



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

September 24, 2024

Applicant:

Laura Steele
Steele Projects
4440 Bellingham Ave
Studio City, CA 91604

**RE: Administrative Design Review Application Case No. PADR-003473-2024
1325 Opechee Way**

The Director of Community Development will render a final decision on or after
October 16, 2024 for the following project:

PROJECT DESCRIPTION:

The applicant proposes to add a second-story addition of dormer with shed roof and windows, a new side entrance and wingwall, and window replacement with an existing 2,439-square-foot (SF) single-family dwelling built in 1926 on the 8,100-SF site, which is located in the R1R (Restricted Residential) Zone, Floor Area Ratio District II..

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

***For more information or to submit comments, please contact the case planner,
Alan Lamberg, at 818-937-8158 or ALamberg@GlendaleCA.gov.***

Comments must be received prior to **October 16, 2024**, to be considered by the Director.

DECISION: A decision letter will be posted online on or after the date listed above and may be accessed online at GlendaleCA.gov/planning/decisions. You may also request notification of the decision when the decision is rendered.

Should you wish to file an appeal of the decision, all appeals must be filed using the City's online permit portal at GlendaleCA.gov/Permits. Create an account. Click "Apply" and "Planning/Zoning." Any appeal must be filed within fifteen (15) days following the actual date of the decision with the prescribed fee prior to the expiration of the 15-day appeal period.

Sincerely,

A handwritten signature in black ink, appearing to read "Alan Lamberg".

Alan Lamberg, AICP
Planner

DRAFT



PENDING DECISION

CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY

October 16, 2024

Decision Date

1325 Opechee Way

Address

Administrative Design Review (ADR)

Review Type

5614-027-015

APN

ADR-003473-2024

Case Number

Laura Steele, Steele Projects

Applicant

Alan Lamberg

Case Planner

Marni & Will Connor

Owner

Project Summary

The applicant proposes to add a second-story addition of dormer with shed roof and windows, a new side entrance and wingwall, and window replacement to an existing 2,439-square-foot (SF) single-family dwelling built in 1926 on the 8,100-SF site, which is located in the R1R (Restricted Residential) Zone, Floor Area Ratio District II.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301(e)(1) of the State CEQA Guidelines because the proposed alterations and additions will not result in an increase the floor area by more than 2,500 square feet. Additionally, the property does not appear eligible for historic designation at the federal, state, or local level and is therefore not considered a historic resource under CEQA.

Existing Property/Background

The project site is an 8,100-SF interior lot wrapped by a curvilinear street that was originally developed in 1926 with a two-story, single-family residence and an attached garage. The garage is accessed from the street. The lot features a gentle slope and is irregularly shaped, and the Verdugo Woodlands neighborhood consists of one-and-two-story single-family residences of various architectural styles, primarily ranch and some revival. City departments and divisions documented no significant concerns.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RIR FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

No active or pending permits are associated with this project site.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size (SF)	11,003 SF	6,105 to 32,700 SF	8,140 SF
Setback (feet)	24 feet	15 to 107 feet	29 feet
House size (SF)	1,640 SF	794 to 3,129 SF	2,439 SF
Floor Area Ratio	0.16	0.07 to 0.36	0.30
Number of stories	1-story buildings (15) 2-story buildings (6)		2-story building

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography
- ☐ Alteration of landform minimized

Yards and Usable Open Space

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Avoid altering landform to create flat yards
- ☐ Outdoor areas integrated into open space
- ☐ Use of retaining walls minimized
- ☐ Provide landscaping to reduce visual impact of retaining walls
- ☐ Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent with predominant pattern on street
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Complementary to building design and surrounding site
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Walls and Fences

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located
- ☐ Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed improvements to the residence include additions and alterations without significantly changing the building footprint, nor do they alter the topographical landform, yards, and open space.
- The proposed second-story addition of north-facing dormer with shed roof and windows increases access to sunlight while maintaining south-facing roof at south-facing elevation.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☐ **yes** ☒ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The existing residence has a mass and scale similar to most homes in the neighborhood.
- The proposed second-story addition, including a dormer with a shed roof and windows, as well as a new side entrance and wingwall, does not change the building envelope and height. Therefore, mass and scale do not significantly increase.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☐ **yes** ☐ **n/a** ☒ **no**

If “no” select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☒ Appropriate solid/void relationships

There appears to be stone veneer or cladding, above ground level, visible under ivy plants on current photographs. A condition is included to show this veneer or cladding in revised elevations.

Entryway

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately
- ☐ Natural colors appropriate to hillside area

Paving Materials

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☐ yes ☐ n/a ☒ no

If “no” select from below and explain:

- ☒ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☒ Downspouts appropriately located
- ☒ Vents, utility connections integrated with design, avoid primary facades

The existing and proposed elevations do not fully show the locations of lighting fixtures, downspouts, vents and utility connections. A condition is included to show, any and all of the following items on the existing and proposed elevations:

- Light fixtures, which shall limit their location to the main entry, egress door, and vehicle entrance;
- Downspouts to match the adjacent wall color and finish, and;
- Vents and/or utility connections to be integrated with design while avoiding primary facades.

Ancillary Structures

☐ yes ☒ n/a ☐ no

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The project architect’s concept is colloquially referred to as a Storybook style. The proposed improvements to the residence include additions and alterations that are compatible with the residence’s Tudor Revival architectural style.
- Window replacement is consistent with the architectural style. This includes replacement of large, metal flush-framed windows on front facade to smaller block-framed windows with simulated divided lights (grids). The primary gable will feature a tall diamond-muntined window and trim. All existing metal flush-framed windows will be replaced with clad wood block-framed that match the existing single divided lights.
- As conditioned, elevations shall be revised to accurately depict the stone veneer or cladding on the ground-level front elevation of the residence, and all light fixtures, downspouts, vents and/or utility connections.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. A revision to the existing and proposed elevations shall be submitted to staff for review and approval prior to plan check submittal. The revision shall include:
 - Any stone veneer or cladding above ground level.
 - Any exterior lighting fixtures, which shall be limited to the main entry, egress door, and vehicle entrance.
 - Any rain gutters and downspouts, which shall match the adjacent wall or roof color and finish.
 - Any vents and utility connections, which shall be integrated into the design while avoiding primary facades.

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Requested Comments from Responsible Agencies

PROJECT DESCRIPTION RELATIVE TO THE COMPREHENSIVE DESIGN GUIDELINES FOR THE CITY OF GLENDALE, CA:

THE RENOVATION AND MINOR ADDITION TO 1325 OPECHEE IS BEING UNDERTAKEN TO AUGMENT FURTHER A BEAUTIFUL, TUDOR REVIVAL HOME THAT WAS BUILT IN 1926 AND METICULOUSLY MAINTAINED AND IMPROVED IN 'DISNEY' STORYBOOK STYLE BY ITS LONG-TIME PREVIOUS OWNER. SINCE PURCHASING THE HOME IN 2023 WITH THE INTENT TO REMODEL FOR PERSONAL USE, THE CONNOR FAMILY DREAMS OF A TUDOR-STYLE HOME WITH A MODERN LAYOUT THAT SUITS COMFORTABLE FAMILY LIVING.

SITE PLANNING:

ALL PROPOSED WORK IS WITHIN THE FOOTPRINT OF THE EXISTING BUILDING. THE SITE IS TO BE LEFT INTACT.

MASS AND SCALE:

THE CURRENT FOOTPRINT AND HEIGHT OF THE BUILDING WILL NOT CHANGE ARE A RESULT OF THE PROPOSED WORK. THE ADDITION FITS WITHIN AND BETWEEN EXISTING ROOF/WALL ELEMENTS.

DESIGN AND DETAILING:

THE OWNER WISHES TO HONOR THE EXISTING STYLE BY KEEPING THE PRIMARY COLOR SCHEME AND MANY OF THE HAND-CRAFTED DETAILS CREATED BY THE PREVIOUS OWNER. CHANGES TO THE FRONT INCLUDE THE REMOVAL OF LARGE, METAL FLUSH-FRAMED WINDOWS TO BE REPLACED WITH SMALLER BLOCK-FRAMED CASEMENT WINDOWS WITH SIMULATED DIVIDED LIGHTS. THE PRIMARY GABLE OF THE BUILDING, BEHIND WHICH THE STAIR IS BEING RELOCATED TO, WILL FEATURE A TALL DIAMOND-MUNTINED WINDOW WITH A COPPER ROOF CAP AND REVISED 'TUDOR' FRAMING TRIM.

IN THE SPAN BETWEEN THE TWO PRIMARY FACADE GABLES A NEW LOW-SLOPE ROOF TUDOR-STYLE INFILL DORMER WITH THREE TRIMMED WINDOWS WILL BE ADDED TO PROVIDE A 55 SF STUDY AREA FOR THE UPSTAIRS BEDROOM.

THE SIDES AND REAR FACADES WILL INCLUDE NUMEROUS WINDOW LOCATION/SIZE REVISIONS TO ACCOMMODATE THE INTERIOR USE/LAYOUT. ALL EXISTING METAL FLUSH FRAMED WINDOWS TO BE REPLACED WITH CLAD WOOD BLOCK FRAMED SDLS WINDOWS TO MATCH THE EXISTING.

THE OWNER IS COMMITTED TO THEIR MARK BEING ONE OF QUALITY OF DESIGN AND MATERIAL. 1325 OPECHEE IS ALREADY A BEAUTIFUL HOME IN GLENDALE WHICH WILL SHINE ALL THE MORE WITH THESE COMPREHENSIVELY COMPLEMENTARY UPDATES FOR IT'S 100TH BIRTHDAY.

6.20.2024

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CONSTRUCTION

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PROJECT # 2405

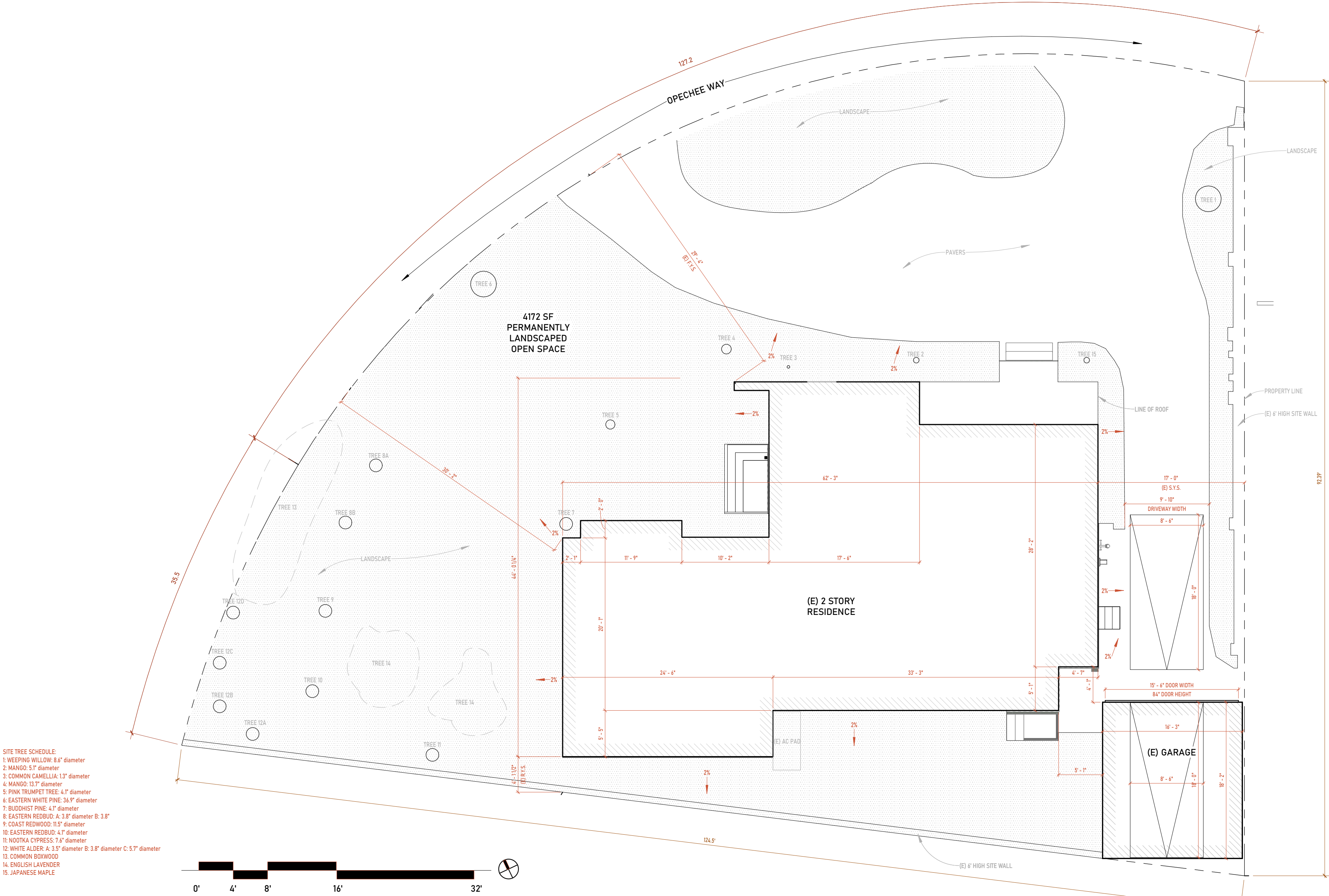
DOCUMENT ISSUANCE:
DESIGN PLANS 001

GENERAL NOTES:

1. ALL DIMENSIONS TO FACE OF STRUCTURE (FOS) UNLESS OTHERWISE NOTED (UON)
2. DO NOT SCALE FROM DRAWINGS.
3. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. SURFACE DRAINAGE TO NEW AND/OR EXISTING CATCH BASINS TO DISCHARGE TO STORM SEWER.
5. FOUNDATION DRAINAGE SHALL BE CONVEYED THROUGH PIPING DIRECTLY TO A POINT OF DISCHARGE.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURE.
7. ALL EXTERIOR STAIR TREADS, LANDINGS, DECKS AND PAD/PAVERS SHALL BE SLOPED TO DRAIN. LANDINGS MUST BE NO MORE THAN 1" BELOW THRESHOLD AT DOORS SWINGING OVER LANDING. IF DOOR SWINGS AWAY FROM LANDING, LANDINGS MUST BE NO MORE THAN 8" BELOW THRESHOLD.
8. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED USING RECOMMENDATIONS OF ARBORIST (ROOT BALL AND CANOPY PROTECTION), UNLESS OTHERWISE NOTED.
9. EXISTING TREES, WHERE SHOWN, ARE FOR REFERENCE ONLY.
10. MEET ALL REQUIREMENTS FOR EXCAVATIONS CONTAINED IN THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE DIVISION OF INDUSTRIAL SAFETY.
11. DETAIL PAD ELEVATIONS TO PROVIDE MINIMUM 2% DRAINAGE TO APPROVED LOCATION
12. AN APPROVED SEISMIC SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
13. THE CONSTRUCTION SHALL NOT RESTRICT A 5' CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES INCLUDING BUT NOT LIMITED TO POWER POLES, PULLBOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
15. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
16. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY (R319.1).

ALL ELEVATIONS GIVEN RELATIVE TO FINISH FLOOR HEIGHT (0.0')					
ALL ELEVATIONS TAKEN AT 5' FROM EXTERIOR FACE OF BLDG. SEE SITE PLAN					
	DECIMAL FT	DECIMAL FT	DECIMAL FT	DECIMAL FT	DECIMAL FT
BLDG FACE	SPOT A	SPOT B	AVERAGE	SIDE LENGTH	FACTORED
NORTH	-3.6	-0.8	-2.2	72	-158.4
SOUTH	-2.9	0	-1.45	43	-62.35
EAST	-3.6	-2.9	-3.25	72	-234
WEST	-2.5	0	-1.25	54	-67.5
			TOTAL:	241	-522.25
					-2.17 AVERAGE GRADE

3 SITE PLAN NOTES
1/2" = 1'-0"



SITE TREE SCHEDULE:
1. WEEPING WILLOW: 8.4' diameter
2. MANGO: 5.1' diameter
3. COMMON CAMELLIA: 12" diameter
4. MANGO: 13.7" diameter
5. PINK TRUMPET TREE: 4.7' diameter
6. EASTERN WHITE PINE: 14.9" diameter
7. BUDDHIST PINE: 4.1' diameter
8. EASTERN REDWOOD: 4.3' diameter B: 3.8"
9. COAST REDWOOD: 11.5' diameter
10. EASTERN REDWOOD: 4.7' diameter
11. NODDIA CYRESS: 7.2' diameter
12. WHITE ALDER: A: 3.5' diameter B: 3.8' diameter C: 5.7' diameter
13. COMMON BOXWOOD
14. ENGLISH LAVENDER
15. JAPANESE MAPLE

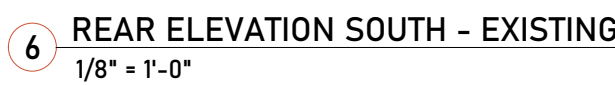
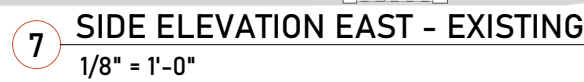
6 SITE PLAN
1/8" = 1'-0"

SITE PLAN
1325 OPECHEE WAY
GLENDALE, CA 91208



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6.20.2024



WHOLE ROOF (EXISTING)	2100 SF	100%
NEW ROOF AREA 1	164 SF	7.8%
NEW ROOF AREA 2	33 SF	1.5%
TOTAL 'NEW' ROOF AREA	197 SF	9.3% NEW ROOF



2 DEMOLITION PLAN - LEVEL 2
3/16" = 1'-0"

WINDOW SCHEDULE - DEMOLITION									
Level	Mark	LOCATION	WINDOW TYPE	W	H	SILL HT.	KEEP FOR REUSE?	Phase Created	Phase Demolished
LEVEL 1	A	(E) FRONT WINDOW	FIXED (CLAD WOOD SOL)	120"	58"	1'-8"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	B	(E) KITCHEN WINDOW	SLIDER METAL SLD	34"	48"	2'-8"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	C	(E) KITCHEN WINDOW	SLIDER METAL SLD	64"	48"	2'-8"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	D	(E) DINING ROOM	XDR SLIDER METAL SLD	34"	60"	3'-0"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	E	(E) FAMILY ROOM	SLIDER METAL SLD	34"	60"	3'-0"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	F	(E) WORKSHOP	CASEMENT (CLAD WOOD SOL)	28"	30"	4'-2"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	G	(E) WORKSHOP	CASEMENT (CLAD WOOD SOL)	28"	30"	4'-2"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	H	(E) WORKSHOP	CASEMENT (CLAD WOOD SOL)	28"	54"	2'-0"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	I	(E) WORKSHOP	CASEMENT (CLAD WOOD SOL)	28"	54"	2'-0"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	J	(E) BEDROOM WINDOW	FIXED CLAD WOOD GLASS	38"	26"	4'-0"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	K	(E) FRONT CASEMENT	CASEMENT (CLAD WOOD SOL)	38"	26"	4'-0"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 1	L	(E) FRONT CASEMENT	CASEMENT (CLAD WOOD SOL)	38"	52"	4'-0"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 2	M	FRONT DORMER	FIXED (CLAD WOOD SOL)	38"	44"	1'-10"	KEEP FOR SALVAGE	Existing	New Construction
LEVEL 2	N	SIDE DORMER	STAINED GLASS	38"	20"	4'-0"	KEEP FOR SALVAGE	Existing	New Construction

1. ANY DEMOLITION DRAWINGS ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE SITE OR BUILDING(S). VERIFY THE EXISTING STATE OF THE EXISTING SITE, BUILDING, FINISHES, AND BUILDING SYSTEMS / UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
2. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
3. REDIRECT AND CAP ALL SITE UTILITIES, INCLUDING BUT NOT EXCLUSIVE TO ALL VENTS, PLUMBING, GAS, AND ELECTRICAL LINES ARE REQUIRED FOR THEIR RE-CONNECTION PER THE ALTERATION PLANS.
4. REMOVE AND CAP ALL UTILITIES AND SYSTEMS WITHIN EXISTING STRUCTURE(S) SHOWN TO BE DEMOLISHED.
5. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
6. PROVIDE TEMPORARY ENCLOSURE AT DEMOLISHED AREAS OF EXISTING HOUSE DURING CONSTRUCTION.
7. ANY ELEMENTS AND MATERIALS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR THEIR RE-USE.
8. ALL EXISTING ELEMENTS TO REMAIN AND UTILITIES ASSOCIATED (WHERE APPLICABLE) ARE TO BE PROPERLY PROTECTED TO ENSURE FULL PERFORMANCE AND STABILITY AS OBSERVED PRIOR TO COMMENCEMENT OF WORK
9. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WORK WITH ALL ALTERATIONS PLANS.
10. VERIFY WITH ARCHITECT PRIOR TO REMOVAL OF ITEMS NOT SHOWN ON SITE DEMOLITION PLAN.

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CONSTRUCTION

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PROJECT # 2405

CUMENT ISSUANCE:

SIGN PLANS 001

DEMOLITION PLANS
1325 OPECHEE WAY
GLENDALE, CA 91208



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20.2024

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CONSTRUCTION

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PROJECT # 2405

DOCUMENT ISSUANCE:
DESIGN PLANS 001

1. ALL DIMENSIONS TO CENTER LINE OF STRUCTURE (FOS) UNLESS OTHERWISE NOTED (UON).
2. ALL CASEWORK DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
3. DO NOT SCALE FROM DRAWINGS.
4. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
5. ALL NON-DIMENSIONED DOORS AND WINDOWS TO BE CENTERED IN THE CLEAR OPENING.
6. ALL DOORS AND WINDOWS DIMENSIONED TO THE CENTERLINE OF THE CLEAR OPENING.
7. SEE PLANS FOR HARD WIRED SMOKE DETECTOR / CO LOCATIONS.
8. HABITABLE ROOMS WILL CONTAIN AT LEAST 70 SF WITH NO DIMENSION LESS THAN 7'-0".
9. HABITABLE ROOMS WILL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'6" EXCEPT AS OTHERWISE PERMITTED.
10. MINIMUM CEILING HEIGHT FOR LAUNDRY ROOMS, HALLWAYS, CORRIDORS, KITCHENS AND BATHROOMS WILL BE 7'-0".
11. MINIMUM WIDTH FOR CORRIDORS AND STAIRWAYS WILL BE 36".
12. THE BUILDING DESIGN AND CONSTRUCTION MUST MEET REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2-53 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS F TITLE 20, CHAPTER 2, SCHEDULE 4, ARTICLE 3.
13. SOUND INSULATION REQUIRED IN ALL TOILET WALLS.
14. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS AND ALL OTHER OPENINGS IN THE ENVELOPE. ALL EXTERIOR OPENINGS SHALL BE PROPERLY WEATHERSTRIPPED, CERTIFIED AND LABELED.
15. ALL EXTERIOR HOSE BIBS SHALL BE MOUNTED AT +6 ABOVE ADJACENT GRADE OR FINISH UNLESS OTHERWISE NOTED.
16. ALL PROPERTY LINES, EASEMENTS AND BUILDING ARE SHOWN ON THE SITE PLAN.
17. PROVIDE 2X WOOD BLOCKING AT ALL WOOD BASE LOCATIONS.
18. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GAUROS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
19. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
20. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQ'D FOR THE DURATION OF THE WORK.
21. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.
22. CONTRACTOR SHALL PROVIDE GAS AND ELECTRIC CONNECTIONS FOR ALL NEW AND OWNER-PROVIDED EQUIPMENT.
23. ANY DOOR OVER A LANDING MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LANDING SHALL BE NOT MORE THAN 8" BELOW THE THRESHOLD (91.1003.3.1.6)
24. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.10R SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
25. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATION EQUIPMENT. (4.504.1)
26. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS, AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND LIMITS LISTED IN TABLES 9.504.1-9.504.3.
27. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5.1, 9.504.5.1)
28. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5/TABLE 9.504.5.
29. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3)
30. THE SIZE AND LAYOUT OF THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE IN ACCORDANCE WITH ACCA MANUAL J, ACCA 29-D, AND ACCA 36-S, ASHRAE HANDBOOKS.

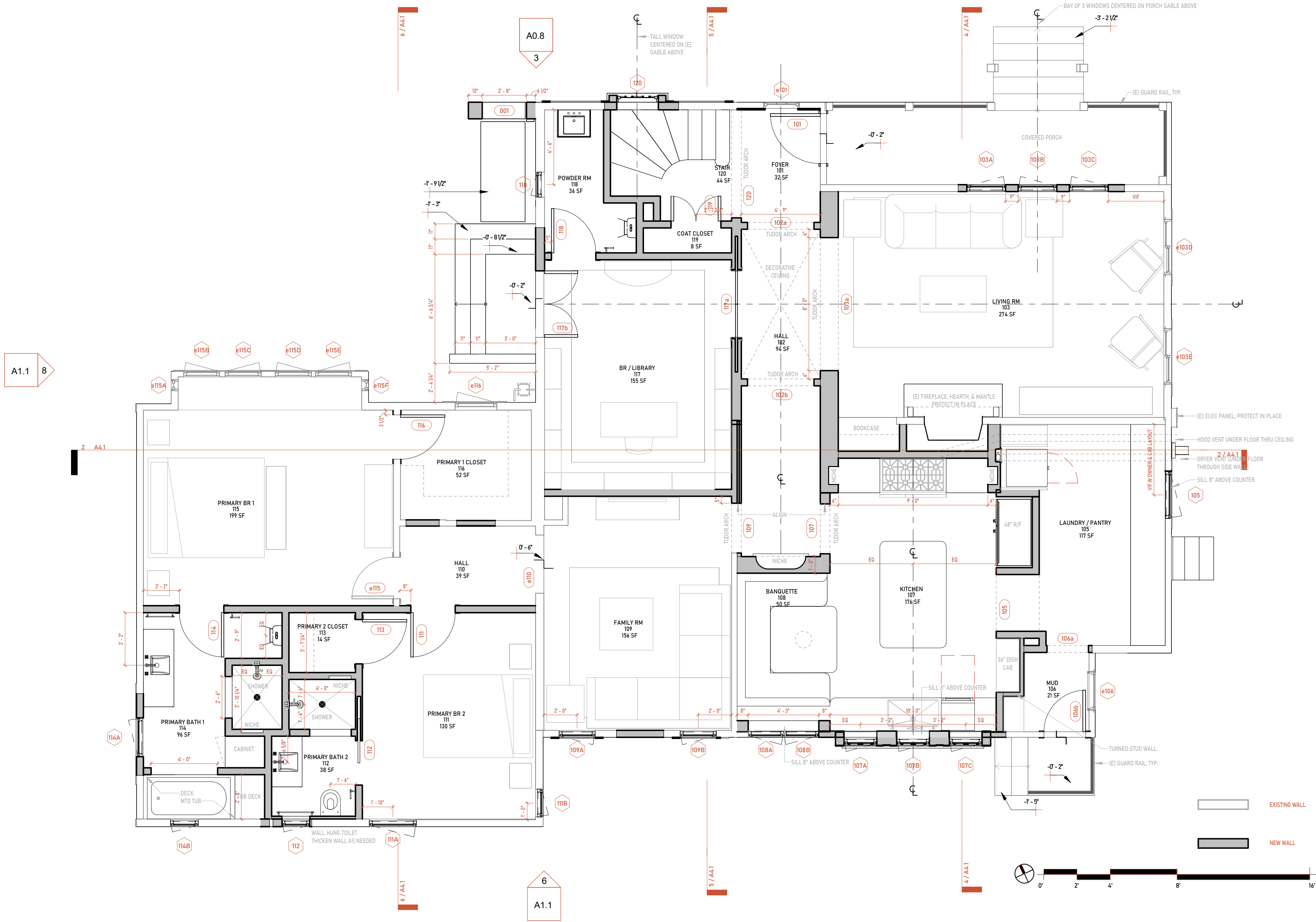
FLOOR PLAN - LEVEL 1

1325 OPECHEE WAY
GLENDALE, CA 91208



A1.2

6.20.2024



1 LEVEL 1
1/4" = 1'-0"

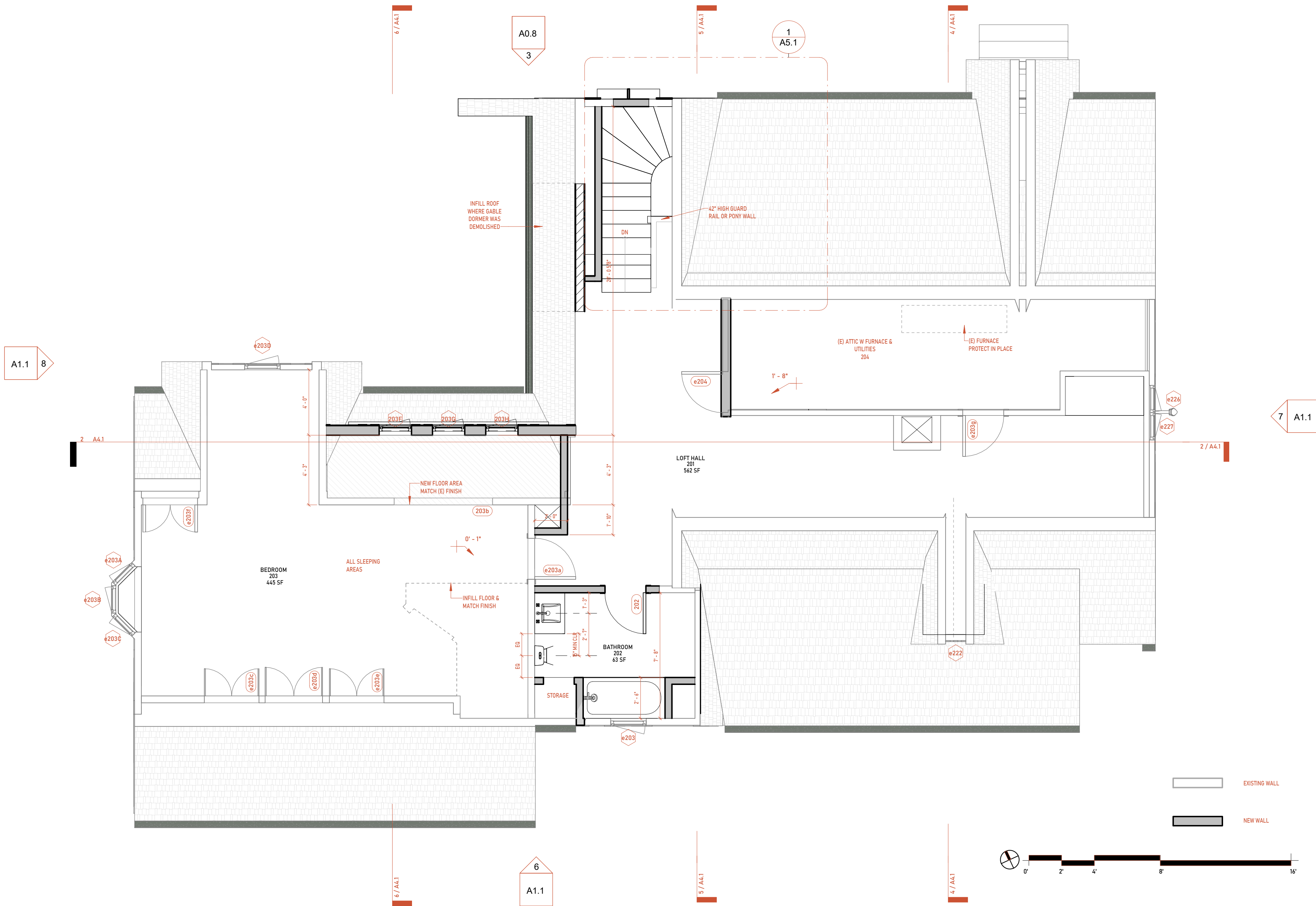
PLAN NOTES
12" = 1'-0"

NOT FOR
CONSTRUCTION

sp

PROJECT # 2405

DOCUMENT ISSUANCE:
DESIGN PLANS 001



1 LEVEL 2
1/4" = 1'-0"

1. ALL DIMENSIONS TO CENTER LINE OF STRUCTURE (FOS) UNLESS OTHERWISE NOTED (UON).
2. ALL CASEWORK DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
3. DO NOT SCALE FROM DRAWINGS.
4. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
5. ALL NON-DIMENSIONED DOORS AND WINDOWS TO BE CENTERED IN THE CLEAR OPENING.
6. ALL DOORS AND WINDOWS DIMENSIONED TO THE CENTERLINE OF THE CLEAR OPENING.
7. SEE PLANS FOR HARD WIRED SMOKE DETECTOR / CO LOCATIONS.
8. HABITABLE ROOMS WILL CONTAIN AT LEAST 70 SF WITH NO DIMENSION LESS THAN 7'-0".
9. HABITABLE ROOMS WILL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'6" EXCEPT AS OTHERWISE PERMITTED.
10. MINIMUM CEILING HEIGHT FOR LAUNDRY ROOMS, HALLWAYS, CORRIDORS, KITCHENS AND BATHROOMS WILL BE 7'-0".
11. MINIMUM WIDTH FOR CORRIDORS AND STAIRWAYS WILL BE 36".
12. THE BUILDING DESIGN AND CONSTRUCTION MUST MEET REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2-53 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS F TITLE 20, CHAPTER 2, SCHEDULE 4, ARTICLE 3.
13. SOUND INSULATION REQUIRED IN ALL TOILET WALLS.
14. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS. ALL WINDOW AND DOOR FRAMES, BETWEEN WALL, SOLEPLATES AND FLOORS AND ALL OTHER OPENINGS IN THE ENVELOPE. ALL EXTERIOR OPENINGS SHALL BE PROPERLY WEATHERSTRIPPED, CERTIFIED AND LABELED.
15. ALL EXTERIOR HOSE BIBS SHALL BE MOUNTED AT +6 ABOVE ADJACENT GRADE OR FINISH UNLESS OTHERWISE NOTED.
16. ALL PROPERTY LINES, EASEMENTS AND BUILDING ARE SHOWN ON THE SITE PLAN.
17. PROVIDE 2X WOOD BLOCKING AT ALL WOOD BASE LOCATIONS.
18. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GAURDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
19. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
20. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQ'D FOR THE DURATION OF THE WORK.
21. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.
22. CONTRACTOR SHALL PROVIDE GAS AND ELECTRIC CONNECTIONS FOR ALL NEW AND OWNER-PROVIDED EQUIPMENT.
23. ANY DOOR OVER A LANDING MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LANDING SHALL BE NOT MORE THAN 8" BELOW THE THRESHOLD (91.1003.3.1.6)
24. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.10R SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AVERAGE ILLUMINATION OF 4 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
25. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATION EQUIPMENT. (4.504.1)
26. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS, AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND LIMITS LISTED IN TABLES 9.504.1-9.504.3.
27. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURERS SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5.1, 9.504.5.1)
28. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5/ TABLE 9.504.5
29. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3)
30. THE SIZE AND LAYOUT OF THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE IN ACCORDANCE WITH ACCA MANUAL J, ACCA 29-D, AND ACCA 36-S, ASHRAE HANDBOOKS.

PLAN NOTES
12" = 1'-0"

FLOOR PLAN - LEVEL 2

1325 OPECHEE WAY
GLENDALE, CA 91208



A1.3

6.20.2024

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PROJECT # 2405

DOCUMENT ISSUANCE:
DESIGN PLANS 001

ROOF PLAN
1325 OPECHEE WAY
GLENDALE, CA 91208



A1.4

6.20.2024

1. ROOF COVERINGS AND INSTALLATION SHALL BE A MINIMUM "CLASS A."
2. ALL ROOF SURFACES SHALL BE SLOPED A MINIMUM OF 1/4 INCH PER FOOT (2 % MINIMUM SLOPE) FOR DRAINAGE.
3. PROVIDE ADEQUATE AND NECESSARY DRAINAGE AROUND PLUMBING RISERS.
5. SEE BUILDING SECTIONS FOR EAVE HEIGHTS.
6. PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE.
7. CRICKETS TO BE MINIMUM 4" FROM SCUPPER OPENINGS.
8. ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING.
9. FLASHING FOR EXTERIOR OPENINGS, ROOFS, DECKS AND PARAPET WALLS WILL CONFORM WITH IBC.
10. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. CBC 705A.4
11. SEE SHEET A0.3 FOR COOL ROOF PERFORMANCE INFO.

2 ROOF NOTES
12" = 1'-0"

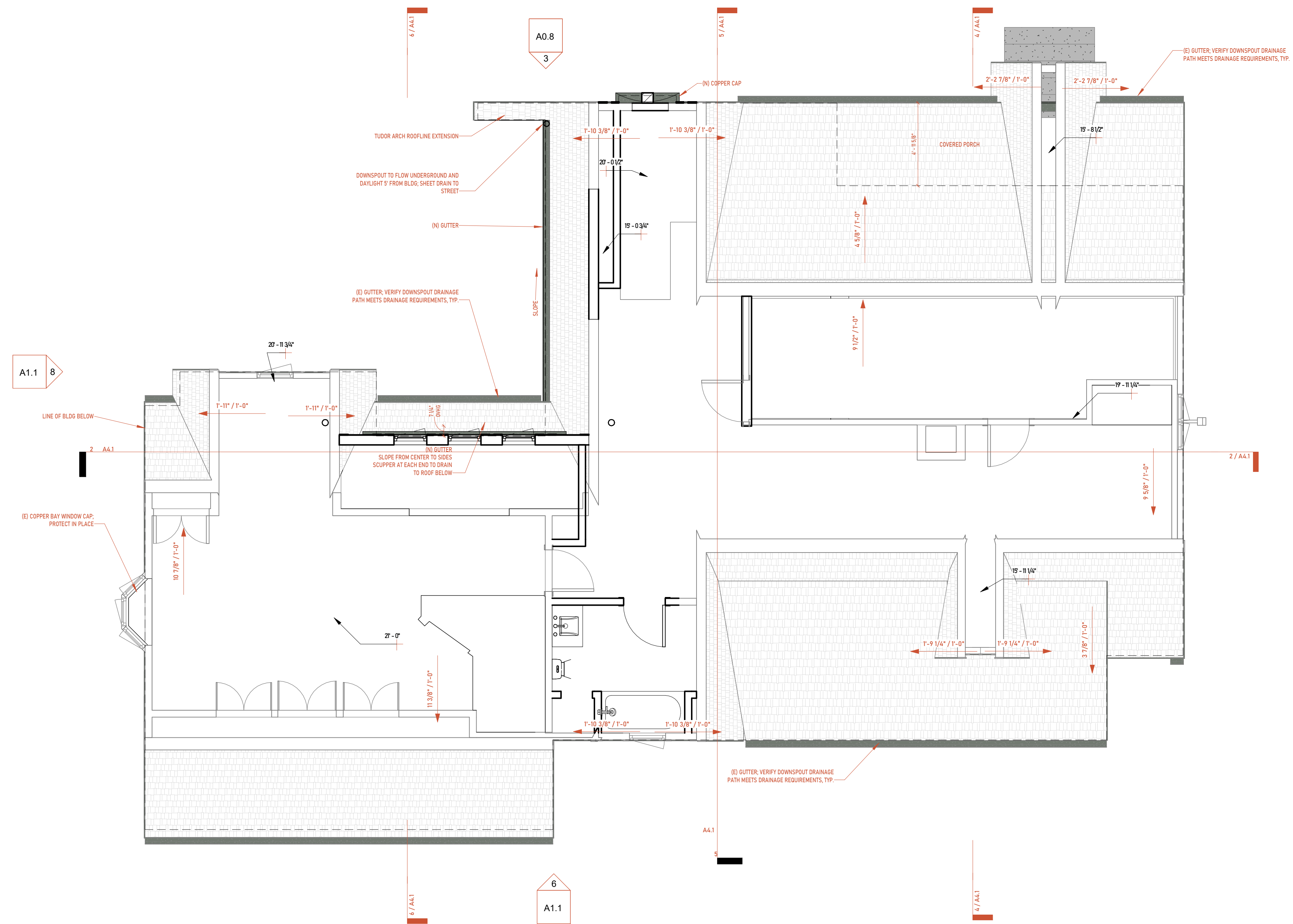
METALS

DOORS & WINDOWS

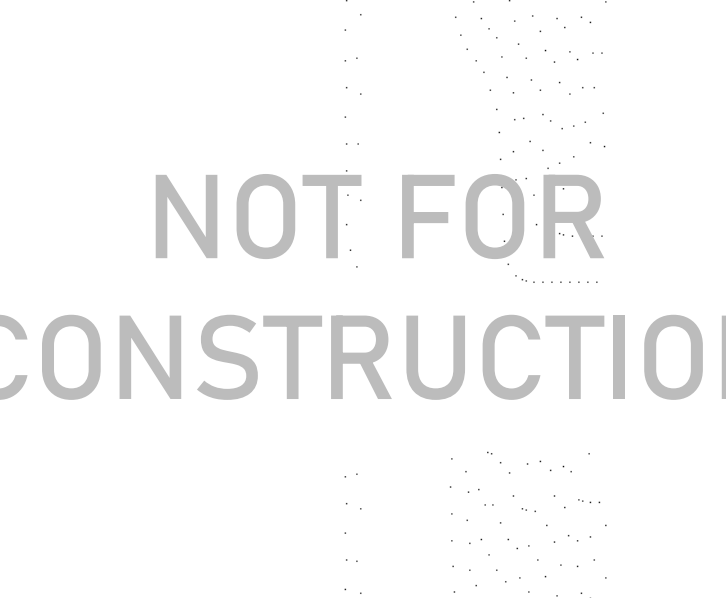
CLADDING & TRIM

ROOF

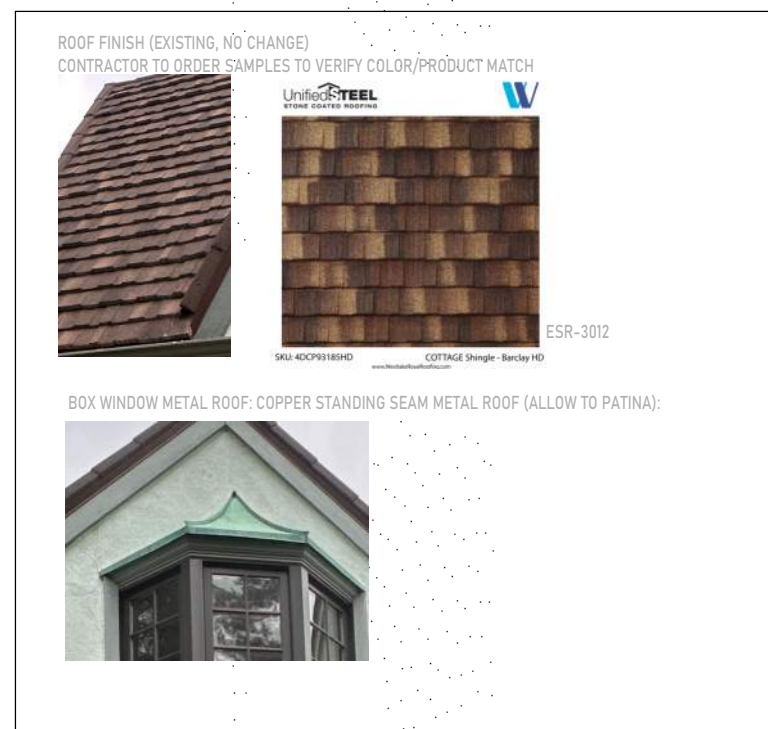
EXTERIOR FINISH LEGEND
12" = 1'-0"



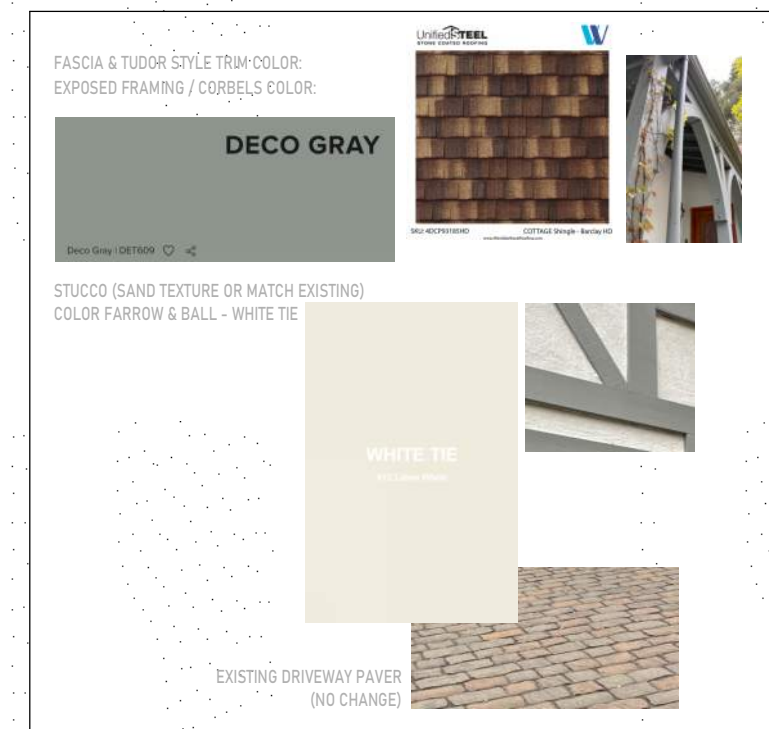
1 ROOF PLAN
1/4" = 1'-0"



NOT FOR
CONSTRUCTION



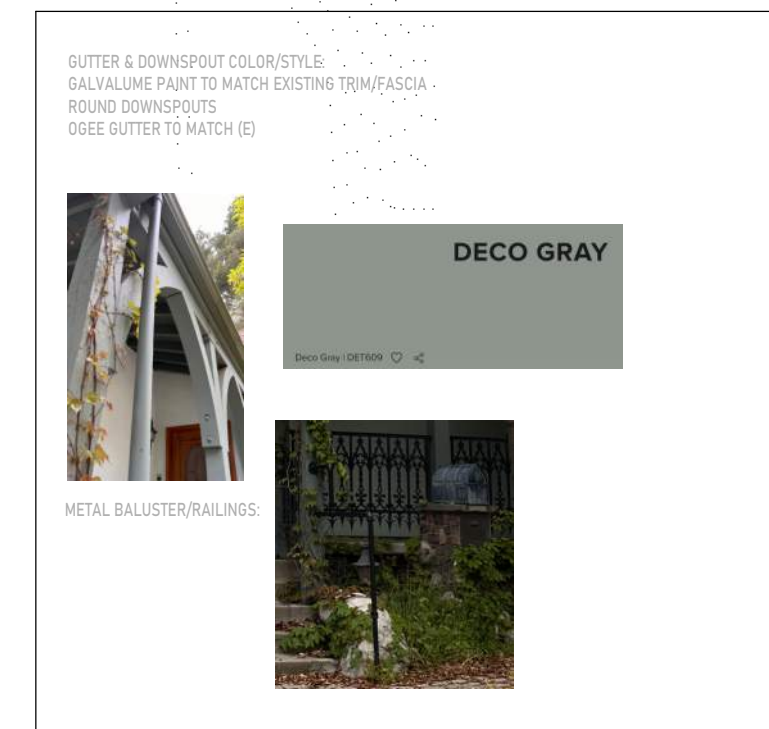
ROOF



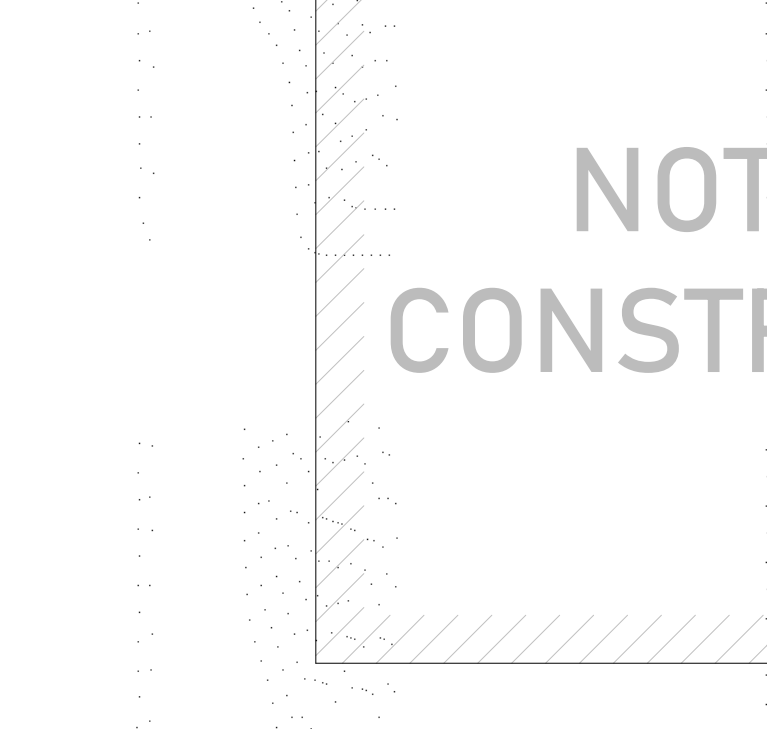
CLADDING & TRIM



DOORS & WINDOWS



METALS



4 REAR ELEVATION - EAST
1/4" = 1'-0"



2 FRONT ELEVATION - NORTH
1/4" = 1'-0"



3 SIDE ELEVATION - SOUTH
1/4" = 1'-0"



1 FRONT ELEVATION - WEST
1/4" = 1'-0"

sp

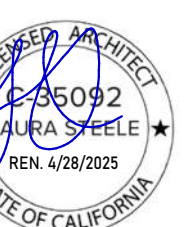
PROJECT # 2405

DOCUMENT ISSUANCE:
SIGN PLANS 001

(E) BDLG HEIGHT, NO CHANGE

EXTERIOR ELEVATIONS

1323 UPECHEE WAT
GLENDALE, CA 91208



A2.1

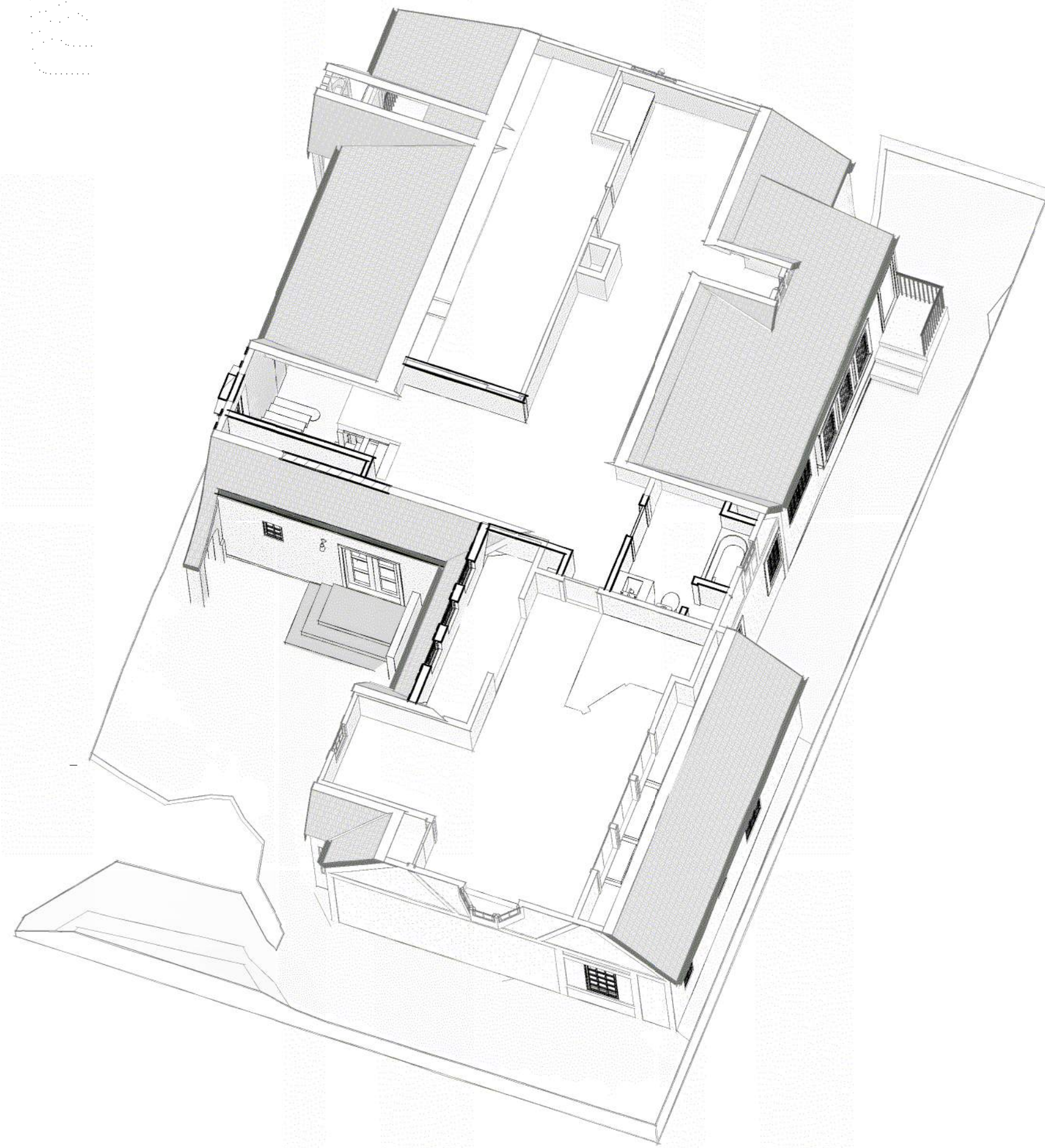
© 2024

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CONSTRUCTION

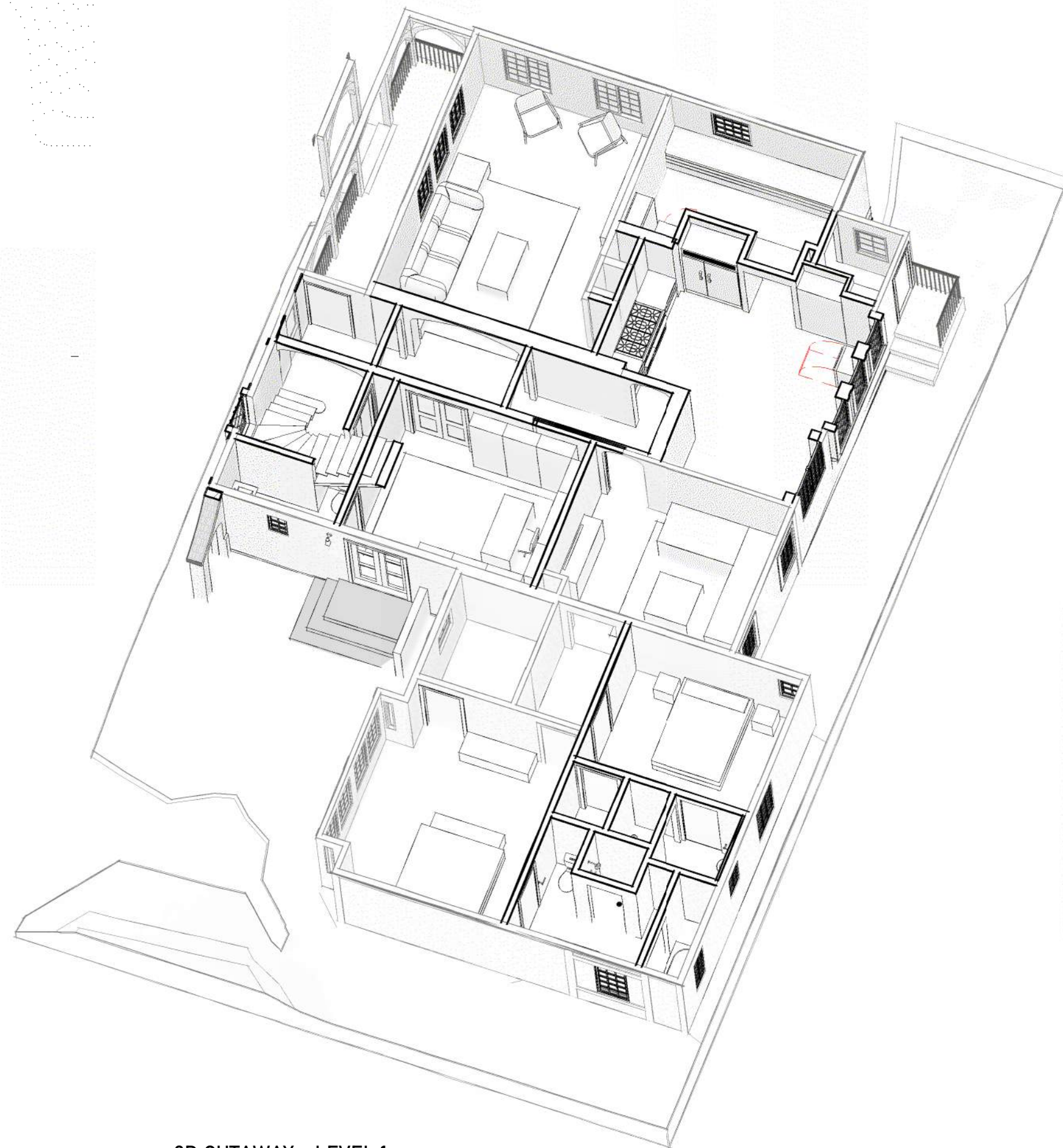
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PROJECT # 2405

DOCUMENT ISSUANCE:
DESIGN PLANS 001



1 3D CUTAWAY - LEVEL 2



3 3D CUTAWAY - LEVEL 1



4 RENDERED EXTERIOR PERSPECTIVE

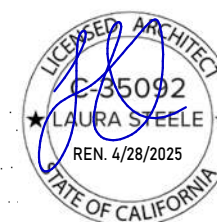


2 AERIAL VIEW - REAR existing



6 AERIAL VIEW - REAR

3D VIEWS
1325 OPECHEE WAY
GLENDALE, CA 91208



A2.2

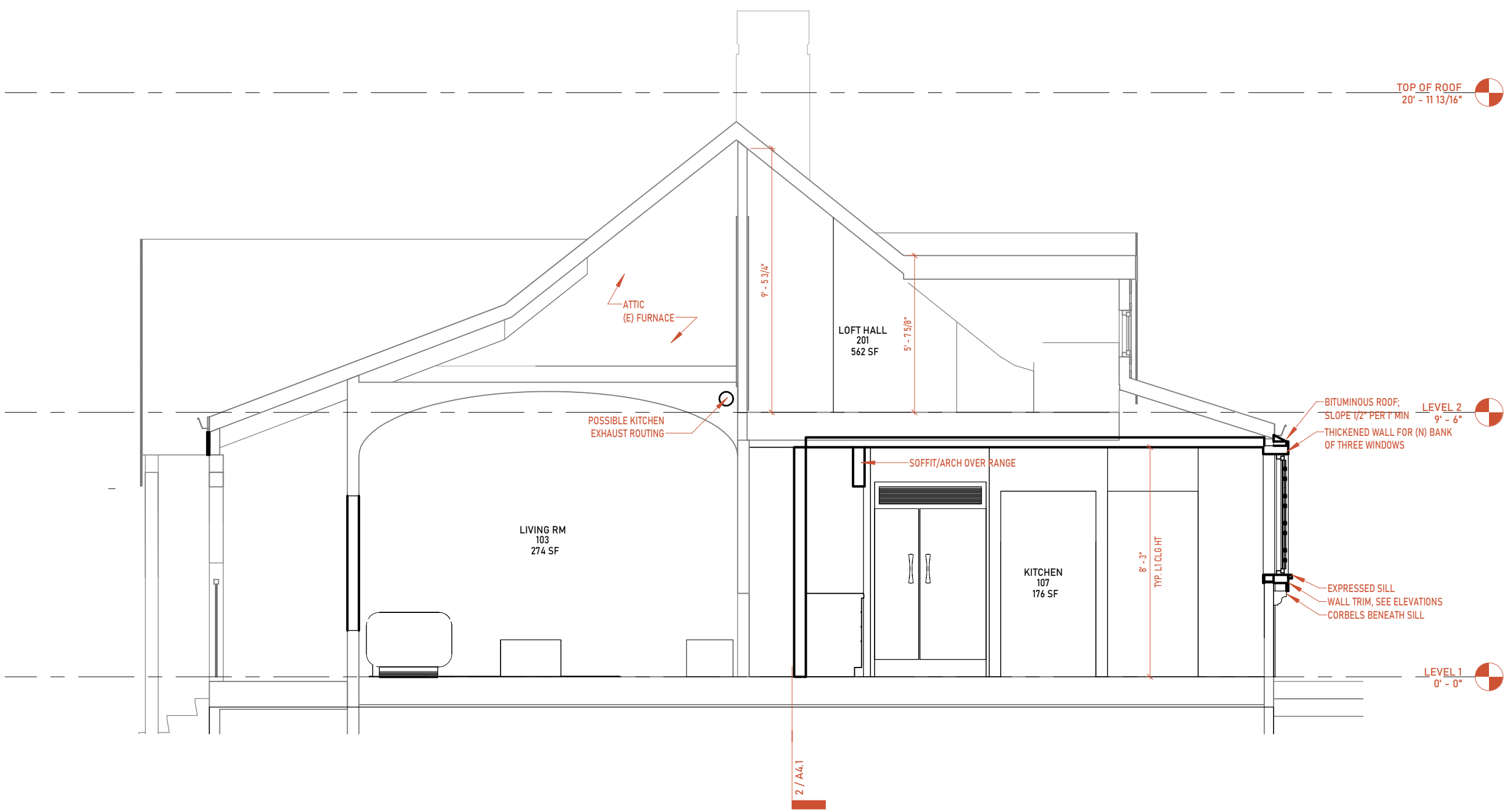
6.20.2024

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CONSTRUCTION

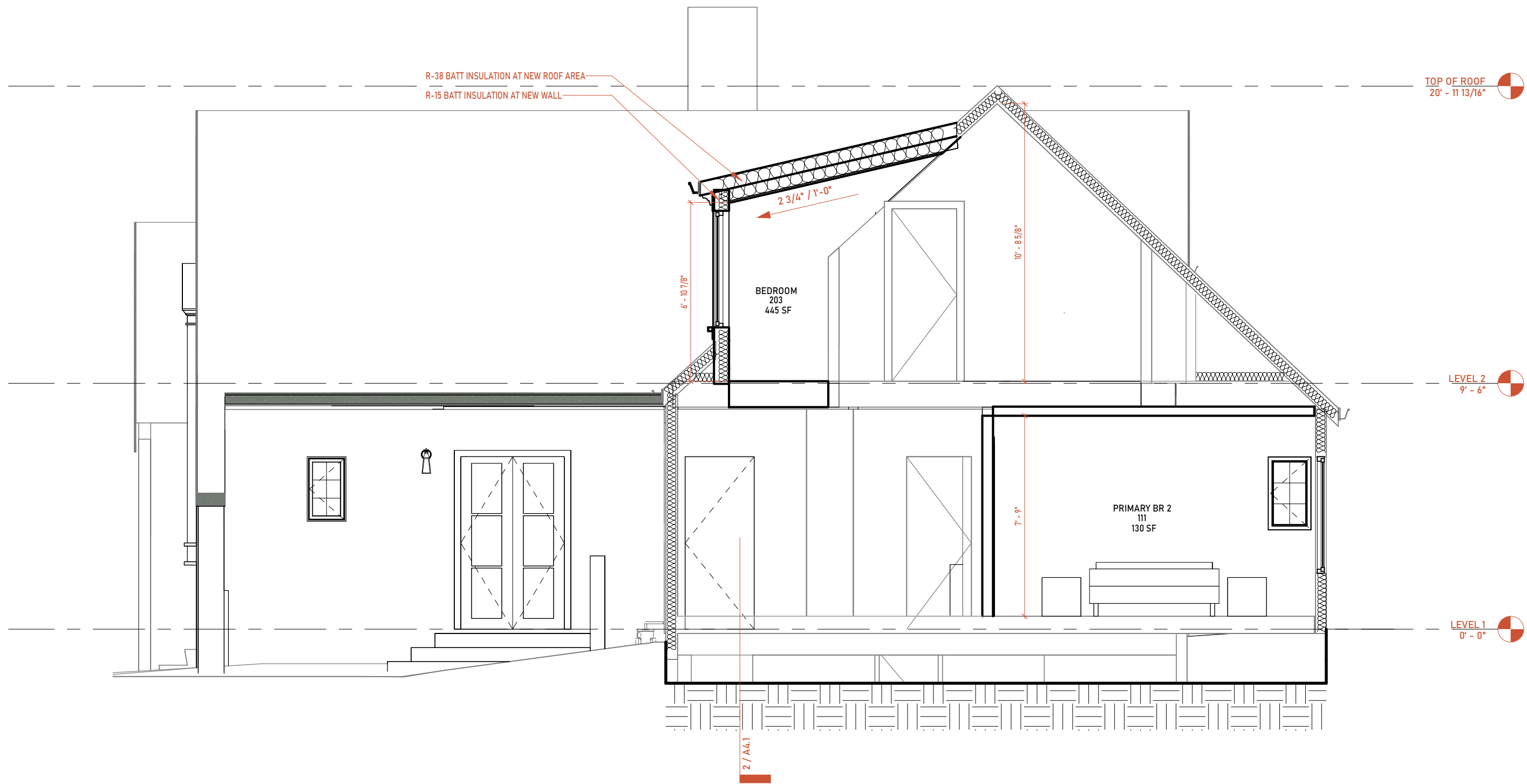
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PROJECT # 2405

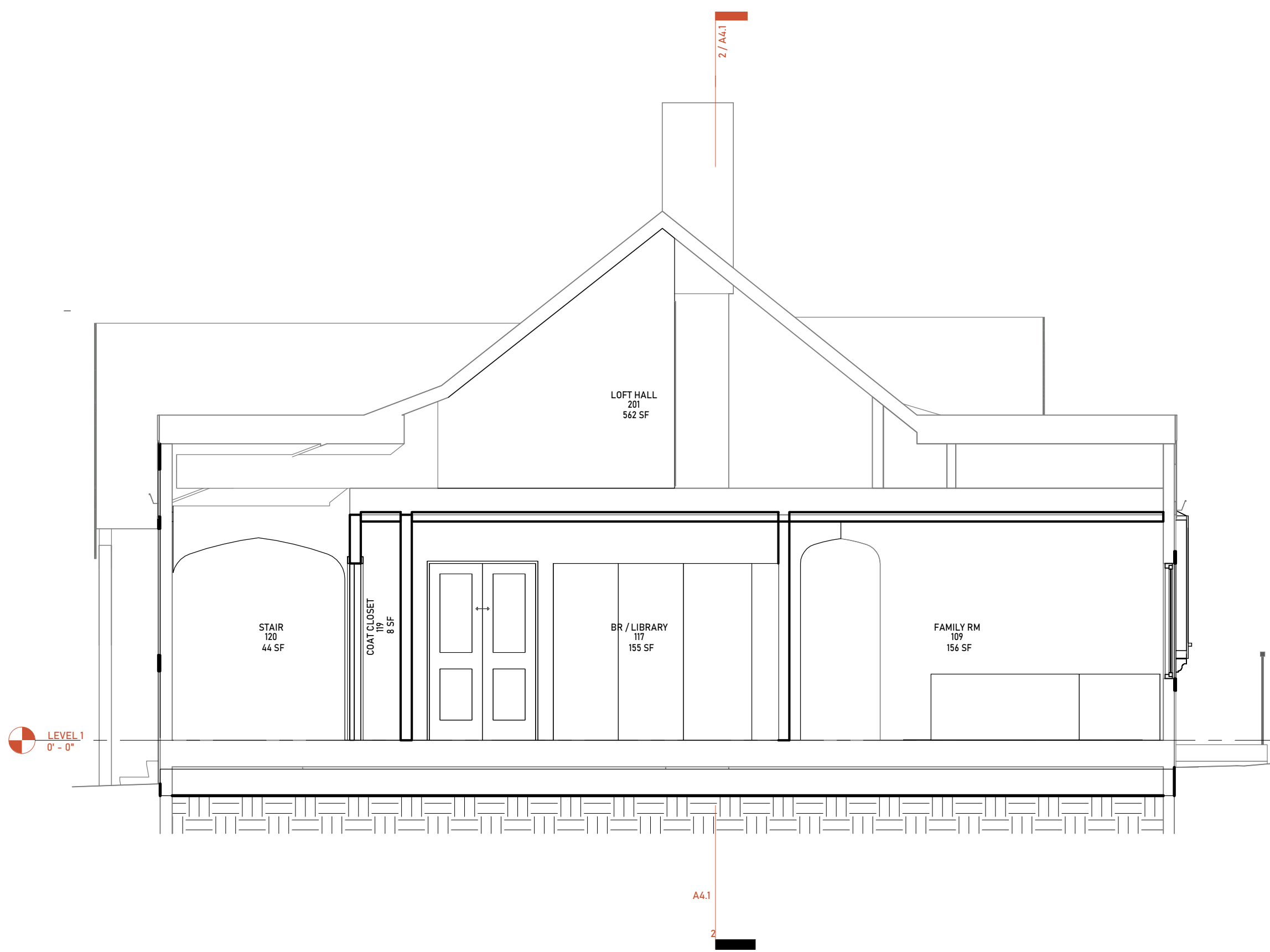
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DESIGN PLANS 001



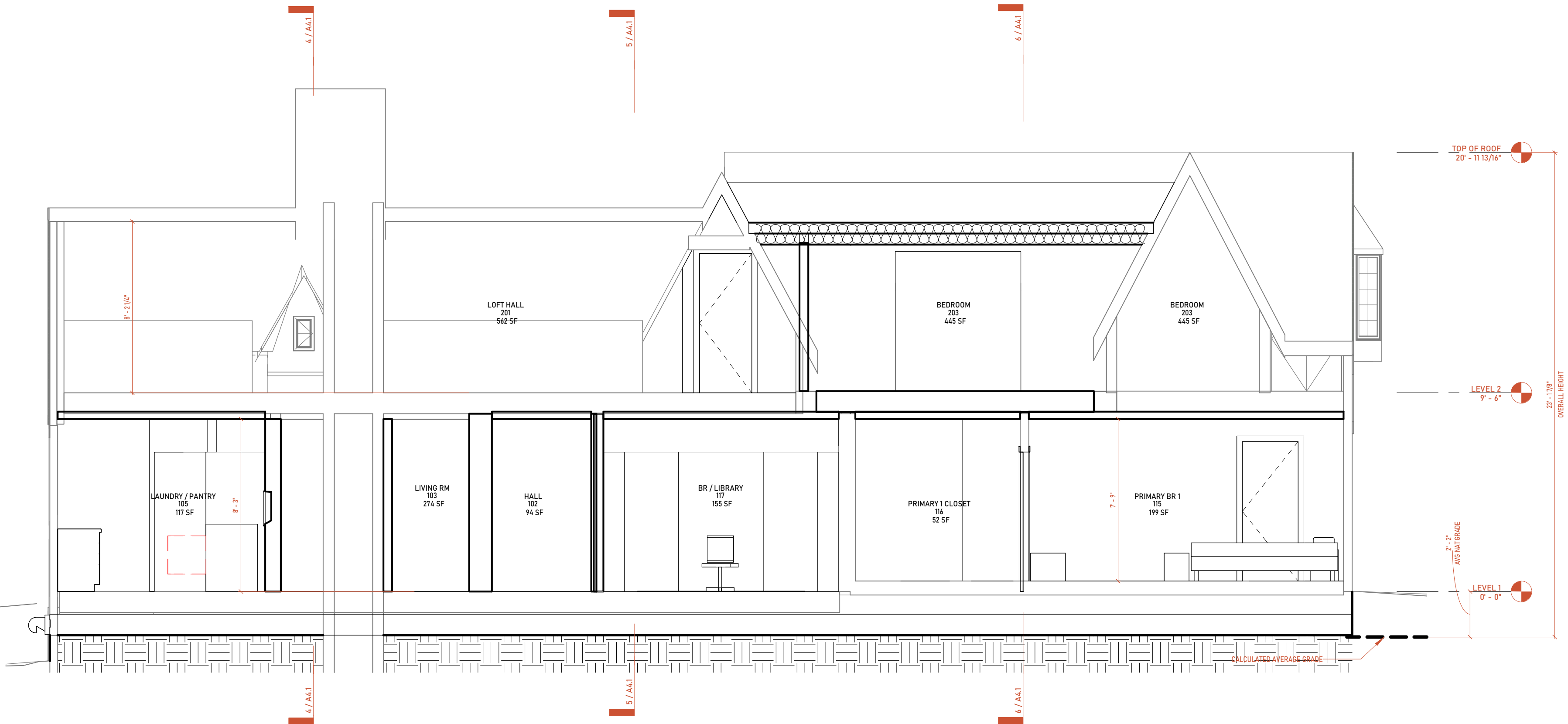
4 SECTION THROUGH LIVING ROOM AND KITCHEN
1/4" = 1'-0"



6 SECTION THROUGH NEW DORMER
1/4" = 1'-0"



5 SECTION THROUGH LIBRARY AND FAMILY RM
1/4" = 1'-0"



2 LONG SECTION
1/4" = 1'-0"

BUILDING SECTIONS

1325 OPECHEE WAY
GLENDALE, CA 91208



A4.1

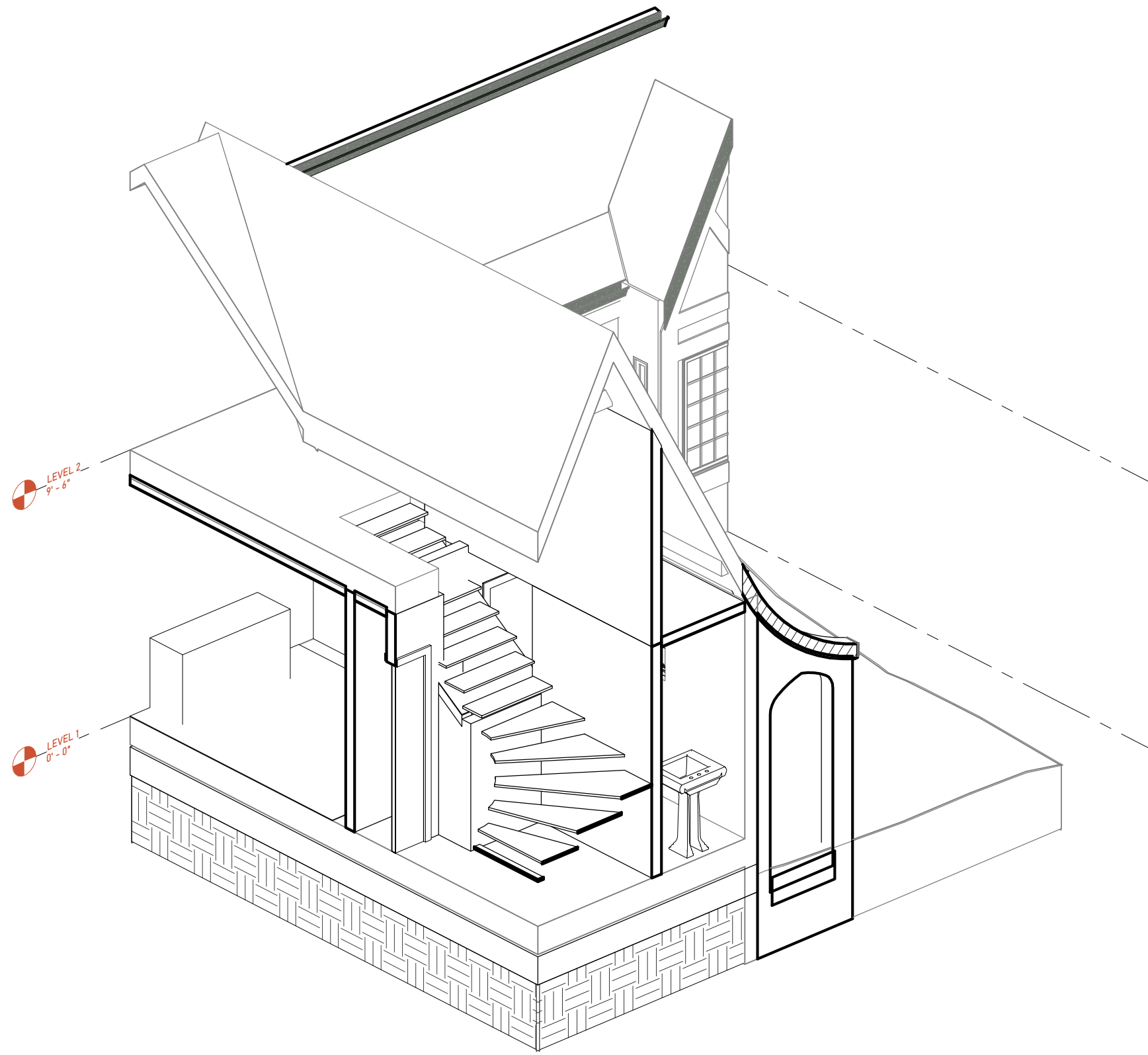
6.20.2024

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CONSTRUCTION

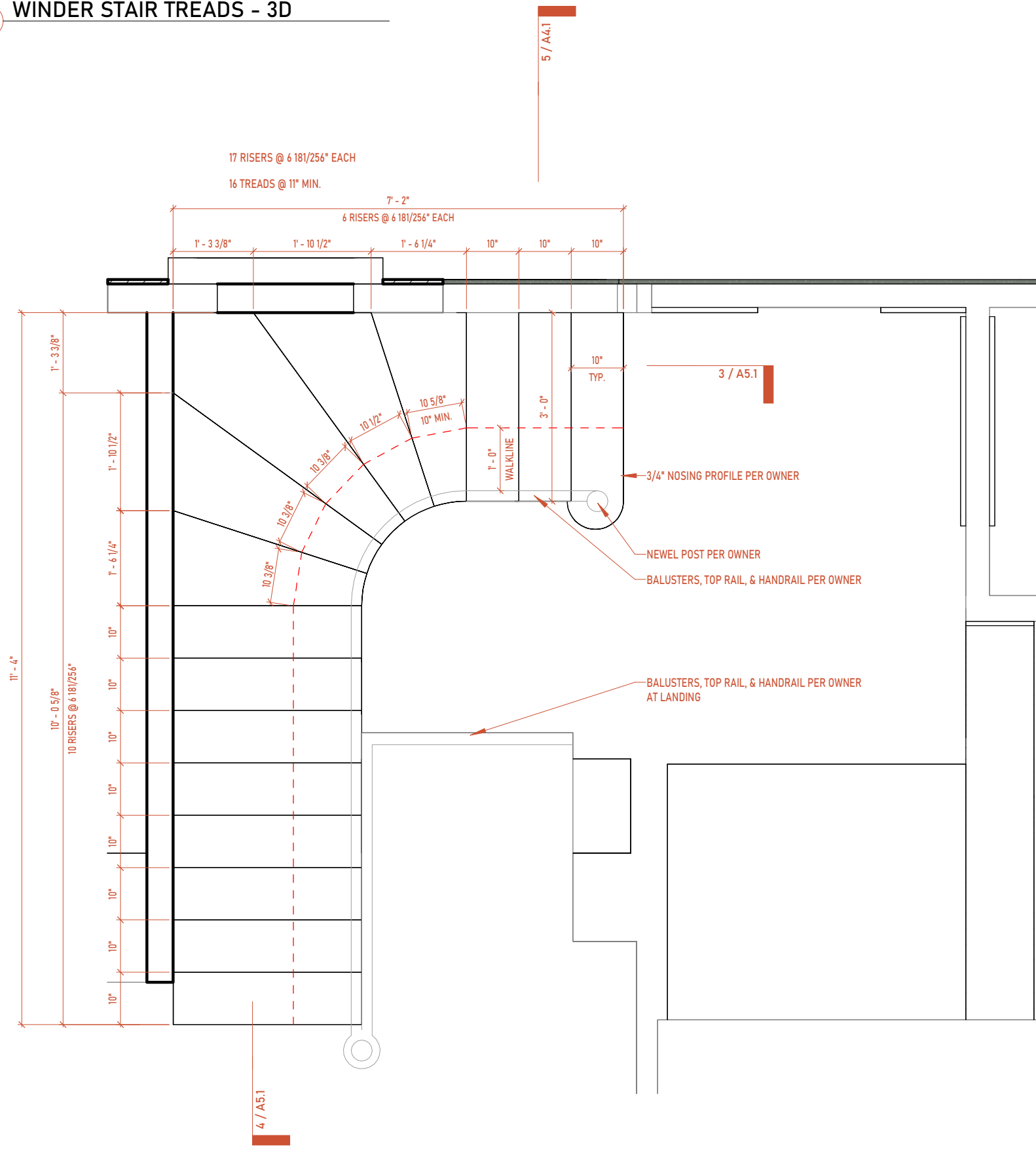
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PROJECT # 2405

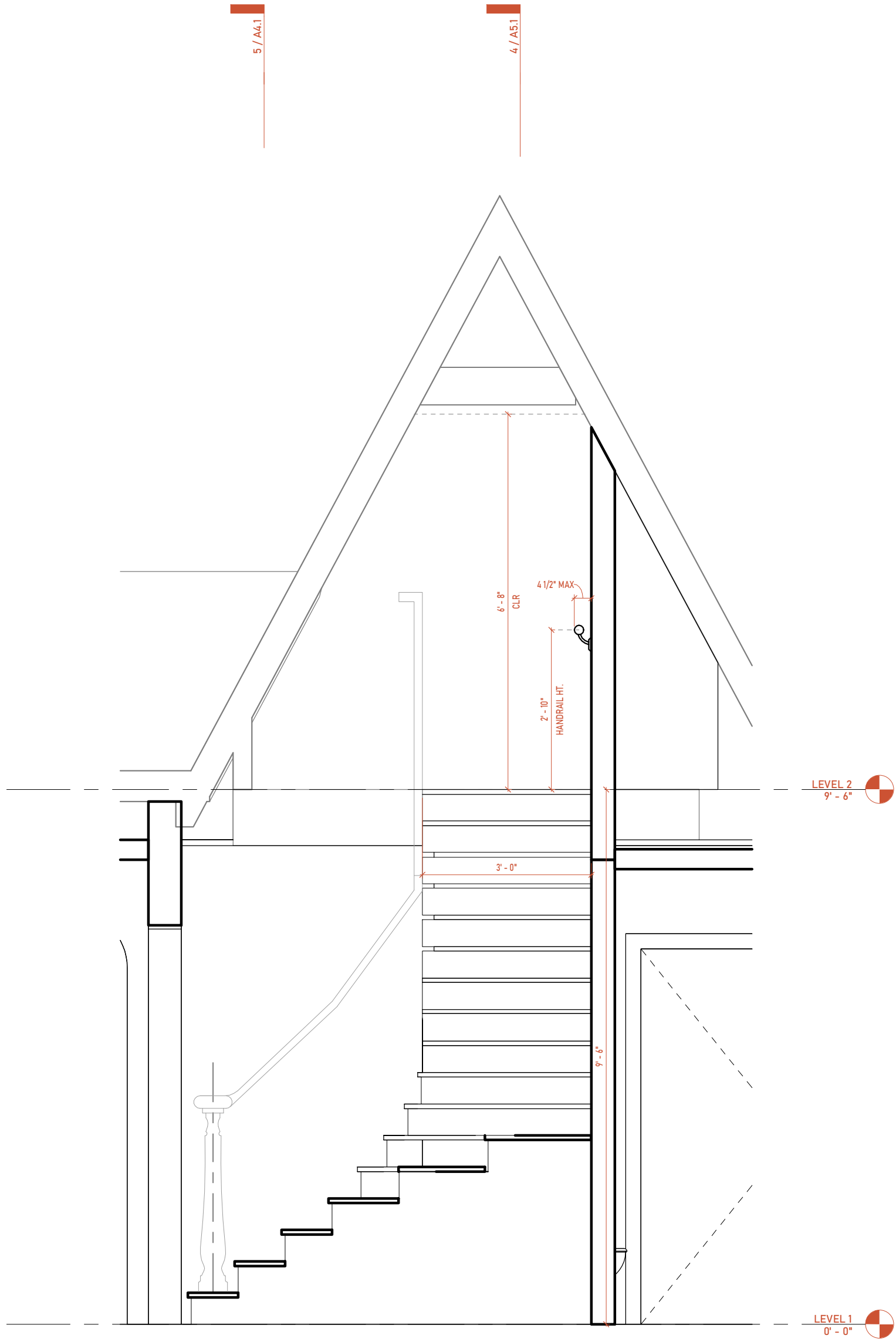
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DESIGN PLANS 001



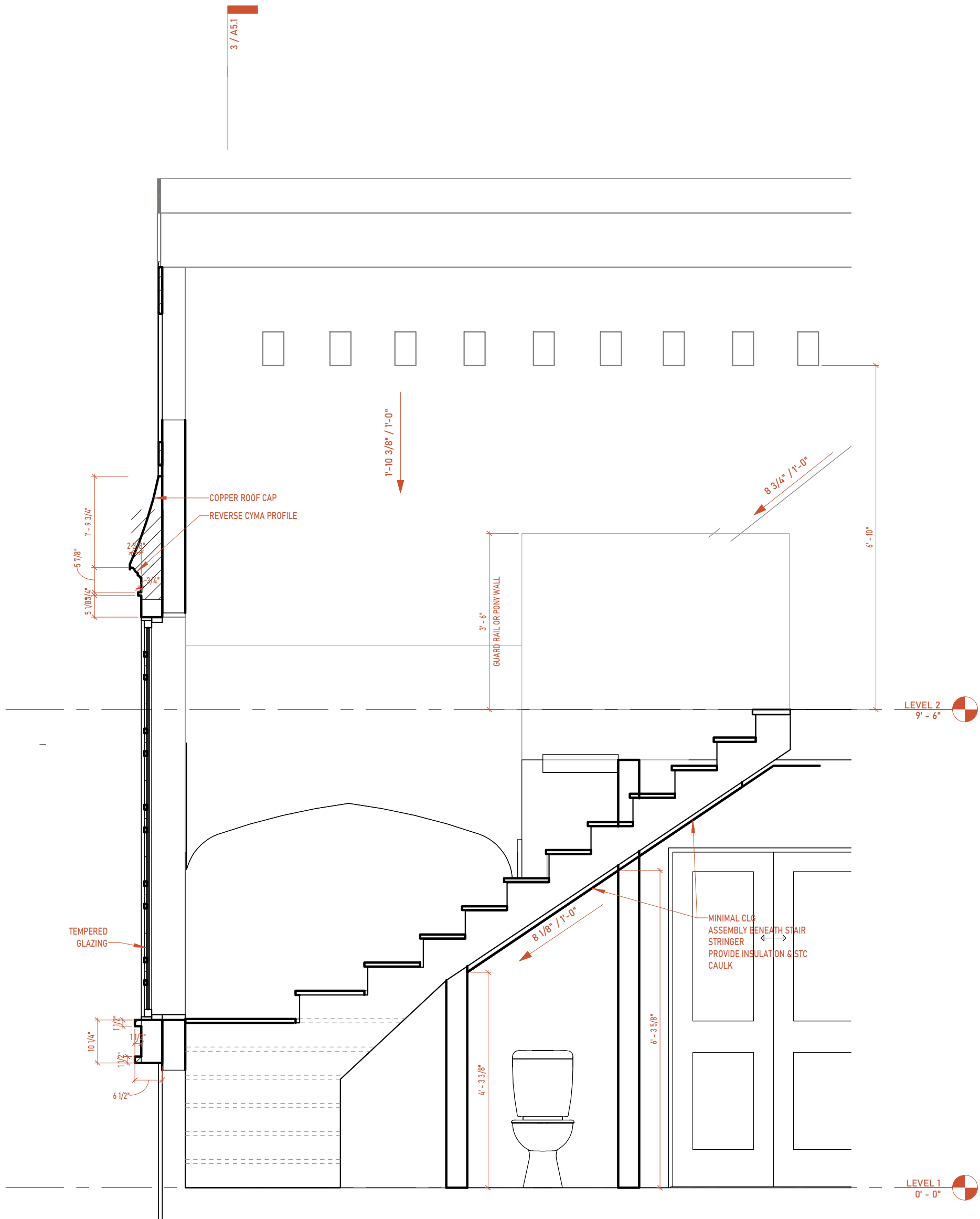
2 WINDER STAIR TREADS - 3D



1 ENLARGED PLAN - STAIR
1/2" = 1'-0"



3 STAIR SECTION
1/2" = 1'-0"



4 STAIR SECTION 2
1/2" = 1'-0"

ENLARGED PLAN - STAIR

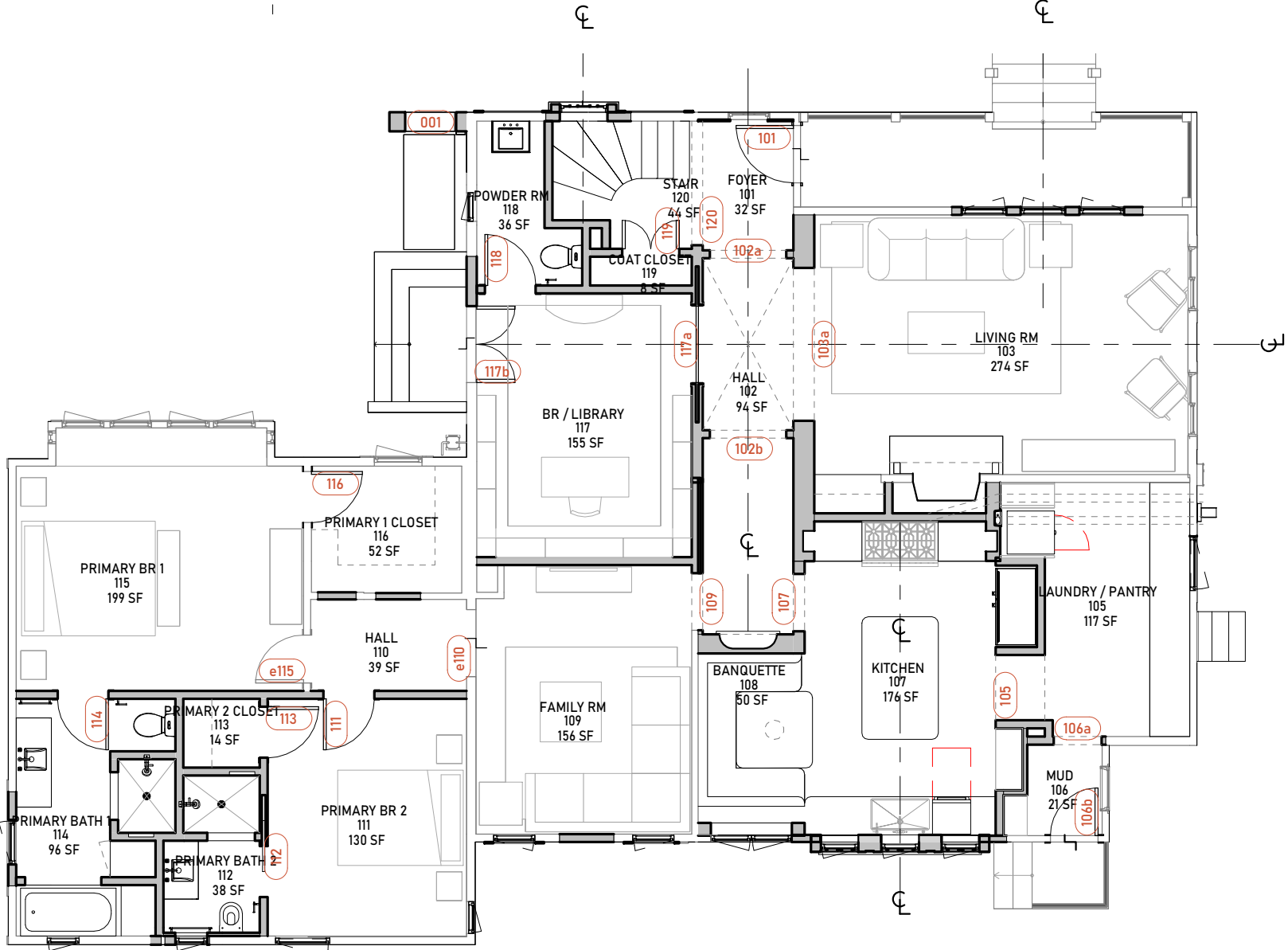
1325 OPECHEE WAY
GLENDALE, CA 91208



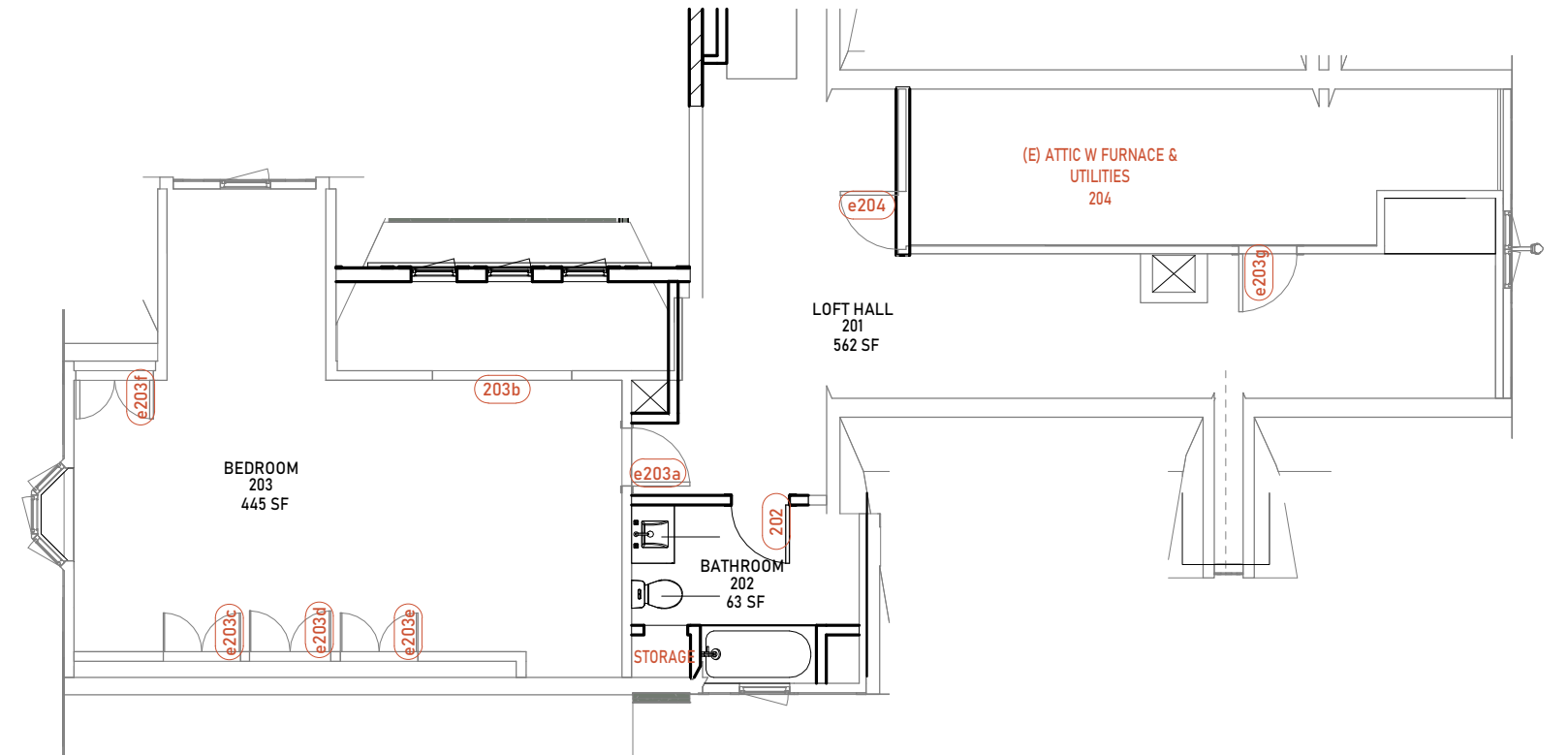
A5.1

6.20.2024

DOOR SCHEDULE - NEW & EXISTING TO REMAIN												
LEVEL	Phase Created	MARK	LOCATION	DOOR TYPE	W	Width (IN)	H	FINISH	SPEC INFO - VERIFY WITH OWNER	COMMENTS	HW	
LEVEL 1	New Construction	001	FACADE	TUDOR ARCH OPENING	2'-8"	32"	8'-4"					
LEVEL 1	New Construction	101	FRONT DOOR	SOLID CORE WOOD DOOR - EXTERIOR RATED	3'-0"	36"	6'-8"					
LEVEL 1	New Construction	102a	FOYER/HALL	TUDOR ARCH OPENING	4'-0"	48"	6'-4"					
LEVEL 1	New Construction	102b	HALL	TUDOR ARCH OPENING	4'-0"	48"	6'-4"					
LEVEL 1	New Construction	103a	LIVING ROOM	TUDOR ARCH OPENING	8'-0"	96"	9'-0"					
LEVEL 1	New Construction	105	LAUNDRY/PANTRY	OPENING	3'-5"	41"	6'-8"					
LEVEL 1	New Construction	106a	MUD ROOM	OPENING	2'-6"	30"	6'-8"					
LEVEL 1	New Construction	106b	MUD ROOM	SOLID CORE WOOD DOOR	2'-6"	30"	6'-8"					
LEVEL 1	New Construction	107	KITCHEN	TUDOR ARCH OPENING	3'-5"	36"	6'-8"					
LEVEL 1	New Construction	109	FAMILY RM	TUDOR ARCH OPENING	3'-0"	36"	6'-8"					
LEVEL 1	New Construction	111	PRIMARY BR 2	SOLID CORE WOOD DOOR	2'-8"	32"	6'-8"					
LEVEL 1	New Construction	112	PRIMARY BATH 1	INTERIOR POCKET DOOR	2'-8"	32"	6'-8"					
LEVEL 1	New Construction	113	PRIMARY CLOSET 2	SOLID CORE WOOD DOOR	2'-8"	32"	6'-8"					
LEVEL 1	New Construction	114	PRIMARY BATH 1	SOLID CORE WOOD DOOR	2'-8"	32"	6'-8"					
LEVEL 1	New Construction	116	PRIMARY CLOSET	SOLID CORE WOOD DOOR	2'-8"	32"	6'-8"					
LEVEL 1	New Construction	117a	BR/LIBRARY	VINTAGE POCKET DOORS ON CAVITY SLIDER	4'-0"	48"	6'-8"					
LEVEL 1	New Construction	117b	BR/LIBRARY	DOUBLE DOOR WITH GLAZING - EXTERIOR	4'-0"	48"	6'-8"					
LEVEL 1	New Construction	118	POWDER RM	SOLID CORE WOOD DOOR	2'-8"	32"	6'-8"					
LEVEL 1	New Construction	119	COAT CLOSET	DOUBLE DOOR - INTERIOR	3'-0"	36"	6'-8"					
LEVEL 1	New Construction	120	CLAB	TUDOR ARCH OPENING	6'-5"	78"	6'-5"					
LEVEL 1	Existing	e102	BASEMENT	SOLID CORE SWING DOOR (EXTERIOR)	2'-3 1/4"	27 1/4"	5'-4"					
LEVEL 1	Existing	e110	(E) HALL	FLUSH SOLID CORE SWING DOOR (INTERIOR)	2'-8"	42"	6'-8"					
LEVEL 1	Existing	e115	(E) PRIMARY BEDROOM	SOLID CORE WOOD DOOR	2'-8"	38"	6'-8"					
LEVEL 2	New Construction	202	BATHROOM	SOLID CORE WOOD DOOR	2'-4"	30"	6'-8"					
LEVEL 2	New Construction	203b	STUDY	OPENING	6'-0"	72"	6'-8"					
LEVEL 2	Existing	e201a	(E) BEDROOM	SOLID CORE WOOD DOOR	2'-8"	36"	6'-8"					
LEVEL 2	Existing	e201b	(E) BEDROOM	DOUBLE FLUSH CLOSET DOOR	3'-4"	40"	4'-0"					
LEVEL 2	Existing	e203a	(E) BEDROOM	DOUBLE FLUSH CLOSET DOOR	3'-4"	42"	4'-0"					
LEVEL 2	Existing	e203b	(E) BEDROOM	DOUBLE FLUSH CLOSET DOOR	3'-4"	40"	4'-0"					
LEVEL 2	Existing	e202b	(E) BEDROOM	DOUBLE FLUSH CLOSET DOOR	3'-4"	40"	5'-0"					
LEVEL 2	Existing	e203a	ATTIC	SOLID CORE WOOD DOOR	2'-8"	30"	6'-8"					
LEVEL 2	Existing	e204	ATTIC	SOLID CORE WOOD DOOR	2'-8"	30"	6'-8"					

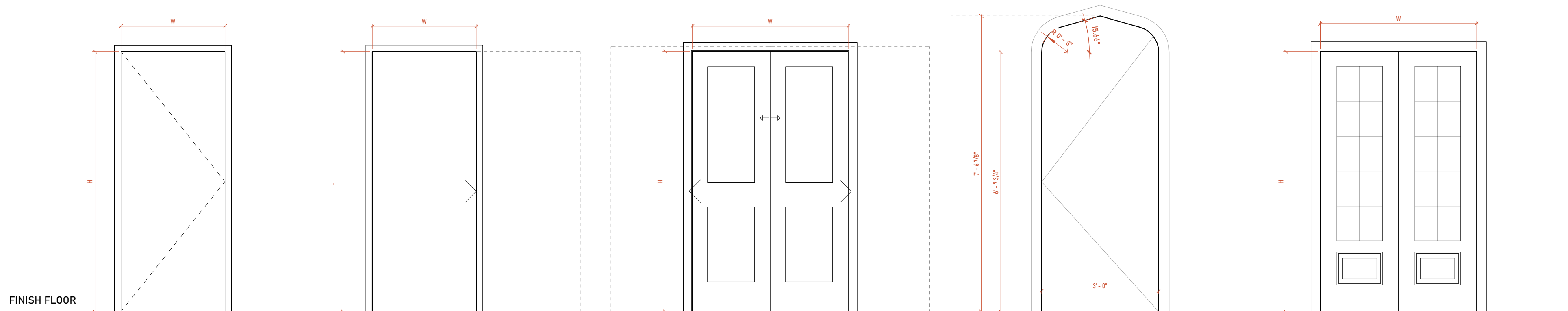


1 DOOR KEY PLAN - L1
1/8" = 1'-0"



2 DOOR KEY PLAN - L2
1/8" = 1'-0"

ALL GLAZING TEMPERED
ALL DOORS & WINDOWS VIEWED FROM EXTERIOR



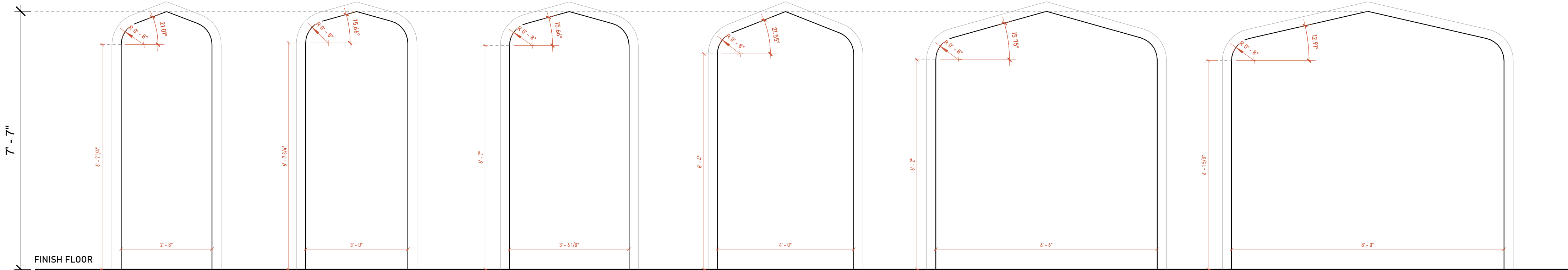
INTERIOR SWING DOOR
STYLE, FINISH, & HARDWARE PER OWNER
HANDING PER PLAN
PRIVACY HARDWARE AT ALL BEDROOMS & BATHROOMS
PASSAGE HARDWARE AT ALL CLOSETS
KEYED LOCK AT ALL EXTERIOR DOORS

INTERIOR POCKET DOOR
STYLE, FINISH, & HARDWARE PER OWNER

INTERIOR BIPARTING POCKET DOOR
VINTAGE DOORS PROVIDED BY OWNER
TRACK & POCKET: CAVILOCK OR HAFELE
FLUSH HARDWARE PER OWNER

CUSTOM TUDOR ARCH FRONT DOOR
PANELING, GLAZING, FINISH, CASING, AND
HARDWARE PER OWNER

DOUBLE FLOORS WITH GLASS
BASIS OF DESIGN: TRUSTILE DOOR FL810, SDLS
COVE & BEAD STICKING / DOUBLE HIP PANEL
FINISH, CASING, AND HARDWARE PER OWNER



TUDOR ARCH DIAGRAMS
CASED OPENINGS VS DRYWALL FINISHED
PER OWNER - MODIFY ROUGH
FRAMING ACCORDINGLY

DOOR LEGEND
1/2" = 1'-0"

DOOR NOTES:
D1. VERIFY DOOR FRAME AND SASH DIMENSIONS WITH GLAZING LAYOUT AND DOOR DETAILS.

D2. NO DOOR SHALL BE LESS THAN 32" CLEAR.

D3. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.

D4. ALL GLASS LITES IN DOORS AND SIDE LITES TO BE TEMPERED.

D5. SAFETY GLAZING IS REQUIRED AT THE FOLLOWING LOCATIONS:
A) GLAZING IN INGRESS AND EGRESS DOOR (EXCEPT JALOUSIES).
B) GLAZING LOCATED WITHIN 40 INCHES OF A DOOR WHEN THE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
C) GLAZING IN PANELS HAVING AN AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWER EDGE LESS THAN 18 INCHES ABOVE A WALKING SURFACE WITHIN 36 INCHES.
D) GLAZED OPENINGS WITHIN 40 INCHES OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS OR GRILLS HAVING A MAXIMUM OPENING OF 2 INCHES. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2 INCHES IN THEIR GREATEST DIMENSIONS.

D6. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2406.4

A) INGRESS AND EGRESS DOORS
B) PANELS IN SLIDING OR SWINGING DOORS
C) DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
D) IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE
E) IN WALL ENCLOSING STAIRWAY LANDING

D7. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 91.6706.6

D8. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO THE JAMB. 91.6709.1

D9. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MINIMUM 1/4 INCH DIAMETER STEEL JAMB STUD WITH 1/4 INCH MINIMUM PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2 INCHES LONG. 91.6709.5, 91.6709.7

D10. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT. 91.6709.2

D11. STRAIGHT DEAD BOLTS SHALL HAVE A MINIMUM THROW OF 1 INCH AND AN EMBEDMENT OF NOT LESS THAN 5/8 INCH, AND A HOOK-SHAPED OR AN EXPANDING-LUG DEAD BOLT SHALL HAVE A MINIMUM THROW OF 3/4 INCH. 91.6709.2

D12. THE USE OF A LOCKING SYSTEM WHICH CONSIST OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEAD BOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEAD BOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.

D13. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPENED POSITION. 91.6710

ADDITIONAL GENERAL SECURITY REQUIREMENTS: REFER TO GLENDALE SECURITY REQUIREMENTS ON 9/A0.2

SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL THAT WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT OF A UTILITY POLE OR ACCESS STRUCTURES.

ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD W/ 1/4" MIN PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING W/ SCREWS TO NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)

WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ IN IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8" AND 3" IN WIDTH. (6709.1)

SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC 6717.1)

METAL OR WOODEN OVERHEAD AND SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN 9/32" DIAMETER HARDENED STEEL SHACKLE BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRONICALLY OPERATED. (6711)

OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES (6715.2)

SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. (6715.1)

SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC 6717.2)

3 DOOR NOTES
1/2" = 1'-0"

NOT FOR
CONSTRUCTION

sp

PROJECT # 2405

DOCUMENT ISSUANCE:

DESIGN PLANS 001

DOOR SCHEDULE

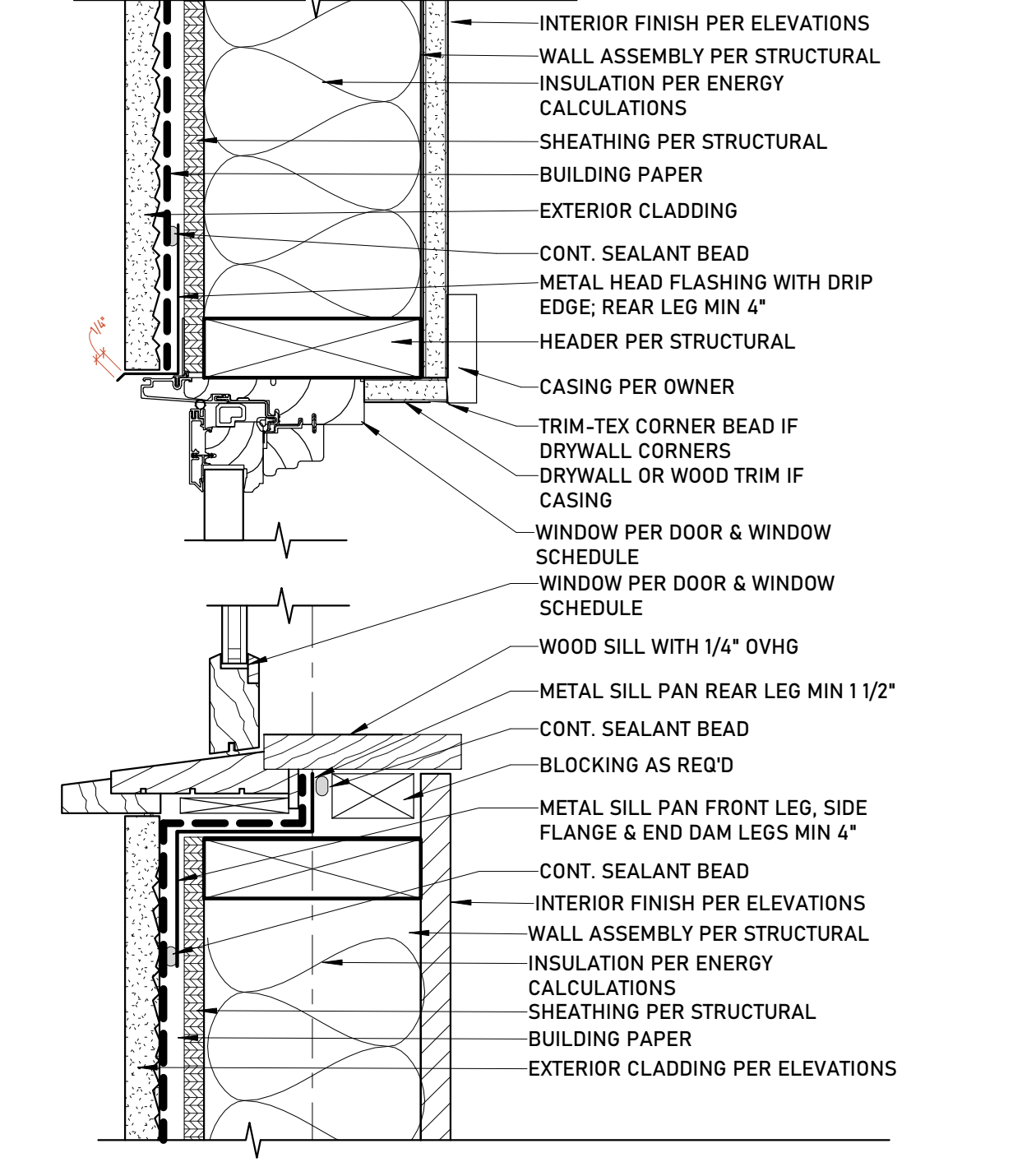
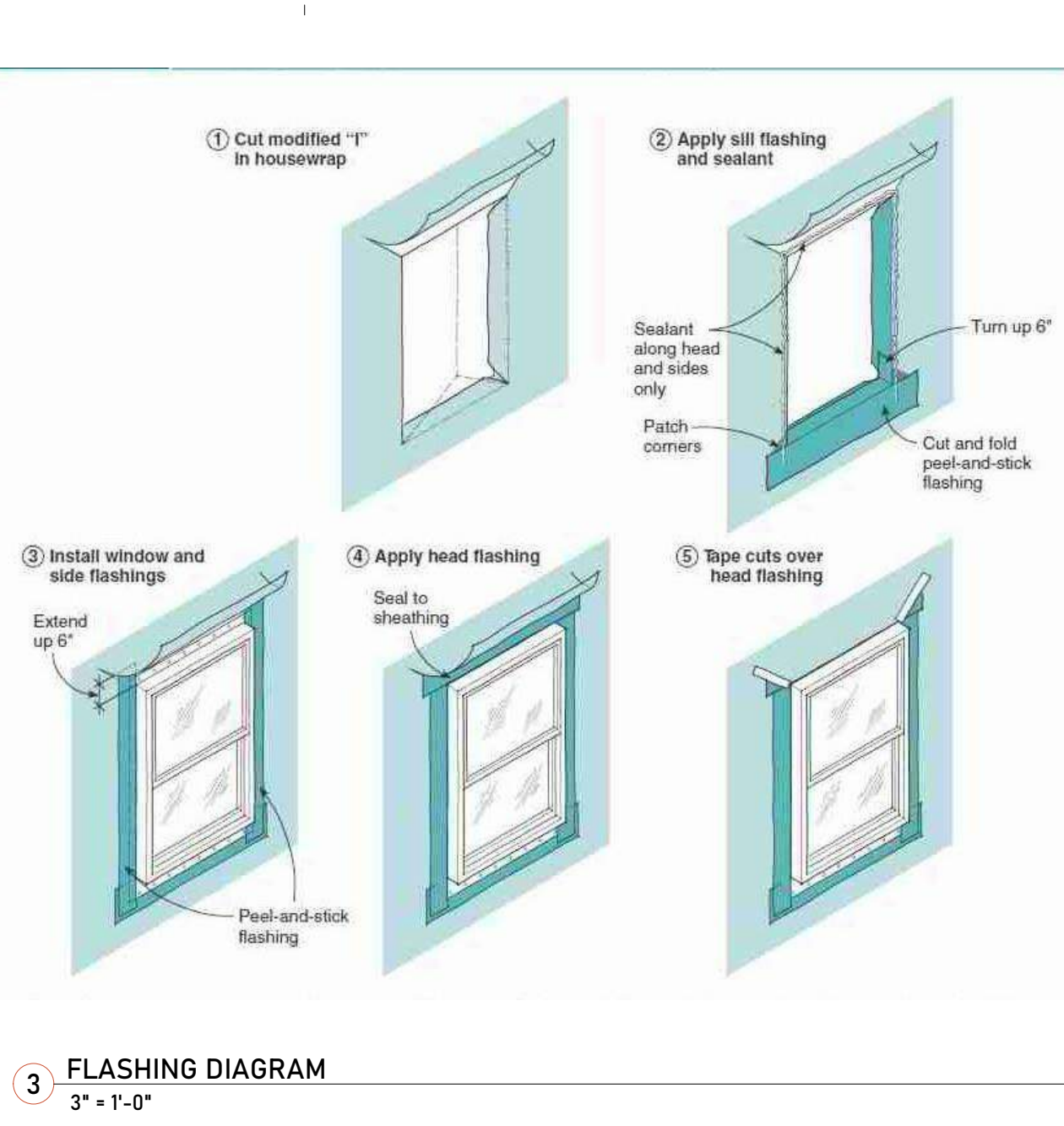
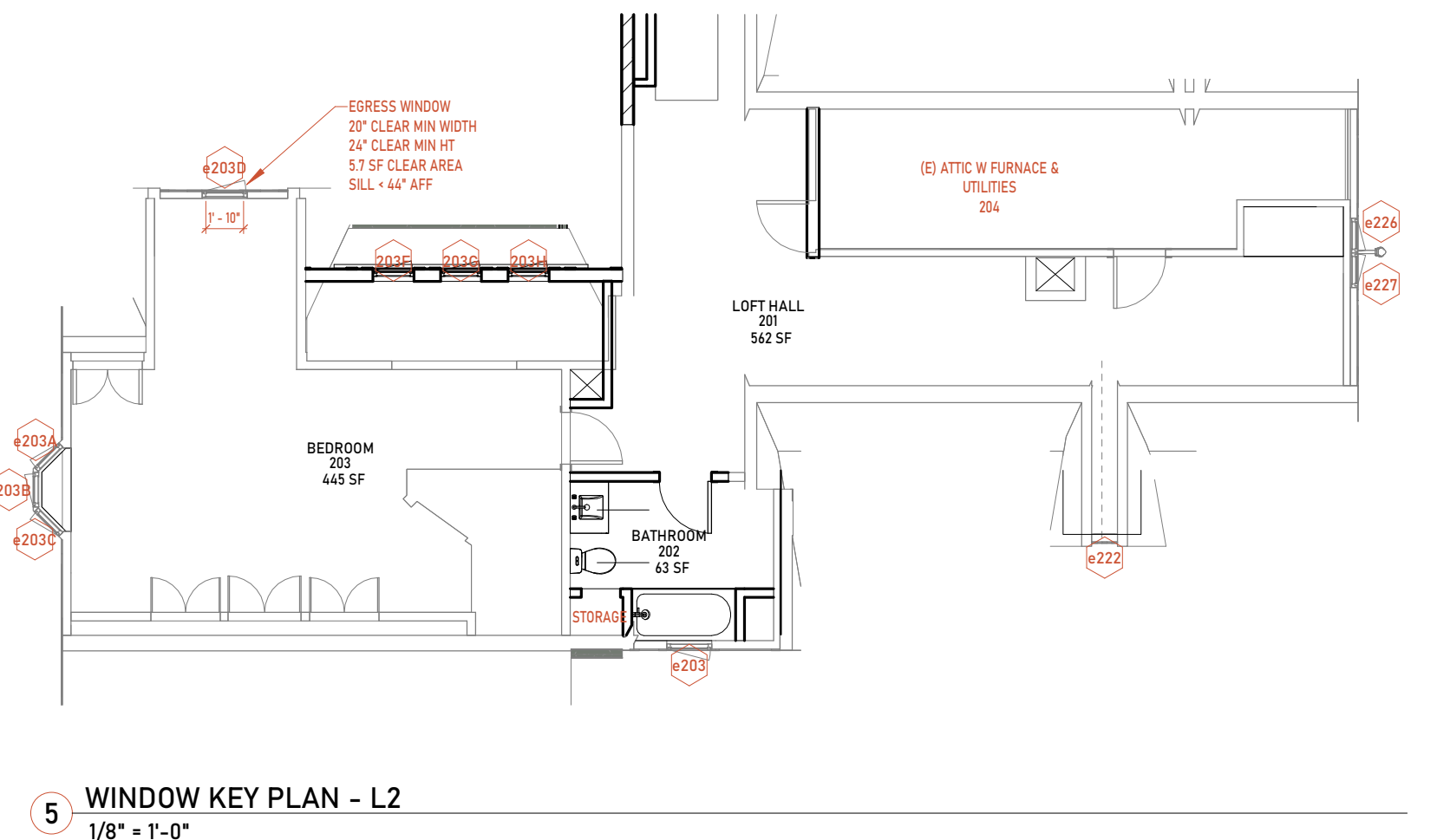
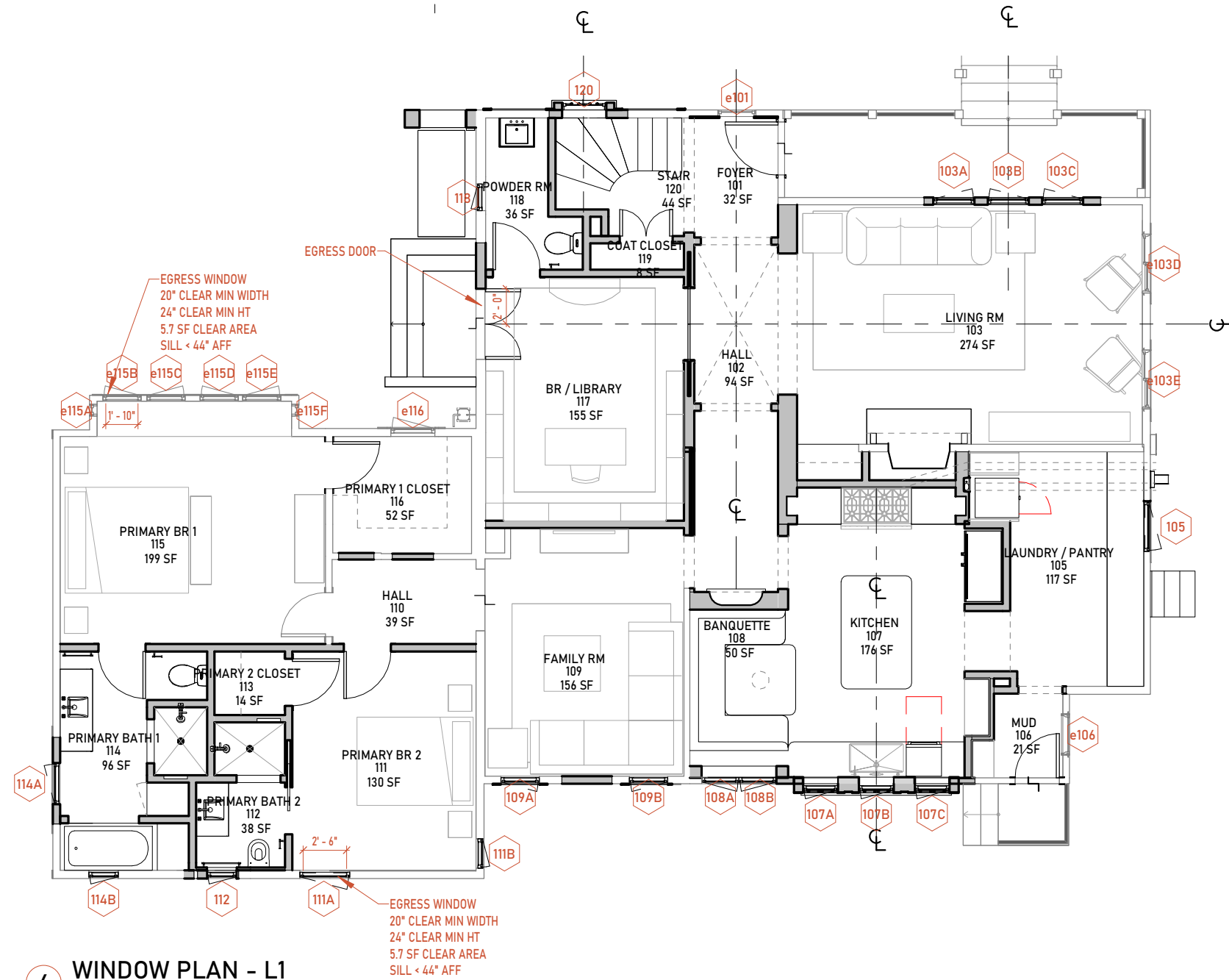
1325 OPECHEE WAY
GLENDALE, CA 91208



A6.1

6.20.2024

WINDOW SCHEDULE - NEW & EXISTING TO REMAIN										
Level	Phase Created	Mark	LOCATION	REMARKS	W	H	SILL HT.	PERFORMANCE VALUE	GLASS	COMMENTS
LEVEL 1	New Construction	103A	LIVING ROOM	CASEMENT SLDS - 3X4	28"	58"	22"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	103B	LIVING ROOM	CASEMENT SLDS - 3X4	28"	58"	22"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	103C	LIVING ROOM	CASEMENT SLDS - 3X4	28"	58"	22"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	105	PANTRY	CASEMENT SLDS - 4X4	34"	42"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	107A	KITCHEN	CASEMENT SLDS - DIAMOND MUNTINS	23 5/8"	52"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	107B	KITCHEN	CASEMENT SLDS - DIAMOND MUNTINS	23 5/8"	52"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	107C	KITCHEN	CASEMENT SLDS - DIAMOND MUNTINS	23 5/8"	52"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	108A	BANQUETTE	CASEMENT SLDS - 3X5	25 3/8"	52"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	108B	BANQUETTE	CASEMENT SLDS - 3X5	25 3/8"	52"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	109A	FAMILY ROOM	CASEMENT SLDS - 3X5	28"	52"	28"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	109B	FAMILY ROOM	CASEMENT SLDS - 3X5	28"	52"	28"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	111A	PRIMARY BEDROOM 2	CASEMENT SLDS - 3X5	34"	54"	24"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR, EGRESS WINDOW	
LEVEL 1	New Construction	111B	PRIMARY BEDROOM 2	CASEMENT SLDS - 2X3	28"	34"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	112	PRIMARY BATH 2	CASEMENT SLDS - 2X3	28"	34"	44"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	PRIVACY GLASS	
LEVEL 1	New Construction	114A	PRIMARY BATH 1	CASEMENT SLDS - 3X5	28"	54"	24"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	PRIVACY GLASS	REUSE EXISTING (CHECK IF EXISTING MULLED WINDOW CAN BE DIVIDED INTO TWO)
LEVEL 1	New Construction	114B	PRIMARY BATH 1	CASEMENT SLDS - 2X5	28"	50"	30"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	PRIVACY GLASS	
LEVEL 1	New Construction	118	POWDER RM	CASEMENT SLDS - 2X3	30"	30"	50"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	New Construction	120	STAIR	CASEMENT - FIXED, SLDS - DIAMOND MUNTINS	39"	96"	40"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 1	Existing	e101	(E) FOYER	STAINED GLASS	26"	50"	28"	N/A		
LEVEL 1	Existing	e101D	(E) LIVING ROOM	(E) METAL X0 SLIDER 20W16H RECTANGULAR SOL	40"	59 3/4"	22"	N/A		
LEVEL 1	Existing	e101E	(E) LIVING ROOM	(E) METAL X0 SLIDER 20W16H RECTANGULAR SOL	40"	59 3/4"	22"	N/A		
LEVEL 1	Existing	e106	(E) KITCHEN	FIXED (METAL SOL)	28"	47"	32"	N/A		
LEVEL 1	Existing	e115A	(E) FRONT BEDROOM	FIXED CSMT CLAD WOOD SOLS	8"	52"	30"	N/A		
LEVEL 1	Existing	e115B	(E) FRONT BEDROOM	CSMT CLAD WOOD SOLS	24"	52"	30"	N/A	EGRESS WINDOW	
LEVEL 1	Existing	e115C	(E) FRONT BEDROOM	CSMT CLAD WOOD SOLS	24"	52"	30"	N/A		
LEVEL 1	Existing	e115D	(E) FRONT BEDROOM	CSMT CLAD WOOD SOLS	24"	52"	30"	N/A		
LEVEL 1	Existing	e115E	(E) FRONT BEDROOM	CSMT CLAD WOOD SOLS	24"	52"	30"	N/A		
LEVEL 1	Existing	e115F	(E) FRONT BEDROOM	FIXED CSMT CLAD WOOD SOLS	8"	52"	30"	N/A		
LEVEL 1	Existing	e119	(N) PRIMARY CLOSET	CSMT CLAD WOOD SOLS	39"	39"	48"	N/A		
LEVEL 2	New Construction	203F	STUDY	CASEMENT DIAMOND MUNTINS SLDS	23 5/8"	54"	24"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 2	New Construction	203D	STUDY	CASEMENT DIAMOND MUNTINS SLDS	23 5/8"	54"	24"	32 MAX U-VALUE; 25 MAX SHGC; NFRC REQ'D	LOW-E CLEAR	
LEVEL 2	Existing	e203	REAR GABLE - BATHROOM	(E) CLAD WOOD CASEMENT	26"	46"	26"	N/A		
LEVEL 2	Existing	e203A	SIDE BAY	(E) CLAD WOOD CASEMENT	20"	50"	30"	N/A		
LEVEL 2	Existing	e203B	SIDE BAY	(E) CLAD WOOD CASEMENT	20"	50"	30"	N/A		
LEVEL 2	Existing	e203C	SIDE BAY	(E) CLAD WOOD CASEMENT	20"	50"	30"	N/A		
LEVEL 2	Existing	e203D	FRONT GABLE	(E) CLAD WOOD CASEMENT	26"	52"	17 3/4"	N/A	EGRESS WINDOW	
LEVEL 2	Existing	e222	REAR GABLE	(E) CLAD WOOD CASEMENT	12"	20"	24"	N/A		
LEVEL 2	Existing	e224	DRIVEWAY GABLE	(E) CLAD WOOD CASEMENT 20W16H	20"	39"	34"	N/A		
LEVEL 2	Existing	e227	DRIVEWAY GABLE	(E) CLAD WOOD CASEMENT 20W16H	20"	38"	34"	N/A		



ALL OPERABLE & BATHROOM GLAZING TEMPERED
ALL WINDOWS VIEWED FROM EXTERIOR

FINISH FLOOR

CASEMENT - SIMULATED DIVIDED LITE W SPACERS
REFER TO PLAN FOR HANDING
REFER TO ELEVATIONS/SCHEDULE FOR MUNTIN PATTERN

ALUMINUM OR FIBERGLASS CLAD WOOD DOORS & WINDOWS
BASES OF DESIGN MARVIN ELEVATE SERIES (WOOD CLAD W/ FIBERGLASS) OR PELLA LIFESTYLE SERIES
SOLS (EXTERIOR GRIDS - SEE ELEVATIONS)
BLOCK INSTALL WITH TYP. WOOD TRIM - SEE ELEVATIONS
3/4" DEEP STICKING PROFILE

EXTERIOR COLOR: BRONZE OR LIBERTY BRONZE PEARLSCENT
INTERIOR COLOR: WHITE PRIME, FIELD PAINT PER OWNER, PER WINDOW - SEE SCHEDULE (T80)

MARVIN ELEVATE® COLLECTION
CASEMENT + AWNING NARROW FRAME

Construction Details

Elevate Casement Operator Head Jamb and Sill

Elevate Casement Operator Jamb

glendale california

**2016 California Building Code
& 2016 California Residential Code
Window Requirements — Acknowledgement Form**

Section 1029.2 Minimum size. Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).

Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465m²).

Exception: See the Historical Building Code for the Historic portion of qualified historic buildings.

Section 1029.2.1 Minimum dimensions. The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.

Section 1029.3 Maximum height from the floor. Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor. The requirements listed above are duplicated in Section R310 of the 2013 California Residential Code.


Acknowledgement.

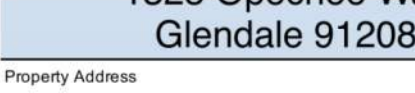

I attest that I have read the foregoing requirements that pertain to emergency escape and rescue openings. I understand that the net clear opening dimensions of a window may be significantly smaller than the nominal dimensions of a window, and that prior to securing a permit for the installation and/or replacement, of a window I am responsible for ensuring compliance. I further acknowledge that emergency escape and rescue windows that do not meet these minimum standards should not be installed, because windows that do not meet all of the standards may be required to be removed at the owner's expense.

Additionally, I acknowledge that windows that differ in style and/or appearance from windows that have been approved by Planning Department staff may not be substituted, regardless of whether such windows may appear to be similar. I acknowledge that prior approval for substitution of any window (s) must be secured from the Planning Department prior to installation of any windows. I acknowledge that failure to secure Planning Department approval prior to any window substitutions may result in a requirement to remove such windows at the owner's expense, regardless of inspection and/or approval of same by a building inspector.

I attest that as the owner of the property or as the owner's agent, I have read the foregoing information. Furthermore, I attest that as the owner of the property or the owner's agent, I understand the foregoing conditions and will ensure compliance with same.

☒ Property Owner
☐ Property Owner's Agent

Signature:  1325 Opechee Way
Glendale 91208

Property Address:  Permit Number: 

Window Acknowledgment Rev 11/22

WINDOW NOTES
12" = 1'-0"

W1. VERIFY WINDOW FRAME DIMENSIONS WITH GLAZING LAYOUT AND WINDOW DETAILS.

W2. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.

W3. ALL GLASS LITES IN SIDE LITES TO BE TEMPERED.

W4. ALL OPERABLE WINDOWS TO BE PROVIDED WITH NEW SCREENS UNLESS OTHERWISE NOTED.

W5. SAFETY GLAZING IS REQUIRED AT THE FOLLOWING LOCATIONS:
A) WINDOWS LOCATED IN TUB AND SHOWER AREAS WHEN THE SILL HEIGHT IS LESS THAN 70 INCHES ABOVE THE SHOWER OR TUB DRAIN INLET.
B) GLAZING IN PANELS HAVING AN AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWER EDGE LESS THAN 18 INCHES ABOVE A WALKING SURFACE WITHIN 36 INCHES.
C) GLAZING OPENINGS WITHIN 40 INCHES OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION. SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS, OR GRILLS HAVING A MAXIMUM OPENING OF 2 INCHES. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2 INCHES IN THEIR GREATEST DIMENSIONS.

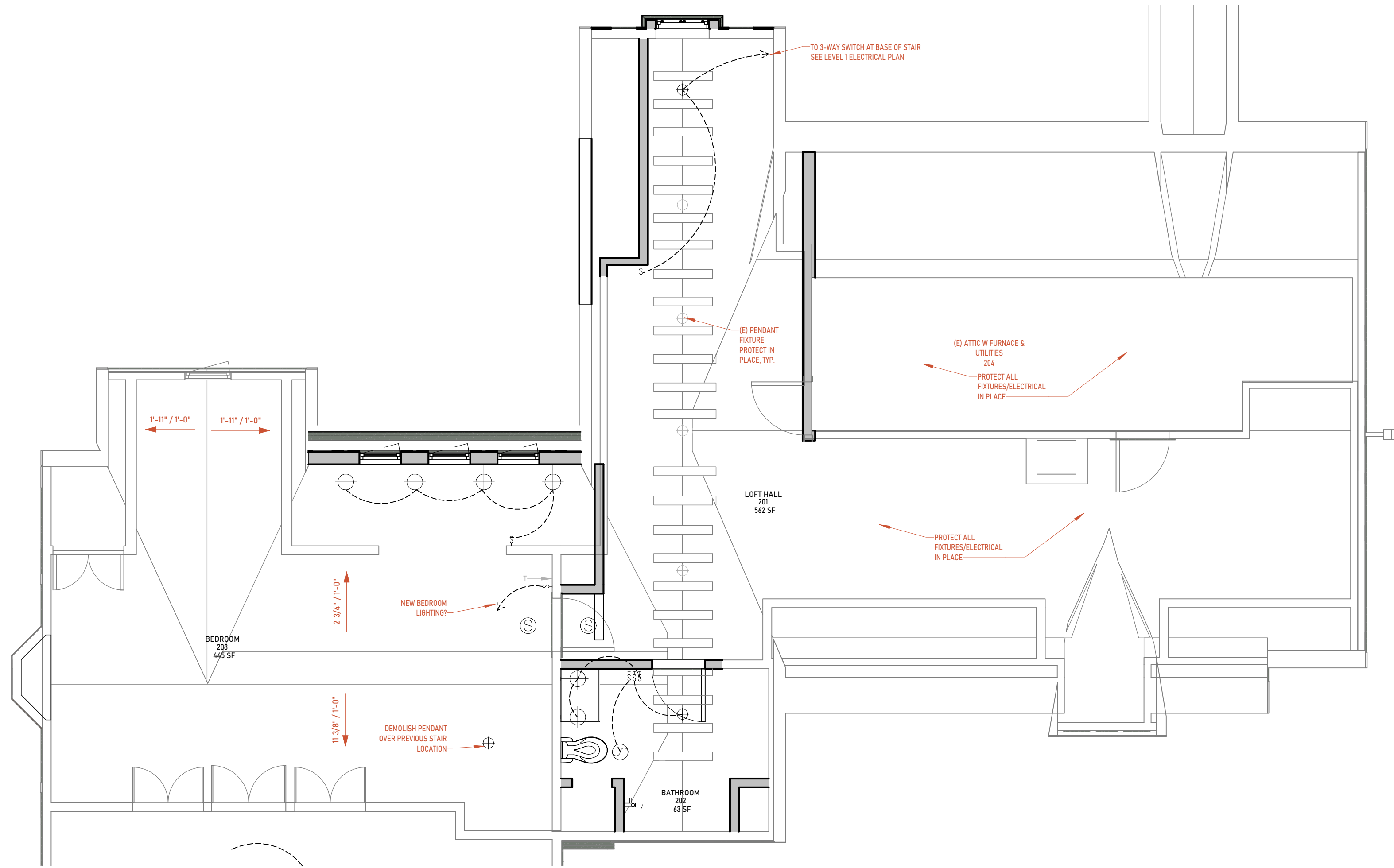
W6. WINDOW HEIGHTS INDICATING OUTSIDE DIMENSIONS (OD) OF FRAME DOES NOT INCLUDE MANUFACTURER'S EXTENSION OF SILL AT EXTERIOR.

W7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. EGRESS WINDOWS SHALL HAVE A MINIMUM 24" CLEAR HEIGHT.

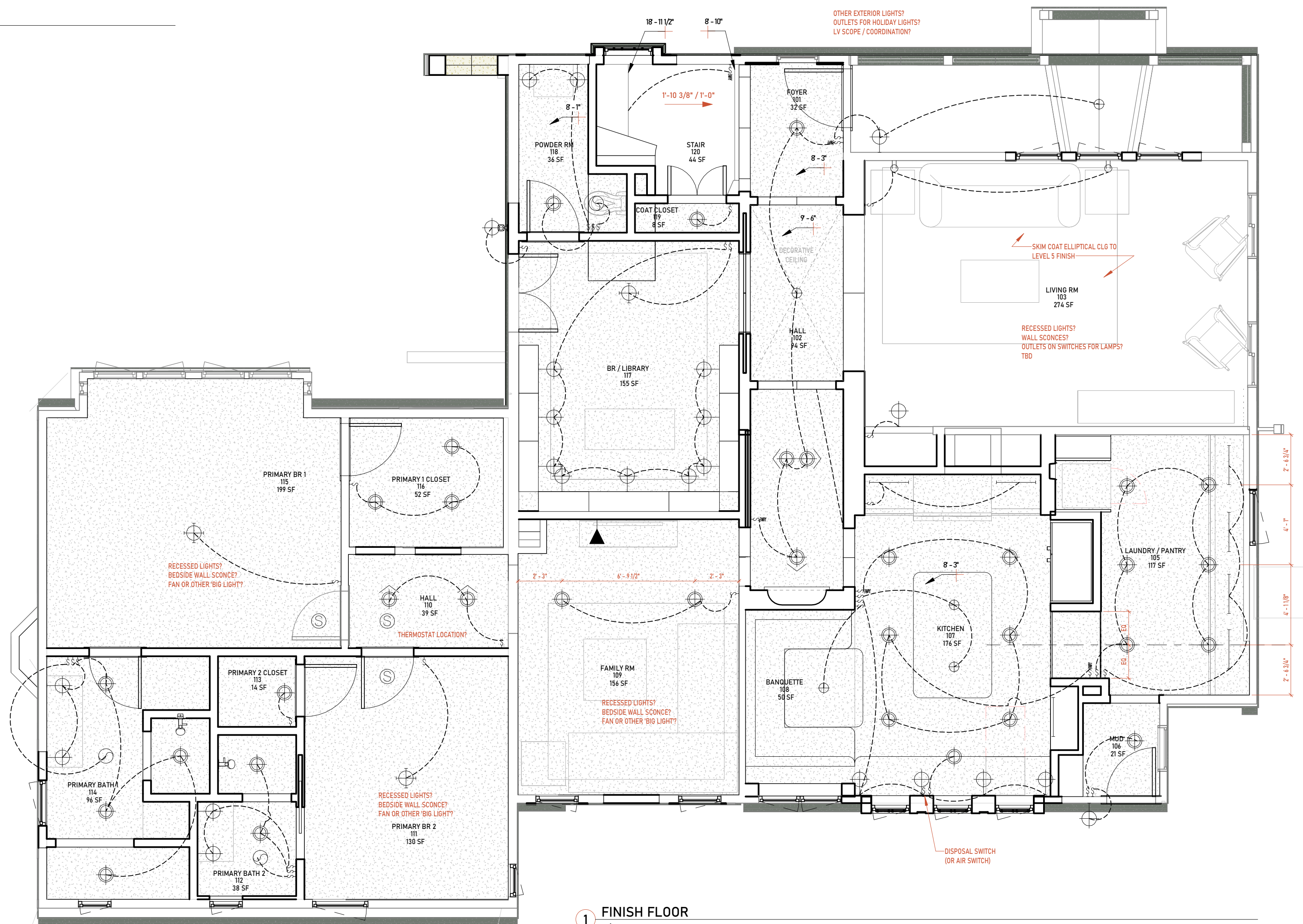
W8. PROVIDE NATURAL VENTILATION IN BATHROOMS BY MEANS OF OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 5X OF FLOOR AREA WITH A MINIMUM OF 5 SQUARE FEET. MECHANICAL VENTILATION SYSTEMS MAY BE PERMITTED. 1203.3

W9. ALL MANUFACTURED FENESTRATION PRODUCTS (GLASS DOORS AND/OR WINDOWS) ARE REQUIRED TO MEET THE FOLLOWING CONDITIONS:
A) BE CERTIFIED AS TO THEIR OVERALL U-VALUES AS TESTED IN ACCORDANCE WITH THE NFRC PROCEDURE, OR A DEFAULT TABLE.
B) HAVE A TEMPORARY LABEL, NOT TO BE REMOVED BEFORE INSPECTION BY THE BUILDING DEPARTMENT, LISTING THE CERTIFIED U-VALUE.
C) HAVE A PERMANENT LABEL LISTING THE U-VALUE, CERTIFYING ORGANIZATION AND RATING PROCEDURES.

W10. WINDOWS, GLAZED DOORS, AND GLAZED OPENINGS WILL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 91.6706.6



2 LEVEL 2
1/4" = 1'-0"



1 FINISH FLOOR
1/4" = 1'-0"

	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED W/PULL CHAIN
	PENDANT LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	DIRECTIONAL RECESSED FIXTURE
	CEILING MOUNTED SPOT FIXTURE
	CEILING MOUNTED WATERPROOF FIXTURE
	CEILING MOUNTED HEAT LAMP
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER-CABINET LIGHT FIXTURE
	EXHAUST FAN
	CEILING FAN
	FIRE ALARM
	HEAT SENSOR
	SMOKE DETECTOR
	RECESSED FLOOR MOUNTED LIGHT FIXTURE
	1 + 1 JACK
	DATA JACK
	TELEPHONE
	SWITCH
	SWITCH - THREE WAY
	SWITCH - FOUR WAY
	SWITCH - DIMMER
	WALL MOUNTED SPEAKER
	WALL MOUNTED CAMERA
	CABLE TV JACK
	DOOR BELL
	LIGHT FIXTURE - BALLARD
	WALL MOUNTED LIGHT FIXTURE W/PULLCHAIN
	RECESSED WALL MOUNTED LIGHT FIXTURE
	WATERPROOF WALL MOUNTED LIGHT FIXTURE

	WALL MOUNTED LIGHT FIXTURE
	FLOOR MOUNTED DUPLEX OUTLET
	FLOOR MOUNTED QUAD OUTLET
	FLOOR MOUNTED SWITCHED OUTLET
	WALL OUTLET - 220V
	WALL OUTLET DUPLEX - HEIGHT NOTED
	WALL OUTLET DUPLEX - GFI
	WALL OUTLET DUPLEX
	WALL OUTLET - QUAD
	WALL OUTLET - SPECIALIZED
	WALL OUTLET - SWITCHED
	GARAGE DOOR OPENER
	JUNCTION BOX
	MOTION SENSOR
	CEILING MOUNTED CAMERA
	CEILING MOUNTED SPEAKER
	ALARM KEYPAD
	DOOR CHIME
	ELECTRIC METER
	THERMOSTAT

6 ELECTRICAL LEGEND
1/4" = 1'-0"

- ALL SMOKE DETECTORS SHALL BE HARD WIRED AND EQUIPPED WITH A BATTERY BACKUP, AND INTERCONNECTED. AN APPROVED SMOKE DETECTOR WILL BE INSTALLED IN EACH BEDROOM AND AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA PROVIDING ACCESS TO EACH SEPARATE BEDROOM, WHERE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING BEDROOMS EXCEED THAT OF THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS WILL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM.
- ALL WIRING AND CIRCUITING TO MEET ALL REQUIREMENTS OF AGENCIES HAVING JURISDICTIONS OVER THE PROJECT, INCLUDING THE ADDING OF ADDITIONAL ELECTRICAL OUTLETS AS REQUIRED BY CODE.
- PROVIDE ALL REQUIRED ELECTRICAL POWER OUTLETS, SWITCHES AND FIXTURES FOR APPLIANCES AND MECHANICAL EQUIPMENT.
- ALL "WET" LOCATIONS TO BE PROVIDED WITH GFCI OUTLETS.
- ALL NON-DIMENSIONED FIXTURES TO BE CENTERED IN THE CLEAR DIMENSION.
- PROVIDE RECEPTACLES AROUND THE PERIMETER OF HABITABLE ROOMS SO THAT A RECEPTACLE IS LOCATED WITHIN 6' FROM ANY POINT.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15 AND 20-AMPERE OUTLETS(I.E.RECEPTACLES,LIGHTS, SMOKE ALARMS, ETC.) INSTALLED IN DWELLING UNIT SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT PER CEC 210-12(B)EXCEPT THOSE REQUIRING PROTECTION BY GFCI PER CEC 210.8(A).
- THIS PROJECT MUST COMPLY WITH THE 2016 CALIFORNIA ENERGY CODES AS FOLLOWS (ALL NEW LIGHTING MUST COMPLY).
KITCHENS: AT LEAST HALF OF THE INSTALLED WATTAGE OF LIGHT FIXTURES IN KITCHENS SHALL BE HIGH EFFICACY AND THOSE THAT ARE NOT MUST BE SWITCHED SEPARATELY. HIGH EFFICACY LIGHT FIXTURES MUST PROVIDE AT LEAST 40 LUMENS PER WATT AND MUST NOT CONTAIN A CONVENTIONAL (MEDIUM) SCREW-BASED SOCKET. ALMOST ALL EXTERIOR LIGHTS MUST BE HIGH EFFICACY. OTHER ROOMS: ALL LIGHT FIXTURES SHALL EITHER BE HIGH EFFICACY (FLUORESCENT) OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQUARE FEET ARE EXEMPT FROM THIS REQUIREMENT.
LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LIGHT FIXTURES SHALL BE EITHER HIGH EFFICACY (FLUORESCENT) OR SHALL BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR. AN APPROVED OCCUPANT SENSOR DOES NOT ALLOW THE LIGHT TO BE TURNED ON AUTOMATICALLY AND DOES NOT HAVE AN OVERRIDE THAT ALLOWS IT TO REMAIN ON. OTHER ROOMS: ALL LIGHT FIXTURES SHALL EITHER BE HIGH EFFICACY (FLUORESCENT) OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQUARE FEET ARE EXEMPT FROM THIS REQUIREMENT.
OUTDOOR LIGHTING: ALL LIGHT FIXTURES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LIGHT FIXTURES (FLUORESCENT) OR SHALL BE CONTROLLED BY A PHOTO-CONTROL /MOTION-SENSOR COMBINATION. LUMINAIRES IN INSULATED CEILINGS:
- THEY MUST BE RATED FOR DIRECT INSULATION CONTACT (IC).
- THEY MUST BE RATED AIR-TIGHT (AT) PER ASTM E283.
- THEY MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING TO PREVENT THE FLOW OF HEATED OR COOLED AIR BETWEEN THE LIVING SPACE AND THE ATTIC/CEILING SPACE.
- ALL 125-VOLT, 15 AND 20-AMPERE RECEPTACLES REQUIRED IN DWELLING UNITS SHALL BE TAMPER RESISTANT. CEC 406.11
- ALL EXTERIOR OUTLETS SHALL BE GFCI WITH A RAIN TIGHT COVER. CEC 210.52(E) & 406.8(B)(1).
- PROVIDE MIN 50 CFM FAN IN ALL BATHROOM LOCATIONS. FAN SHALL BE ENERGY STAR RATED AND WHEN NOT PART OF THE WHOLE HOUSE VENTILATION SYSTEM SHALL HAVE A HUMIDISTAT CONTROL. C68C 4.506.1

3 ELECTRICAL NOTES
12" = 1'-0"

NOT FOR
CONSTRUCTION

sp

PROJECT # 2405

DOCUMENT ISSUANCE:
DESIGN PLANS 001

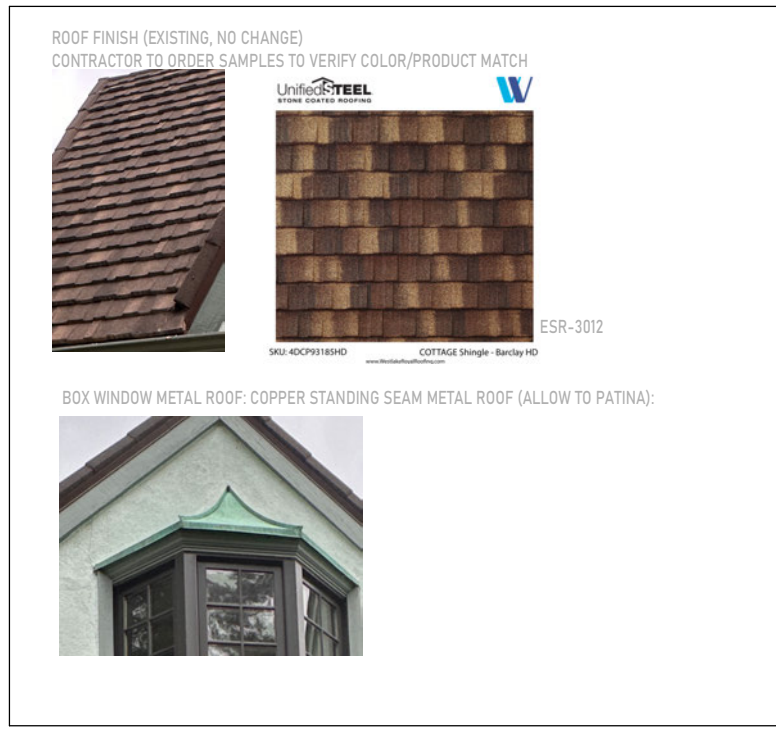
ELECTRICAL PLAN - L1

1325 OPECHEE WAY
GLENDALE, CA 91208

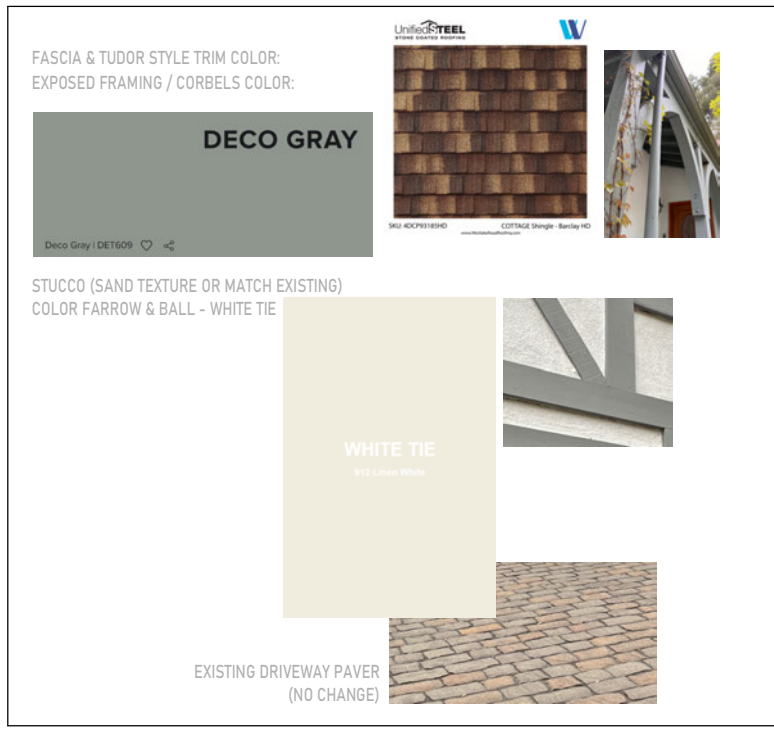


A9.1

6.20.2024



ROOF



CLADDING & TRIM



DOORS & WINDOWS



METALS

NOT FOR
CONSTRUCTION

EXTERIOR FINISH LEGEND
12" = 1'-0"



4 REAR ELEVATION - EAST
1/4" = 1'-0"



2 FRONT ELEVATION - NORTH
1/4" = 1'-0"



3 SIDE ELEVATION - SOUTH
1/4" = 1'-0"



1 FRONT ELEVATION - WEST
1/4" = 1'-0"

sp

PROJECT # 2405
DOCUMENT ISSUANCE:
DESIGN PLANS 001

EXTERIOR ELEVATIONS
1325 OPECHEE WAY
GLENDALE, CA 91208



A2.1

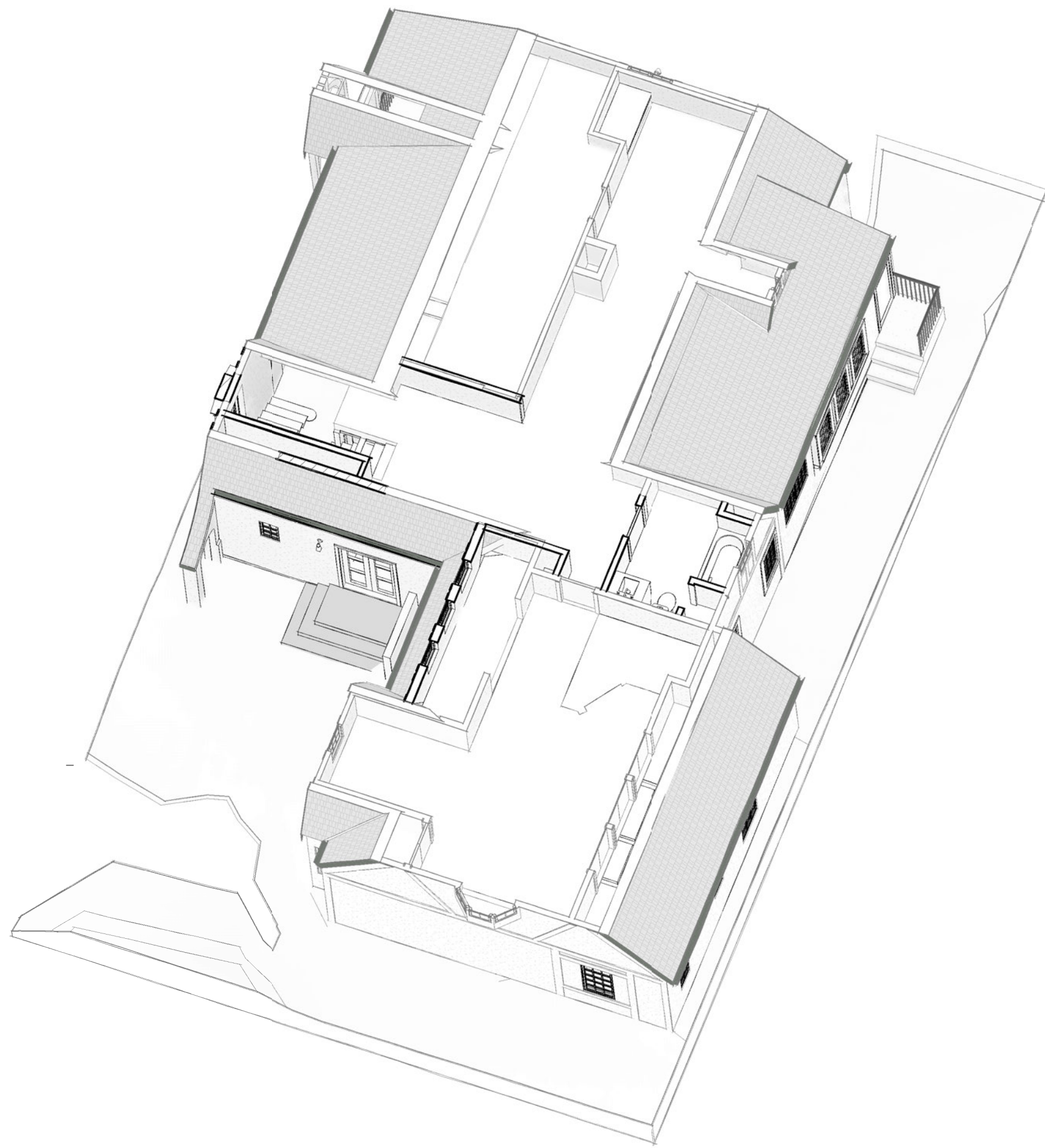
6.20.2024

NOT FOR
CONSTRUCTION

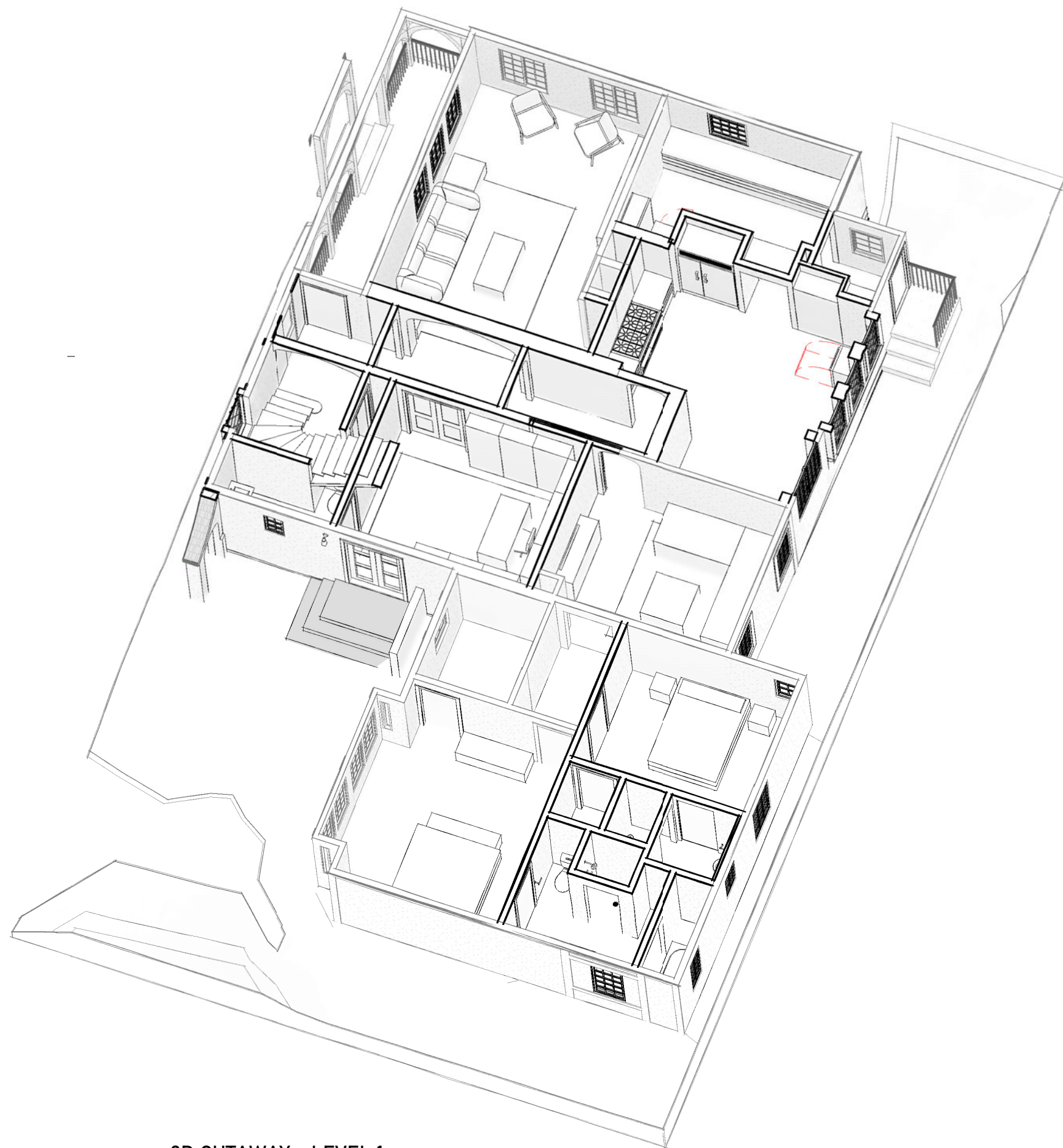
sp

PROJECT # 2405

DOCUMENT ISSUANCE:
DESIGN PLANS 001



1 3D CUTAWAY - LEVEL 2



3 3D CUTAWAY - LEVEL 1



4 RENDERED EXTERIOR PERSPECTIVE



2 AERIAL VIEW - REAR existing



6 AERIAL VIEW - REAR

3D VIEWS
1325 OPECHEE WAY
GLENDALE, CA 91208



A2.2

6.20.2024



1



2



3



4



5

NOT FOR
CONSTRUCTION



PROJECT # 2405
DOCUMENT ISSUANCE:
DESIGN PLANS 001



6



7



8



9



10



11



12



ALL EXISTING METAL FRAMED
WINDOWS (FLUSH FRAMED TO
EXTERIOR)
TO BE REPLACED



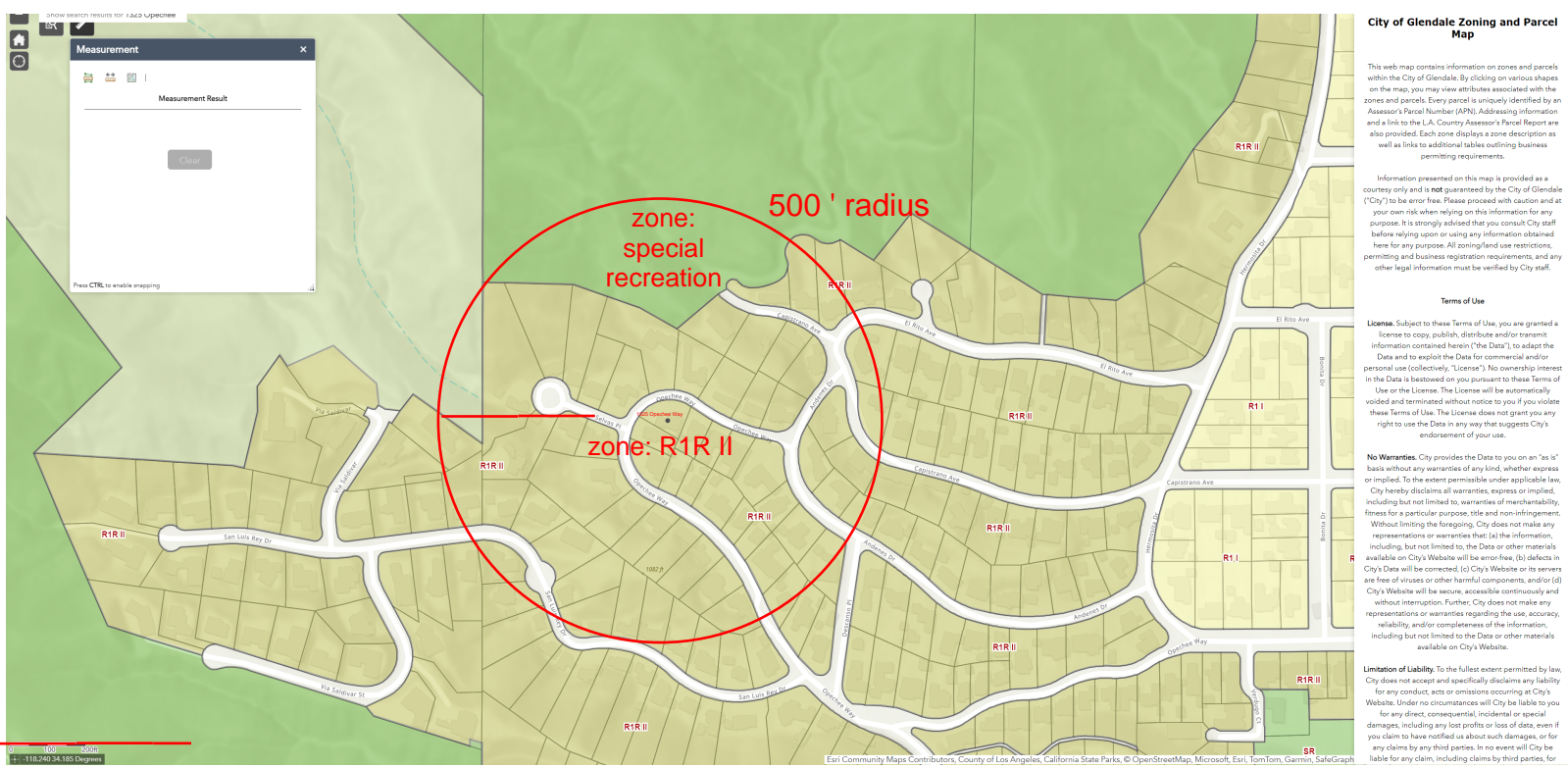
MANY EXISTING WOOD FRAMED
ALUMINUM CLAD WINDOWS TO
REMAIN
NEW WINDOWS TO MATCH THIS
STYLE (MARVIN ELEVATE OR
PELLA LIFESTYLE SERIES)

EXISTING PHOTOGRAPHS
1325 OPECHEE WAY
GLENDALE, CA 91208



A0.7

6.20.2024



Location and Zoning Map
1325 Opechee Way

"LMGTFY"



NOT FOR
CONSTRUCTION



PROJECT # 2405

DOCUMENT ISSUANCE:
PLAN CHECK



ITEM 14 B C & D - PHOTOGRAPHS
ITEM 15 SURVEY LIST

SURVEY LIST				C. FLOOR AREA RATIO SURVEY			
KEY	ADDRESS	A. HEIGHT AND ROOF SURVEY	B. SETBACK SURVEY	LOT AREA (SF)	HOUSE SIZE	FAR	
4	1307 OPECHEE WAY	1 STORY	26'	7200	2160	30%	
5	1313 OPECHEE WAY	1 STORY	22'	6105	1537	25%	
6	1319 OPECHEE WAY	1 STORY	20'	7280	2643	36%	
7	1325 OPECHEE WAY	2 STORIES	29'	8140	2439	30%	
8	1349 OPECHEE WAY	1 STORY	18'	6885	2443	35%	
9	1355 OPECHEE WAY	1 STORY	37'	6490	794	12%	
10	1359 OPECHEE WAY	1 STORY	22'	6380	1428	22%	
11	1363 OPECHEE WAY	1 STORY	22'	12312	2893	23%	
14	1369 OPECHEE WAY	1 STORY	32'	6696	1258	19%	
17	1344 ANDERES DR	1 STORY	21'	17250	3129	18%	
18	1335 OPECHEE WAY	1 STORY	29'	7056	1330	19%	
28	1360 OPECHEE WAY	2 STORIES	18'	13350	1008	8%	
29	1356 OPECHEE WAY	2 STORIES	23'	13050	1666	13%	
30	1350 OPECHEE WAY	2 STORIES	19'	13026	1172	9%	
31	1340 OPECHEE WAY	1 STORY	18'	8085	1869	23%	
37	1346 OPECHEE WAY	1 STORY	20'	32700	2281	7%	
42	1336 OPECHEE WAY	1 STORY	16'	15600	1694	11%	
43	1320 OPECHEE WAY	1 STORY	24'	12834	2121	17%	
44	1314 OPECHEE WAY	2 STORIES	25'	13365	1582	12%	
45	227 HILLCREST DR	2 STORIES	22'	9800	1366	14%	
46	1777 SUNSET AVE	2 STORIES	15'	9648	1464	15%	
51	1326 OPECHEE WAY	1 STORY	107'	27950	1881	7%	



ITEM 9 (LOCATION MAP)
ITEM 16 (VICINITY AND PHOTOGRAPHIC
SURVEY MAP)

1 SITE PLAN 1C - SURVEY MAP
1" = 50'-0"

CITY OF GLENDALE REQD EXHIBITS

1325 OPECHEE WAY
GLENDALE, CA 91208

A0.9

6.20.2024

SURVEY LIST

1325 OPECHEE WAY

C. FLOOR AREA RATIO SURVEY

KEY	ADDRESS	A. HEIGHT AND ROOF SURVEY	B. SETBACK SURVEY	LOT AREA (SF)	HOUSE SIZE	FAR	ROOF MAT'L
4	1307 OPECHEE WAY	1 STORY	26'	7200	2160	30%	Composite
5	1313 OPECHEE WAY	1 STORY	22'	6105	1537	25%	Composite
6	1319 OPECHEE WAY	1 STORY	20'	7280	2643	36%	Composite
7	1325 OPECHEE WAY	2 STORIES	29'	8140	2439	30%	Metal Composite
8	1349 OPECHEE WAY	1 STORY	18'	6885	2443	35%	Clay Tile
9	1355 OPECHEE WAY	1 STORY	37'	6490	794	12%	Composite
10	1359 OPECHEE WAY	1 STORY	22'	6380	1428	22%	Composite
11	1363 OPECHEE WAY	1 STORY	22'	12312	2893	23%	Composite
14	1369 OPECHEE WAY	1 STORY	32'	6696	1258	19%	Clay Tile
17	1344 ANDENES DR	1 STORY	21'	17250	3129	18%	Composite
18	1335 OPECHEE WAY	1 STORY	29'	7056	1330	19%	Composite
28	1360 OPECHEE WAY	2 STORIES	18'	13350	1008	8%	Composite
29	1356 OPECHEE WAY	2 STORIES	23'	13050	1666	13%	Composite
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CITY OF GLENDALE
INTERDEPARTMENTAL COMMUNICATION
Community Development Department
Request for Comments Form (RFC)

DATE: July 1, 2024

DUE DATE: July 30, 2024

NOTE: If project comments are not received by the due date, it will be assumed that your department has no comments.

FROM: Alan Lamberg, Planner

Tel. # 818-937-8158

PROJECT ADDRESS: 1325 Opechee Way, Glendale, 91208

Applicant: Laura Steele for Steele Projects

Property Owner: Marnie & William Connor

PROJECT DESCRIPTION: 2nd-story additions (55 SF) of windows with shed roof and dormer over the entrance, and window replacement for rehabilitation of this home's Tutor Rival architectural style.

PLEASE CHECK:

<p>_____ A. CITY ATTORNEY</p> <p>_____ B. COMMUNITY DEVELOPMENT:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> (1) Building & Safety<input checked="" type="checkbox"/> (2) Neighborhood Services<input checked="" type="checkbox"/> (3) Design Review & Historic_____ (4) Economic Development_____ (5) Housing_____ (6) Urban Design & Mobility <p>_____ D. COMMUNITY SERVICES/PARKS:</p> <p><input checked="" type="checkbox"/> E. FIRE ENGINEERING (PSC)</p> <p>_____ F. GLENDALE WATER & POWER:</p> <ul style="list-style-type: none">_____ (1) Water_____ (2) Electric	<p>_____ G. INFORMATION SERVICES (Wireless Telecom)</p> <p>_____ H. PUBLIC WORKS (ADMINISTRATION):</p> <ul style="list-style-type: none">_____ (1) Engineering & Land Development_____ (2) Traffic_____ (3) Facilities (city projects only)_____ (4) Integrated Waste_____ (5) Maintenance Services/Urban Forester <p>_____ J. GLENDALE POLICE</p> <p>_____ K. OTHER:</p> <ul style="list-style-type: none">_____ (1) STATE-Alcohol Beverage Control (ABC)_____ (2) Tribal Consultations (EIFs)_____ (3) City Clerk's Office
---	--

ENTITLEMENT(S) REQUESTED

Variance Case No.: _____

AUP/CUP Case No.: _____

ADR/DRB Case No.: PADR-003473-2024

Tentative Tract/Parcel Map No.: _____

Zone Change/GPA: _____

Other: _____

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project

Address: 1325 Opechee Way

Project

Case No.: PADR-003473-2024

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

☒ This office **DOES NOT** have any comment.

☐ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 7/2/24

Print Name: Jessica Sada

Title: Admin. Associate

Dept. Neighborhood Services, CDD

Tel.: 818-937-8176

a. ADDITIONAL COMMENTS:

☐ 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project

Address: 1325 Opechee Way

Project

Case No.: PADR-003473-2024

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

✓ This office **DOES NOT** have any comment.

☐ This office **HAS** the following comments/conditions. ☐ (See attached Dept. Master List)

Date: 07/03/2024

Print Name: Sita Partamian

Title: Principal FESS **Dept.:** FIRE **Tel.:** 818-937-8105

a. ADDITIONAL COMMENTS:

☐ 1.

b. CASE SPECIFIC CODE REQUIREMENTS: (these are not standard code requirements)

☐ 1.

c. SUGGESTED CONDITIONS: (may or may not be adopted by the Hearing Officer)

☐ 1.

Lamberg, Alan

Subject: RFC 1325 Opechee Way PADR-003473 UF

From: Klick, Loren

Sent: Tuesday, July 2, 2024 6:13 AM

To: Lamberg, Alan ; Urquidez, Orlando; Munoz, Jose

Subject: requests for comments 1325 Opechee Way PADR-003473

Hi Alan,

No comments from PW Forestry. Thanks!

Loren

Loren Klick, Urban Forester • City of Glendale • Public Works/Maintenance Services

541 W. Chevy Chase Dr. • Glendale, CA 91204 • (818) 550-3416 • lklick@glendaleca.gov • ISA Certified Arborist, WE-11649AUM • Public Works Emergency
Hotline: 818-548-3950

Lamberg, Alan

Subject: requests for comments 1325 Opechee Way PADR-003473



From: Sargsyan, Ara

Sent: Thursday, July 11, 2024 10:23 AM

To: Lamberg, Alan

Cc: Leung, Colin

Subject: RE: requests for comments 1325 Opechee Way PADR-003473

Hi Alan,

BSD has no initial comments for this project.

A full Set of plans shall be submitted to building Safety for review. Plans shall be in compliance with current edition of the City of Glendale Building and Safety Code.

After initial plan check submittal, additional requirements may follow accordingly.

Thak you,

Ara Sargsyan, PE, CBO, LEED AP | Building Official | City of Glendale | Community Development

633 E Broadway Room 101 | Glendale, CA 91206 | 818-937-8104

asargsyan@glendaleca.gov | www.glendaleca.gov | www.chooseglendaleca.com | [Connect With Us!](#)