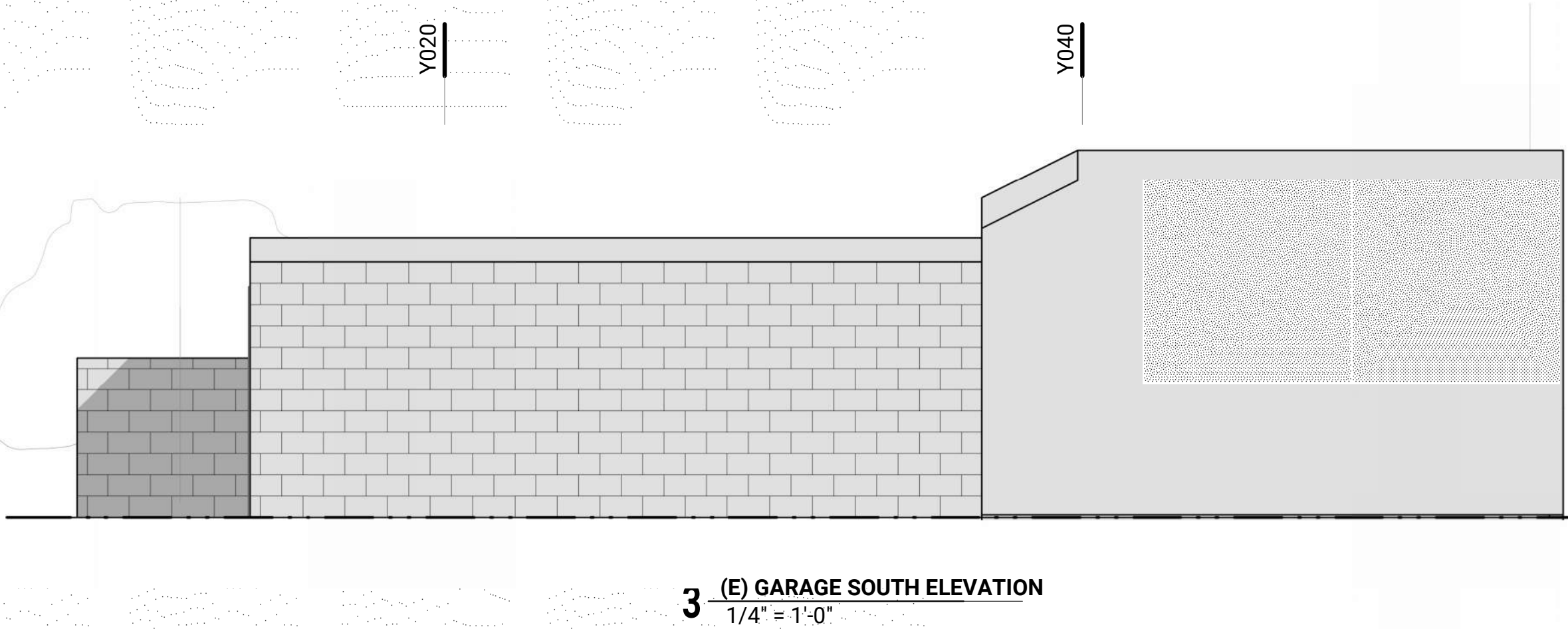
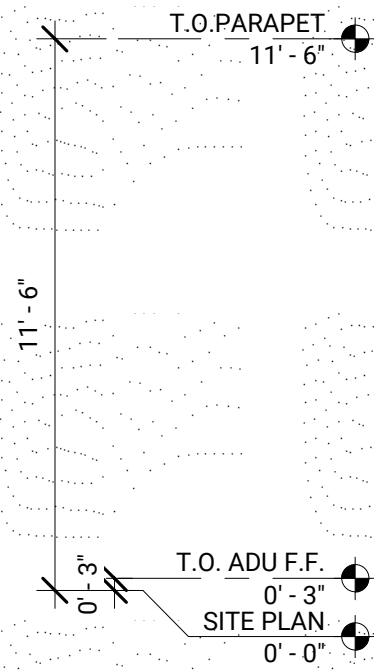
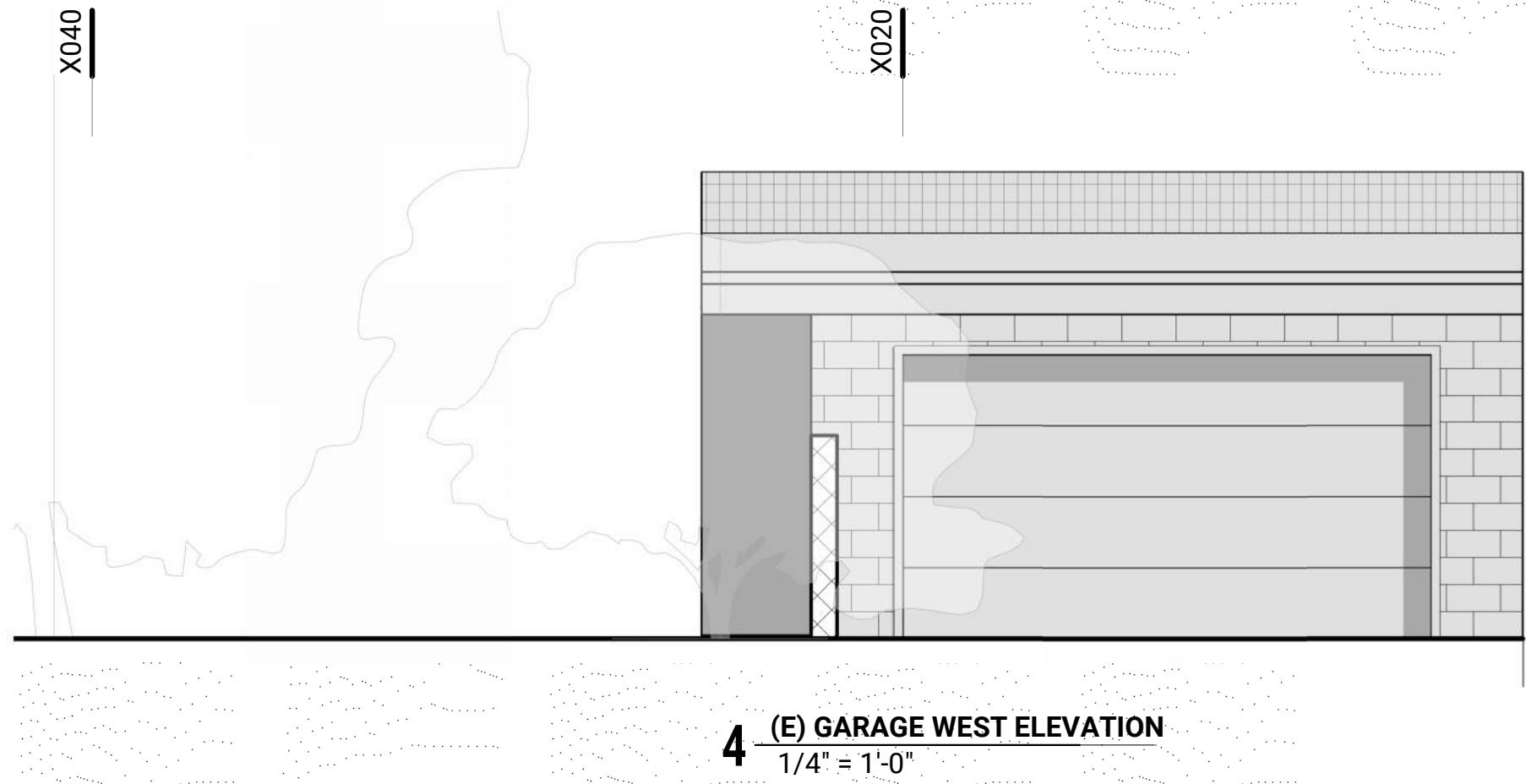
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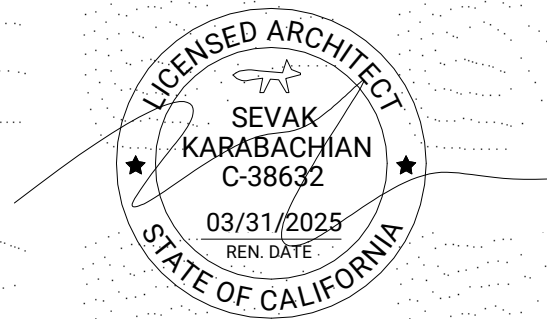
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**CHANGES TO GARAGE/ADU UNDER
SEPERATE PERMIT**



NO.	ISSUE	DATE



PROJECT ADDRESS:
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GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
**EXISTING GARAGE
ELEVATIONS**

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

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SCALE:

1/4" = 1'-0"

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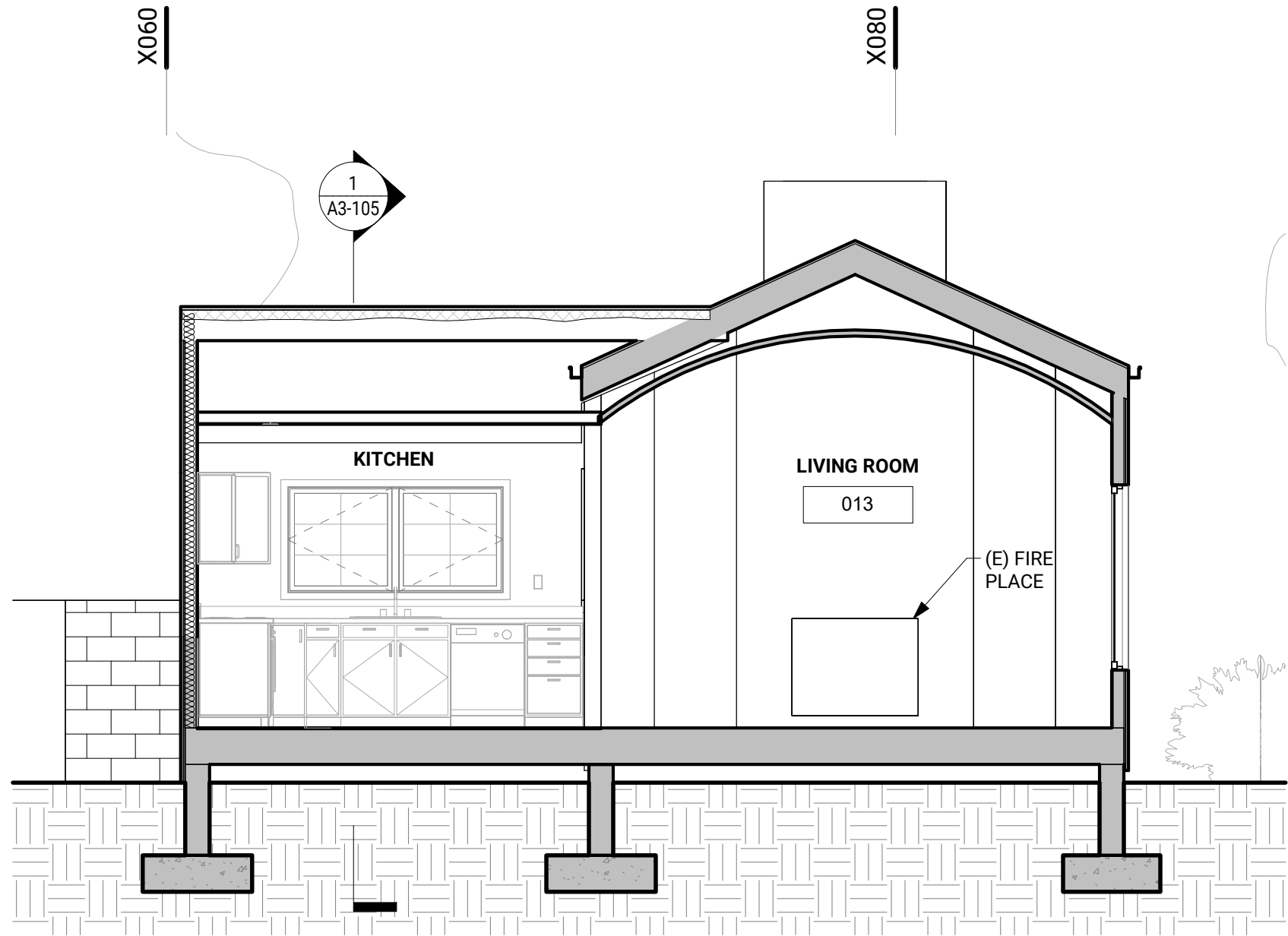
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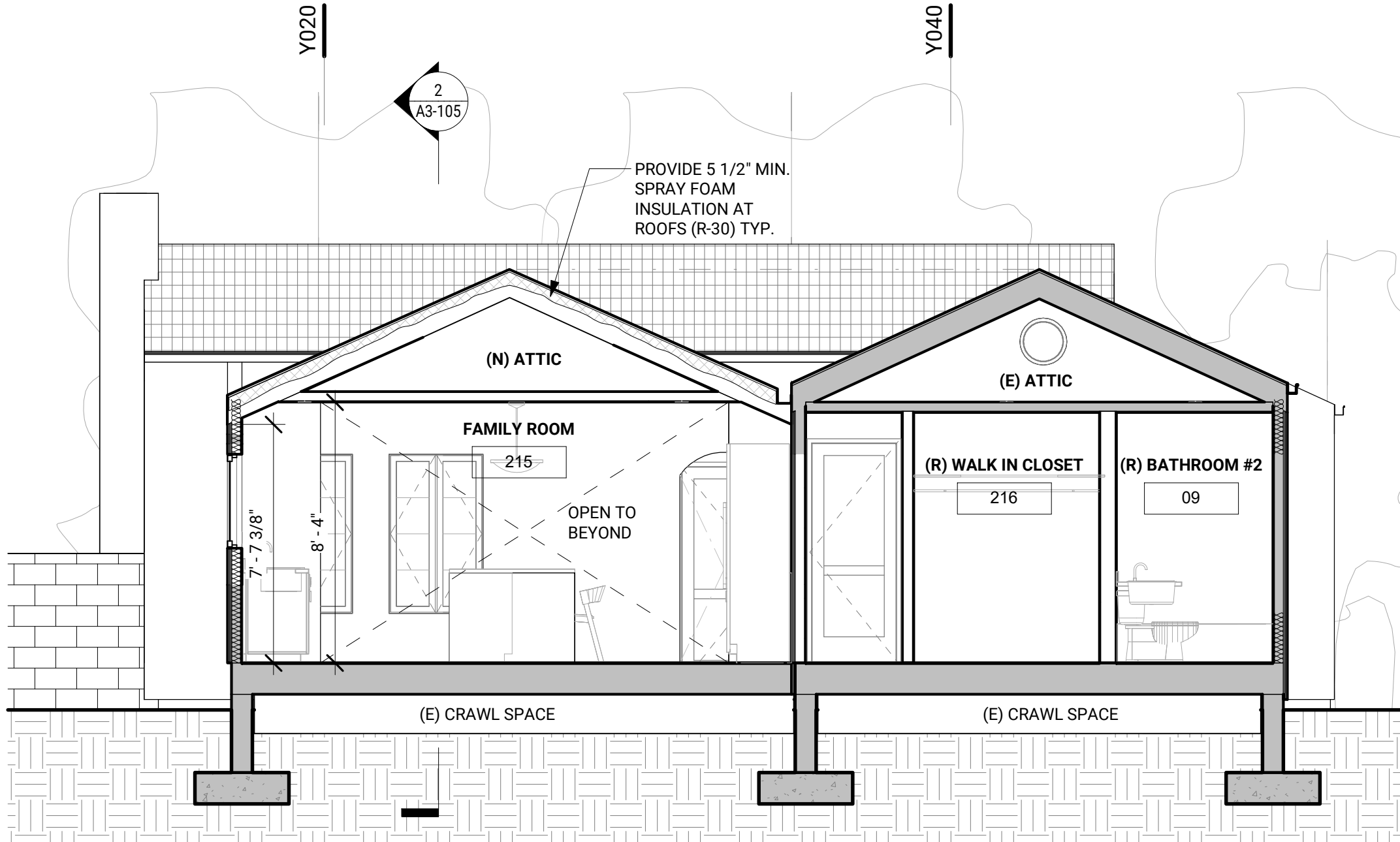
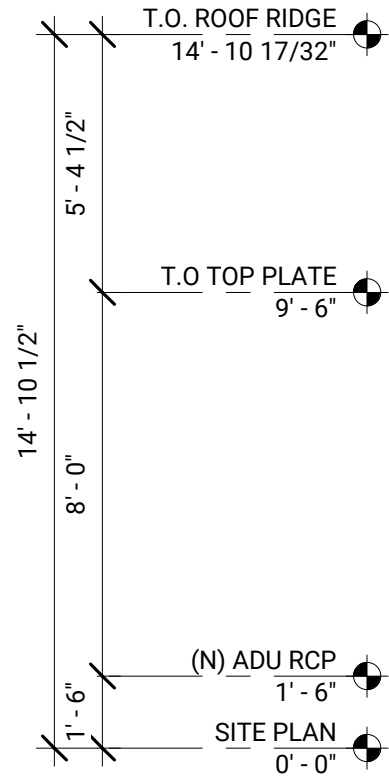
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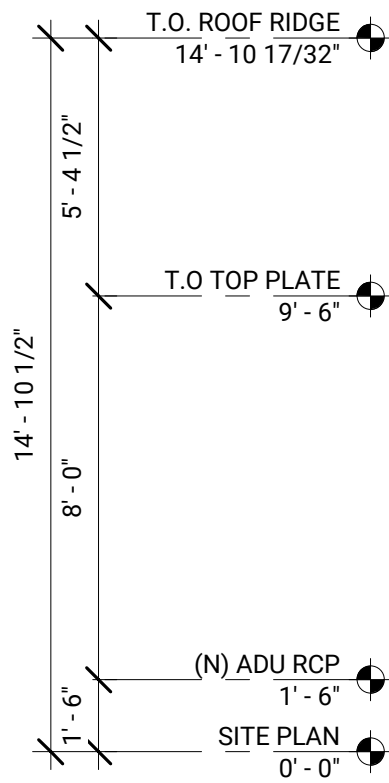
MECHANICAL ENGINEER
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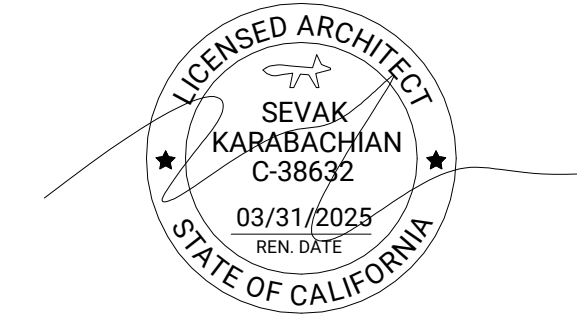
2 MAIN HOUSE SECTION 2
1/4" = 1'-0"



1 MAIN HOUSE SECTION 1
1/4" = 1'-0"



NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
**BUILDING
SECTIONS**

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A3-105



FOAM-LOK™ 2000 3G
Closed-Cell Spray Insulation
ICC ESR-4501

FOAM-LOK™
SPRAY FOAM INSULATION

Product Use and Design

FOAM-LOK™ 2000 3G is a Closed-Cell spray applied foam that delivers high R-value, which when installed following application guidelines, offers long-term energy efficiency and durability. **FOAM-LOK™ 2000 3G Closed-Cell** spray foam provides superior energy economy and durability while significantly reducing unwanted moisture and air infiltration.

As a component of a "systems approach" to proper building envelope construction, **FOAM-LOK™ 2000 3G Closed-Cell** spray foam provides exceptional performance in resisting heat transfer, moisture gain, air leakage, and improving racking strength.

TYPE I, II, III, IV, V, VI, VII, VIII Construction

Recommended Product Applications:

- Walls
- Ceilings
- Vented Attics
- Basements
- Foundations
- Vented Crawlspace
- Floors
- Cold Storage
- Concrete Slabs
- Pipes
- Chutes

Recommended Processing Parameters

Recommended Processing Parameters	
Equipment Dynamic Pressure	1,000 - 1,400 psi
Ambient Temperature	25 - 122°F (-4 - 50°C)
Preheat Temperature	65 - 85°F (18 - 30°C)
Heat Heat Temperature	115 - 125°F (46 - 51°C)
Cure Temperature	65 - 85°F (18 - 30°C)
Shelf Life	12 months when stored properly

Optimum hose pressure and temperature may vary as a function of the type of equipment, ambient and substrate conditions, and the specific application. It is the responsibility of the applicator to properly interpret equipment technical literature, particularly information that relates acceptable combinations of gun, chamber size, proportioner output, and material pressure.

- 2:1 transfer pumps are recommended for material transfer from container to the proportioner.

CAUTION: Extreme care must be taken when removing and reinstalling foam transfer pumps as NOT to remove the "A" or "B" component.

Do not disconnect hoses or supply lines "A" or "B" component into **FOAM-LOK™** containers.

The closed component proportioner must be capable of supplying each component within ± 2% of the desired 1:1 mixing ratio by volume.

Ventilation Rate (Air Changes Per Hour)	Re-Entry Period For: Workers, Pets, Animals, Zoo Animals & Cattle	Re-Occupancy Period For All Others
At 40.0 ACH	1 Hour	2 Hours

Physical Properties

Property	Test Method	Value
Aged 90" Values Factor	ASTM C518	9.71 @ 1" / 8.24 @ 3.5"
Compressive Strength	ASTM D1621	28 MPa (4050 psi)
Com Density	ASTM D1552	2.032 g/cm³ (125.0 lb/ft³)
Air Leakage	ASTM D1708	< 0.002 L/(m² @ 1.5 inches)
Closed Cell Content	ASTM D2896	2.9%
Tensile Strength	ASTM D1623	45.0 N/m²
Water Vapor Transmission	ASTM E96	0.0001 perm @ 1.5"
Water Resistance Barrier	ICC-ES ECR-1237	1.25"
Water Absorption	ASTM D2642	1.4%
Dimensional Stability	ASTM D2136	90%
Commercial Fire Resistance	ASTM E119	1.2 h 3-hour Rating
Flammability	NFPA 289	1885 Btu/ft² (21.5 MJ/m²)
Fungal Testing	ASTM C 1338	No Growth

*For specific construction requirements of ASTM E119 and NFPA 289, testing please consult Lapsolla Technical Group or your sales representative.

FOAM-LOK™ 2000 3G meets ASTM C1029 Type II classification.

Credentialed Certifications

• ICC ESR-4501

FOAM-LOK™ 2000 3G is a Class I formulation, as tested per ASTM E84, and at a thickness of 3.5 inches possesses the flammability characteristics shown below (UL 723, NFPA 253, UL 94 V-0).

ASTM Method E84	Class
Flame Spread	<25
Smoke Development	<450

*Unretarded Testing Modified NFPA 289 PER AC 377 Appendix X

Location	SPF Thickness *
Wall Cavities	1 1/2" (38mm)
Ceiling Cavities in Attics and Crawl Spaces	8 (203mm)

No Ignition Barrier Required

Basement Fire Testing With 1/2" Thermal Barrier (Downslopes)

NFPA 286	SPF Thickness *
Location	Up to 12 in (305mm)
Wall Cavities	Up to 12 in (305mm)
Ceiling Cavities	Up to 12 in (305mm)

FOAM-LOK™ 2000 3G must be covered with 1/2" of gypsum board, or DC-315, No Burn Foam, Thin Flame Seal or Firestop FTS intumescent paint coating at approved thickness or approved thermal barrier.

VALUE USED TO DETERMINE
FOAM THICKNESS FOR ROOF

INSULATION BASED ON TITLE 24 (SHEET A0-2XX)

	FRAME TYPE			CAVITY INSUL.
	WOOD	METAL	CONCRETE	
ROOF (CATHEDRAL CEILING)	X			R-24 SPRAY FOAM
ROOF (WITH ATTIC)	X			R-30 SPRAY FOAM
CEILING BELOW ATTIC	X			R-24
EXTERIOR WALLS	X			R-21
DEMISING WALLS	X			R-15
INT. FLOOR (NO CRAWLSPACE)			X	R-11

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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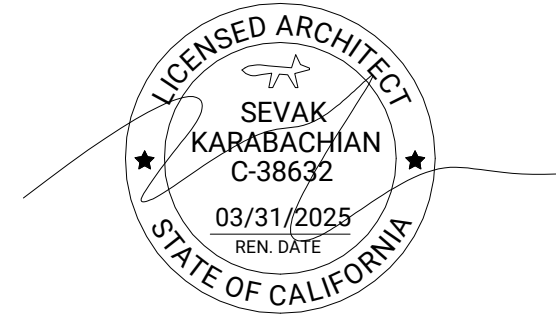
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NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
GLAZING DETAIL

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008
SCALE:
As indicated
DRAWN BY:

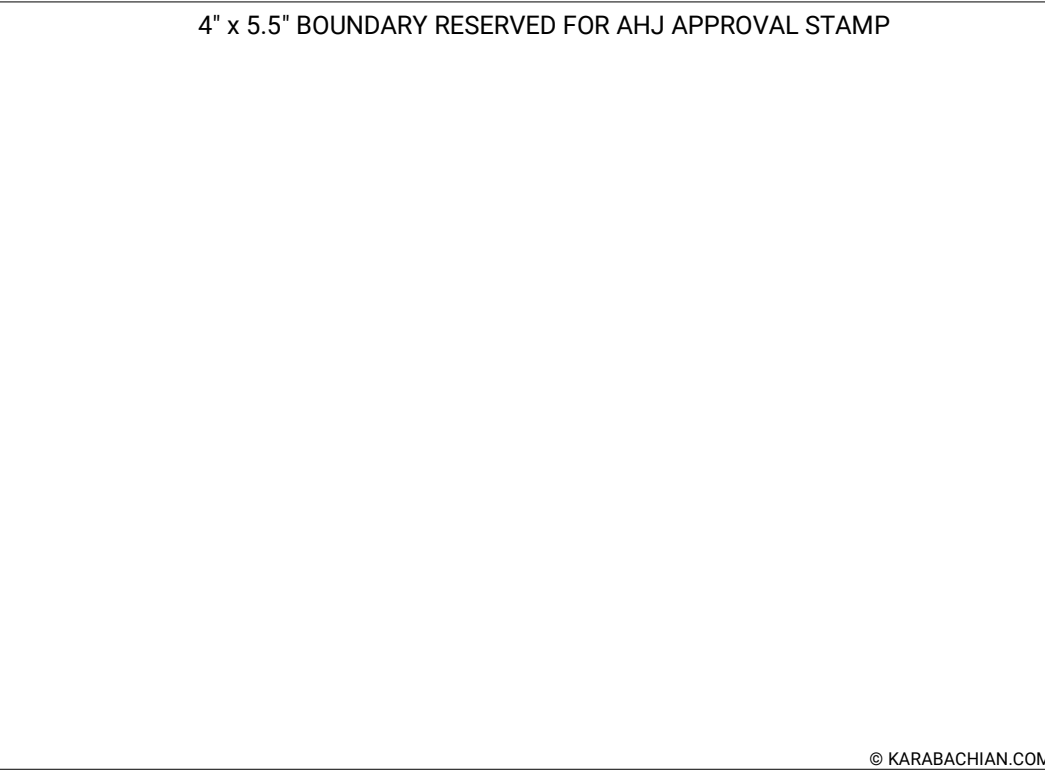
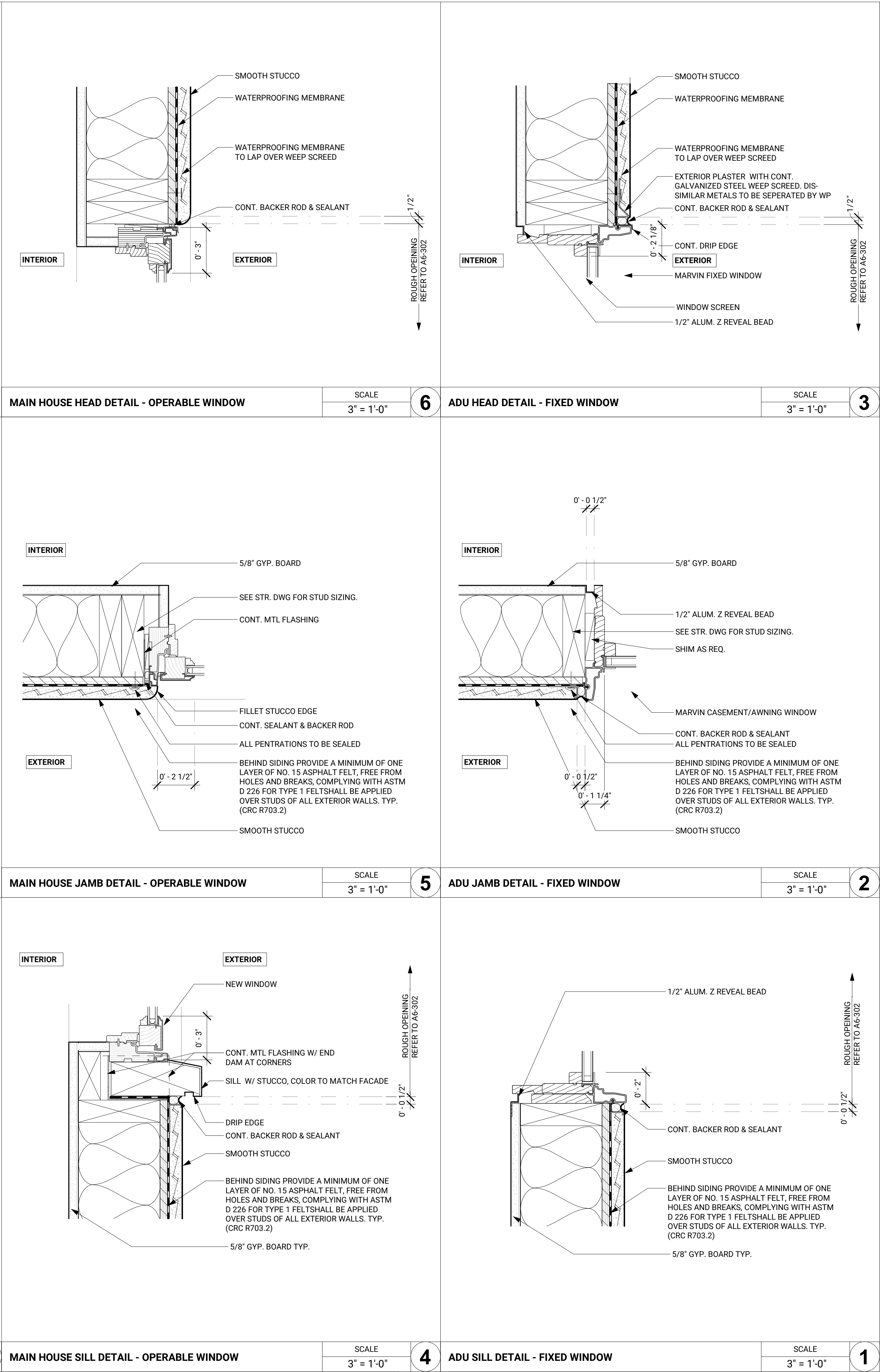
DATE:
10/23/2024

SHEET NUMBER:

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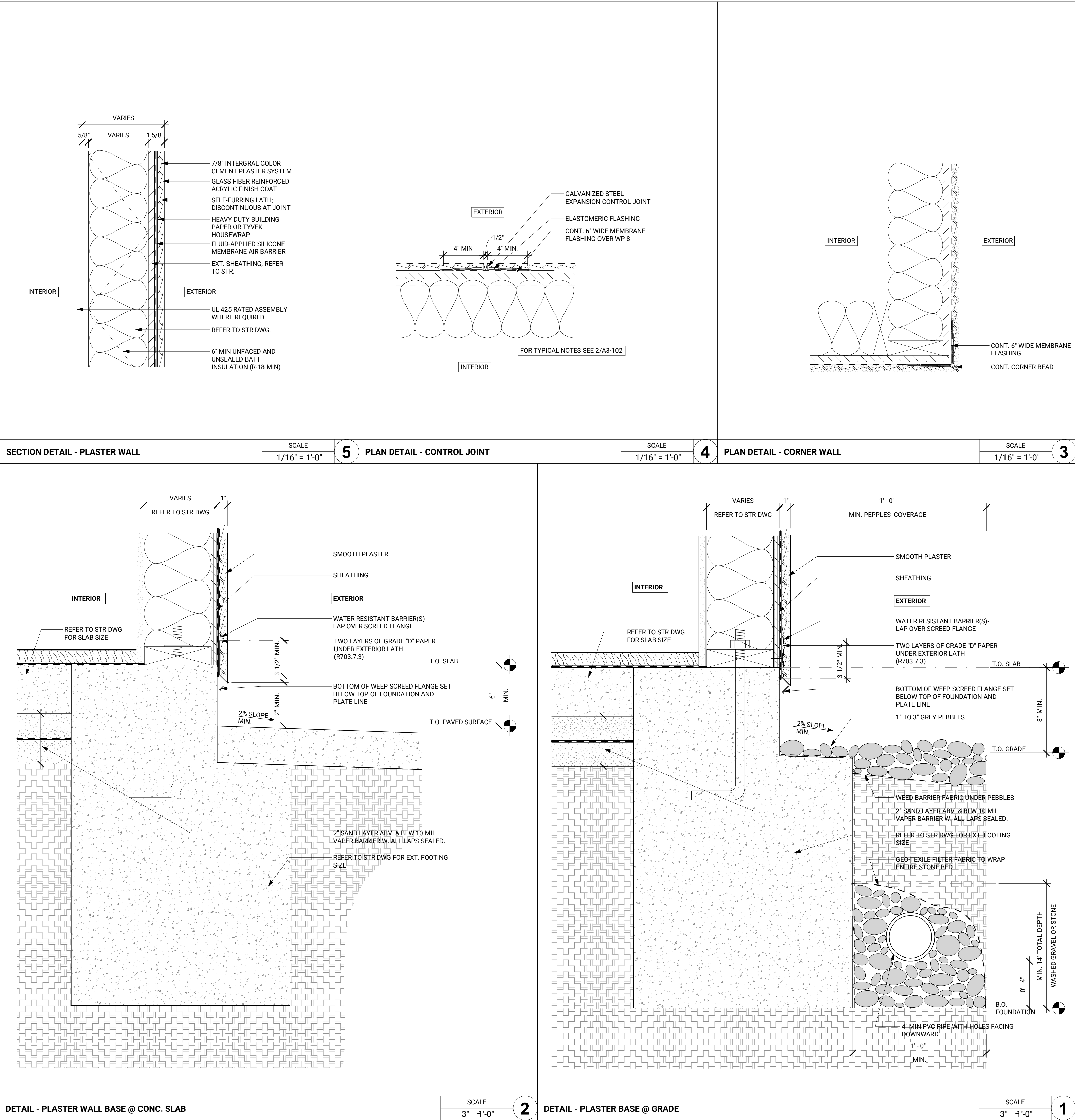
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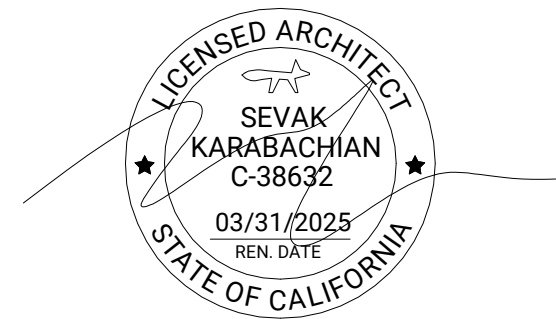
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NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
PLASTER DETAILS

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A4-311





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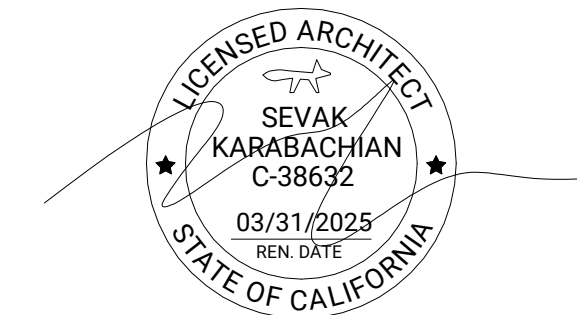
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NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

ROOF DETAILS

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

3" = 1'-0"

DRAWN BY:

DATE:

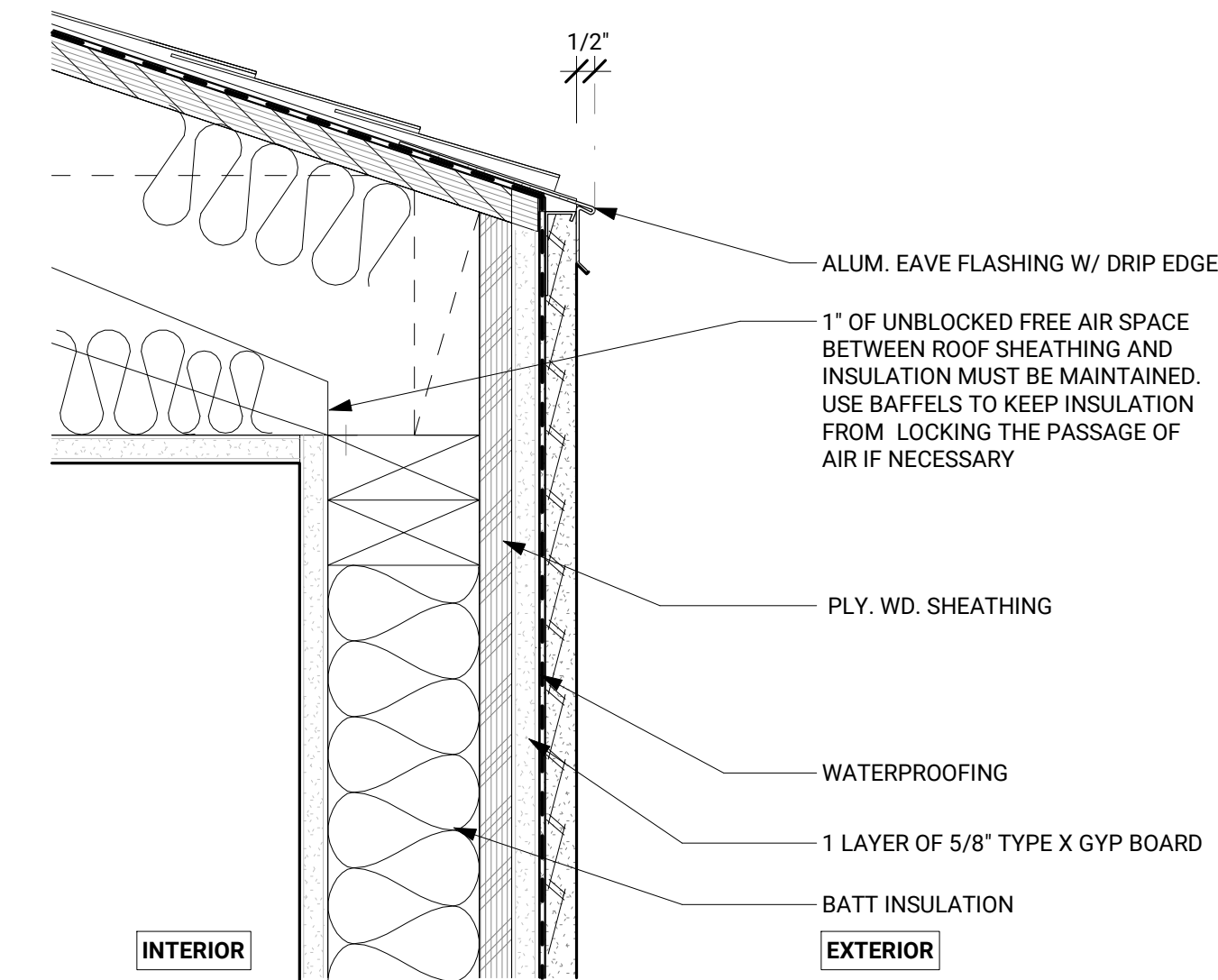
10/23/2024

SHEET NUMBER:

A4-331



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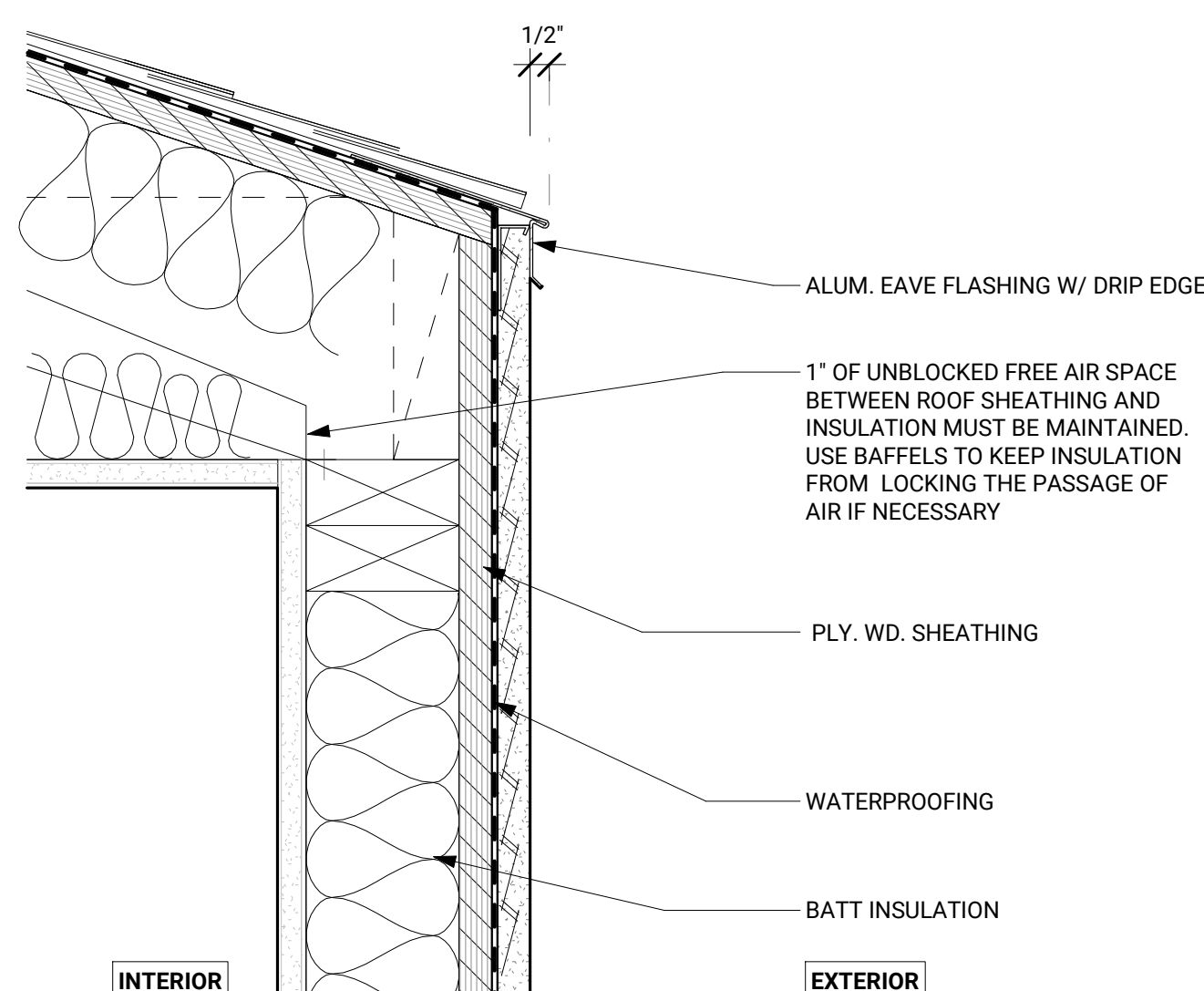


FIRE RATED ROOF DETAIL (NO EAVE)

SCALE

3" = 1'-0"

5

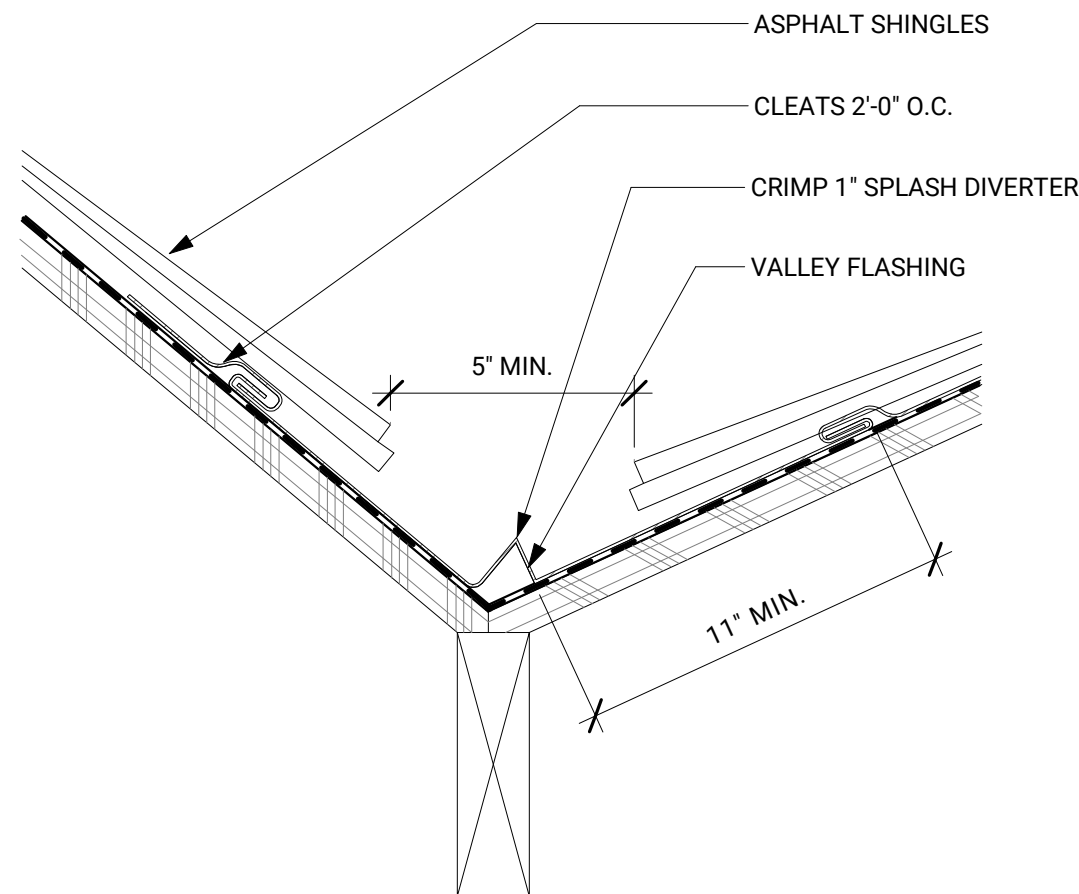


ROOF DETAIL (NO EAVE)

SCALE

3" = 1'-0"

2

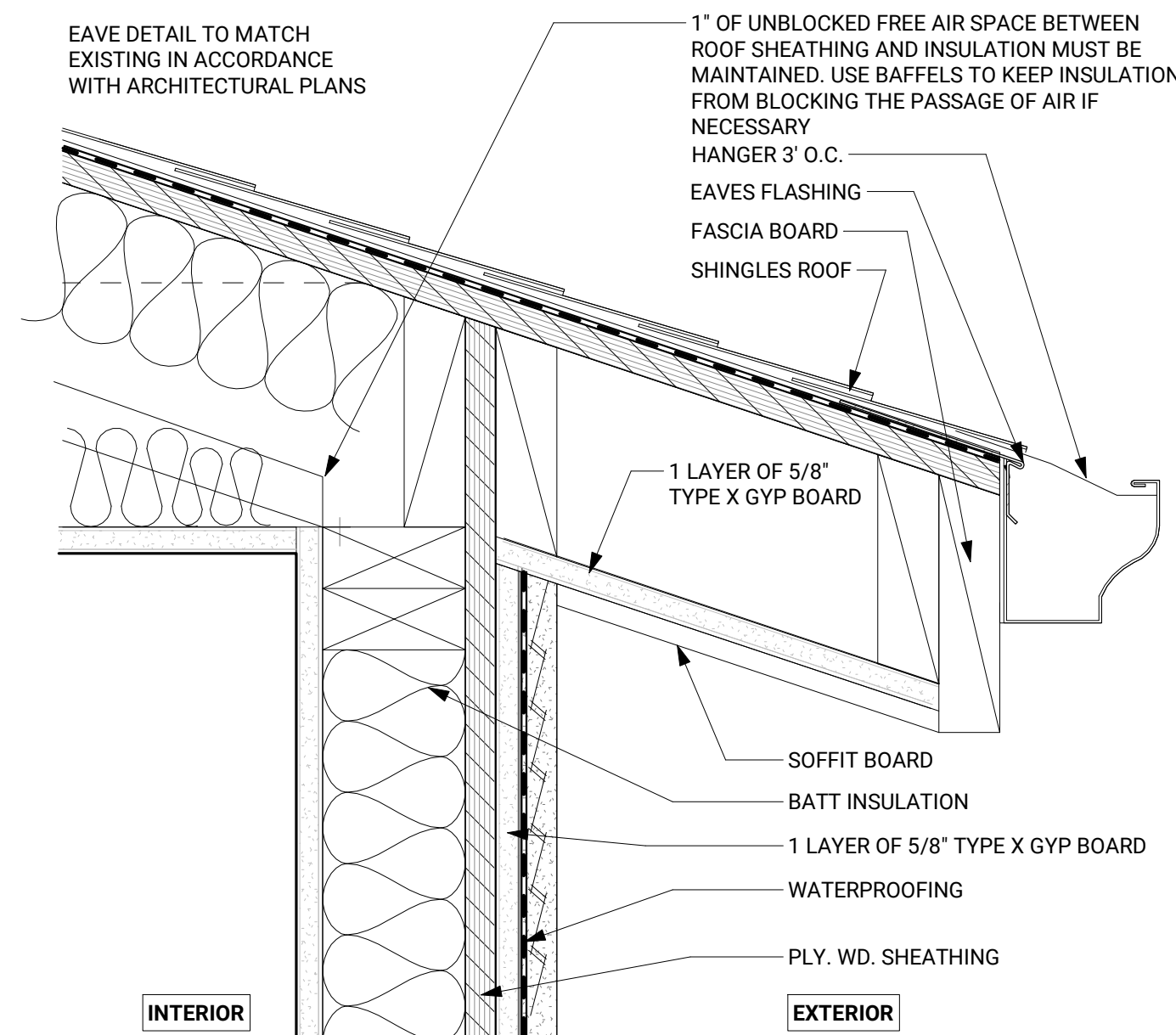


OPEN VALLEY FLASHING AT UNEQUAL SLOPES

SCALE

3" = 1'-0"

7

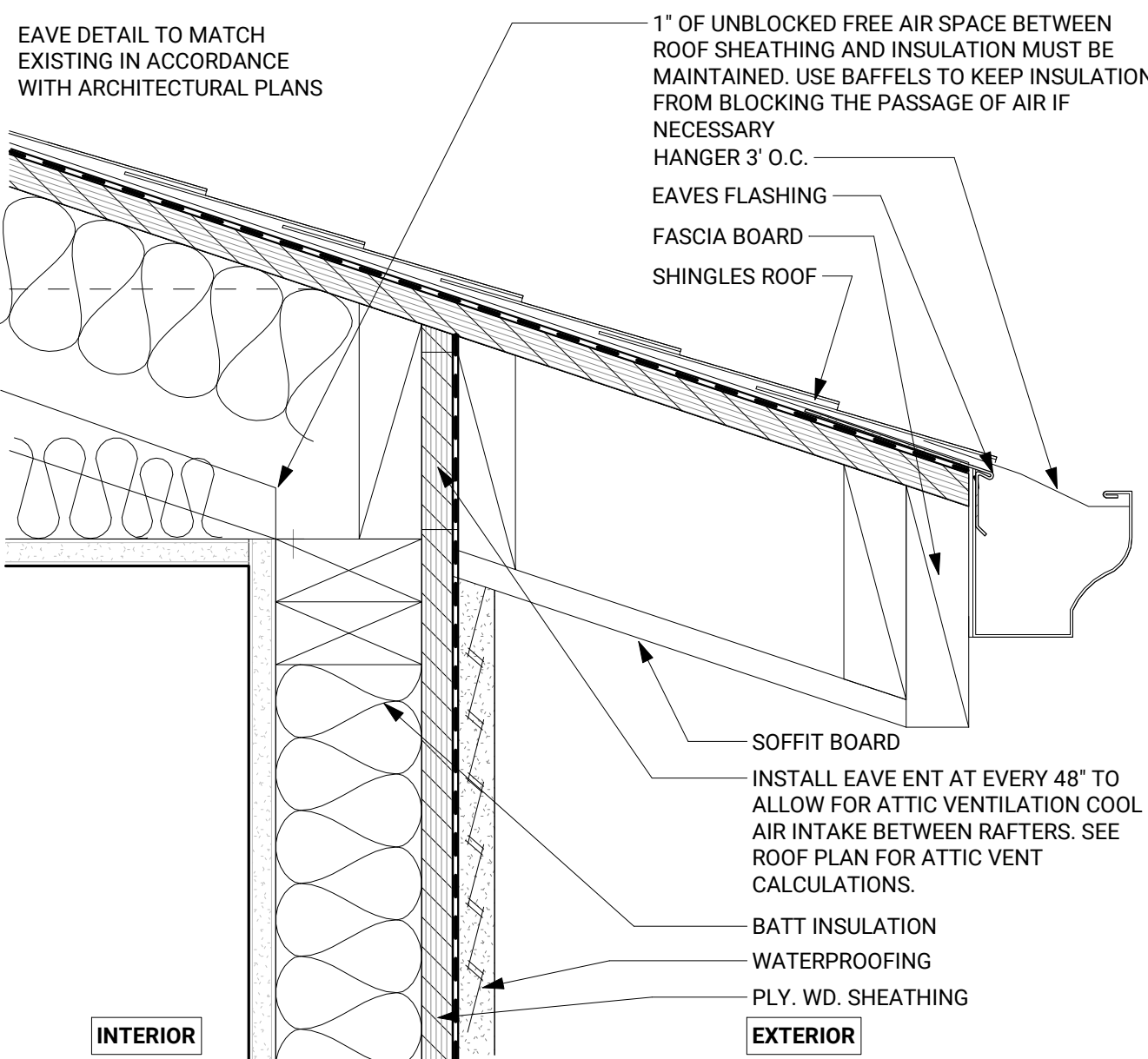


FIRE RATED EAVE DETAIL

SCALE

3" = 1'-0"

4



TYP. EAVE DETAIL

SCALE

3" = 1'-0"

1

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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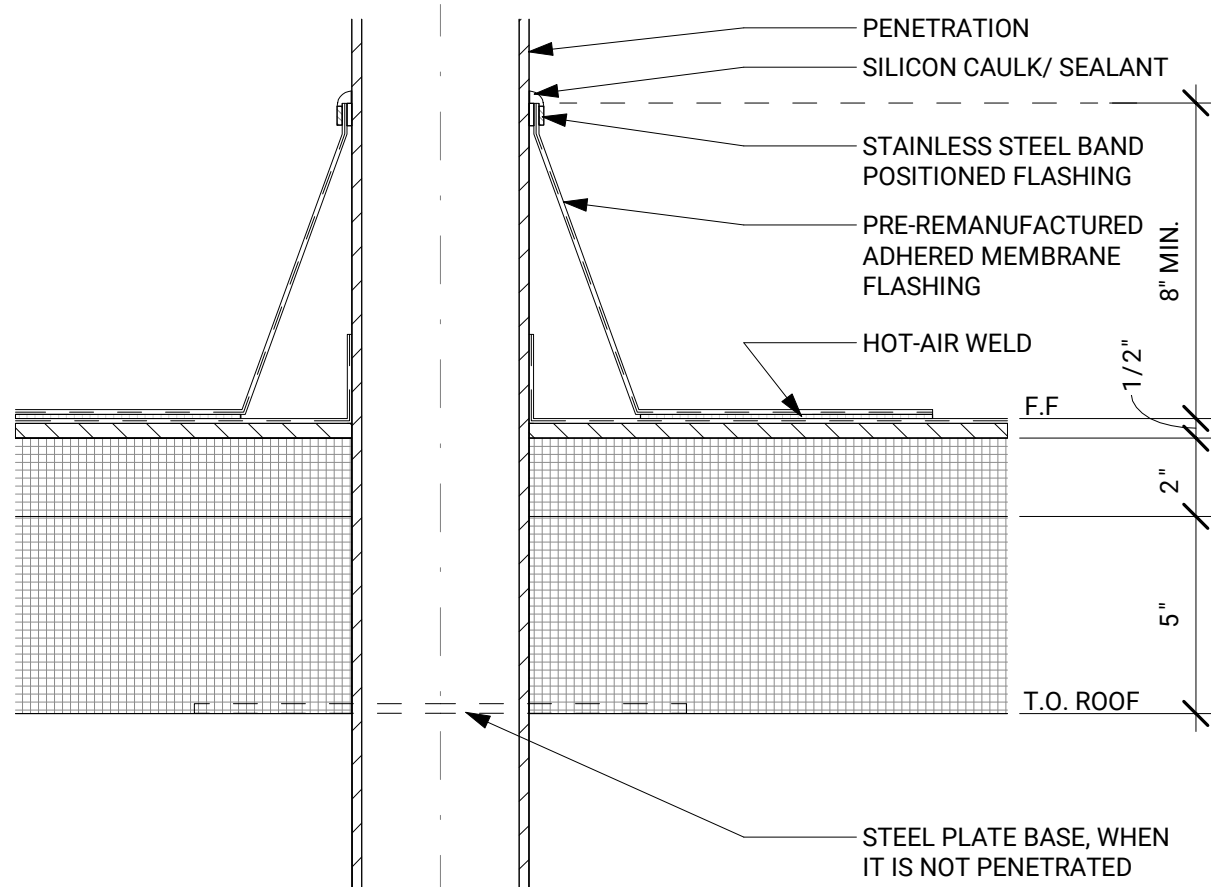
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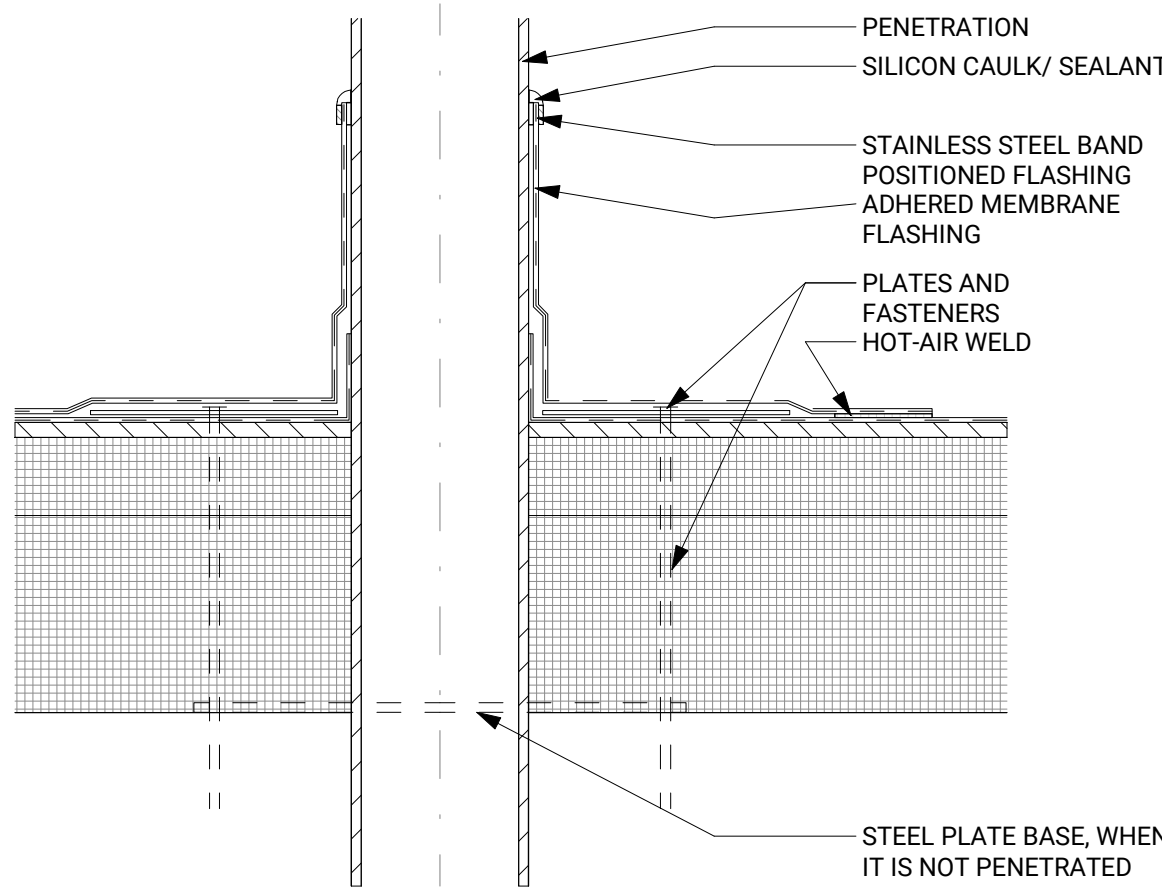
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NOTES:

- PENETRATIONS SHOULD HAVE A RECOMMENDED 12" OF CLEARANCE ON ALL SIDES FROM WALLS, CURBS AND OTHER PROJECTIONS.
- PENETRATIONS SHOULD BE RIGID, ROUND OR SQUARE TUBE AND EXTEND PERPENDICULAR FROM THE SURFACE OF THE ROOF.



NOTES:

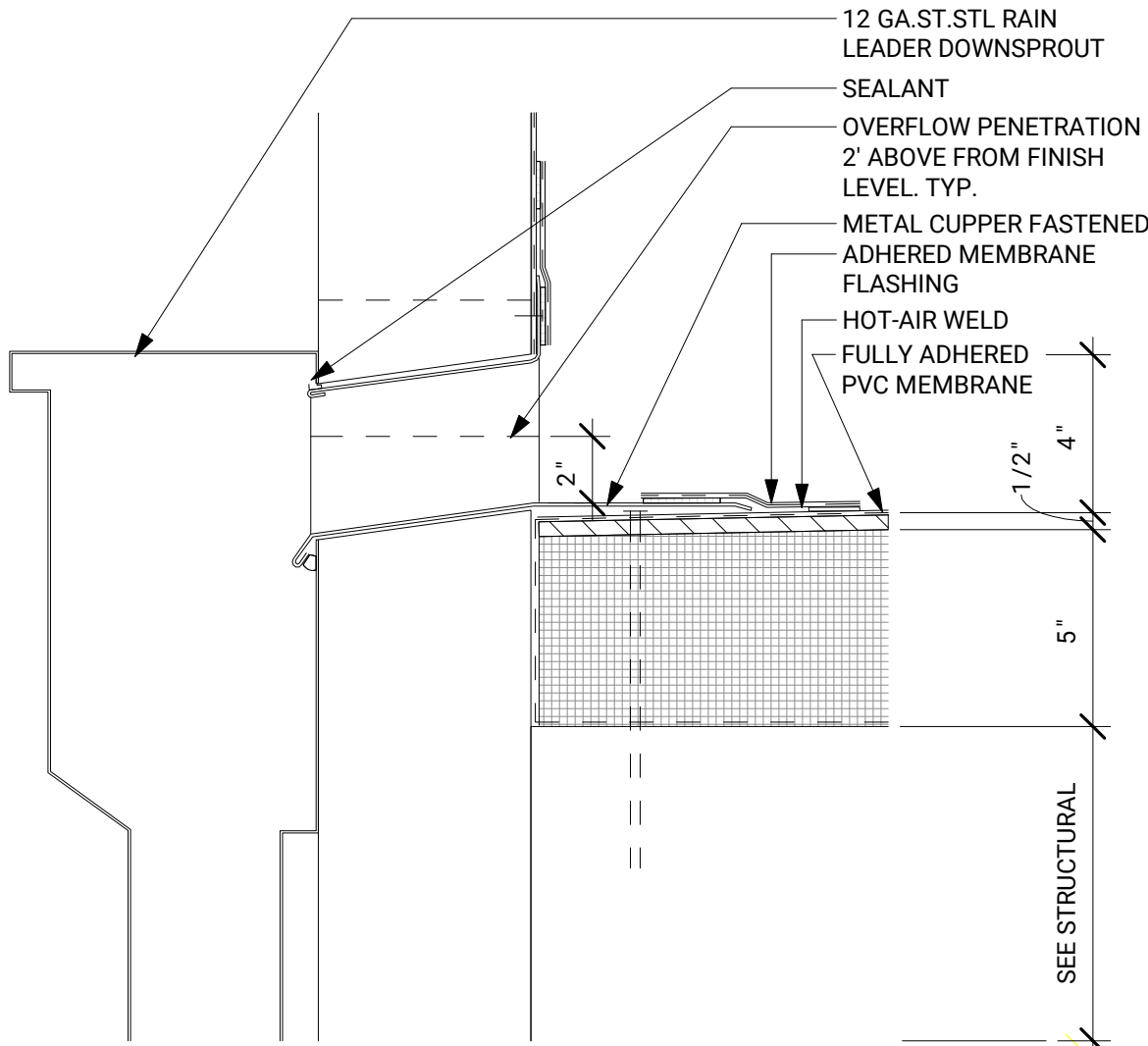
- PENETRATIONS SHOULD HAVE A RECOMMENDED 12" OF CLEARANCE ON ALL SIDES FROM WALLS, CURBS AND OTHER PROJECTIONS.
- PENETRATIONS SHOULD BE RIGID, ROUND OR SQUARE TUBE AND EXTEND PERPENDICULAR FROM THE SURFACE OF THE ROOF.
 - THIS DETAIL IS TO BE USED ONLY WHEN A PREMANUFACTURED FLASHING MEMBRANE CANNOT BE USED

PVC ROOF MEMBRANE FLASHING - PRE - MANUFACTURED BOOT

SCALE
1/16" = 1'-0"

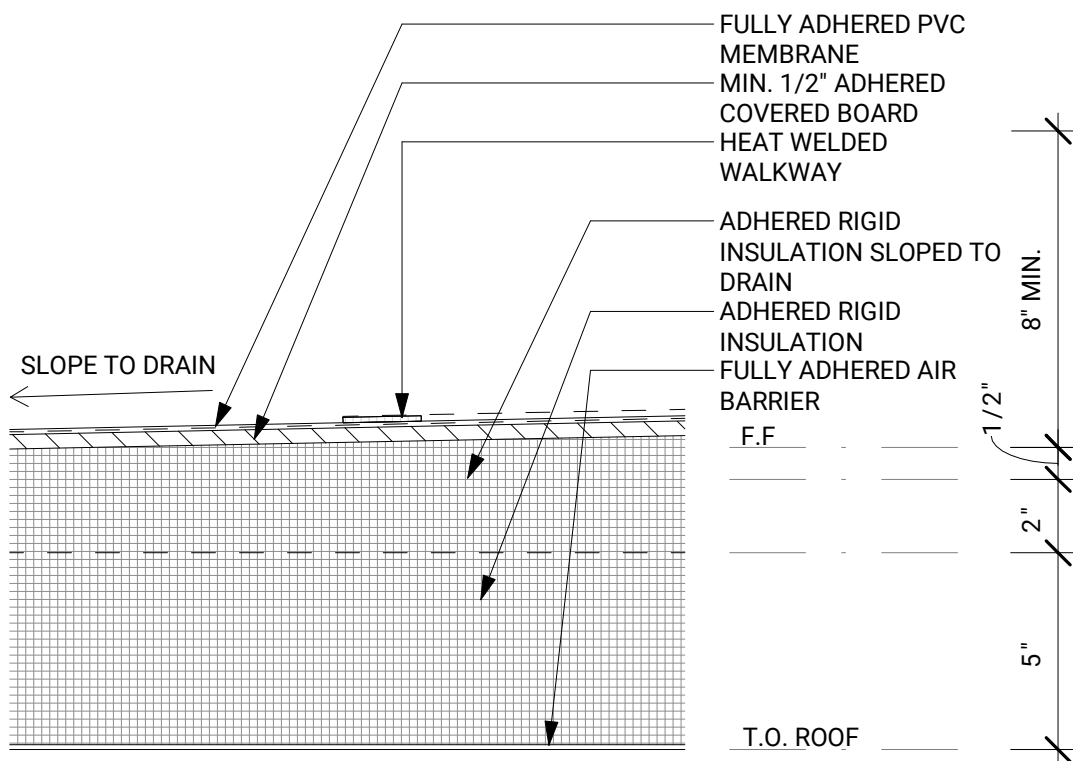
PVC ROOF PENTRATION FLASHING - FIELD WRAP

SCALE
1/16" = 1'-0"



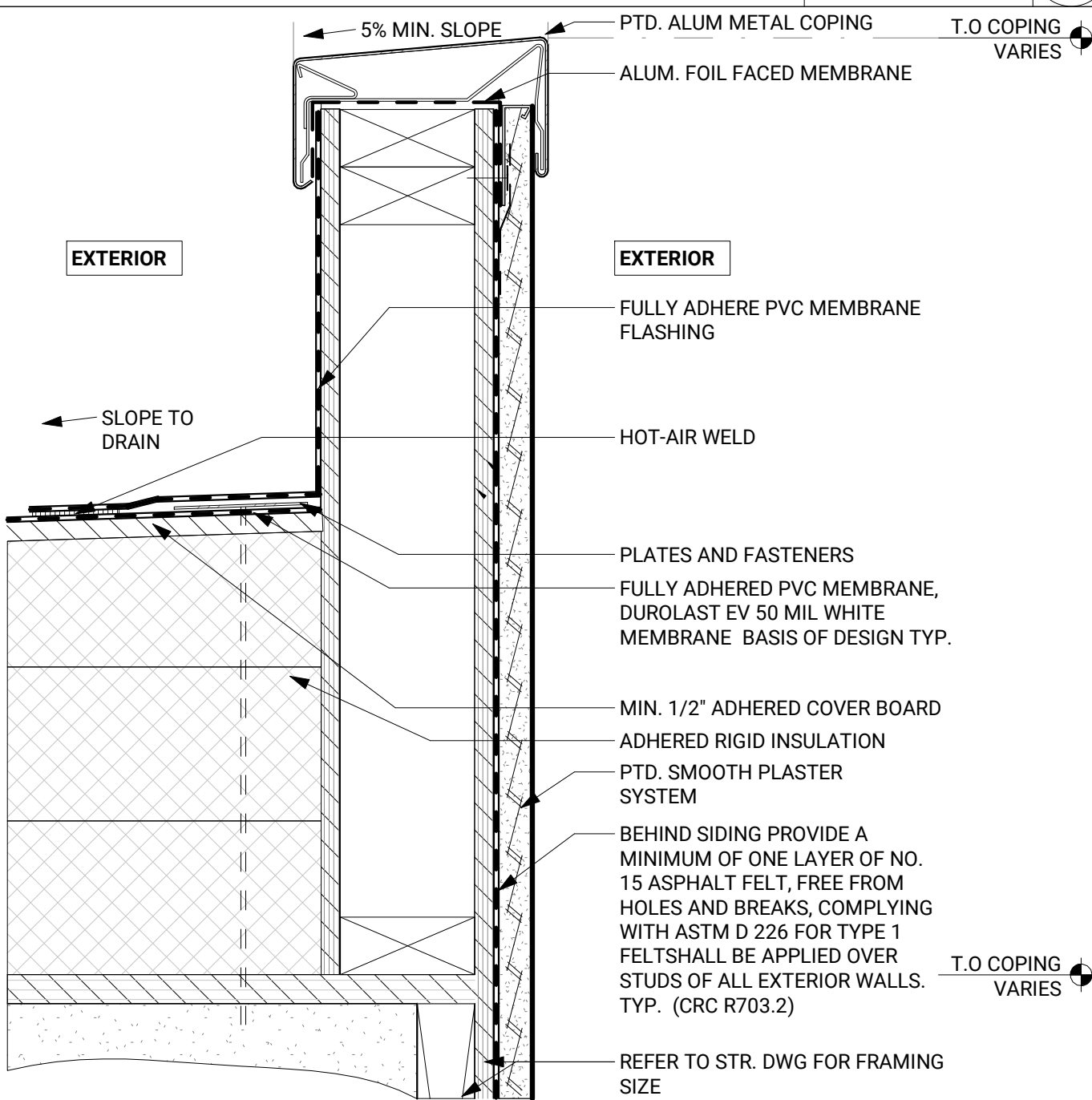
PVC ROOF MEMBRANE - WALL SCUPPER

SCALE
1/16" = 1'-0"



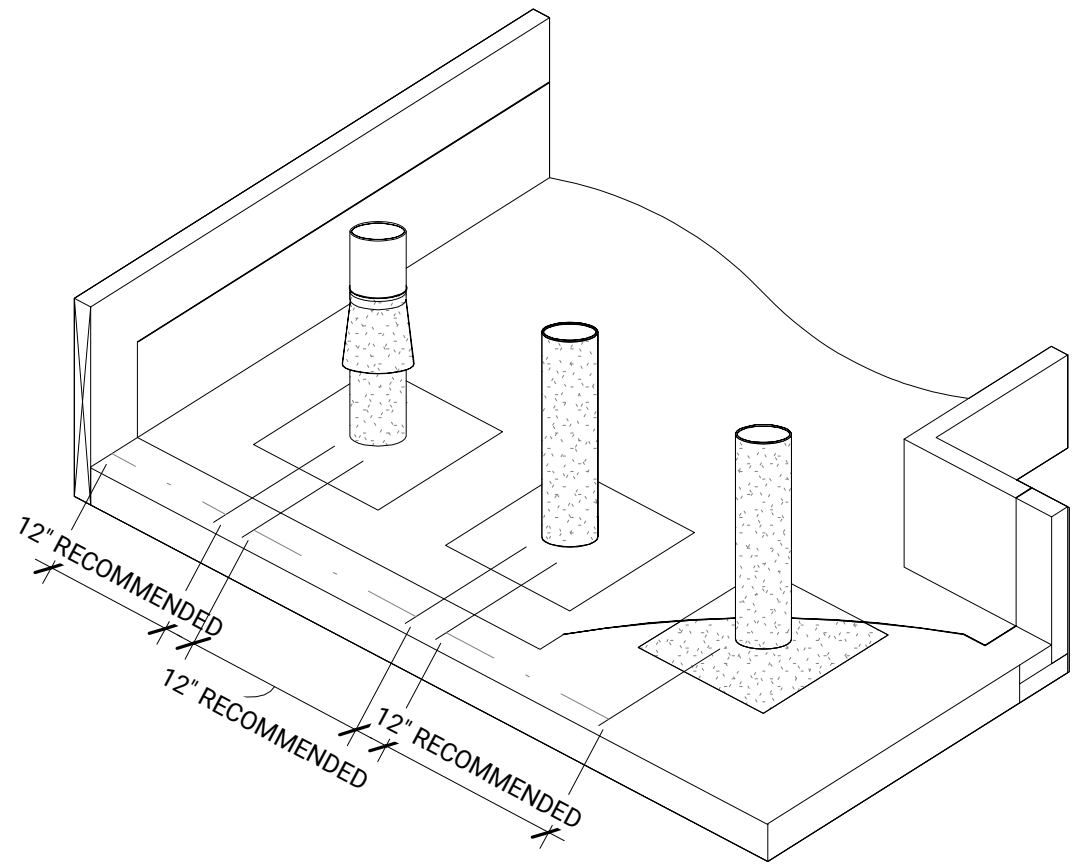
TYP. PVC ROOF MEMBRANE DETAIL

SCALE
1/16" = 1'-0"



SECTION DETAIL - PARAPET

SCALE
3" = 1'-0"



NOTES:

- THESE DIMENSIONS ARE INTENDED TO PROVIDE MINIMUM CLEARANCES TO ALLOW FOR PROPER FLASHING. LARGER DIMENSIONS MAY BE REQUIRED.
- PENETRATIONS SHOULD BE RIGID, ROUND OR SQUARE TUBE AND EXTEND PERPENDICULAR FROM THE SURFACE OF THE ROOFING SURFACE A RECOMMENDED DIMENSION OF 8".
- ACTUAL MEP SPACING OF PENETRATIONS MAY NOT PROVIDE FOR 12" CLEARANCE, BUT IN NO CASE SHALL SPACINGS BE LESS THAN REQUIRED FOR THE ROOFING MEMBRANE FLASHING TO BE PROPERLY INSTALLED.
- COORDINATE ALL SPACINGS WITH ROOFING CONTRACTOR

PVC ROOF MEMBRANE - PENTRATION SPACING STANDARDS

SCALE
1/16" = 1'-0"

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE
-----	-------	------

PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

ROOF DETAILS

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A4-332





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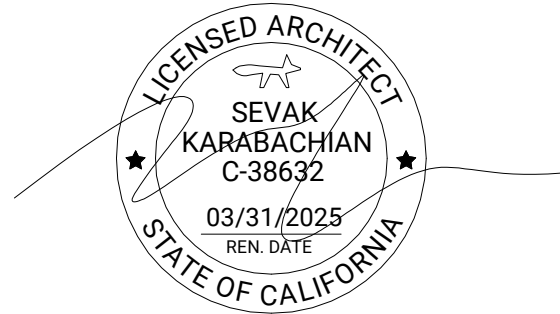
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- LEGEND RCP
- RECESSED DOWN LIGHT
 - WALL MOUNTED LIGHT FIXTURE
 - LINEAR AND/OR BUILT-IN FIXTURE
 - RECESSED SPRINKLER HEAD
 - PENDANT LIGHT FIXTURE
 - RECESS WALL MOUNTED LIGHT FIXTURE
 - WALL MOUNTED SPRINKLER HEAD
 - COMBINATION SMOKE AND CARBON MONOXIDE ALARM
 - EXHAUST FAN 50CFM INTERMITTENT AT ALL BATHROOM LOCATIONS FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - CEILING MATERIAL
CEILING HEIGHT
 - CEILING FAN W/ LIGHT FIXTURE
 - CONTINUOUS LINEAR SLOT DIFFUSER

NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
MAIN HOUSE RCP

PERMIT #:BSFD-018869-2024

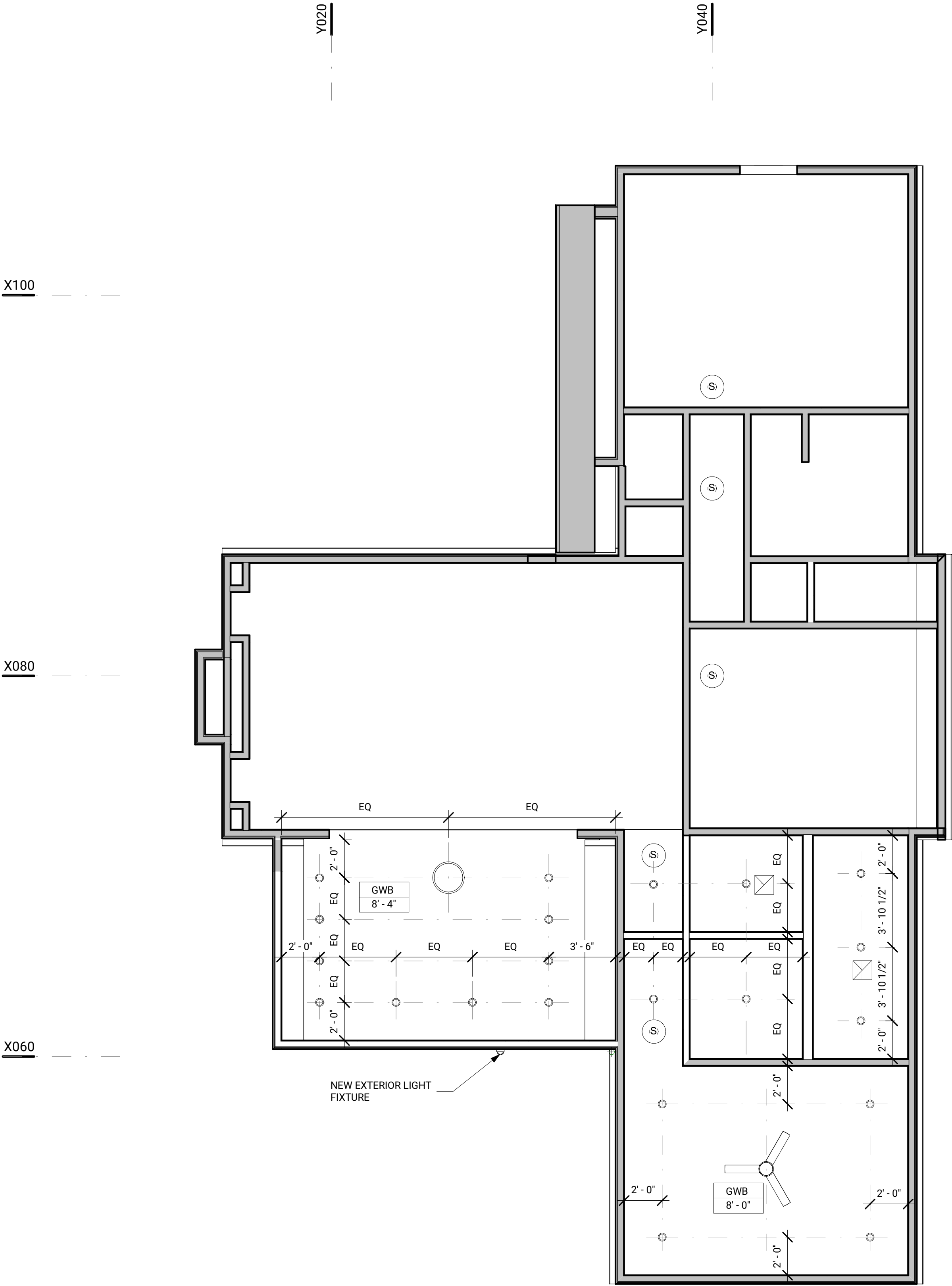
PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"
PROJECT:
2024-008
SCALE:
As indicated
DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

A6-101



0 2 4 8
1/4" = 1'-0"



1 MAIN HOUSE RCP
1/4" = 1'-0"

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

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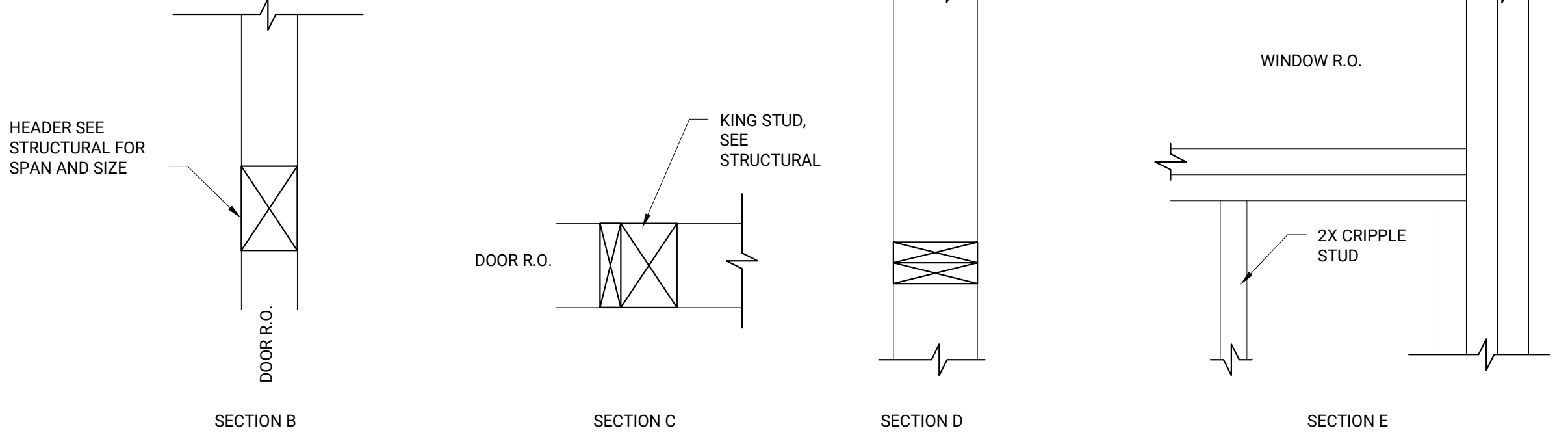
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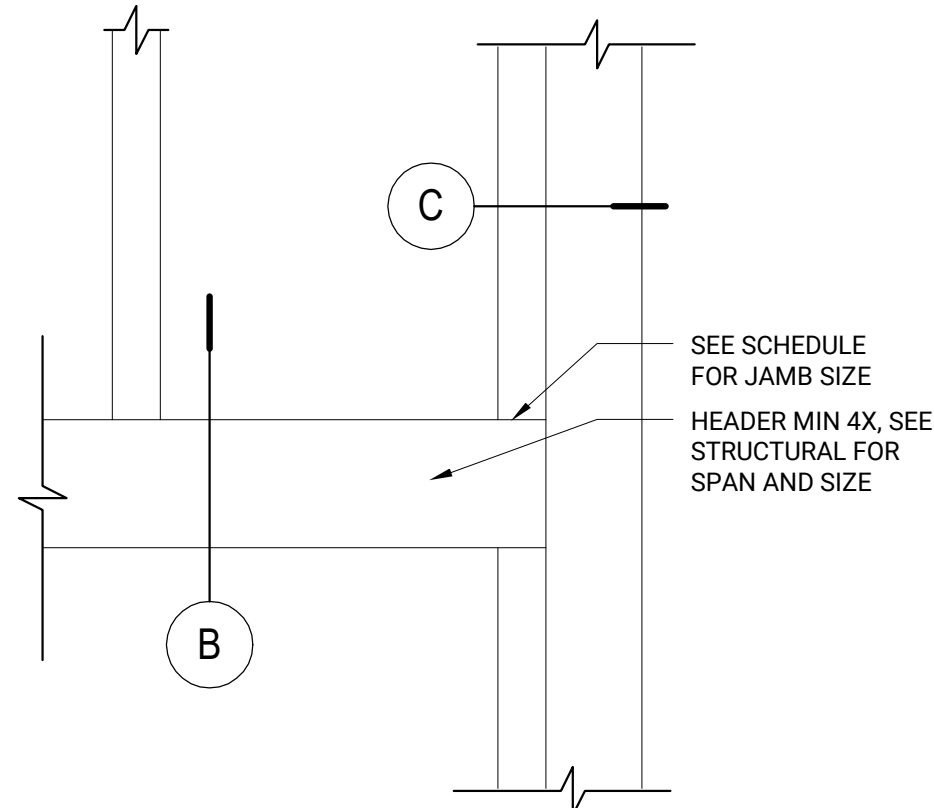
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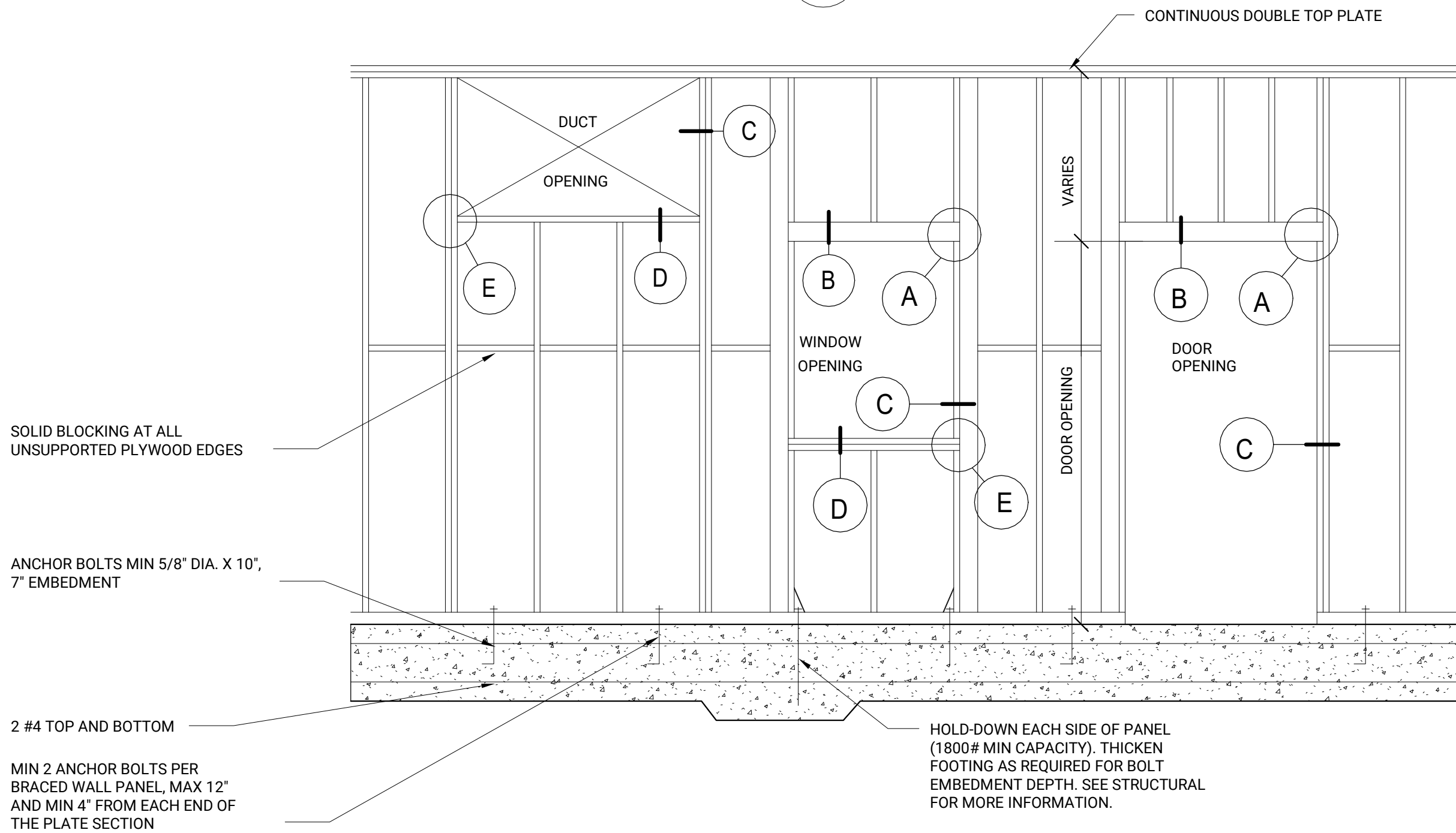
SECTION B, C, D, E,
TYPICAL FOR ALL OPENING SIZE

3



SECTION A
OPENING SIZE 3'-6" OR LESS

2

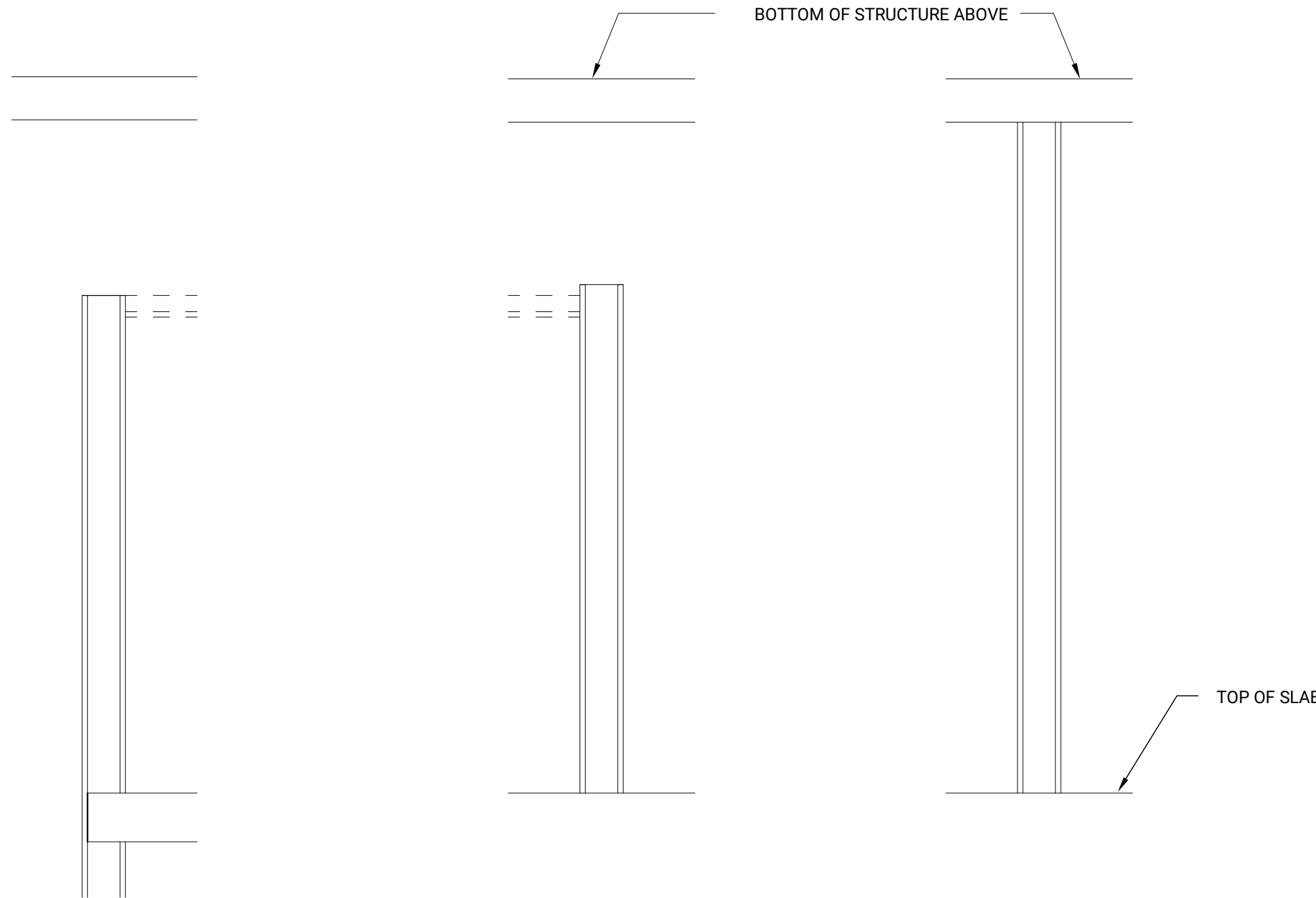


TYPICAL FRAMING ELEVATION

FRAMING DETAILS IN STUD WALL

SCALE
N.T.S.

02



SECTION C

SECTION B

SECTION A

WALL PARTITION TYPES AND NOTES

SCALE
NTS

01

A. PARTITIONS GENERAL NOTES:

- PARTITION TYPES ARE IDENTIFIED ON A 2-101 SERIES FLOOR PLANS.
- PARTITION TAGS INDICATE THE REQUIRED FIRE RATING FOR ASSOCIATED PARTITION CONSTRUCTION AS DESCRIBED.
- FIRE RESISTANT PARTITION ASSEMBLIES SHALL BE CONSTRUCTED OF MATERIALS AND IN THE MANNER DESCRIBED IN THE U400 SERIES PARTITION DESIGN IN THE UL FIRE RESISTANCE DIRECTORY AND THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL GA-600.
- PARTITION TAG INDICATES THE COMPLETE WALL ASSEMBLY WITH EXCEPTION OF FINISHES. REFER TO ROOM FINISH SCHEDULE FOR FINISH REQUIREMENTS. WHERE ASSEMBLY HAS MULTIPLE TAGS REFER TO PLANS FOR THICKNESS OF THE PARTITION.
- DIMENSIONS SHOWN ON PLANS ARE MEASURED TO FACE OF FINISHES.
- ALL WOOD STUD PARTITIONS SHALL BE COORDINATED WITH ADJACENT TRADES FOR THE LATERAL BRACING AND BRIDGING

B. PARTITION TYPE NAMING CONVENTION

THE PARTITION TAG CONSISTS OF 4 DIGITS. REFER TO THE EXPLANATION OF EACH DIGIT BELOW:

234AA

THE FIRST DIGIT REFERS TO THE REQUIRED FIRE RATING OF THE PARTITION.
0- NON RATED
1- 1 HOUR
2- 2 HOUR
3- 3 HOUR
4- 4 HOUR

234AA

THE SECOND AND THIRD DIGITS REFER TO THE PARTITION DETAIL NUMBER ON SHEET A6-302
INTERIOR PARTITION DETAILS.

234AA

THE FOURTH DIGIT REFERS TO THE SPECIFIC TYPE WITHIN THE PARTITION DETAIL, AS IDENTIFIED IN THE TYPE CHART BELOW.

234AA

THE FIFTH DIGIT REFERS TO THE SPECIFIC SECTION TYPE SHOWN IN SECTION CHART ABOVE.

* THE TYPE CHART ON EACH PARTITION DETAIL DESCRIBES SPECIFIC VARIATIONS. A VARIATION IN A PARTITION TYPE MAY BE DEFINED BY THE INFORMATION IN ANY ONE COLUMN, OR MULTIPLE COLUMNS. COLUMNS INCLUDED ON THE CHARTS VARY ACCORDING TO THE MATERIALS USED IN THE PARTITION ASSEMBLIES. THE FOLLOWING IS AN EXAMPLE OF A CHART FOUND ON THE PARTITION TYPE DETAIL SHEET.

TYPE	STUD SIZE	PARTITION THICKNESS	UL DESIGN	INSULATION	REMARKS
A	3-1/2"	4-3/4"	1 HOUR: U419 OR U465	ACOUST/3"	
B	3-1/2"	4-3/4"	1 HOUR: U419 OR U465	NONE	

ASSEMBLY TYPE:	REFERS TO PARTITION TYPE NOTED IN PLAN AND FINISH SCHEDULE FOR COMPLETE ASSEMBLY
STUD SIZE:	MINIMUM ACCEPTABLE WOOD STUD SIZE.
PARTITION THICKNESS:	OVERALL DIMENSION OF PARTITION FROM FACE OF DRYWALL
UL DESIGN NO.	REFERS TO UL FIRE RESISTANCE DESIGNS FOR THE FIRE RATING INDICATED BY THE FIRST DIGIT OF THE PARTITION DETAIL TAG MULTIPLE UL DESIGN NUMBERS INDICATE
INSULATION :	OTHER ASSEMBLIES THAT VARY DEPENDING ON THE MATERILAS SELECTED. IT IS THE CONTRACTORS RESPONSIBILITY TO SELECT THE CORRECT UL DESIGN FROM AVAILABLE ASSEMBLIES THAT MEET PARTITION CRITERIA. MINIMUM THICKNESS OF INSULATION REQUIRED. REFER TO ENERGY CALCULATIONS FOR INSULATION TYPES.

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

PARTITION NOTES

PERMIT #BSFD-018869-2024

PLANNING #PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"
PROJECT:
2024-008
SCALE:

DRAWN BY:
DATE:
10/23/2024

SHEET NUMBER:

A6-301





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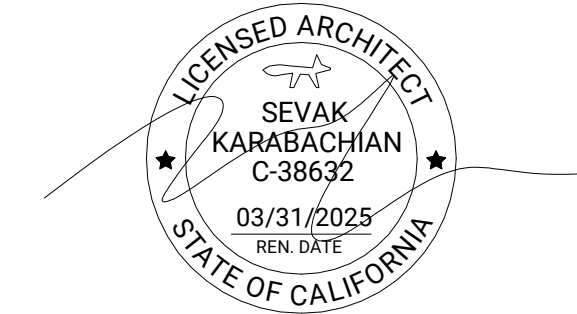
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NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

**PARTITION
TYPE/DETAILS**

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A6-302



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<p>PARTITION 03</p> <table><thead><tr><th></th><th>PARTITION THICKNESS</th><th>STUD SIZE</th><th>UL DESIGN</th><th>INSULATION</th><th>REMARKS</th></tr></thead><tbody><tr><td>A</td><td>4 1/8"</td><td>1 1/2" X 3 1/2"</td><td>N/A</td><td>R-15</td><td>FURR WALL</td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>		PARTITION THICKNESS	STUD SIZE	UL DESIGN	INSULATION	REMARKS	A	4 1/8"	1 1/2" X 3 1/2"	N/A	R-15	FURR WALL													<p>PARTITION 06</p> <table><thead><tr><th></th><th>PARTITION THICKNESS</th><th>CMU SIZE (NOM.)</th><th></th><th>INSULATION</th><th>UL DESIGN NO.</th><th>REMARKS</th></tr></thead><tbody><tr><td>A</td><td>7-5/8"</td><td>8X8X16</td><td>SOLID GROUT</td><td>N/A</td><td>U901, U904, U905, OR U907</td><td>FILL CELLS AS RED BY UL FOR 3, 4 HR RATINGS</td></tr></tbody></table>		PARTITION THICKNESS	CMU SIZE (NOM.)		INSULATION	UL DESIGN NO.	REMARKS	A	7-5/8"	8X8X16	SOLID GROUT	N/A	U901, U904, U905, OR U907	FILL CELLS AS RED BY UL FOR 3, 4 HR RATINGS	<p>PARTITION 09</p> <table><thead><tr><th></th><th>PARTITION THICKNESS</th><th>INSULATION</th><th>UL DESIGN NO.</th><th>REMARKS</th></tr></thead><tbody><tr><td>A</td><td>VARIES</td><td>R:</td><td>U901, U904, U905, OR U907</td><td> </td></tr></tbody></table>		PARTITION THICKNESS	INSULATION	UL DESIGN NO.	REMARKS	A	VARIES	R:	U901, U904, U905, OR U907															
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K:\2024\008 926 Dryden St. - BDS - Rev11 - Models and Drawings\0506 E DRYDEN ST. -MST.rvt



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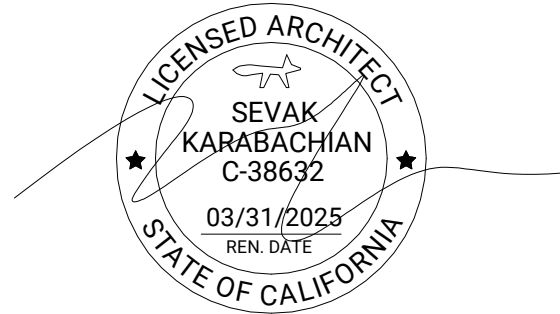
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NO.	ISSUE	DATE



PROJECT ADDRESS:
926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:
**PARTITION BASE
DETAILS**

PERMIT #:BSFD-018869-2024

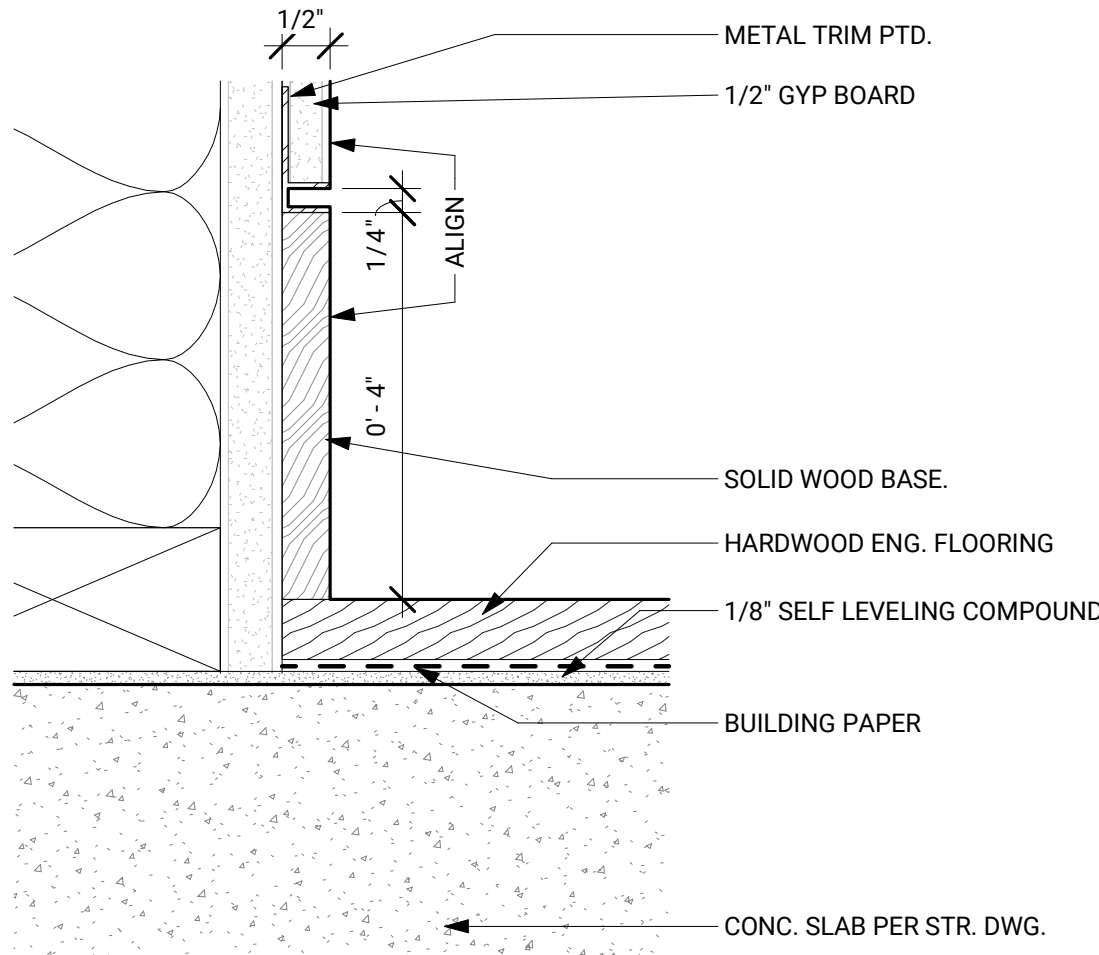
PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"
PROJECT:
2024-008
SCALE:
6" = 1'-0"
DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

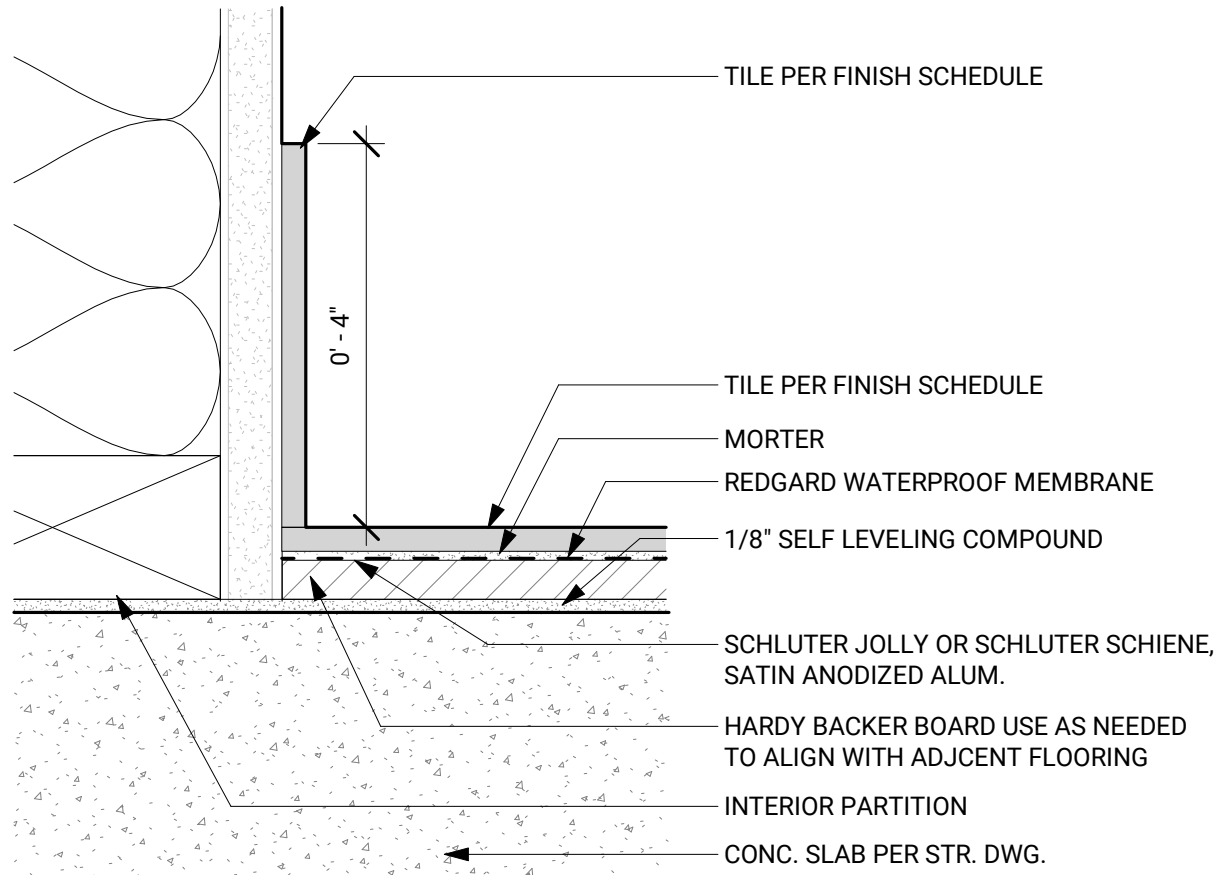
A6-303



FLUSH WOOD BASE DETAIL

SCALE
6" = 1'-0"

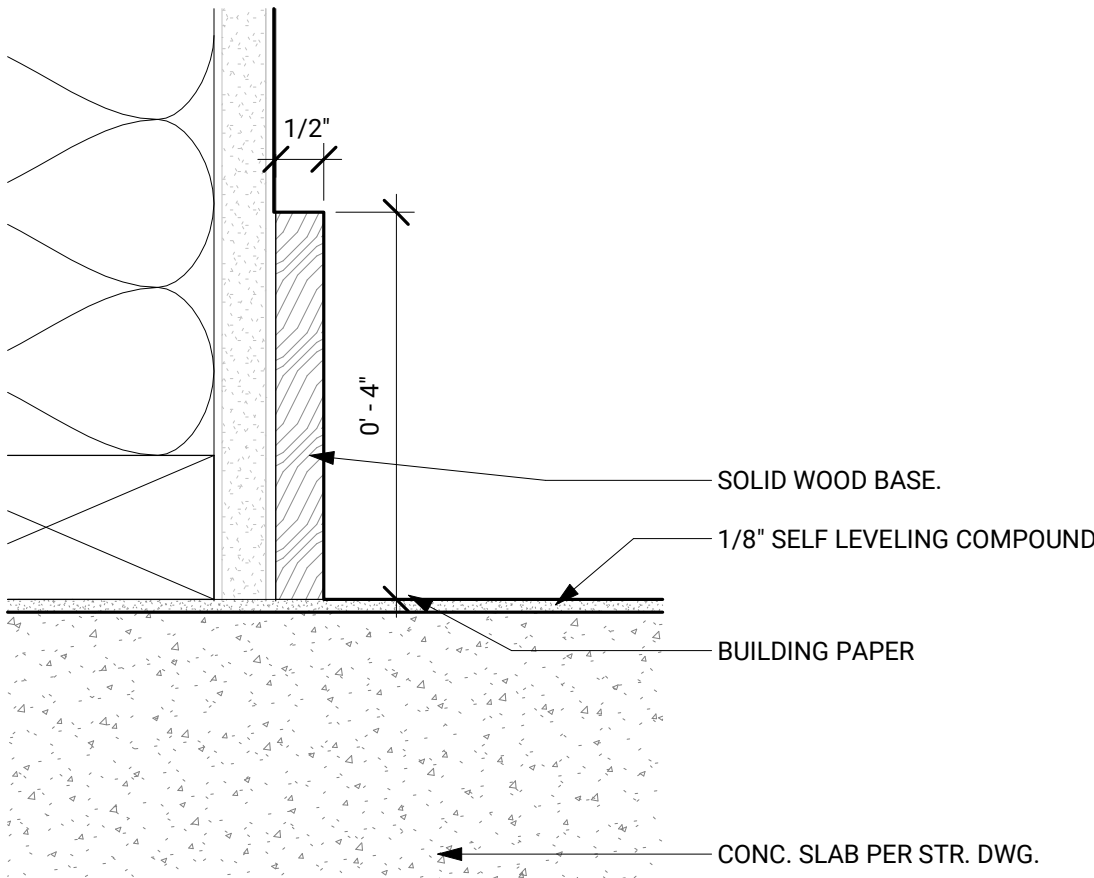
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TILE BASE DETAIL

SCALE
6" = 1'-0"

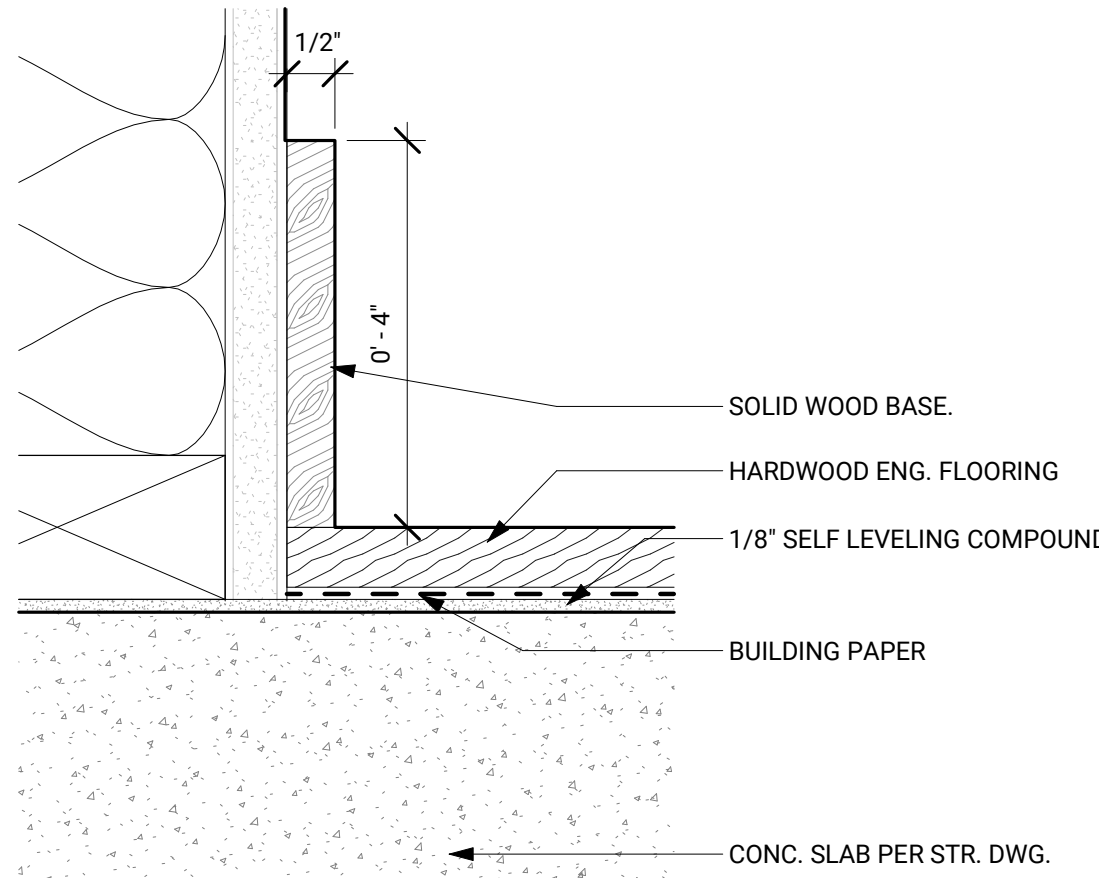
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TYP. WOOD BASE @ GARAGE

SCALE
6" = 1'-0"

4



TYP. WOOD BASE DETAIL

SCALE
6" = 1'-0"

1

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

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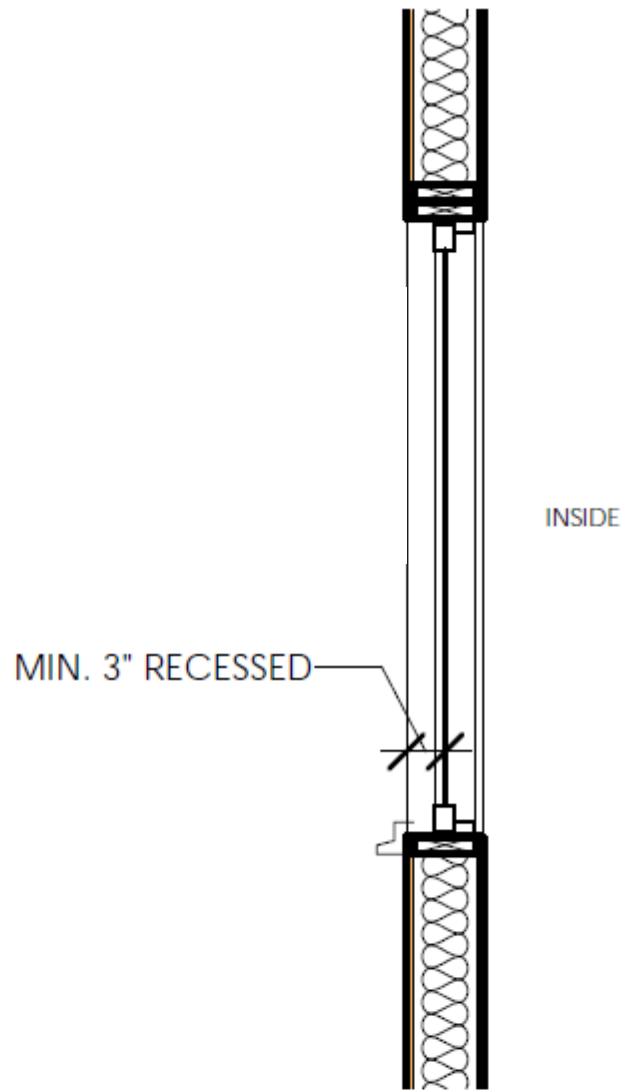
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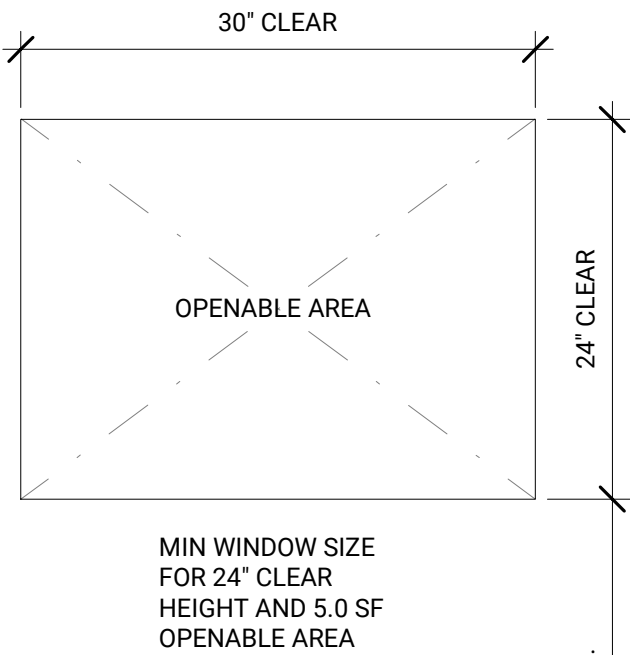
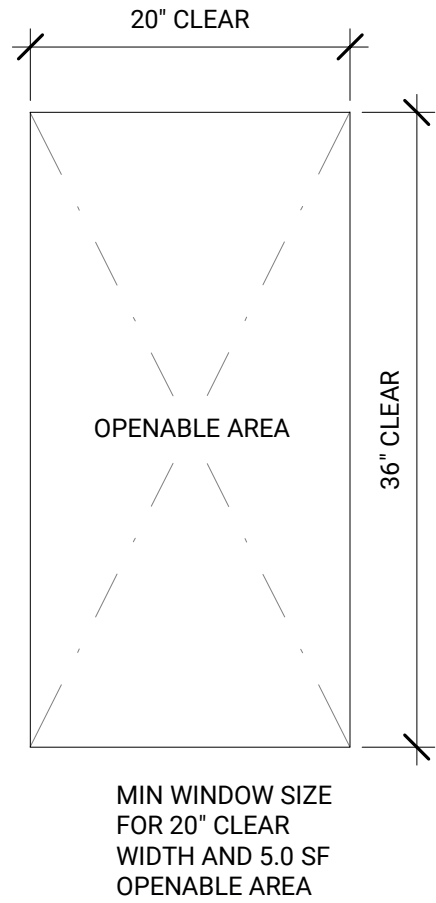
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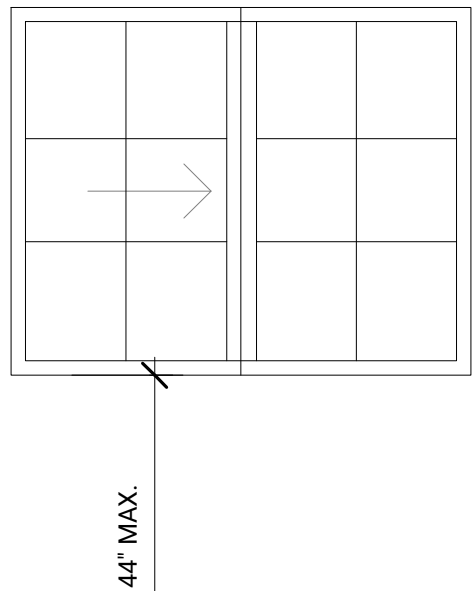
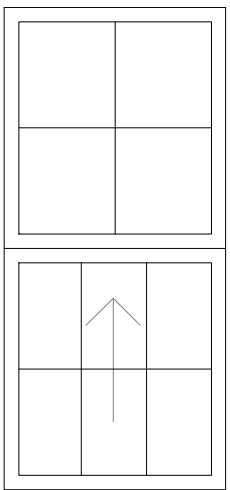
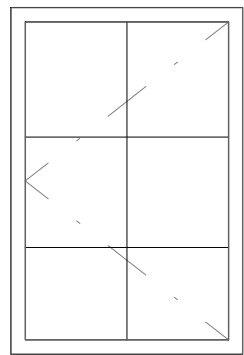
1 WINDOW SECTION
1/2" = 1'-0"

WINDOW SCHEDULE																					
WINDOW NUMBER	QUANTITY	(N) DIMENSIONS		(E) DIMENSIONS		(E) MATERIAL	(N) MATERIAL	VISIBLE FROM STREET	(E) OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL)	KEEP EXISTING SILL & FRAME	BUILD NEW SILL & FRAME	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BEDROOM	ENERGY EFFICIENT	TEMPERED GLASS	FIRED HAZARD ZONE	WINDOW WITHIN 18' OF FLOOR OR 40' OF DOOR
		WIDTH	HEIGHT	WIDTH	HEIGHT																
C4	1	6'-0"	3'-4"	6'-0"	3'-0"	MTL.	ALUM./WD	YES	SLIDING	CSMT-FIXED-CSMT	BLOCK	YES	YES	NO	NO TRIM	NO TRIM	YES	YES	NO	NO	NO
C5	1	6'-0"	3'-0"	3'-0"	N/A	N/A	ALUM./WD	YES	N/A	CSMT-FIXED-CSMT	RECESSED NAIL-IN	YES	N/A	YES	N/A	NO TRIM	NO	YES	NO	NO	NO
C6	1	5'-0"	3'-0"	5'-0"	3'-0"	MTL.	ALUM./WD	NO	SLIDING	CASEMENT	BLOCK	YES	YES	NO	NO TRIM	NO TRIM	YES	YES	NO	NO	NO
C8	1	2'-6"	3'-4"	N/A	N/A	N/A	ALUM./WD	NO	SWING DOOR	CASEMENT	RECESSED NAIL-IN	YES	NO	YES	NO TRIM	NO TRIM	YES	YES	NO	NO	NO
C9	1	3'-0"	3'-0"	3'-0"	3'-0"	MTL.	ALUM./WD	NO	LOUVER	CASEMENT	BLOCK	YES	YES	NO	NO TRIM	NO TRIM	NO	YES	NO	NO	NO
C10	1	3'-0"	5'-1"	3'-0"	6'-0"	MTL.	ALUM./WD	YES	LOUVER	CASEMENT	BLOCK	YES	NO	YES	NO TRIM	NO TRIM	YES	YES	NO	NO	NO

THE FOLLOWING WINDOW SIZES WILL BE
THE MINIMUM ALLOWED FOR 5.0 SF



- 20" MIN CLEAR WIDTH
- 24" MIN CLEAR HEIGHT
- 5.0 SF MIN. OPENABLE AREA AT GRADE FLOOR ONLY, 5.7 SF MIN ELSEWHERE.

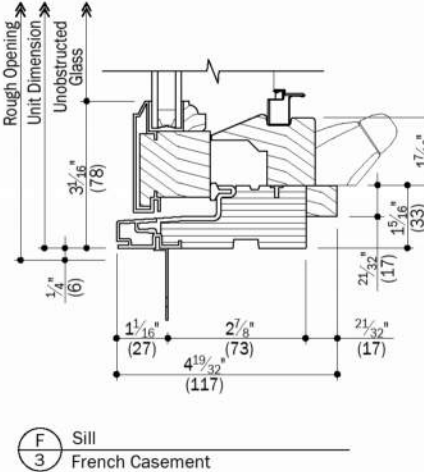
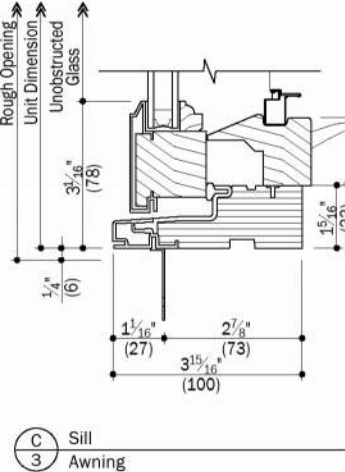
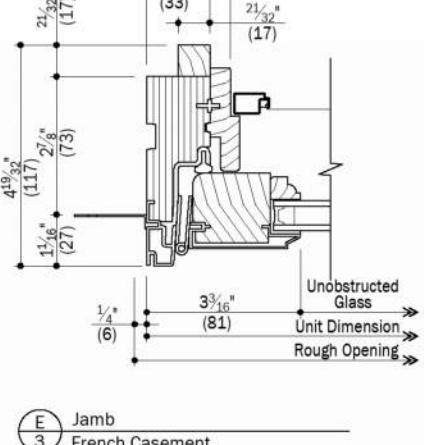
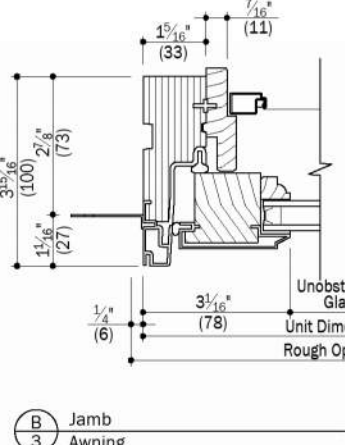
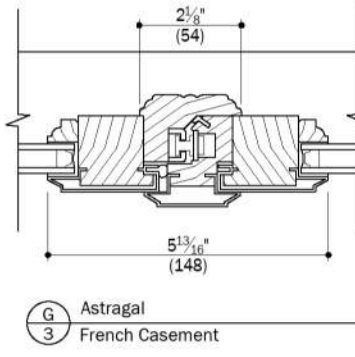
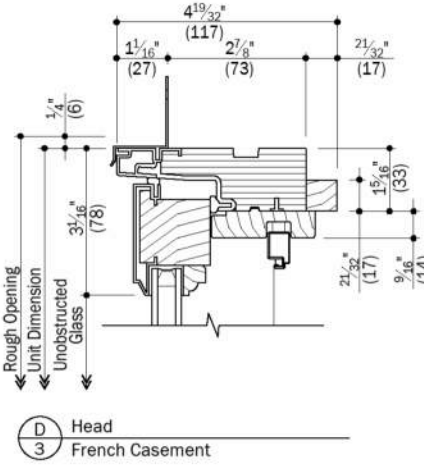
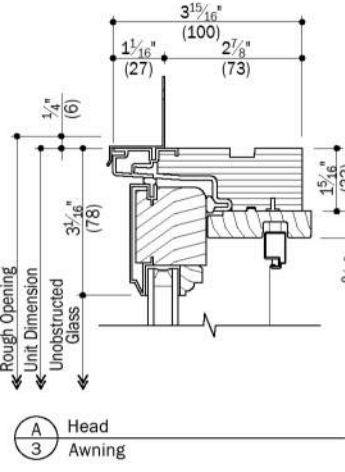


NO.	ISSUE	DATE

E-Series



Casement & Awning Windows



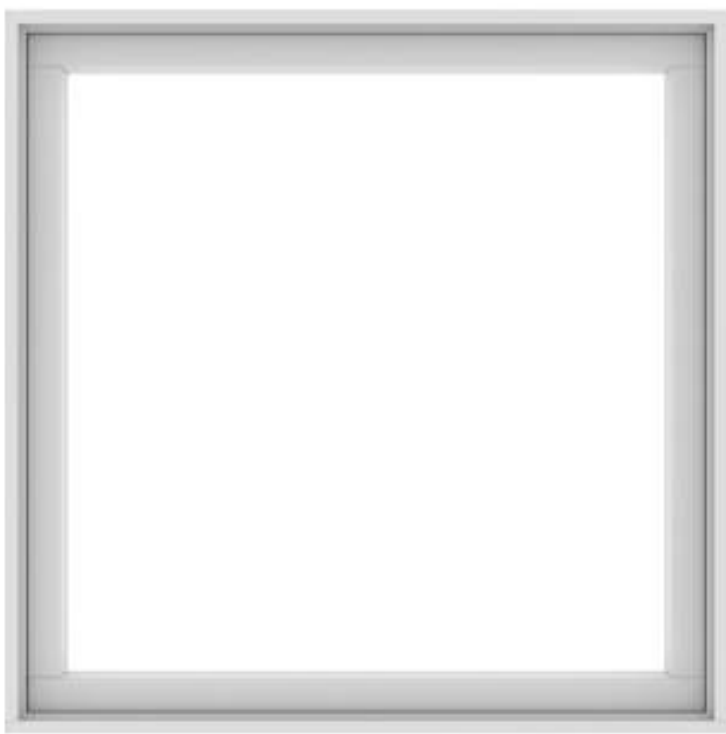
ANDERSON
E-SERIES CASEMENT
LEFT OPERATION
WHITE COLOR FINISH



ANDERSON
E-SERIES FRENCH CASEMENT
ACTIVE LEFT - PASSIVE RIGHT OPERATION
WHITE COLOR FINISH



ANDERSON
E-SERIES WINDOW
AWNING

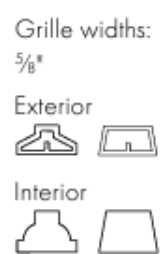


ARCHITECTURALLY AUTHENTIC GRILLES

We offer a variety of grille styles and patterns to choose from, or design your own with varying lines, curves and shapes.

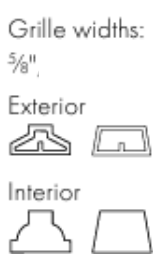
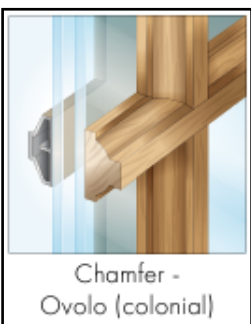
FULL DIVIDED LIGHT

Features permanent interior and exterior grilles with grille spacer bars between two panes of insulating glass. A traditional divided light look with modern energy efficiency.



SIMULATED DIVIDED LIGHT

An economical solution featuring permanent interior and exterior grilles without grille spacer bars.



GENERAL NOTES:

- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE LABELED AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AND UL LABELED FOR RATED DOORS AND/OR WINDOWS.
- GLASS PANES WITHIN 18" AFF OR LESS SHALL BE TEMPERED.
- WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 2-1/2" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN A 30 DEGREE POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

WINDOW
SCHEDULES

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008

SCALE:
1" = 1'-0"

DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

A6-401





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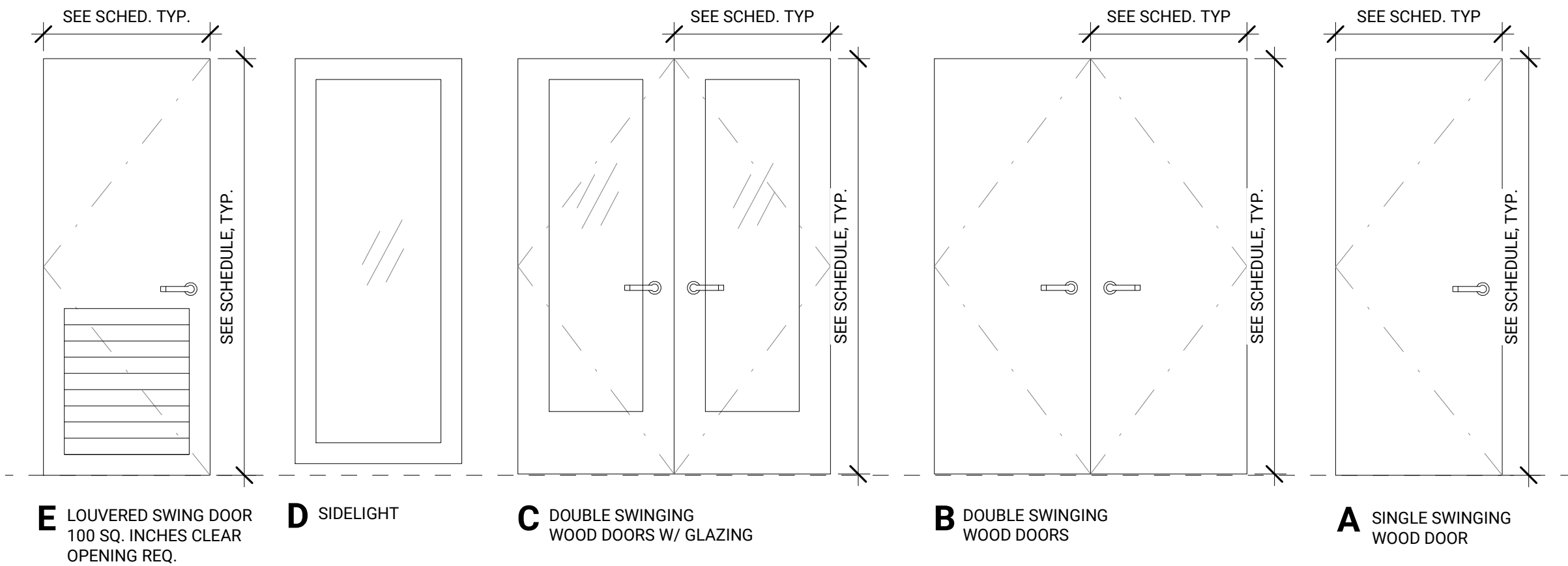
RESIDENTIAL SECURITY NOTES:

ALL OPENINGS MARKED * ARE SECURITY OPENINGS AND THE FOLLOWING NOTES SHALL APPLY:

- EACH UNIT IN A RESIDENTIAL DEVELOPMENT SHALL BE KEYED DIFFERENTLY THAN ANY OTHER UNITS UNDER THE SAME GENERAL PLAN. A CERTIFICATE FROM THE LOCK SUPPLIER DECLARING THAT ALL LOCKS SUPPLIED TO THE PROJECT ARE KEYED SEPARATELY SHALL BE ACCEPTABLE AS COMPLYING WITH THE ABOVE REQUIREMENTS.
- DOOR JAMBS SHALL HAVE A SOLID BACKING WITH NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF SIX (6) INCHES (153MM) EACH SIDE OF THE STRIKE.
- IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR THREE (3) STUD SPACES EACH SIDE OF THE DOOR OPENINGS. JAMBS SHALL HAVE SOLID BACKING AGAINST SOLE PLATES.
- IRON OR STEEL SCREENS SHALL BE 1/8" THICK WITH 2" MESH SECURELY FASTENED.
- IRON BARS SHALL BE 1/2" DIAMETER BARS OR 1" X 1/4" FLAT STEEL SPACED AT 5" MAX. SECURELY FASTENED.
- CYLINDER GUARDS SHALL BE ATTACHED WITH 1/2" CONNECTING SCREWS, AND SHALL BE INSTALLED WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR, OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- DOOR STOPS FOR IN-SWINGING DOORS SHALL BE INTEGRATED (RABETTED) WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.
- THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD FRAME DOORS SHALL BE CONSTRUCTED OF AT LEAST SIXTEEN (16) U.S. GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS.
- HINGES FOR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVING THE HINGE PINS.
- LOUVERED WINDOWS SHALL NOT BE USED WHEN ANY PORTION OF THE WINDOW IS LESS THAN 12 FEET (3658MM) VERTICALLY OR 6 FEET (1829MM) HORIZONTALLY FROM AN ACCESSIBLE SURFACE OR ANY ADJOINING ROOF, BALCONY, LANDING, STAIR TREAD, PLATFORM, OR SIMILAR STRUCTURE.

GENERAL NOTES:

- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE LABELED AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AND UL LABELED FOR RATED DOORS AND/OR WINDOWS.
- GLASS PANES WITHIN 18" AFF OR LESS SHALL BE TEMPERED.
- WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 2-1/2" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN A 30 DEGREE POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

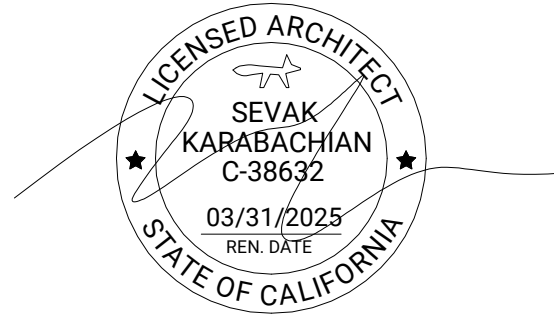


DOOR SCHEDULE																				
DOOR NUMBER	QUANTITY	(N) DOOR SIZE		(E) DOOR SIZE		MATERIAL	VISIBLE FROM STREET	(E) OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL)	KEEP EXISTING SILL & FRAME	BUILD NEW SILL & FRAME	EXISTING EDGE DETAIL	NEW EDGE DETAIL	BEDROOM	ENERGY EFFICIENT	TEMPERED GLASS	FIRED HAZARD ZONE	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR
		(E) WIDTH	(E) HIGHT	(N) WIDTH	(N) HEIGHT															
801	1	2' - 8"	7' - 0"					Swing												
802	1	2' - 6"	6' - 8"					Swing												
1001	1	2' - 6"	6' - 8"					Swing												
1101	1	2' - 6"	6' - 8"					Swing												
1201	1	7' - 10"	7' - 0"	N/A	N/A	ALUM. WOOD	YES	N/A	SLIDING	NAIL-IN	NO	N/A	YES	N/A	NO TRIM	NO	YES	YES	NO	NO
1701	1	2' - 6"	6' - 8"					Swing												

ANDERSON
E-SERIES INSWING DOOR 2 PANEL FRENCH
PASSIVE LEFT - ACTIVE RIGHT OPERATION
WHITE COLOR FINISH



NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

DOOR SCHEDULES

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

1/2" = 1'-0"

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

A6-402





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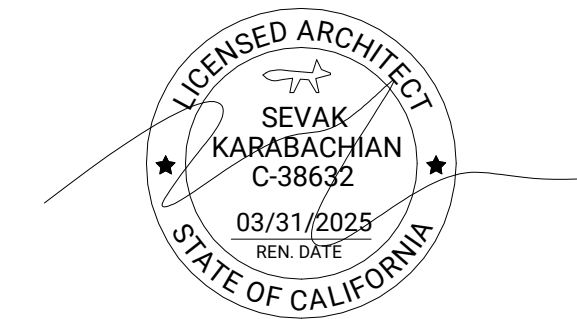
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NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

**INTERIOR
ELEVATIONS**

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

1/2" = 1'-0"

DRAWN BY:

DATE:

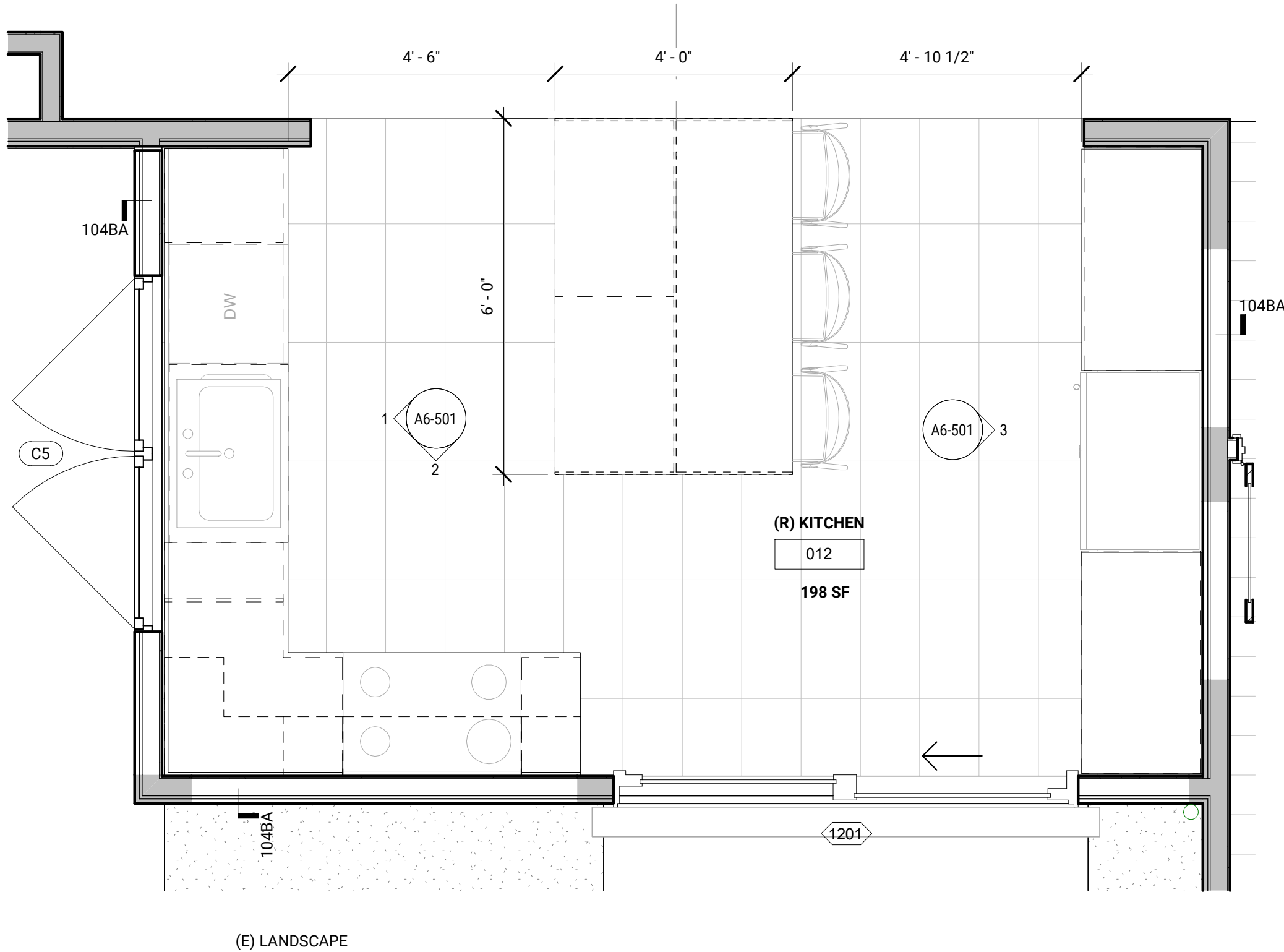
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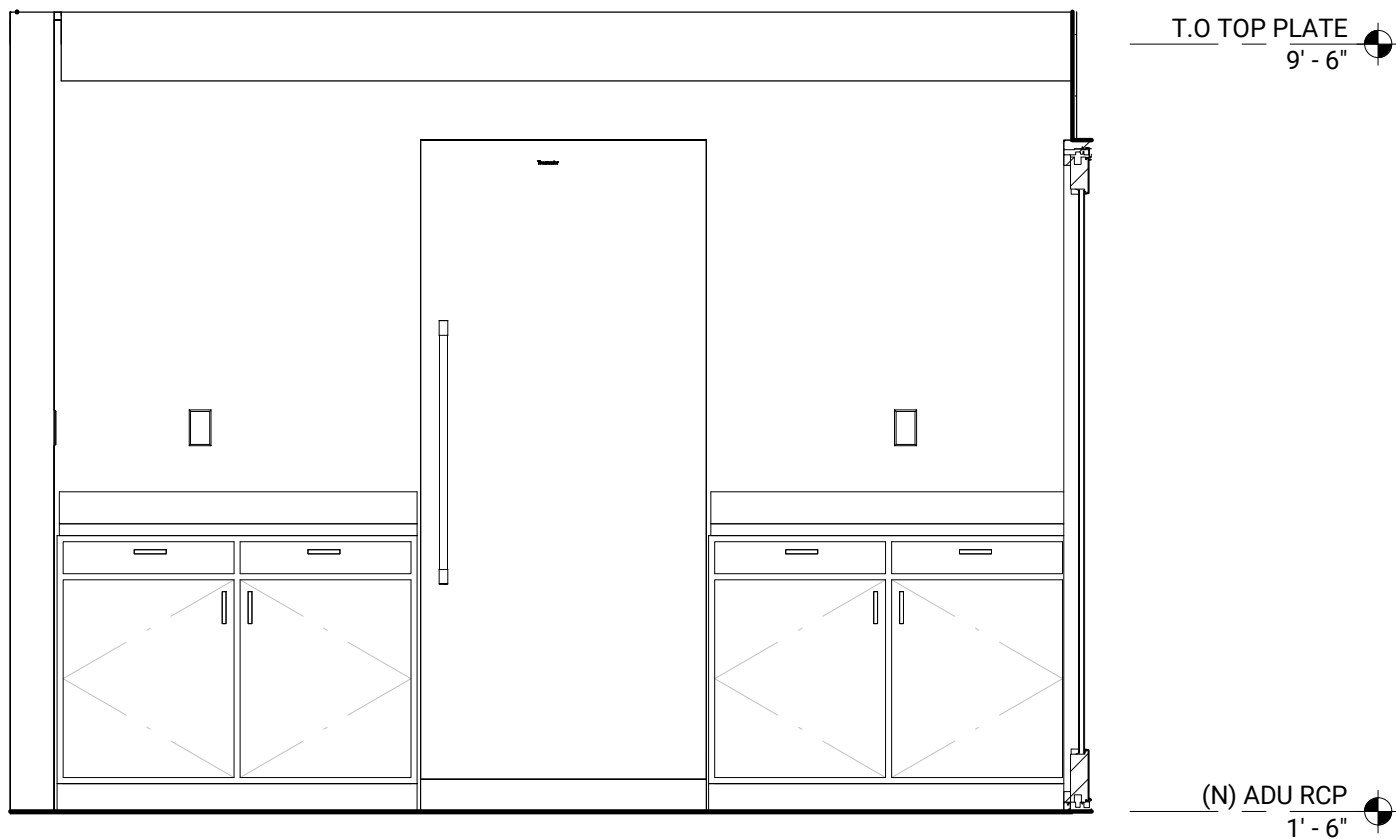
A6-501



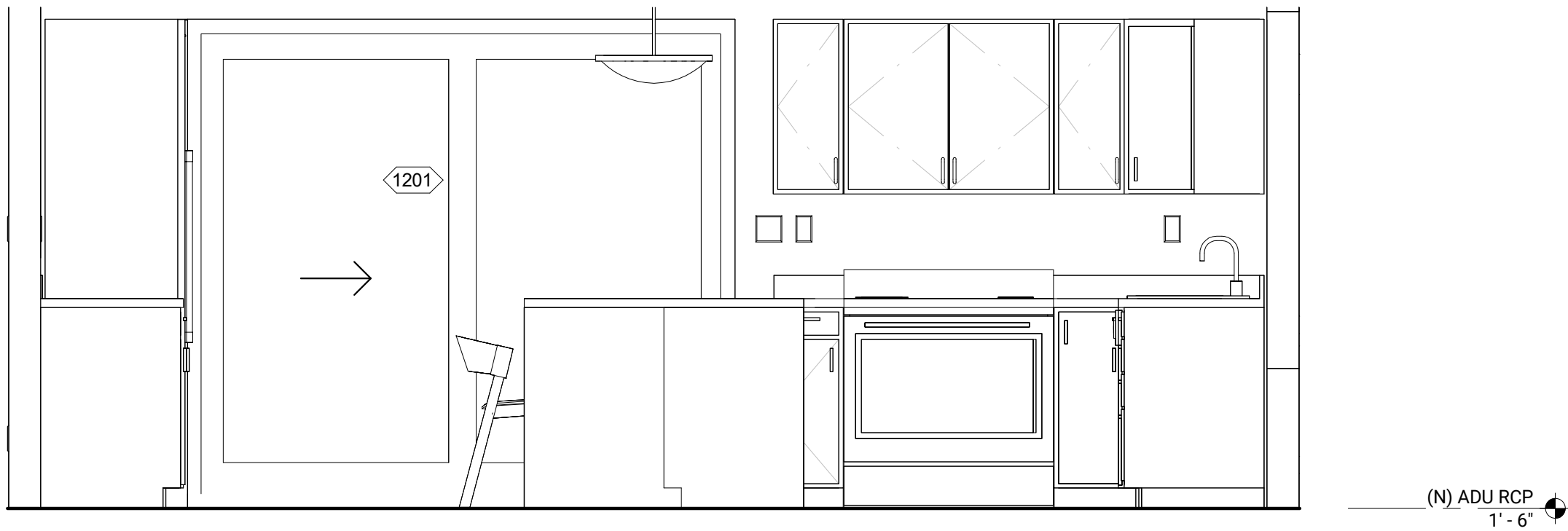
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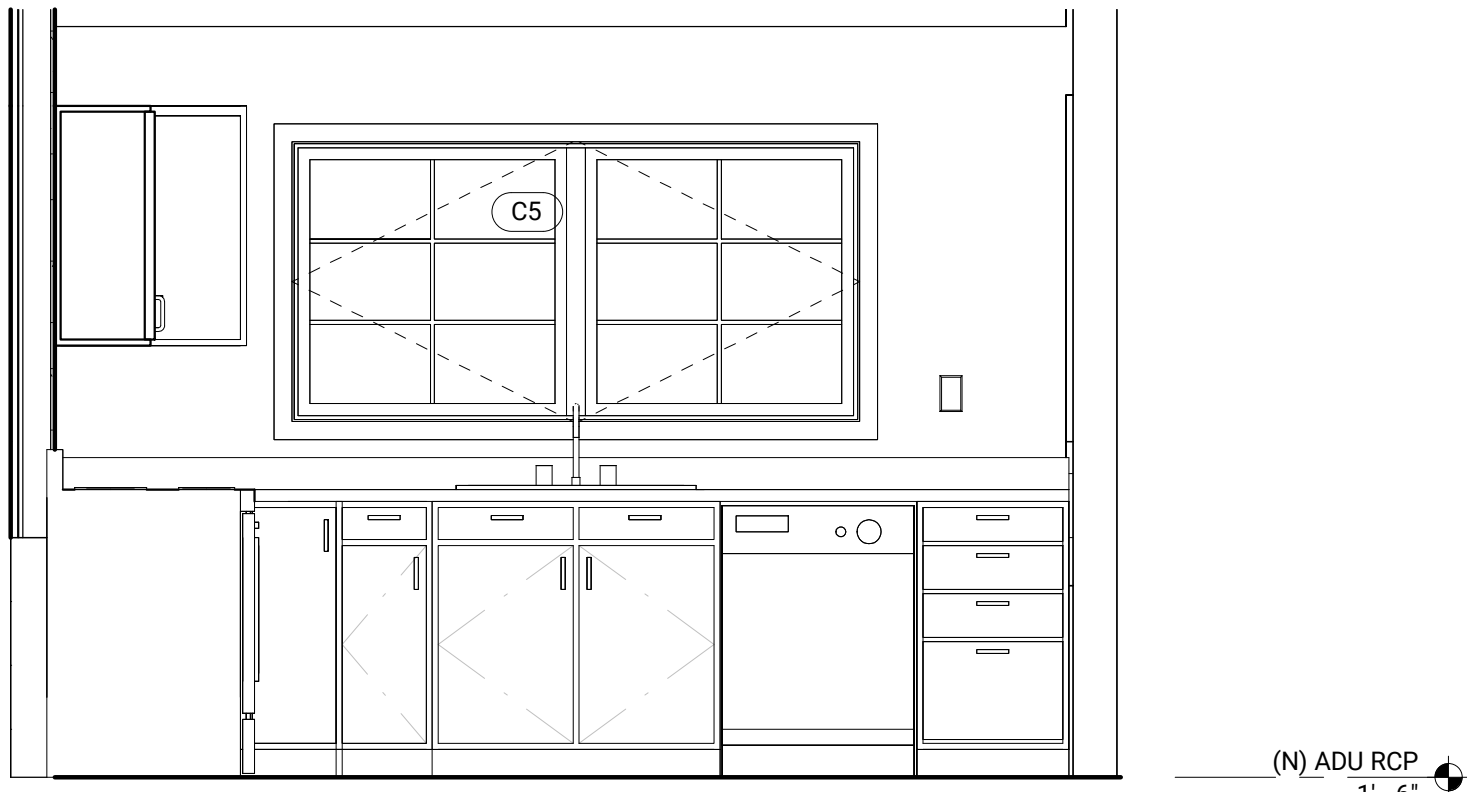
4 (N) ENLARGE MAIN HOUSE KITCHEN
1/2" = 1'-0"



3 KITCHEN INTERIOR ELEVATION 3
1/2" = 1'-0"



2 KITCHEN INTERIOR ELEVATION 2
1/2" = 1'-0"



1 KITCHEN INTERIOR ELEVATION 1
1/2" = 1'-0"



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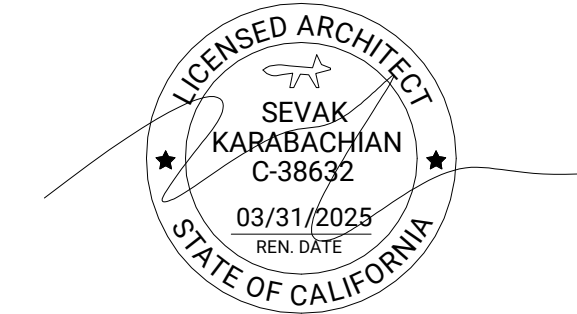
WINDOW FLASHING NOTES:

- FRAMING - WHERE THE OPENING OCCURS IN A WALL WITHOUT EXTERIOR PLYWOOD SHEATHING, THE BLOCKING MEMBERS (A) SHOULD BE INSTALLED AS NECESSARY TO SUPPORT THE OUTSIDE EDGES OF SIDE FLASHING. INSTALL APPROX 16" OC. BLOCKING MAY BE OMITTED WHEN A STUD IS INSTALLED TO SUPPORT THE OUTSIDE EDGE OF SIDE FLASHING.
- BOTTOM FLASHING - APPLY THE FIRST STRIP OF FLASHING HORIZONTAL, TIGHT TO THE BOTTOM OF THE WINDOW OPENING. EXTEND FLASHING GREATER THAN 12" PAST THE SIDES OF THE OPENING AND ATTACH TO THE NEXT AVAILABLE STUD. Fasten ONLY THE TOP EDGE SO THAT SUBSEQUENT LAYERS OF BUILDING PAPER MAY BE LAPPED UNDER, (SHINGLED).
- INSTALL THE TWO SIDE FLASHING STRIPS VERTICAL, TIGHT TO THE SIDES OF THE WINDOW OPENING. EXTEND FLASHING ABOVE THE TOP AND BELOW THE BOTTOM OF THE OPENING FOR A DISTANCE EQUAL TO AT LEAST THE WIDTH OF THE FLASHING STRIP. THE BOTTOMS OF THE VERTICAL SIDE STRIPS SHOULD LAP OVER THE BOTTOM HORIZONTAL STRIP AND SHOULD NOT BE NAILED SO THAT SUBSEQUENT LAYERS OF BUILDING PAPER MAY BE LAPPED UNDER, (SHINGLED).
- INSTALL THE WINDOW BY FIRMLY PRESSING THE NAIL FLANGE ONTO A CONTINUOUS, FULL CONTACT BEAD OF COMPATIBLE SEALANT (B) EXTENDING AROUND THE BOTTOM AND SIDES OF THE OPENING, BUT NOT AT THE TOP. THE WINDOW CAN BE TRUED AND NAILED INTO PLACE PER MANUFACTURERS INSTRUCTIONS.
- INSTALL THE TOP FLASHING STRIP HORIZONTAL, OVER THE TOP NAILING FLANGE. PRESS THE BOTTOM EDGE OF THE FLASHING STRIP INTO A CONTINUOUS, FULL CONTACT BED OF SEALANT (C) ON THE FULL HEIGHT OF THE OUTSIDE FACE OF THE NAILING FLANGE FOR A WATER TIGHT INSTALLATION. EXTEND THE ENDS OF THE TOP FLASHING STRIP SO THAT IT AS LEAST OVERLAPS THE OUTER EDGES OF THE SIDE FLASHING STRIPS.
- STARTING AT THE BOTTOM OF THE WALL, INSTALL THE WATERPROOF BUILDING PAPER IN "SHINGLE" FASHION UP THE WALL. THE LAYER WHICH FALLS AT THE BOTTOM OF THE WINDOW OPENING SHOULD BE LAPPED UNDER THE BOTTOM FLASHING, SUCCESSIVE LAYERS OF BUILDING PAPER SHOULD LAP OVER THE SIDE NAILING FLANGES.

PENETRATION NOTES:

- PENETRATING ITEM (BOLTS, BRACKET, BASE PLATES ETC.) INSTALLED OVER SELF-SEALING, SELF-HEALING, ADHESIVE-BACKED RUBBERIZED ASPHALTIC WALL FLASHING (BITUTHANE, PERM-A-BARRIER).
- WHEN ADHERING THE MEMBRANE TO SUBSTRATE, DO NOT REMOVE THE ADHESIVE RELEASE SHEET FROM THE BOTTOM 3" OF THE SHEET SO THAT IT CAN BE LAPPED OVER BUILDING PAPER.
- PLACE BUILDING PAPER UNDER THE BOTTOM 3" FLAP. REMOVE THE REMAINING RELEASE SHEET FROM THE FLASHING SHEET AND ADHERE TO THE BUILDING PAPER.
- PLACE THE SIDE SHEETS OF BUILDING PAPER TO WITHIN +/- 1" OF THE PENETRATING ITEM. SHINGLE OVER THE BOTTOM FLASHING/ BUILDING PAPER JOINT.
- PLACE THE TOP SHEET OF BUILDING PAPER TO WITHIN +/- 1" OF THE PENETRATING ITEM. SHINGLE OVER THE PREVIOUS LAYERS OF BUILDING PAPER. ENTIRE ASSEMBLY SHOULD BE SHINGLED INTO THE OVERALL BUILDING PAPER SKIN OF THE BUILDING.

NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

**WATERPROOFING
DETAILS**

PERMIT #:BSFD-018869-2024

PLANNING #: PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008

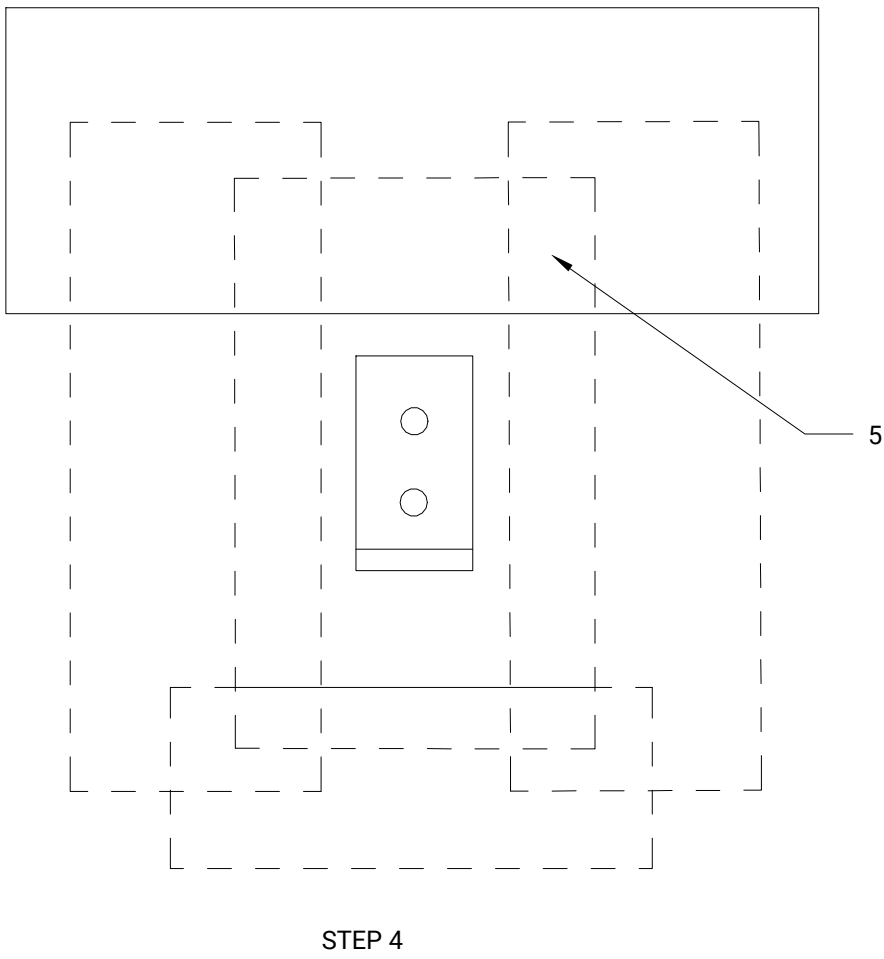
SCALE:

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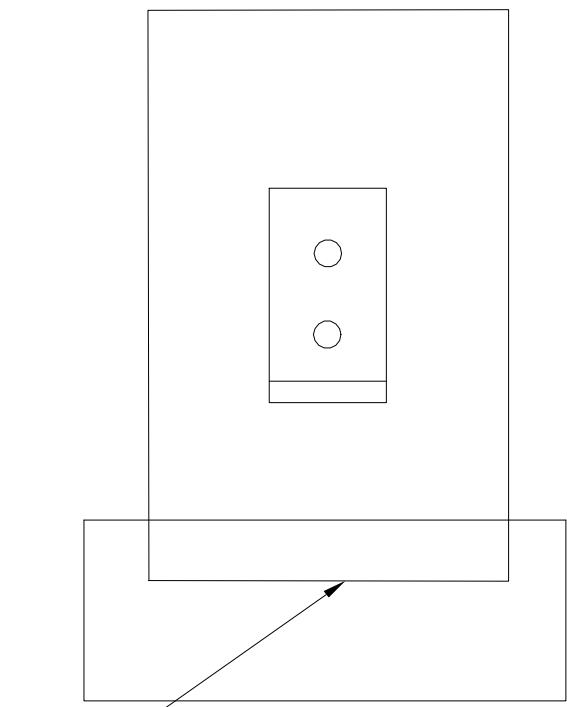
DATE:
10/23/2024

SHEET NUMBER:

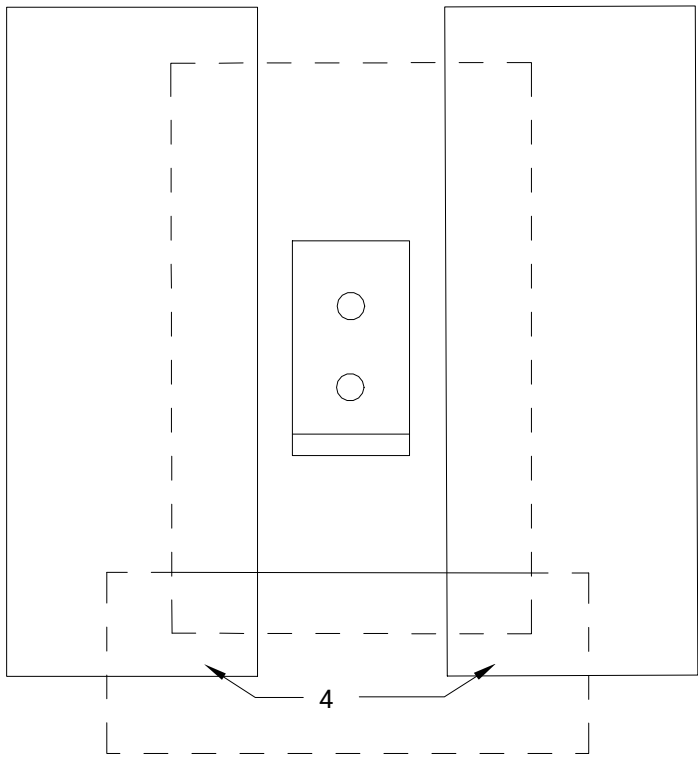
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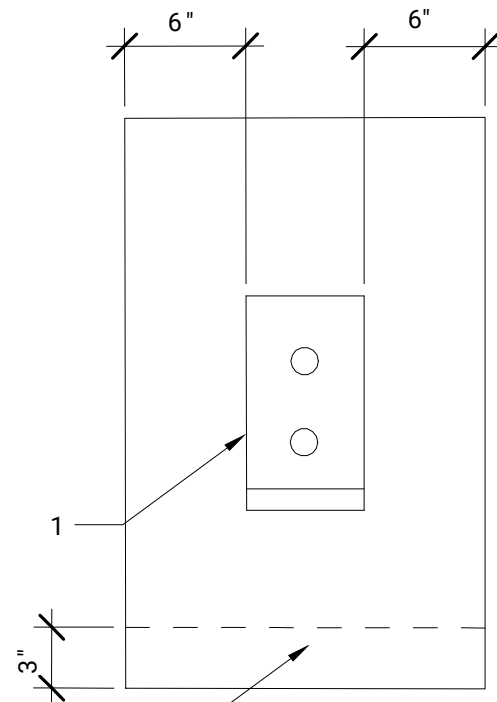
STEP 4



STEP 2

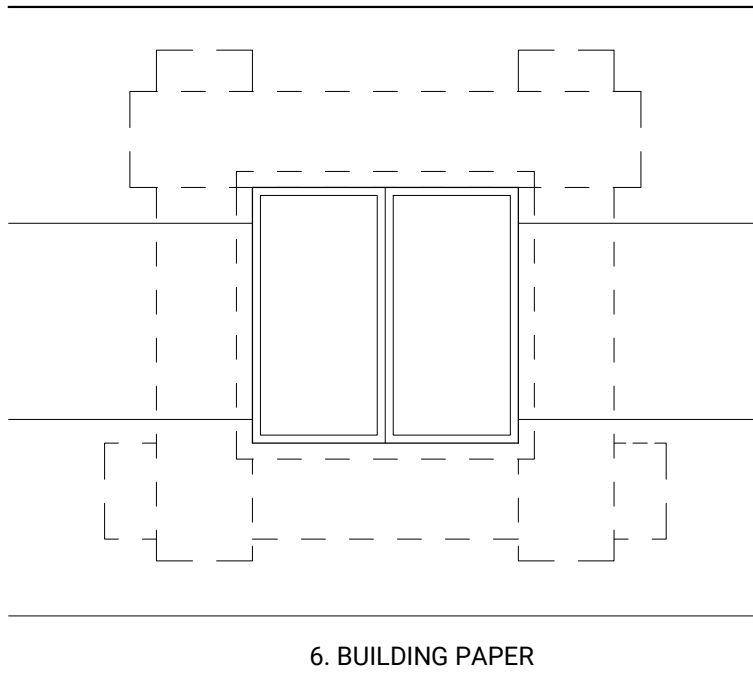


STEP 3

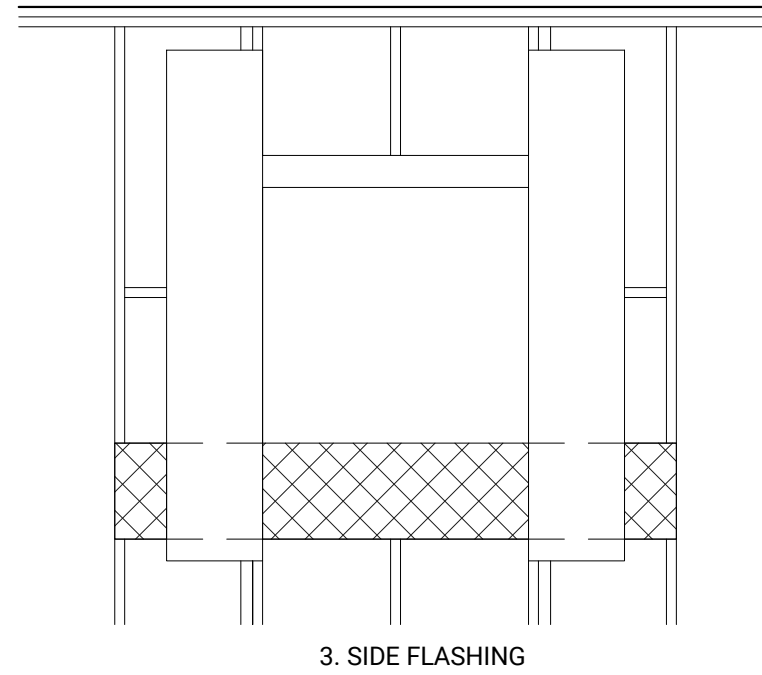


STEP 1

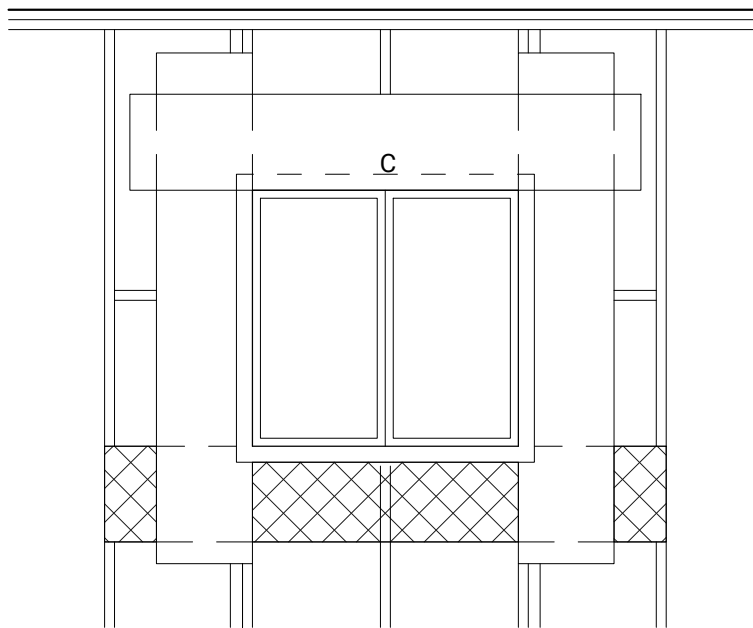
2 PENETRATION DIAGRAM
NTS



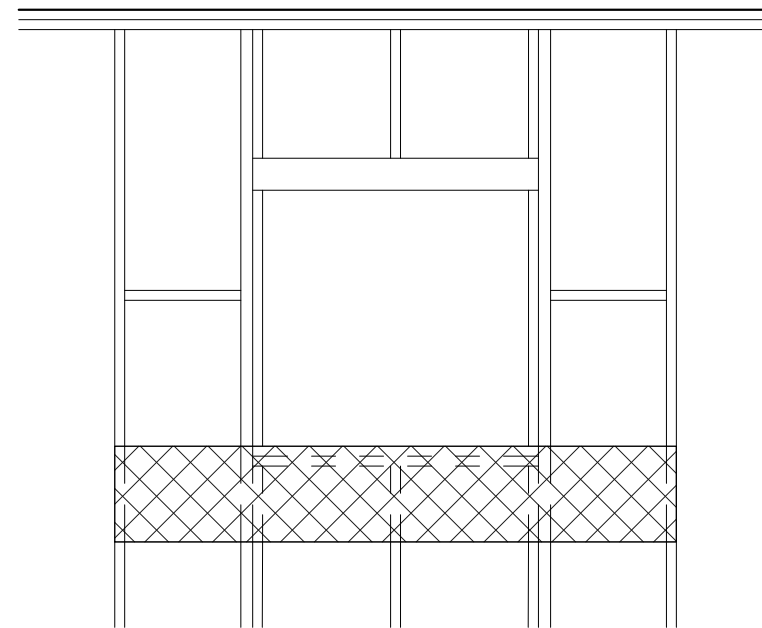
6. BUILDING PAPER



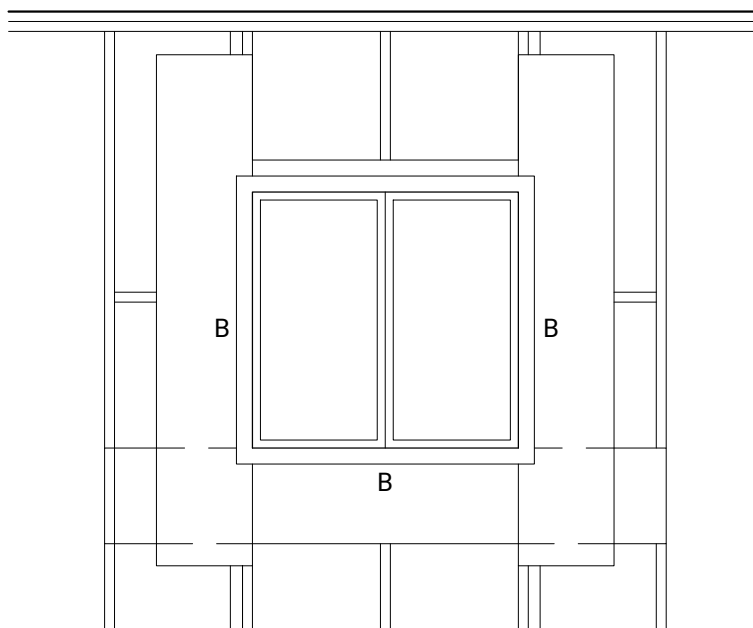
3. SIDE FLASHING



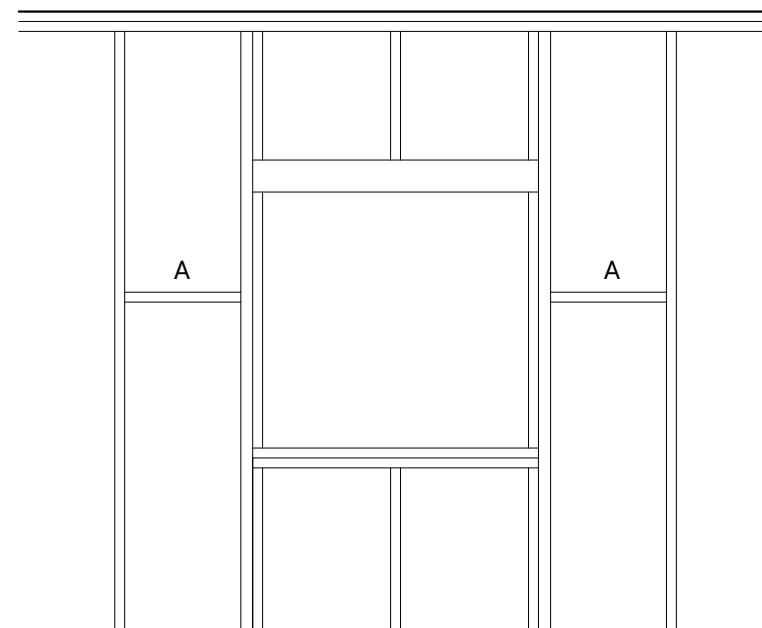
5.TOP FLASHING



2. BOTTOM FLASHING



4. WINDOW INSTALLATION



1. FRAMING

1 WINDOW FLASHING DIAGRAM
NTS



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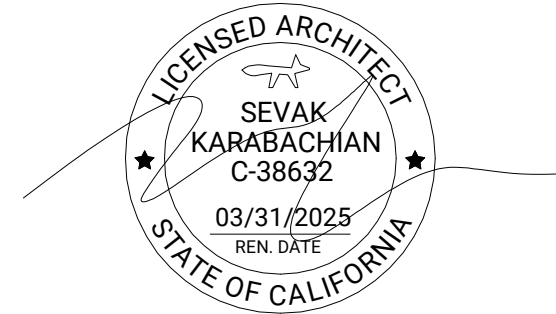
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NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND REMODEL

TITLE:

**EXTERIOR DOOR
DETAILS**

PERMIT #BSFD-018869-2024

PLANNING #PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:

2024-008

SCALE:

As indicated

DRAWN BY:

DATE:

10/23/2024

SHEET NUMBER:

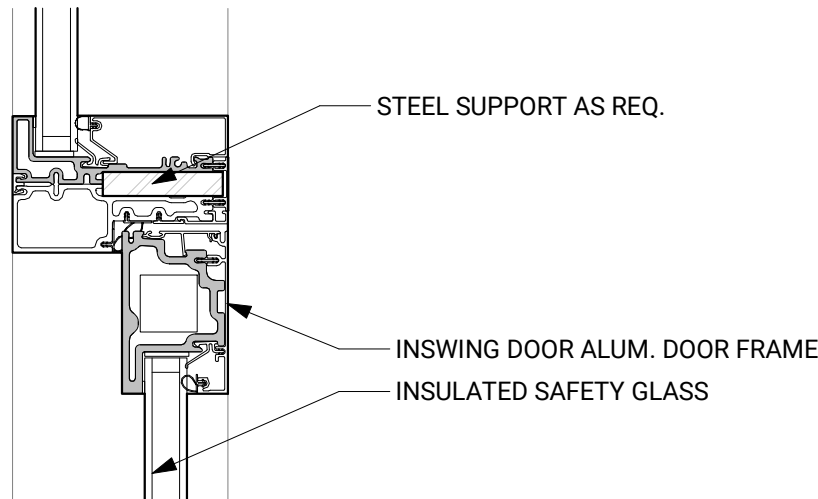
A6-801



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EXTERIOR

INTERIOR



HEAD DETAIL - ALUMINUM AND GLASS DOOR

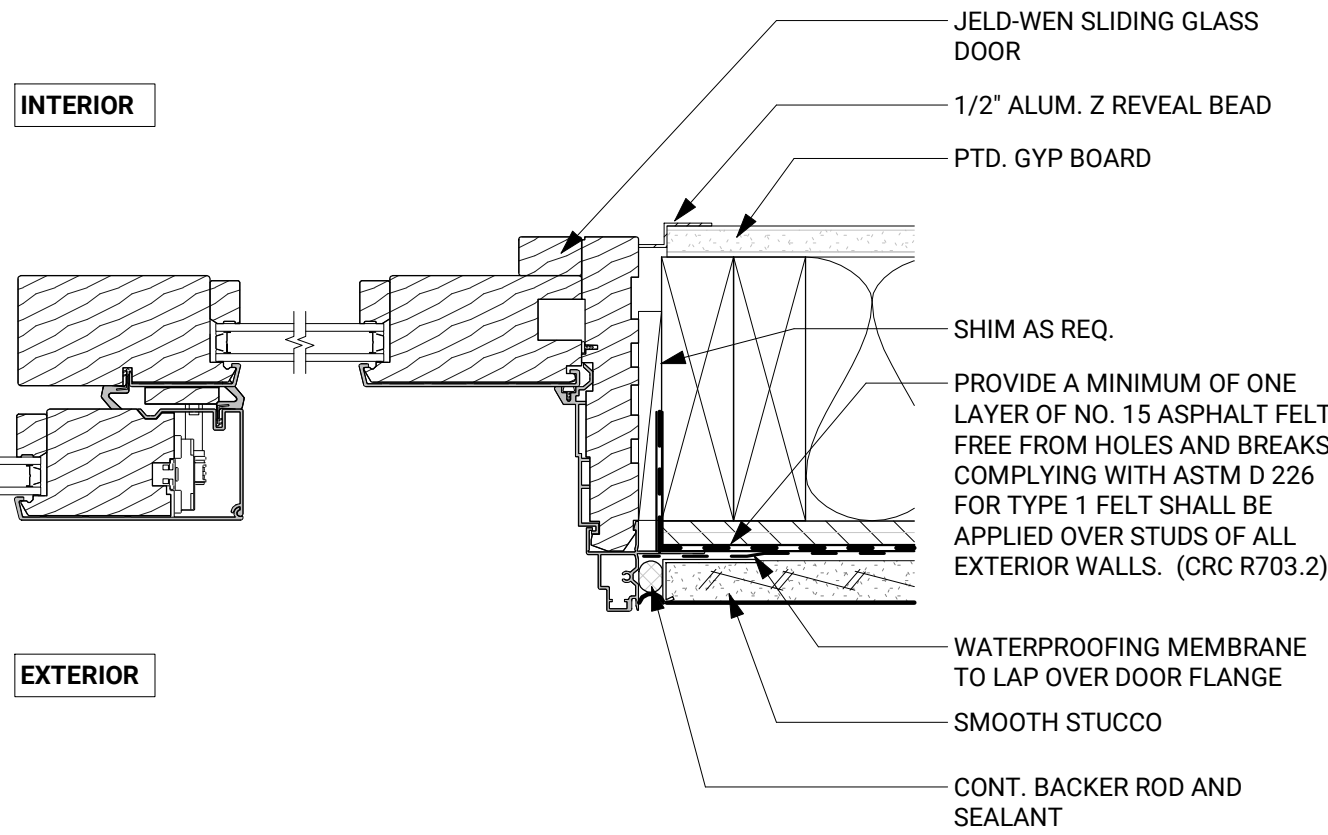
SCALE
3" = 10"

6

HEAD DETAIL - EXT. SLIDING DOOR

SCALE
3" = 10"

3



JAMB DETAIL - ALUMINUM AND GLASS DOOR

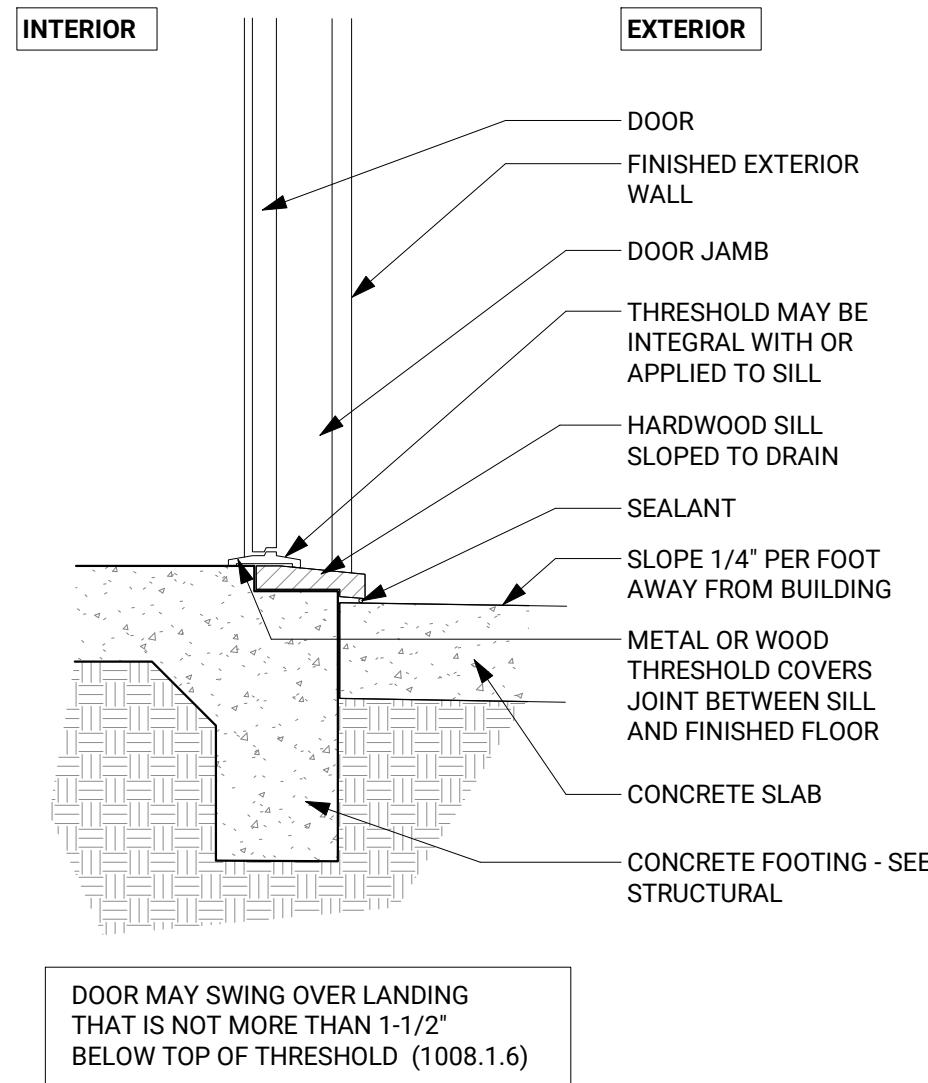
SCALE
3" = 10"

5

JAMB DETAIL - EXT. SLIDING DOOR

SCALE
3" = 10"

2



TYP. SOLID EXT. DOOR SILL DETAIL

SCALE
1" = 10"

7

SILL DETAIL - ALUMINUM AND GLASS DOOR

SCALE
3" = 10"

4

SILL DETAIL - SLIDING PATIO DOOR

SCALE
3" = 10"

1

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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LEGEND:

- EXISTING WALL TO BE DEMOLISHED
- █ EXISTING WALL TO REMAIN
- === NEW WALL
- - - - - PROPERTY LINE
- - - - - ROOF OVERHEAD
- - - - - SETBACK LINE

- ⊙ RECESSED DOWN LIGHT
- ⊙ CUSTOM LIGHT
- ⌒ WALL SCONE LIGHT
- WALL MOUNTED LIGHT FIXTURE
- LINEAR AND/OR BUILT-IN FIXTURE
- RECESSED SPRINKLER HEAD
- ▽ WALL MOUNTED SPRINKLER HEAD
- [S, CO] COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- ☒ EXHAUST FAN 50CFM INTERMITTENT AT ALL BATHROOM LOCATIONS FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- [CWB VARIES] CEILING MATERIAL CEILING HEIGHT

ELECTRICAL FIXTURE LEGEND

SYMBOL	DESCRIPTION	MOUNTING HEIGHT, UNO
S ^{xx}	LIGHT WALL SWITCH, D=DIMMER, #=#-WAY (EX. 3-WAY), DA=DOOR ACTIVATED, MA=MOTION ACTIVATED	44" AFF
S ^{S, #}	SHADE WALL SWITCH, #-#NUMBER OF PROGRAMMABLE SWITCH MODULES REQUIRED	44" AFF
⌚ ^{xx}	DUPLEX WALL OUTLET, GFCI=GROUND FAULT CIRCUIT INTERRUPTER 39" AFF, WP=WATERPROOF 15" AFF, AFCI=ARC FAULT PROTECTED	9" AFF TYP 15" AFF WP 39" AFF GFCI
⌚ ^{TV}	CABLE/ DATA WALL OUTLET	9" AFF
M	DUAL MOTORS (BLACK OUT, SHADE), INDEPENDENTLY CONTROLLED	NA
⊙ ^H	OPERATIVE TEMPERATURE SENSOR, H=WITH HUMIDITY SENSOR	36" AFF
⌚ ^{xx}	CONTROL PANEL/SENSOR, T=THERMOSTAT, S=SECURITY, AQ=AIR QUALITY, DS=DAYLIGHT SENSOR	54" AFF

ELECTRICAL NOTES:

- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY FIXTURES (CEnc 150.0(K)1.A). HIGH EFFICIENCY LUMINAIRES MUST BE PIN BASED.
- KITCHEN AND BATHROOM RECEPTACLES SHALL BE ON SEPARATE CIRCUITS. NO OTHER OUTLETS MAY BE ON THE CIRCUIT.
- SMOKE ALARMS SHALL BE INTERCONNECTED HARD-WIRED WITH A BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. THEY SHALL BE LOCATED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. BATTERY SMOKE ALARM PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. SMOKE ALARM SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURED MARKED ON THE UNIT. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH A 10 YEAR BATTERY AND HAVE A SILENCE FEATURE.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED HARD-WIRED WITH A BATTERY BACKUP. LOCATED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. BATTERY CARBON MONOXIDE ALARM IS PERMITTED IN EXISTING DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE.
- GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATIONS.
- ALL 120-VOLT, SINGLE-PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS (INCLUDING CLOSETS AND HALLWAYS) SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED IN ALL AREAS SPECIFIED IN 210.52. ALL NON-LOCKING TYPE 12-VOLT: 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER- RESISTANT RECEPTACLES.
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8 (CEnc 150.0(K))

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

0 2 4 8
0 2
1/4" = 1'-0"
1/4" = 10'
NORTH

1 (N) MAIN HOUSE ELECTRICAL PLAN

GLENDALE SECURITY LIGHTING NOTES:

LIGHTING: MULTIPLE FAMILY DWELLING. LIGHTING IN MULTIPLE FAMILY DWELLINGS SHALL BE AS FOLLOWS:

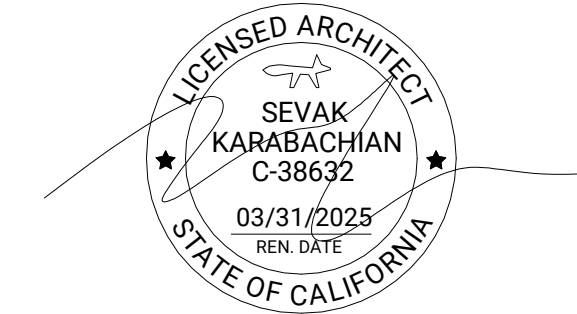
- 14.1 AISLES, PASSAGEWAYS AND RECESSES: AISLES, PASSAGEWAYS AND RECESSES RELATED TO AND WITHIN THE BUILDING COMPLEX SHALL BE ILLUMINATED WITH AN INTENSITY OF AT LEAST TWENTY-FIVE HUNDREDTHS (25) OF A FOOTCANDLE (2.7 LUX) AT THE GROUND LEVEL DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM-RESISTANT COVERS.
- 14.2 PARKING STRUCTURE, PARKING LOTS AND CARPORTS: PARKING STRUCTURES, PARKING LOTS AND CARPORTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) FOOTCANDLES (21.5 LUX) OF LIGHT ON THE PARKING SURFACE DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM-RESISTANT COVERS.
15. NOTE: THESE NOTES ARE INTENDED AS A GUIDE ONLY. CONTRACTOR AND SUPPLIER SHALL REFER TO THE GLENDALE BUILDING AND SAFETY CODE, VOLUME VII FOR MORE COMPLETE AND SPECIFIC DETAILS.

CARBON MONOXIDE ALARMS:

- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR EXISTING BUILDINGS AND NEW CONSTRUCTION WHEN THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE, FIREPLACE, AND/OR AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING. (CRC 915.2.1, CBC 915.1.1, CBC 915.1.5)
- CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CRC R315.5, CBC 915.4.1)
- CO ALARMS SHALL BE LISTED FOR COMPLIANCE WITH UL 2034, UL 217, UL 2075, AND MAINTAINED PER NFPA 720. (CRC R315.1.1, R315.7.2, CBC 915.4.2, CBC 915.4.4, CBC 915.5.2)
- CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT. (CRC R315.3, CBC 915.2)
- CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC R315.5, CBC 915.4.5)
- IN EXISTING DWELLING UNIT, A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES. (CRC R315.5 EXCEPTION 4 , CBC 915.4.1 EXCEPTION 3)

1/A2-104

NO.	ISSUE	DATE



PROJECT ADDRESS:

926 E DRYDEN STREET
GLENDALE, CALIFORNIA 91207

ADDITION AND RMODEL

TITLE:

MAIN HOUSE
ELECTRICAL PLAN

PERMIT #BSFD-018869-2024

PLANNING #PMPA-003557-2024

ORIGINAL SHEET SIZE: 24" x 36"

PROJECT:
2024-008

SCALE:
As indicated
DRAWN BY:

DATE:
10/23/2024

SHEET NUMBER:

A7-101





926 DRYDEN ST

IMAGE 1



926 DRYDEN ST

IMAGE 2



926 DRYDEN ST

IMAGE 3



926 DRYDEN ST

IMAGE 4



926 DRYDEN ST

IMAGE 5



926 DRYDEN ST

IMAGE 6



926 DRYDEN ST

IMAGE 7



926 DRYDEN ST

IMAGE 8



926 DRYDEN ST

IMAGE 9



926 DRYDEN ST

IMAGE 10



926 DRYDEN ST

IMAGE 11

*More
Services*

JOE MORENO
(626) 350-5944
moreservices@sbcglobal.net
moreservicesmapping.com

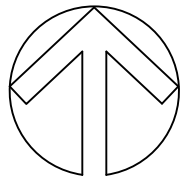
OWNERSHIP / OCCUPANTS LIST
RADIUS MAPS - LAND USE - PLANS
MUNICIPAL COMPLIANCE CONSULTING

12106 LAMBERT AVE. EL MONTE, CA 91732
UPLAND, CA 91784 - (909)256-3482

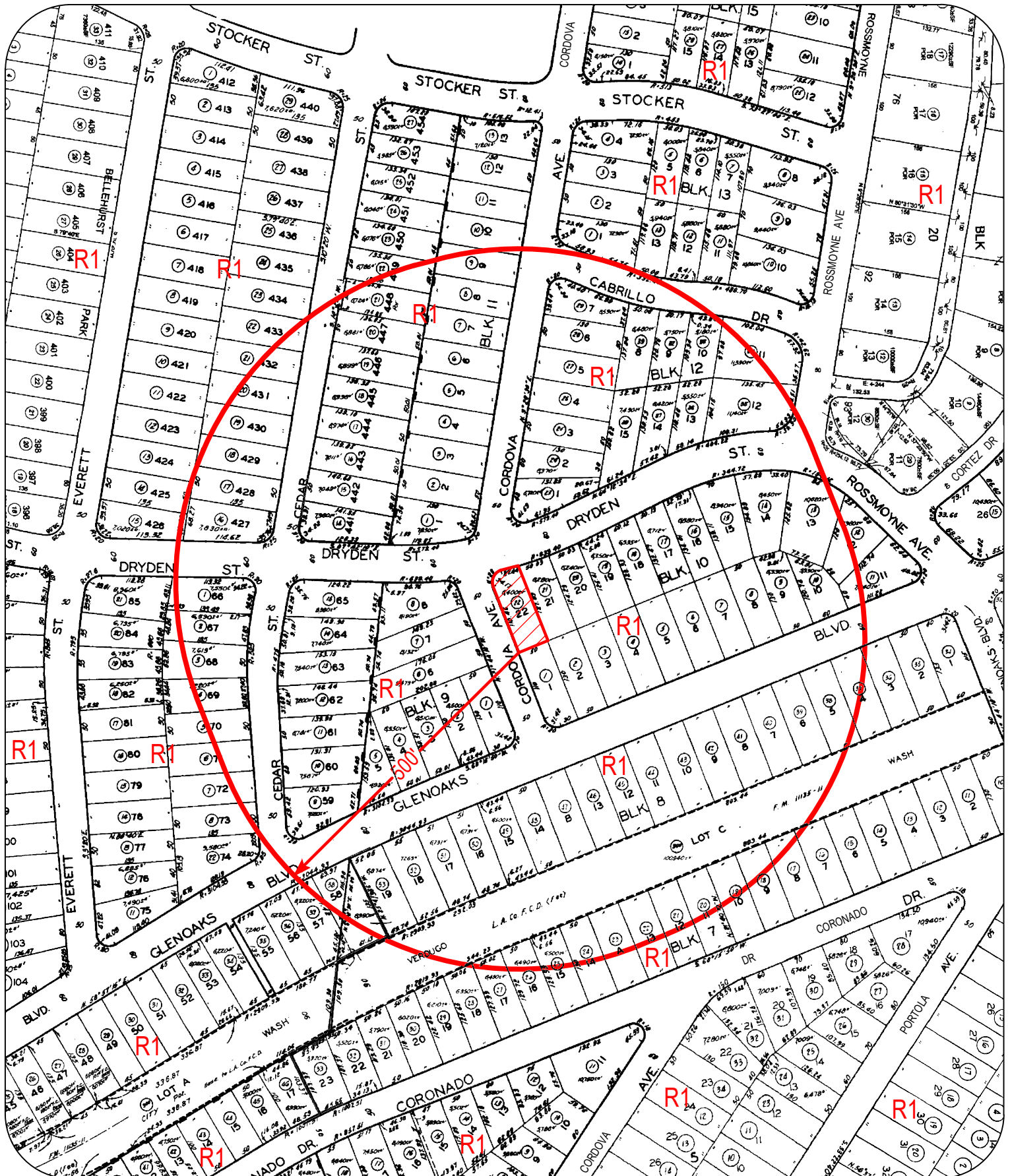
PROJECT INFORMATION

926 DRYDEN ST.
GLENDALE, CA.
24-285

ZONING MAP



SCALE 1" = 200'



More
Services

JOE MORENO

(626) 350-5944

moreservices@sbcglobal.net
moreservicesmapping.com

OWNERSHIP / OCCUPANTS LIST
RADIUS MAPS - LAND USE - PLANS
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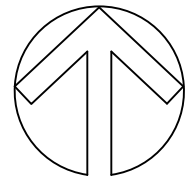
PROJECT INFORMATION

926 DRYDEN ST.

GLENDALE, CA.

24-285

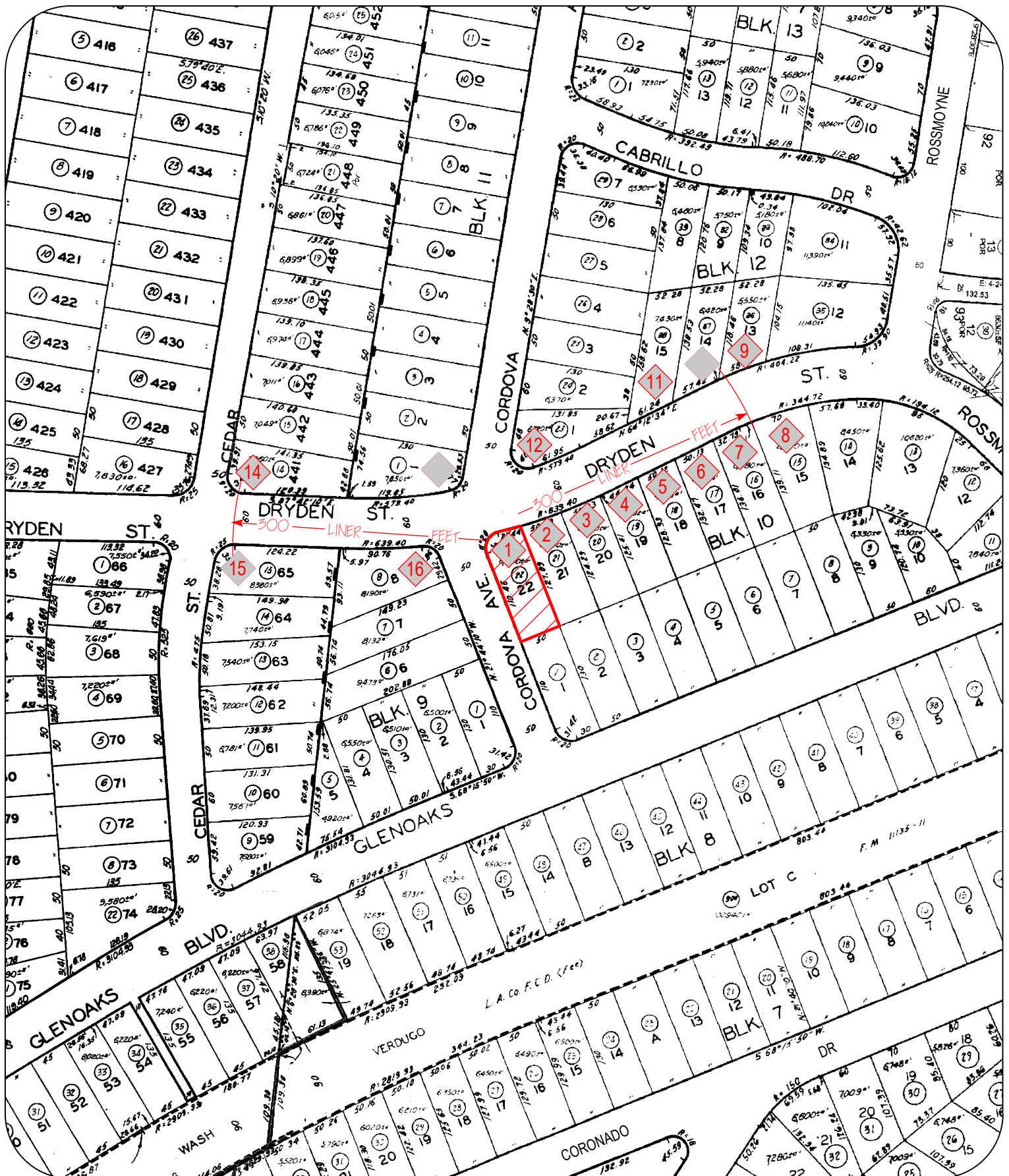
LOCATION MAP



SCALE 1" = 200'



12106 LAMBERT AVE.EL MONTE, CA 91732
UPLAND, CA 91784 - (909)256-3482



[illegible]

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 5D1

Other Listings Rossmoyne Historic District Contributor

Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or #: (Assigned by recorder) 926 E DRYDEN ST

P1. Other Identifier: _____

*P2. Location: Not for Publication ☒ Unrestricted *a. County Los Angeles and (P2b and P2c or P2d.)

*b. USGS 7.5' Quad: Pasadena Date: 1991 San Rafael Land Grant

c. Address: 926 E DRYDEN ST City: GLENDALE Zip: 91207

d. UTM: (Give more than one for large and/or linear resources) Zone: _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): APN:5646006022

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Architectural Style: Spanish Colonial Revival
Siding/Sheathing: stucco: smooth, all visible sides
Roof: cross-gable, low, red tile
Fenestration: wood, divided-light casement
Primary Entrance: single door, recessed
Other notable features: elaborate Spanish porch columns

Plan: irregular
No. Stories: 1
Porches: partial width, front
Retains integrity: high

*P3b. Resource Attributes: (List attributes and codes) HP02

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of photo:

(View, data, accession #)

03/07/11

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1924

Assessor

*P7. Owner and Address:

MARTIN, PEPPER AND GEORGINA E TRS

926 DRYDEN ST

GLENDALE CA 912070000

*P8. Recorded by:

Tanya Sorrell

LSA Associates

1500 Iowa Ave., Suite 200

Riverside, CA 92507

*P9. Date Recorded: 03/07/2011

*P10. Survey Type: (Describe)

Historic District Survey

*P11. Report Citation: (Cite survey report and other sources or enter "none.")

Sorrell, Tanya. Rossmoyne Historic Resources Survey. Prepared by LSA for the City of Glendale, 2011.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archeological Record ☒ District Record ☐ Linear Feature Record ☐ Milling Station Record
☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____