



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – COMMERCIAL / INDUSTRIAL

September 18, 2024 <i>Hearing Date</i>	611 East Glenoaks Boulevard <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5644-007-029 <i>APN</i>
PADR-003038-2024 <i>Case Number</i>	Aris Artunyan <i>Applicant</i>
Eric Ji, Planning Associate <i>Case Planner</i>	Tom Tumyan <i>Owner</i>

Project Summary

To add a 1,601 square-foot (SF), two-story addition at the rear of an existing 1,649 SF two-story office building (built in 1931), located on a 5,533 SF lot in the C1 (Neighborhood Commercial) Zone.

The proposed work includes:

- 275 SF addition at the rear of the first level of the existing two-story office building.
- 1,326 SF to extend the second floor of the existing two-story office building. A portion of the second story addition will be raised above grade level parking.
- Construction of a new 247 SF balcony at the rear of the building.
- Relocation of a new 200 SF landscape area.
- Re-stripping the existing surface parking lot to accommodate nine (9) parking spaces required by the Zoning Code.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition will not result in an increase of more than 2,500 SF of floor area; (15301(e)(1)).

Existing Property/Background

The subject site is a 5,533 SF, interior lot with frontage on Glenoaks Boulevard. The lot was originally developed in 1931 and features an existing 1,649 SF, two-story commercial building that is currently occupied with office uses. The proposal is to extend the building towards the rear of the lot without altering the front and side elevations of the existing building. There are currently six (6) surface parking spaces on the lot with vehicular access from East Glenoaks Boulevard. The project is proposing to restripe the surface parking area to accommodate nine (9) parking spaces as required by the Zoning Code to serve the

total 3,250 SF office building. There are commercial buildings at east, west, and south side of the subject building (Across the street) and the site abuts a residential building to the north (rear).

Staff Recommendation

Approve

Last Date Reviewed / Decision

On May 2, 2019, the Director of Community Development approved Administrative Design Review Case No. PDR 1818522 with conditions for this same project. The project submitted to Building and Safety for plan check, but the building permits were never issued, and the previous design review approval has since expired. The applicant has revised the current proposal to address the conditions of approval from Case No. PDR 1818522.

Zone: C1 - Neighborhood Commercial

Height District: N/A

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Located at or near front property line
- ☐ Conforms to prevailing setbacks on the street
- ☐ Maintains appropriate sidewalk width

Usable Open Space

☒ **yes** ☐ **n/a** ☐ **no**

If "no" select from below and explain:

- ☐ Incorporates outdoor pedestrian space
- ☐ Integrated with design and overall context
- ☐ Appropriate relationship with adjoining properties

Access and Parking

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Parking location is appropriate to the site and its neighborhood context
- ☐ Appropriate pedestrian and vehicle access points
- ☐ Appropriate service and loading locations
- ☐ Landscape screening for street-facing parking
- ☐ Techniques employed to reduce stormwater runoff
- ☐ Decorative or colored paving to delineate pedestrian areas

Landscape Design

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Complementary to building design
- ☐ Appropriately sized and located

Walls, Fences, and Retaining Walls

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Minimize use whenever possible
- ☐ Use decorative material to complement building and/or landscape design
- ☐ Provide landscaping to minimize visual impact

Screening

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Mechanical equipment appropriately screened
- ☐ Trash bins appropriately located and screened

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition will be setback approximately 11 feet – 2 inches from the rear property line, where the property abuts a single-family residential property in the residential zone. The proposed site planning is appropriate to the surroundings and follows the development pattern of the neighborhood.

- The existing site and the area underneath the proposed second floor cantilever will be restriped to accommodate nine (9) parking spaces required by the Zoning Code. Four (4) of the nine (9) will be parallel parking spaces along the east property line and five (5) of the parking spaces will be situated underneath the second floor cantilever extension.
- The existing driveway opening from Glenoaks Boulevard will be slightly moved towards the west side of the existing driveway to be aligned with the new parking layout. The proposed driveway location is appropriate to the site and surroundings.
- A new landscaped buffer with Italian Cypress trees along the north property line (adjacent to the neighboring residential building) is complementary to the building design.
- Mechanical equipment will be located at the top of the proposed flat roof, towards the rear of the property and will be screened appropriately with perforated metal panels.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Articulation, solid/void balance, and open space relate to predominant pattern

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope to minimize height

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships

☐ Entry and major features well located

Massing

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Larger masses broken into separate volumes
- ☐ Long, unbroken street walls avoided
- ☐ Visual impact of larger building minimized

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposal will extend the existing two-story building towards the rear of the property and maintains the existing building height of 20 feet – 8 inches.
- The proposed addition is consistent with the existing volume and scale of the surroundings, and it replicates the mass and architectural concept of the existing building.
- The new 247 sf balcony proposed at the rear of the building is appropriate to the proposed design and surroundings.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☐ yes ☒ n/a ☐ no

If "no" select from below and explain:

- ☐ Well integrated into design
- ☐ Location promotes pedestrian activity
- ☐ Design provides appropriate focal point

Storefronts and Windows

☐ yes ☒ n/a ☐ no

If “no” select from below and explain:

- ☐ Maximize transparency at ground floor
- ☐ 12-15’ floor-to-floor height at ground-floor is encouraged
- ☐ Coordinate design with overall style of building
- ☐ Use durable materials for windows, such as aluminum or steel
- ☐ Locate security gates/grilles inside commercial spaces, preferably set back from storefront

Awnings and Canopies

☐ yes ☒ n/a ☐ no

If “no” select from below and explain:

- ☐ Integrate awnings and canopies into overall building design
- ☐ Avoid long treatments spanning multiple openings
- ☐ Back-lit awnings are not allowed

Lighting

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Light fixtures are appropriate to the building design
- ☐ Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- ☐ Utilize shielded fixtures to avoid light spillover onto adjacent properties

Finish Materials and Color

☒ yes ☐ n/a ☐ no

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, durable materials used, especially facing the street
- ☐ Materials appropriately enhance articulation and façade hierarchies
- ☐ Wrap corners and terminate cladding appropriately
- ☐ Cladding is well detailed, especially at junctions between materials
- ☐ Foam trim, finished on site, is prohibited

Paving Materials

☐ yes ☒ n/a ☐ no

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Roof Forms

☒ yes ☐ n/a ☐ no

If "no" select from below and explain:

- ☐ Configure roofline to provide visual interest and deemphasize mass
- ☐ Roof forms are consistent with overall design
- ☐ Continue roofs and parapets around building or terminate in logical manner

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design is consistent with the existing architecture of the building. The proposed addition will have stucco finish on exterior walls to match the existing buildings. The existing front elevation will remain unchanged.
- The four (4) new windows will be aluminum framed picture windows, recessed within the walls, and with external simulated divided lights to match the existing windows on the front elevation. The new windows will be located on the east and south elevation.
- The new flat roof and parapet will match the existing roof and details and the perforated metals panels will screen the mechanical equipment from public view.

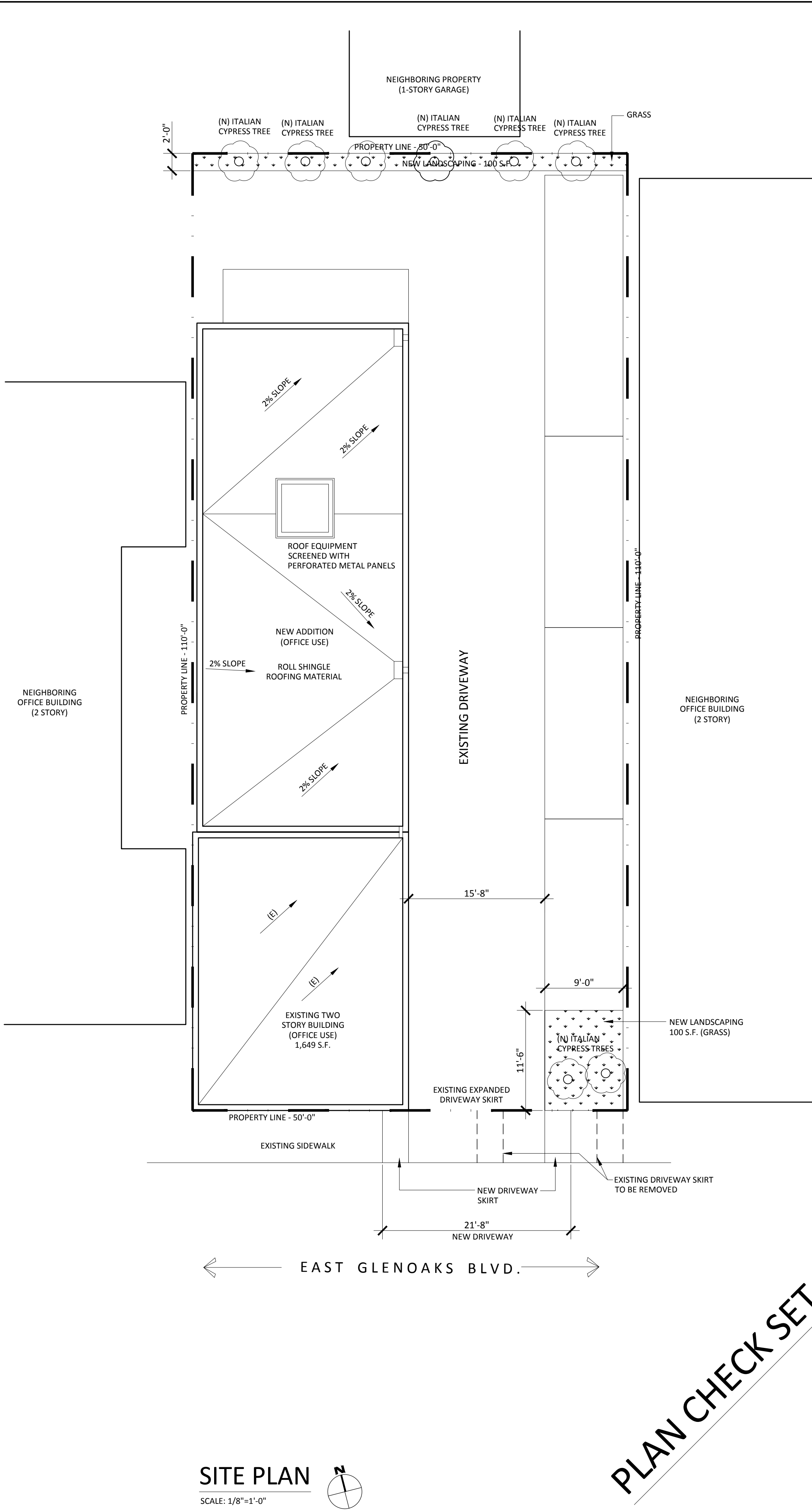
Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**.

Attachments

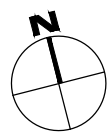
1. Reduced Plans
2. Photos of Existing Property
3. Location Map

LOT LEGAL DESCRIPTION	SCOPE OF WORK
<p>611 E. GLENOAKS BLVD. GLENDALE, CA 91207</p> <p>ASSESSOR PARCEL NO. : 5644-007-029 TRACT: BELLEHURST PARK LOTS 191 AND 192</p> <p>ZONE: C1 (NEIGHBORHOOD COMMERCIAL)</p> <p>OCCUPANCY: B CONSTRUCTION TYPE: V TWO STORY EXISTING FIRE SPRINKLERS INSTALLED</p> <p>LOT SIZE: 5,533.F.</p>	<p>1. ADD 275 S.F. TO EXISTING FIRST LEVEL. 2. ADD 1,326 S.F. TO THE EXISTING SECOND LEVEL. 3. ADD A 213 S.F. OPEN PATIO AT THE SECOND LEVEL. 4. ADD NEW 200 S.F. LANDSCAPING</p>
SQUARE FOOTAGE BREAKDOWN	SHEET INDEX
<p>LOT SIZE = 5,533 S.F.</p> <p>EXISTING BUILDING = 1,649 S.F. (OFFICE USE) FIRST LEVEL ADDITION = 275 S.F. (OFFICE USE) SECOND LEVEL ADDITION = 1,326 S.F. (OFFICE USE) SECOND LEVEL OUTDOOR PATIO = 200 S.F. LANDSCAPING AREA = 200 S.F.</p> <p>TOTAL AREA = 3,250 S.F.</p>	<p>A-1.01 - SITE PLAN & PROJECT INFORMATION A-1.02 - GENERAL INFORMATION A-1.03 - CALGREEN REQUIREMENTS A-2.01 - (E)/(N) FIRST LEVEL FLOOR PLAN A-2.02 - (E)/(N) SECOND LEVEL FLOOR PLAN AE2.01 - EXISTING FIRST LEVEL FLOOR PLAN AE2.02 - EXISTING SECOND LEVEL FLOOR PLAN A-3.01 - ELEVATIONS A-3.02 - ELEVATIONS A-4.01 - SECTIONS</p> <p>TITLE 24 SHEETS</p>
PARKING ANALYSIS	LANDSCAPING REQUIREMENTS
<p>TOTAL SIZE OF NEW BUILDING = 3,250 S.F. (OFFICE USE) PARKING REQUIREMENT = 2.7 SPACES /1,000 SQUARE FEET = 8.7 SPACES 9 PROVIDED</p>	<p>5% OF SURFACE PARKING SHALL BE LANDSCAPED.</p> <p>SURFACE PARKING AREA = 3,700 SQUARE FEET 5% = 185 SQUARE FEET</p> <p>LANDSCAPING PROVIDED = 200 S.F.</p>
NOTES	
<p>1 - A SEPARATE PERMIT IS REQUIRED FOR WALLS, FENCES, PATIOS, ETC.</p> <p>2- THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THE LOT OR WITHIN 20 FEET OF THE LOT.</p>	



SITE PLAN

SCALE: 1/8"=1'-0"

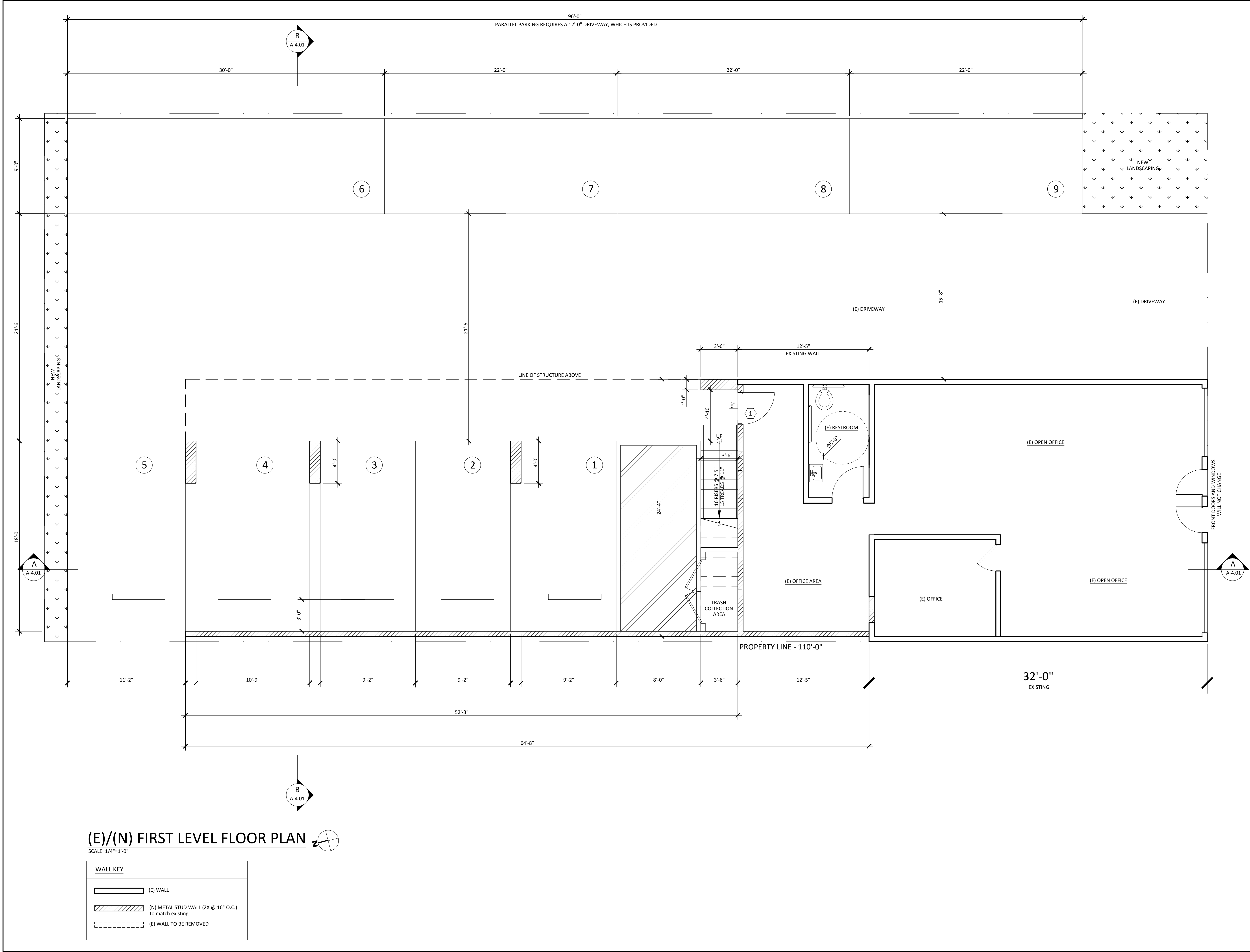


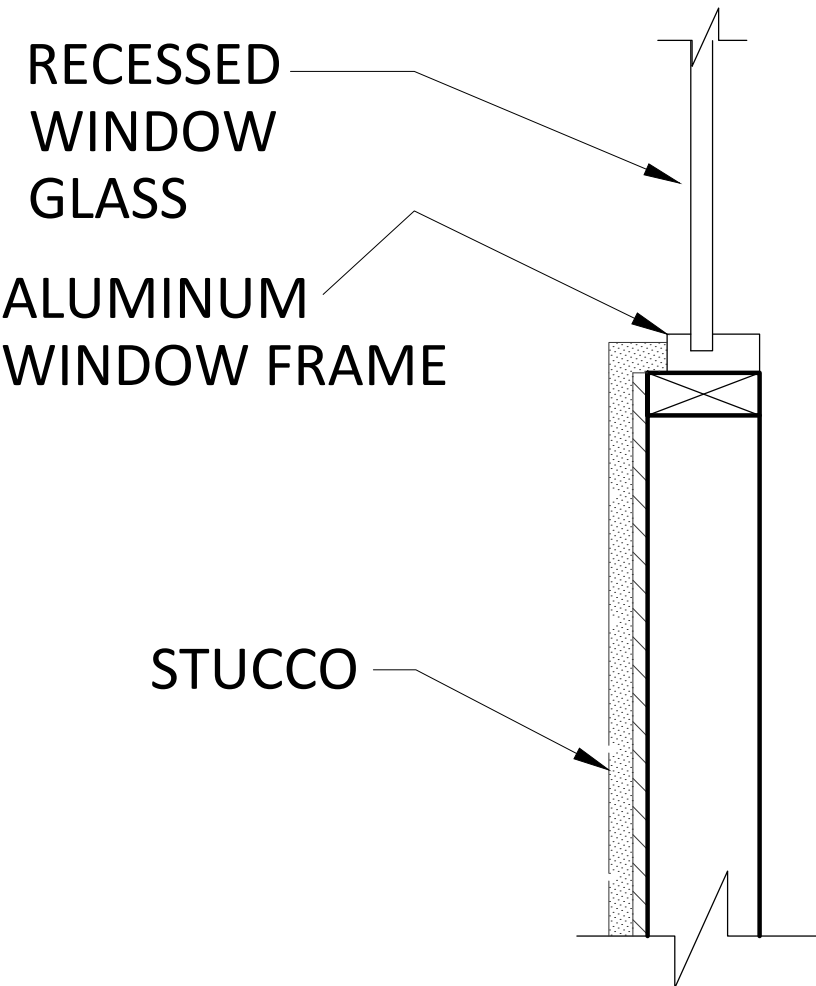
PLAN CHECK SET

EXCLUSIVE DESIGN GROUP	
3800 LA CRESCENTA AVE. suite 104 LA CRESCENTA, CA 91214 818-429-3373 ArisArtunyan@gmail.com	
SUBMITTAL: DATE:	
REVISIONS: DATE:	
PROJECT NAME:	
ADDITION TO EXISTING COMMERCIAL BUILDING	
PROJECT OWNER:	
PROJECT ADDRESS:	
611 E. GLENOAKS BLVD. GLENDALE, CA 91207	
DRAWING TITLE:	
SITE PLAN & PROJECT INFORMATION	
SCALE: 1/8"=1'-0"	
DATE: 12-15-2020	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER: A-1.01

GENERAL NOTES	SYMBOLS	ABBREVIATIONS & SYMBOLS	CALIFORNIA GREEN BUILDING STANDARDS NOTES
<div>1. ALL CONSTRUCTION SHALL COMPLY WITH BUT HALL BE LIMITED TO THE LATEST EDITION AND ORDINANCES AS FOLLOWS:<div>A. 2016 CALIFORNIA BUILDING CODE (CBC)</div><div>B. 2016 CALIFORNIA ELECTRICAL CODE (CEC)</div><div>C. 2016 CALIFORNIA MECHANICAL CODE (CMC)</div><div>D. 2016 CALIFORNIA PLUMBING CODE (CPC)</div><div>E. 2016 ENERGY CODE</div></div> <div>2. A STAMPED SET OF APPROVED PLANS SHALL BE KEPT AT HE JOB SITE AT ALL TIMES.</div> <div>3. THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.</div> <div>4. ANY DISCREPANCIES BETWEEN THE DRAWINGS ND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER AND THE OWNER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS AFTER THE START OF CONSTRUCTION WHICH IS NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER.</div> <div>5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY ON-SITE UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.</div> <div>6. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.</div> <div>7. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE ARCHITECT/DESIGNER AND OWNER HARMLESS FROM ANY AND ALL CLAIMS OR DAMAGES OR PERSONAL, BODILY INJURY, DEATH OR PROPERTY DURING THE COURSE F THE CONTRACT.</div> <div>8. TEMPORARY POWER AND WATER, WORKERS' TOILET FACILITIES, PARKING AND MATERIAL STORAGE SHALL BE PROVIDED BY THE CONTRACTOR.</div> <div>9. THE CONTRACTOR SHALL PROTECT ALL FINISHED WORK AND ADJACENT SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ANY AND ALL DAMAGES CAUSED BY THE WORKERS.</div> <div>10. UPON COMPLETION OF THE WORK, ALL AREAS HALL BE LEFT BROOMED, ALL DEBRIS SHALL BE REMOVED FROM THE SITE.</div> <div>11. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS AND DETAILS ARE TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE.</div> <div>12. DOOR AND WINDOW LOCATIONS NOT ESTABLISHED BY DIMENSIONS HALL BE CENTERED IN WALL OR BE LOCATED 3" FROM ADJACENT WALL.</div>	<div><div><div><div><div></div><div></div></div><div>PROPERTY LINE</div></div><div><div><div><div><div>1</div><div></div></div><div></div></div><div>COLUMN GRID LINE</div></div><div><div><div><div><div><div><div></div><div></div></div><div></div></div><div>DRAWING NUMBER</div><div></div><div>SHEET NUMBER</div></div><div>BUILDING SECTION</div></div><div><div><div><div><div><div></div><div></div></div><div></div></div><div>DRAWING NUMBER</div><div></div><div>SHEET NUMBER</div></div><div>WALL SECTION</div></div><div><div><div><div><div><div></div><div></div></div><div></div></div><div>DETAIL NUMBER</div><div></div><div>SHEET NUMBER</div></div><div>DETAIL SECTION</div></div><div><div><div><div><div><div>1</div><div></div></div><div></div></div><div>ENLARGED PLAN OR PLAN</div></div><div><div><div><div><div><div></div><div></div></div><div></div></div><div>NORTH 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TYPE</div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div>	<div><div><div><div><div>AB</div><div>A/C</div><div>ACT</div><div>AD</div><div>ADD</div><div>ADJ</div><div>AFF</div><div>ALUM</div><div>ALT</div><div>ANOD</div><div>APPROX</div><div>ARCH</div><div>ASPH</div><div></div><div>BD</div><div>BED</div><div>BEL</div><div>BET</div><div>BLDG</div><div>BLK</div><div>BLKG</div><div>BM</div><div>BOT</div><div>BRG</div><div>BSMT</div><div>BYND</div><div></div><div>CAB</div><div>CEM</div><div>CI</div><div>CIP</div><div>CHNL</div><div>CJ</div><div>CLG</div><div>CLKG</div><div>CLR</div><div>CMU</div><div>COL</div><div>COMB</div><div>CONC</div><div>CONT</div><div>CONTR</div><div>CPT</div><div>CT</div><div>CTYD</div><div></div><div>D</div><div>DBL</div><div>DEMO</div><div>DET</div><div>DF</div><div>DIA</div><div>DIAG</div><div>DIM</div><div>DIMS</div><div>DN</div><div>DR</div><div>DS</div><div>DSP</div><div>DWG</div><div>DWR</div><div></div><div>E</div><div>EA</div><div>EJ</div><div>EL</div><div>ELEC</div><div>ELEV</div><div>ENT</div><div>EPDM</div><div>EQ</div><div>EQUIP</div><div>EXH</div><div>EXIST</div><div>EXP</div><div>EXP JT</div><div>EXT</div><div></div><div>FD</div><div>FDN</div><div>FE</div><div>FEC</div><div>FG</div><div>FHC</div><div>FIN</div><div>FIXT</div><div>FJ</div><div>FLR</div><div>FLUOR</div><div>FM</div><div>FOS</div><div>FT</div><div>FTG</div><div>FUR</div><div></div><div>GA</div><div>GALV</div><div>&</div><div>GL</div><div>GLB</div><div>GR</div><div>GYP</div><div></div><div>H</div><div>HALL</div><div>HB</div><div>HC</div><div>HDR</div><div>HDW</div><div>HMT</div><div>HORIZ</div><div>HP</div><div>HR</div><div>HT</div><div>HVAC</div><div></div><div>IRGWB</div><div>ILO</div><div>INSUL</div><div>INT</div><div></div><div>L</div><div>LAV</div><div>LBL</div><div>LH</div><div>LT</div><div>LO</div><div>LW</div><div></div><div>M</div><div>MAS</div><div>MATL</div><div>MAX</div><div>MB</div><div>MECH</div><div>MED</div><div>MET</div><div>MIN</div><div>MIR</div><div>MISC</div><div>MO</div><div>MTD</div></div><div><div><div><div><div>ANCHOR BOLT</div><div>AIR CONDITIONING</div><div>ACOUSTIC CEILING TILE</div><div>AREA DRAIN</div><div>ADDENDUM</div><div>ADJUSTABLE</div><div>ABOVE FINISHED FLOOR</div><div>ALUMINUM</div><div>ALTERNATIVE</div><div>ANODIZED</div><div>APPROXIMATELY</div><div>ARCHITECTURAL</div><div>ASPHALT</div><div></div><div>BOARD</div><div>BEDROOM</div><div>BELLOW</div><div>BETWEEN</div><div>BUILDING</div><div>BLOCK</div><div>BLOCKING</div><div>BEAM</div><div>BOTTOM</div><div>BEARING</div><div>BASEMENT</div><div>BEYOND</div><div></div><div>CABINET</div><div>CEMENT</div><div>CAST IRON</div><div>CAST IN PLACE</div><div>CHANNEL</div><div>CEILING JOIST</div><div>CEILING</div><div>CAULKING</div><div>CLEAR</div><div>CONCRETE MASONRY UNIT</div><div>COLLUMN</div><div>COMBINATION</div><div>CONCRETE</div><div>CONTINUOUS</div><div>CONSTRUCTION</div><div>CARPET</div><div>CERAMIC TILE</div><div>COURTYARD</div><div></div><div>DEEP</div><div>DOUBLE</div><div>DEMOLISH OR DEMOLITION</div><div>DETAIL</div><div>DRINKING FOUNTAIN</div><div>SPEC</div><div>DIAGONAL</div><div>DIMENSION</div><div>DIMENSIONS</div><div>DOWN</div><div>DOOR</div><div>DOWN SPOUT</div><div>DRY STAND PIPE</div><div>DRAWING</div><div>DRAWER</div><div></div><div>EAST</div><div>EACH</div><div>EXPANSION JOINT</div><div>ELEVATION</div><div>ELECTRICAL</div><div>ELEVATION</div><div>ENTRY</div><div>ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)</div><div>EQUAL</div><div>EQUIPMENT</div><div>EXHAUST</div><div>EXISTING</div><div>EXPOSED</div><div>EXPANSION JOINT</div><div>EXTERIOR</div><div></div><div>FLOOR DRAIN OR FIRE DEPARTMENT FOUNDATION</div><div>FIRE EXTINGUISHER</div><div>FIRE EXTINGUISHER CABINET</div><div>FINISHED GRADE</div><div>FIRE HOSE CABINET</div><div>FINISH</div><div>FIXTURE</div><div>FLOOR JOIST</div><div>FLOOR</div><div>FLUORESCENT</div><div>FILLED METAL</div><div>FACE OF STUD</div><div>FEET/FOOT</div><div>FOOTING</div><div>FURRED(ING)</div><div></div><div>Gauge</div><div>GALVANIZED</div><div>GALVANIZED IRON</div><div>GLASS, GLAZING</div><div>GLUE LAMINATED BEAM</div><div>GRADE</div><div>GYPsum</div><div></div><div>HIGH</div><div>HALLWAY</div><div>HOSE BIB</div><div>HOLLOW CORE</div><div>HEADER</div><div>HARDWARE</div><div>HOLLOW METAL</div><div>HORIZONTAL</div><div>HIGH POINT</div><div>HOUR</div><div>HEIGHT</div><div>HEATING, VENTILATING, AND AIR CONDITIONING</div><div></div><div>IMPACT RESISTANT GYPSUM WALL BOARD</div><div>IN LIEU OF</div><div>INSULATED OR INSULATION</div><div>INTERIOR</div><div></div><div>LONG (LENGT)</div><div>LAVATORY</div><div>LABEL</div><div>LEFT HAND</div><div>LIGHT</div><div>LOW</div><div>LIGHTWEIGHT</div><div></div><div>MASTER</div><div>MASONRY</div><div>MATERIAL</div><div>MAXIMUM</div><div>MACHINE BOLT</div><div>MECHANICAL</div><div>MEDIUM</div><div>METAL</div><div>MINIMUM</div><div>MIRROR</div><div>MISCELLANEOUS</div><div>MASONRY OPENING</div><div>MOUNTED</div></div><div><div><div><div><div>N</div><div>NAT</div><div>NIC</div><div>NO</div><div>NOM</div><div>NTS</div><div></div><div>OC</div><div>OD</div><div>OH</div><div>OPNG</div><div>OFF</div><div>OPP</div><div></div><div>PCC</div><div>PCF</div><div>PLAM</div><div>PLUMB</div><div>PLWD</div><div>PR</div><div>PSF</div><div>PSI</div><div>PT</div><div>PNT</div><div>PVC</div><div></div><div>R</div><div>RA</div><div>RAD</div><div>RBR</div><div>RB</div><div>RCP</div><div>RD</div><div>REQD</div><div>REINF</div><div>REQ</div><div>REV</div><div>RH</div><div>RR</div><div>RM</div><div>RO</div><div>ROW</div><div></div><div>S</div><div>SC</div><div>SCHED</div><div>SEC</div><div>SF</div><div>SHT</div><div>SH</div><div>SIM</div><div>SPEC</div><div>STC</div><div>STD</div><div>STL</div><div>STOR</div><div>STRUCT</div><div></div><div>T</div><div>TC</div><div>T&G</div><div>TEL</div><div>THK</div><div>TO</div><div>TSL</div><div>TST</div><div>TPD</div><div>T/O</div><div>TW</div><div>TV</div><div></div><div>UC</div><div>UNO</div><div>U/S</div><div></div><div>VCT</div><div>VERT</div><div>VIF</div><div>VIN</div><div>VP</div><div></div><div>W</div><div>W/</div><div>WD</div><div>W/D</div><div>WI</div><div>WIN</div><div>WP</div><div>WR</div><div>WSCOT</div><div>WWM</div><div></div><div>R</div><div>CL</div><div></div><div>#</div><div>&</div><div>@</div><div>(E)</div><div>(N)</div><div>O/</div><div>d</div><div>PL</div><div>Ø</div><div>W/</div><div>W/O</div><div></div><div>PROPERTY LINE</div><div>CENTER LINE</div><div>POUND OR NUMBER</div><div>AND</div><div>AT</div><div>EXISTING</div><div>NEW</div><div>OVER</div><div>PENNY</div><div>PLATE</div><div>Ø</div><div>W/</div><div>WITHOUT</div></div></div></div></div></div></div></div></div></div></div>	
<div>FIRE DEPARTMENT NOTES</div> <div>1. ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEYS AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR), NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.</div> <div>2. FIRE SPRINKLERS IN PLACE</div> <div>3. SMOKE DETECTORS: SMOKE DETECTOR SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER ALARMS.</div> <div>4. CARBON MONOXIDE DETECTOR: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA N THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2013 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315.</div>	<div><div><div><div><div>2</div><div></div></div></div><div></div></div><div><div><div><div><div>3</div><div></div></div></div><div></div></div></div></div>	<div><div><div><div><div>T</div><div>TREAD</div><div>TOP OF CURB</div><div>TONGUE AND GROOVE</div><div>TELEPHONE</div><div>THK(NESS)</div><div>TO</div><div>TOP OF</div><div>TOP OF SLAB</div><div>TOP OF STEEL</div><div>TOILET PAPER DISPENSER</div><div>TELEPHONE/DATA</div><div>TOP OF WALL</div><div>TYP</div><div></div><div>UC</div><div>UNDERCUT</div><div>UNLESS NOTED OTHERWISE</div><div>UNDERSIDE</div><div></div><div>VCT</div><div>VINYL COMPOSITION TILE</div><div>VERTICAL</div><div>VERIFY IN FIELD</div><div>VIF</div><div>VINYL</div><div>VISION PANEL</div><div></div><div>W</div><div>WEST</div><div>W/</div><div>WITH</div><div>WD</div><div>WOOD</div><div>W/D</div><div>WASHER AND DRYER</div><div>WI</div><div>WROUGHT IRON</div><div>WIN</div><div>WINDOW</div><div>WP</div><div>WATERPROOFING</div><div>WR</div><div>WATER RESISTANT</div><div>WSCOT</div><div>WAINSCOT</div><div>WWM</div><div>WELDED WIRE MESH</div><div></div><div>R</div><div>CL</div><div></div><div>#</div><div>&</div><div>@</div><div>(E)</div><div>(N)</div><div>O/</div><div>d</div><div>PL</div><div>Ø</div><div>W/</div><div>W/O</div><div></div><div>PROPERTY LINE</div><div>CENTER LINE</div><div>POUND OR NUMBER</div><div>AND</div><div>AT</div><div>EXISTING</div><div>NEW</div><div>OVER</div><div>PENNY</div><div>PLATE</div><div>Ø</div><div>W/</div><div>WITHOUT</div></div></div></div></div>	
<div>BUILDING DEPARTMENT NOTES</div> <div>1. EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68 DEG. MINIMUM AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. THE INSTALLATION OF PORTABLE SPACE HEATERS SHALL NOT BE USED TO ACHIEVE COMPLIANCE. (R303.9 CRC)</div> <div>2. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2 CRC)</div> <div>3. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND A \$250 APPLICATION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN TWO (2) EXTENSIONS MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A RENEWAL FEE OF 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO ONE (1) YEAR. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF ONE (1) YEAR, THE RENEWAL FEE SHALL BE 100% OF THE ORIGINAL PERMIT FEE. (R105.5 CRC)</div> <div>4. WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.6 GALLONS OF WATER PER FLUSH , 1.28 GALLONS PER FLUSH. (403.2 CPC)</div> <div>5. FAUCETS IN KITCHENS SHALL HAVE A WATER FLOW NOT TO EXCEED 1.8 GALLONS PER MINUTE AND MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE. (403.6 CPC)</div> <div>6. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE. (403.7)</div> <div>7. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX,CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX IOF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.</div> <div>8. ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 EDITIONS OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA GREEN BUILDING STANDARDS CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE,CALIFORNIA FIRE CODE AND CALIFORNIA ENERGY CODE.</div>			<div>1. ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD. (4.406.1 CGBSC)</div> <div>2. PROVIDE A WASTE MANAGEMENT PLAN TO REDUCE CONSTRUCTION WASTE AT LEAST 50%. EITHER PROVIDE A JOB SPECIFIC PROPOSAL IN ACCORDANCE WITH SECTION 4.408 OR PROVIDE A WASTE MANAGEMENT PLAN DOCUMENT FORM PROVIDED BY THE CITY WITH THE PLAN SUBMITTAL. (4.408 CGBSC)</div> <div>3. AT ROUGH INSTALLATION OR DURING STORAGE ON THE SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS TO REDUCE DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM . NOTE ON THE PLANS. (4.504.1 CGBSC)</div> <div>4. ALL FINISH MATERIALS,SUCH AS ADHESIVES, SEALANTS,CAULKS, PAINTS,AEROSOL PAINTS,COATINGS, CARPET SYSTEMS,RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL CONFORM TO THE VOC AND FORMALDEHYDE LIMITS SET FORTH IS SECTION 4.504.2,4.504.3, 4.504.4,4.504.5 AND TABLES 4.504.1, 4.504.2,4.504.3 AND 4.504.5. NOTE ON THE PLANS.(405.4 CGBSC)</div> <div>5. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING, WHICH SHALL BE ADDRESSED ON PLANS (4.506.1 CGBSC):<div>a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.</div><div>b. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, THE FAN MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGES OF 50 TO 80%.</div></div>
			<div>PLUMBING NOTES</div> <div>6. WATER CLOSET SHALL HAVE 15" TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF ITS CENTERLINE AND 24" CLEAR SPACE IN FRONT. (402.5 CPC)</div> <div>7. WATER HEATERS LOCATED IN SEISMIC DESIGN CATEGORIES C, D, E & F, AS DEFINED BY THE BUILDING CODE, SHALL HAVE STRAPS LOCATED IN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION AT THE LOWER POINT, A MINIMUM DISTANCE OF 4" SHALL BE MAINTAINED ABOVE ABOVE THE CONTROLS WITH STRAPPING. (507.2 CPC)</div>
			<div>ELECTRICAL NOTES</div> <div>8. ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS(WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6" OF THE EDGE OF THE SINK),SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION. SHOW ON THE PLANS. (210.8(A) CEC)</div> <div>9. ALL BRANCH CIRCUITS SUPPLYING RECEPTACLES IN FAMILY ROOMS, DINING ROOMS,LIVING ROOMS, PARLORS, LIBRARIES, DENS,BEDROOMS,SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI). SHOW ON THE PLANS. (210.12(A) CEC)</div> <div>10. ALL WALL SPACES 2" OR MORE IN WIDTH, SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY IS MORE THAN 6"FROM A RECEPTACLE (12" MAXIMUM SPACING). SHOW MINIMUM RECEPTACLES ON THE PLANS. (210.52 (A) (1) & (2) CEC)</div> <div>11. COUNTERTOPS IN KITCHENS, PANTRIES,BREAKFAST ROOMS,DINING ROOMS AND SIMILAR AREAS SPACES 12" OR WIDER SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT ALONG THE WALL IS MORE THAN 2' FROM A RECEPTACLE. SHOW RECEPTACLES ON THE PLANS. (210.52 (C) (1) CEC)</div> <div>12.IN BATHROOMS, AT LEAST ONE RECEPTACLE SHALL BE INSTALLED WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN. SHOW RECEPTACLES ON THE PLANS. (210.52 (D) CEC)</div> <div>13. AT LEAST ONE RECEPTACLE AT GRADE LEVEL SHALL BE INSTALLED IN BOTH THE FRONT AND BACK OF EACH DWELLING UNIT. SHOW RECEPTACLES ON THE PLANS. (210.52 (E)(1) CEC)</div> <div>14.BALCONIES, DECKS AND PORCHES ACCESSIBLE FROM INSIDE THE DWELLING UNIT SHALL HAVE AT LEAST ONE RECEPTACLE INSTALLED WITHIN THE PERIMETER OF THE DECK,BALCONY OR PORCH.SHOW RECEPTACLES ON THE PLANS. (210.52 (E) (3) CEC)</div> <div>15. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS FOR DWELLING UNITS.ATTACHED GARAGES AND DETACHED GARAGES WITH ELECTRICAL POWER. (210.70 (A) (2) (B) CEC)</div> <div>16. IN ALL AREAS SPECIFIED IN210.52 ALL NON-LOCKING-TYPE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.</div> <div>17. NO CORD-CONNECTED, CHAIN,CABLE, CORD-SUSPENDED LUMINAIRES, LIGHTING</div> <div>18. TRACK, PENDANT OR CEILING- SUSPENDED FANS SHALL BE LOCATED WITHIN 3' HORIZONTALLY AND 8' VERTICALLY FROM THE TOPOF THE BATHTUB RIM OR SHOWER STALL THRESHOLD, INCLUDING DIRECTLY OVER THE TUB OR SHOWER. LUMINAIRES LOCATED IN THIS ZONE SHALL BE LISTED FOR DAMP AREAS OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. SHOW ON THE PLANS. (410.10 (0) CEC)</div>

EXCLUSIVE DESIGN GROUP	
3800 LA CRESCENTA AVE. suite 104 LA CRESCENTA, CA 91214 818-429-3373 ArisArtunyan@gmail.com	
SUBMITTAL: DATE:	
REVISIONS: DATE:	
PROJECT NAME:	
ADDITION TO EXISTING COMMERCIAL BUILDING	
PROJECT OWNER:	
PROJECT ADDRESS:	
611 E. GLENOAKS BLVD. GLENDAL, CA 91207	
DRAWING TITLE:	
PROJECT INFORMATION, GENERAL NOTES, ABBREVIATIONS & SYMBOLS	
SCALE:	
DATE:	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:
A-1.02	

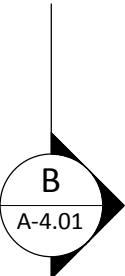
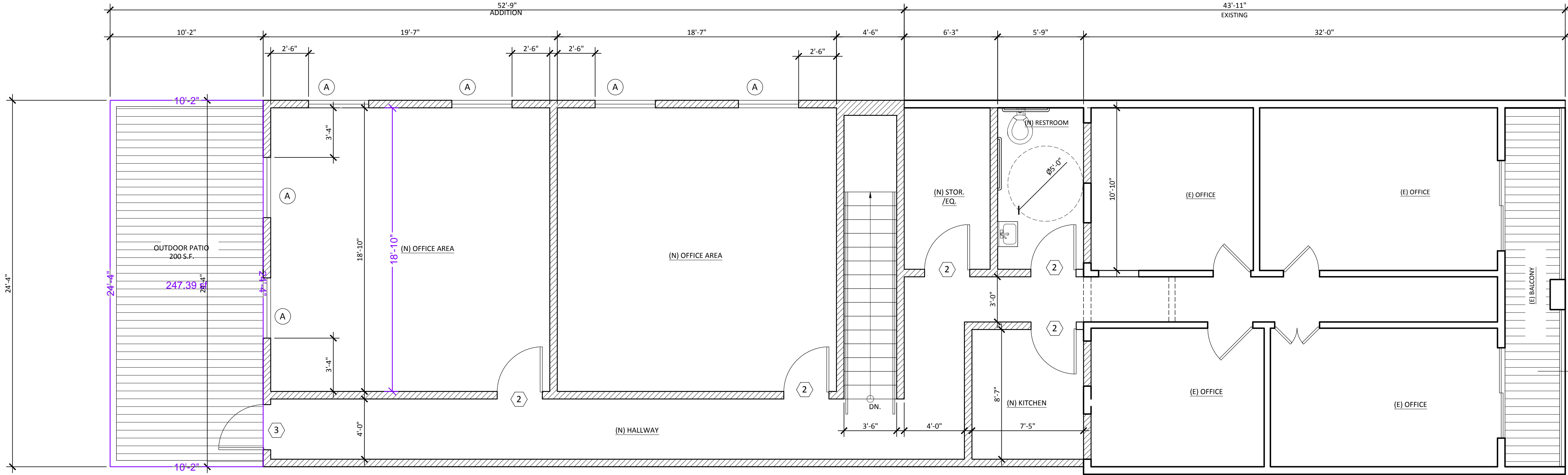




1 TYPICAL RECESSED WINDOW FRAME
SCALE: N.T.S.

DOOR SCHEDULE							U-FACTOR	SHGC
SYM.	MAT.	W	H	TYP.	REMARKS			
1		3'-0"	7'-0"	S.C.	MAIN ENTRY DOOR		0.32	0.25
2		3'-0"	7'-0"	H.C.				
3		3'-8"	8'-0"	S.C.				

WINDOW SCHEDULE												TEMPERED	U-FACTOR	SHGC	FRAME TYPE	VISIBLE	EDGE DETAIL	EXTERNAL GRID	SILL & FRAME
SYM.	TYPE	W	H	MAT.	REMARKS														
A	FIXED	4'-0"	5'-0"	ALUM.									0.32	0.25	RECESSED NAIL ON	YES	DET. #1	YES	NO



(E)/(N) SECOND LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL KEY	
	(E) WALL
	(N) METAL STUD WALL (2X @ 16" O.C.) to match existing
	(E) WALL TO BE REMOVED

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COMMERCIAL BUILDING

PROJECT OWNER:

PROJECT ADDRESS:

611 E. GLENOAKS BLVD.
GLENDALE, CA 91207

DRAWING TITLE:

(E)/(N) SECOND LEVEL
FLOOR PLAN

SCALE:

1/4"=1'-0"

DATE:

12-15-2020

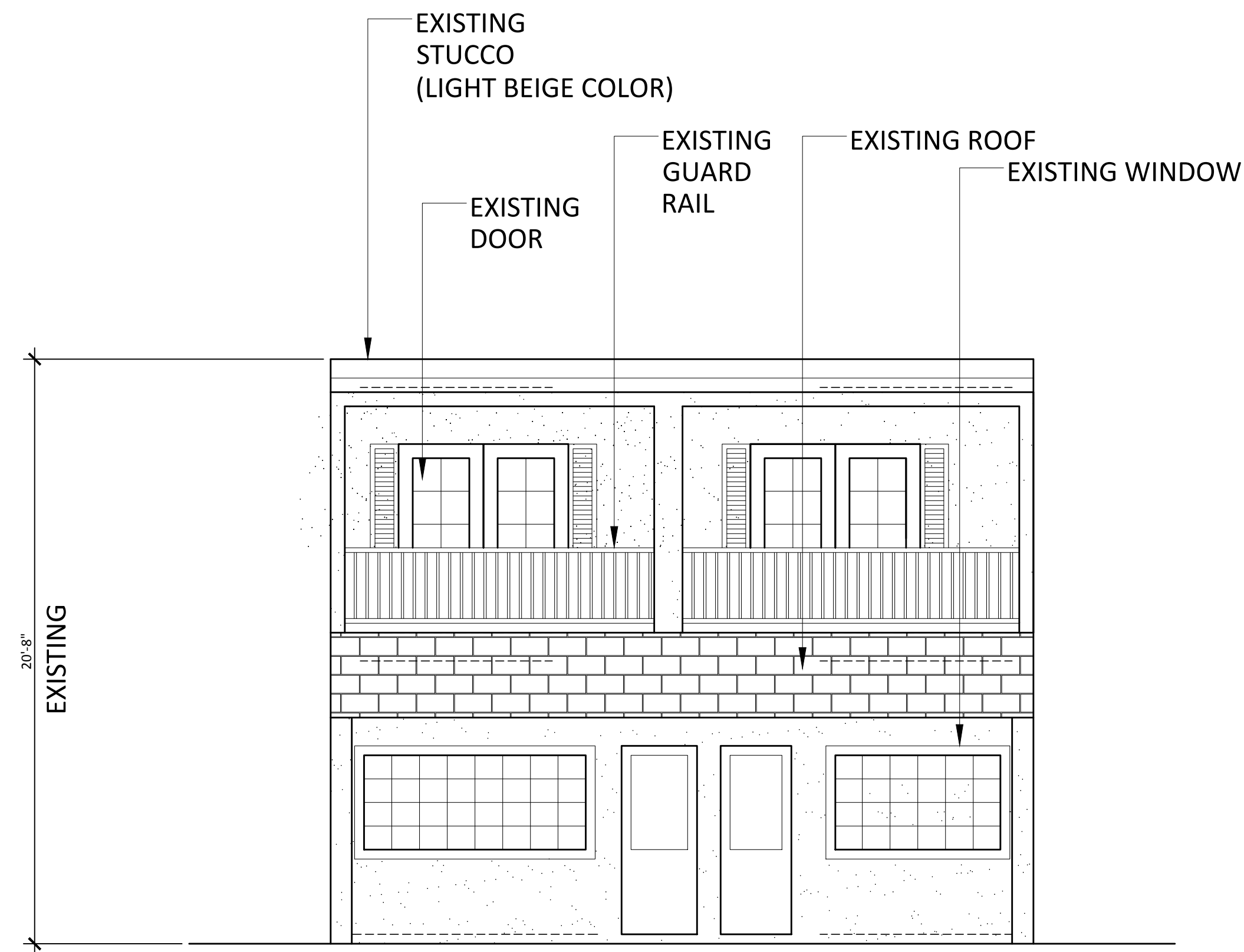
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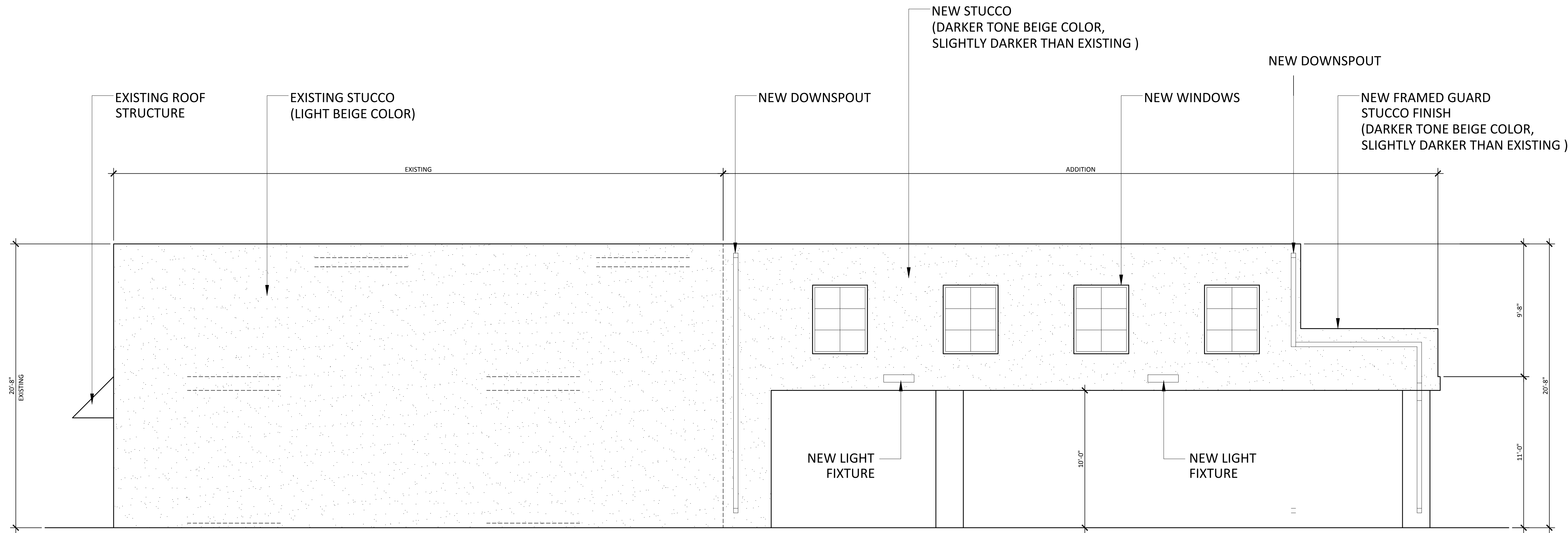
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DRAWING NUMBER:

A-2.02



EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



(E)/(N) EAST ELEVATION
SCALE: 1/4"=1'-0"

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PROJECT ADDRESS:

611 E. GLENOAKS BLVD.
GLENDALE, CA 91207

DRAWING TITLE:

ELEVATIONS

SCALE:

1/4"=1'-0"

DATE:

12-15-2020

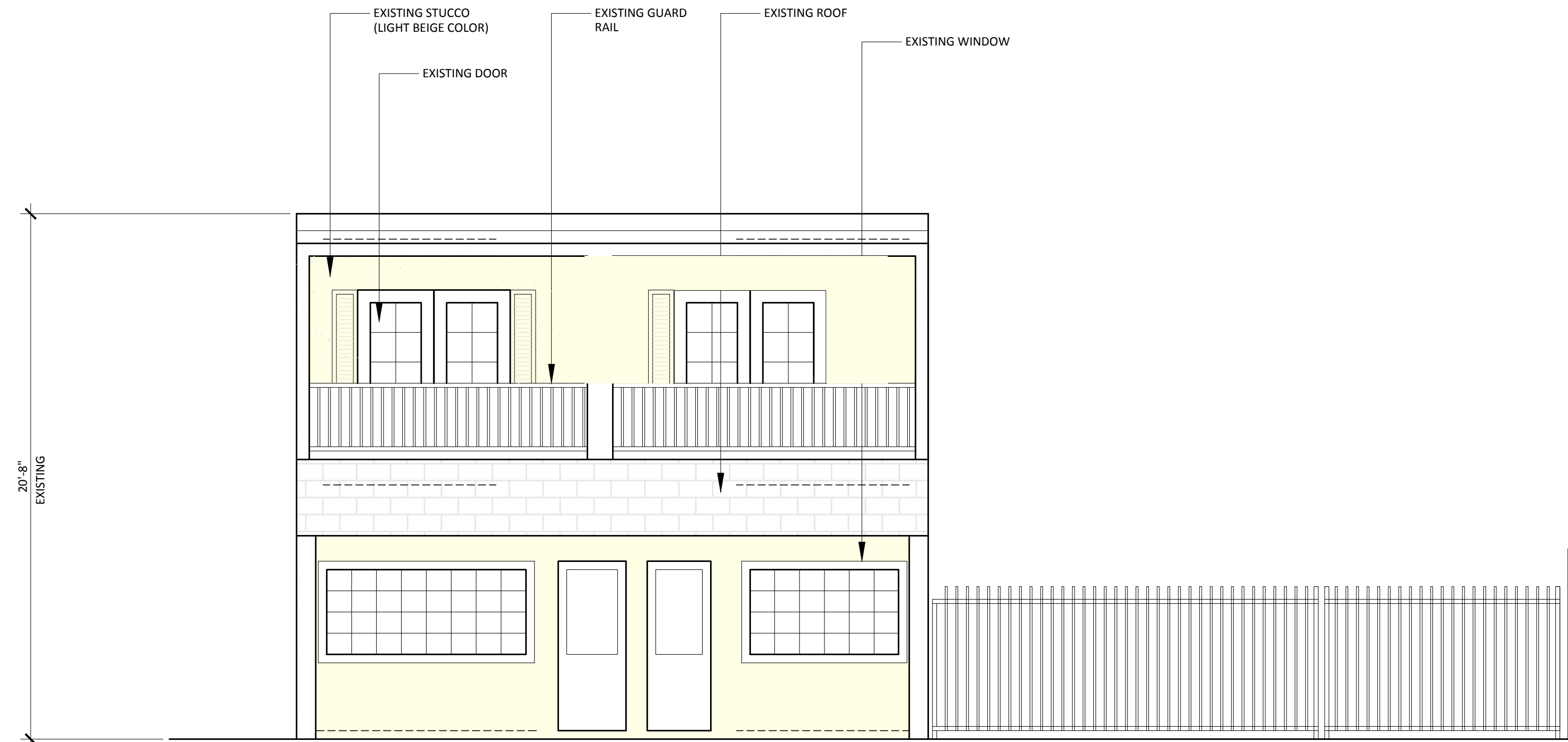
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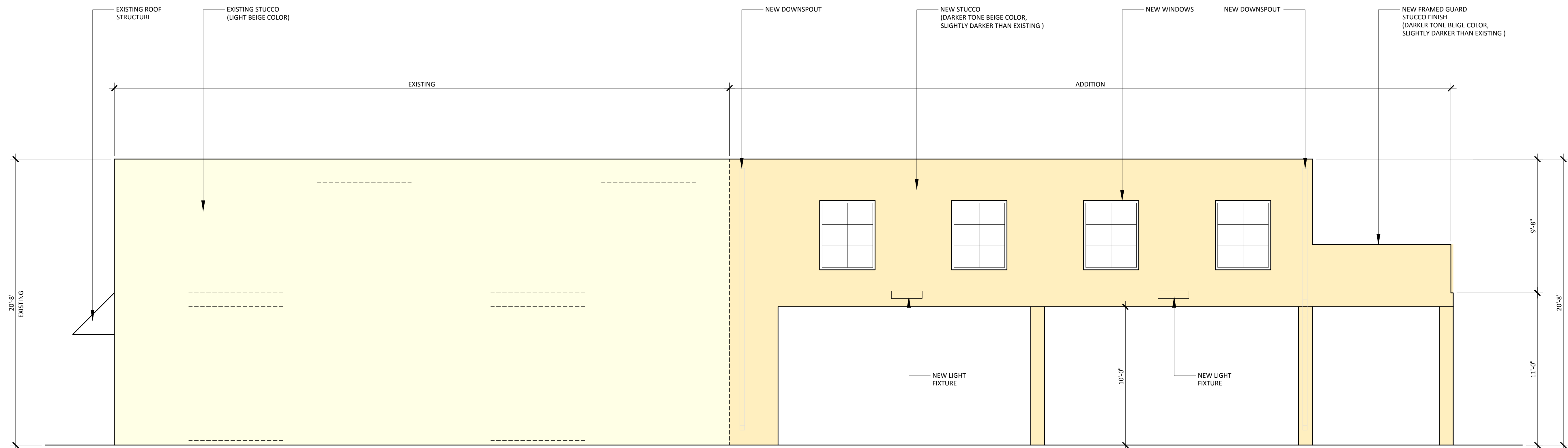
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A-3.01



EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



(E)/(N) EAST ELEVATION
SCALE: 1/4"=1'-0"

EXCLUSIVE DESIGN GROUP

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818-429-3373
ARISARTUNYAN@GMAIL.COM

SUBMITTAL:	DATE:
REVISIONS:	DATE:

PROJECT NAME:

ADDITION TO EXISTING
COMMERCIAL BUILDING

PROJECT OWNER:

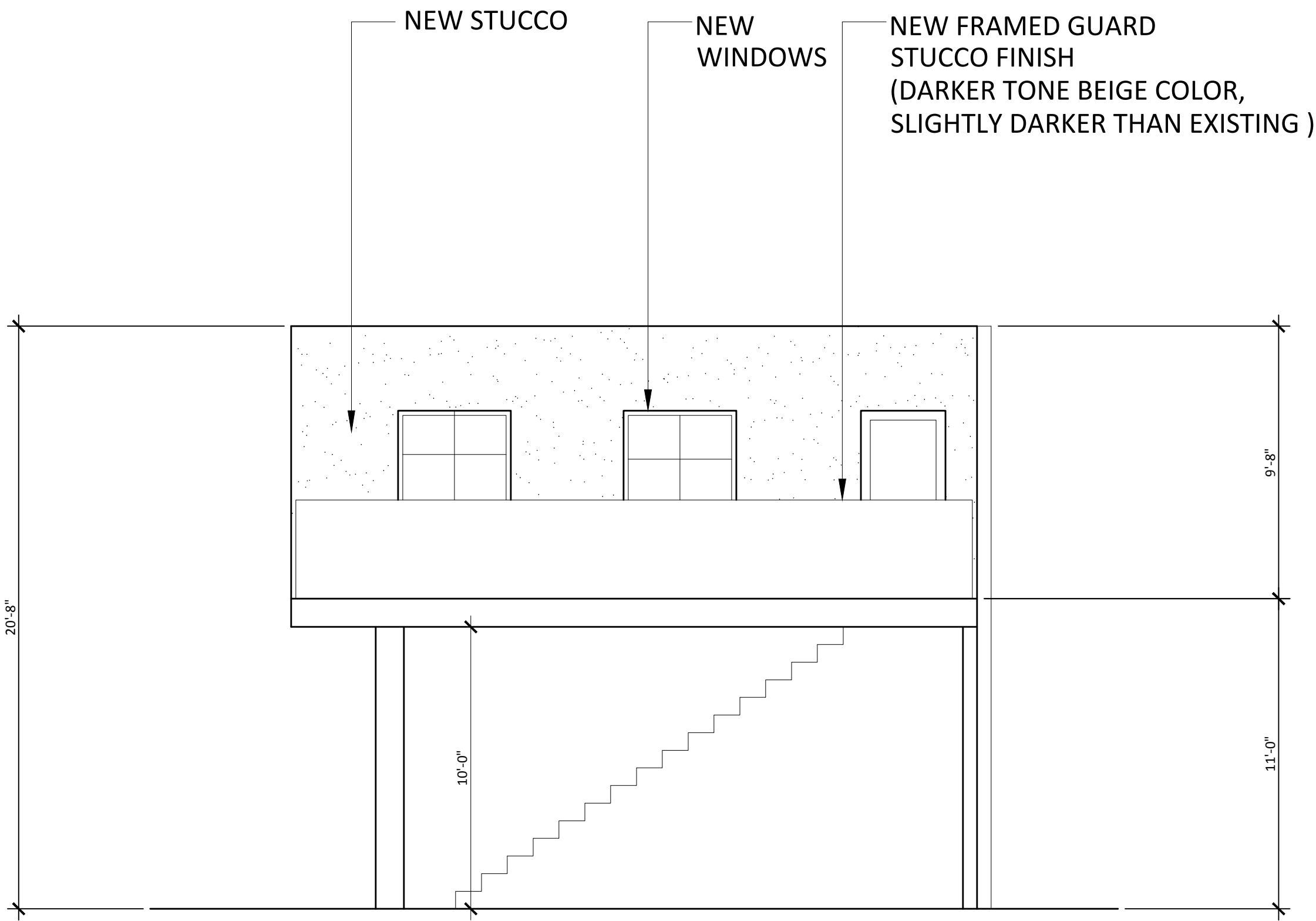
PROJECT ADDRESS:

611 E. GLENOAKS BLVD.
GLENDALE, CA 91207

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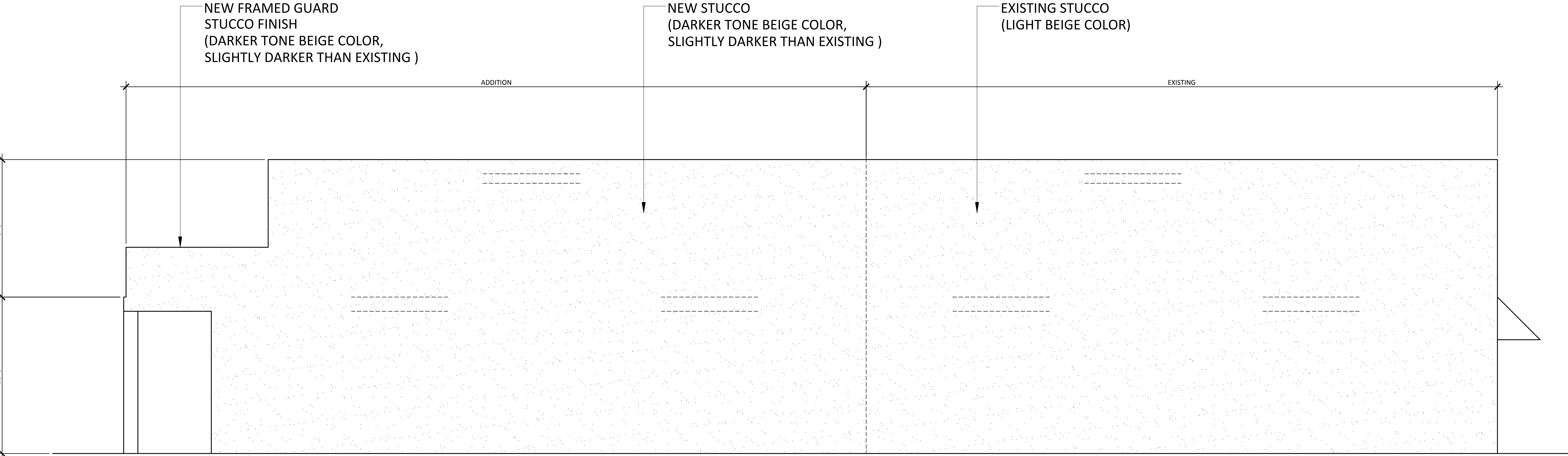
COLOR ELEVATIONS

SCALE: 1/4"=1'-0"	DRAWING NUMBER: A-3.01b
DATE: 8-16-2018	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	



(E)/(N) NORTH ELEVATION

SCALE: 1/4"=1'-0"



(E)/(N) WEST ELEVATION

SCALE: 1/4"=1'-0"

SUBMITTAL:		DATE:
REVISIONS:		DATE:

PROJECT NAME:

ADDITION TO EXISTING
COMMERCIAL BUILDING

PROJECT OWNER:

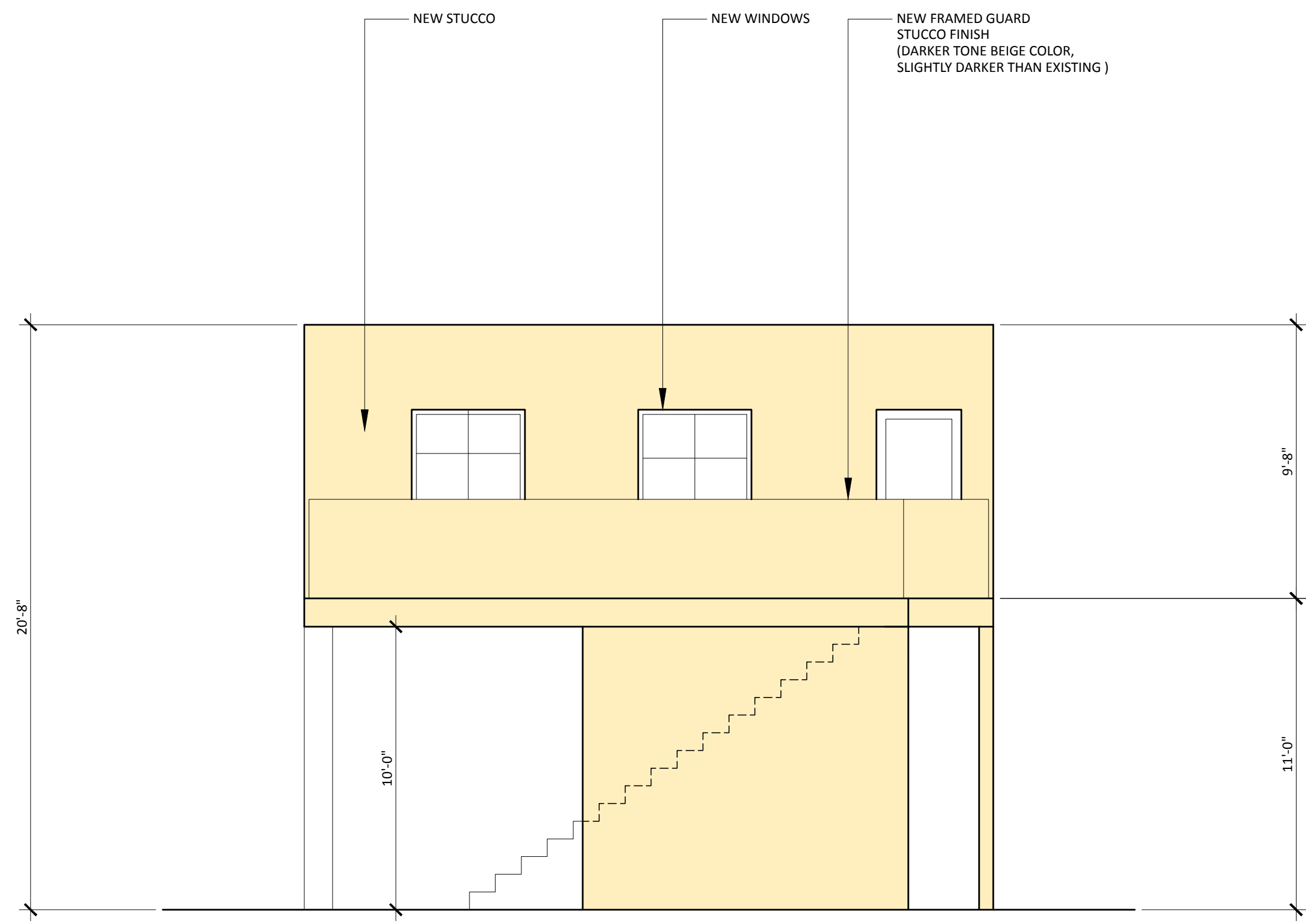
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GLENDALE, CA 91207

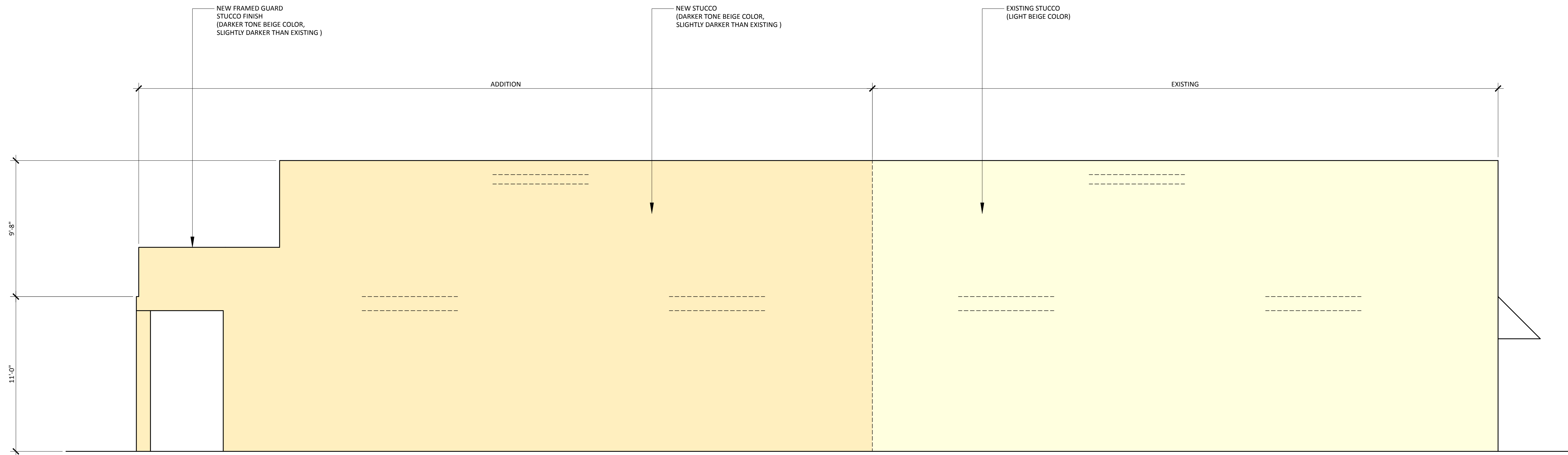
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ELEVATIONS

SCALE: 1/4"=1'-0"	
DATE: 12-15-2020	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER: A-3.02



(E)/(N) NORTH ELEVATION
SCALE: 1/4"=1'-0"



(E)/(N) WEST ELEVATION
SCALE: 1/4"=1'-0"

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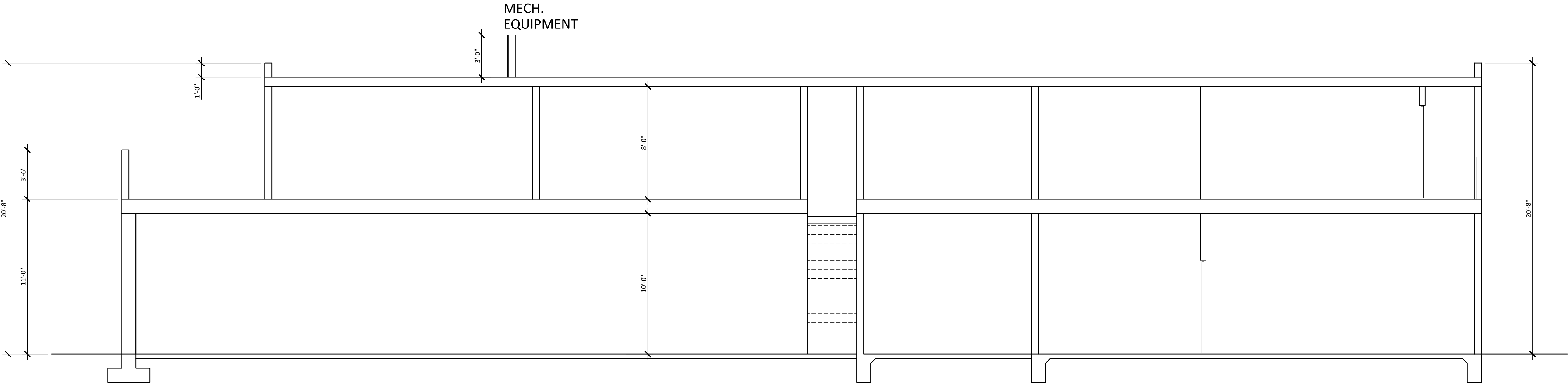
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GLENDALE, CA 91207

DRAWING TITLE:

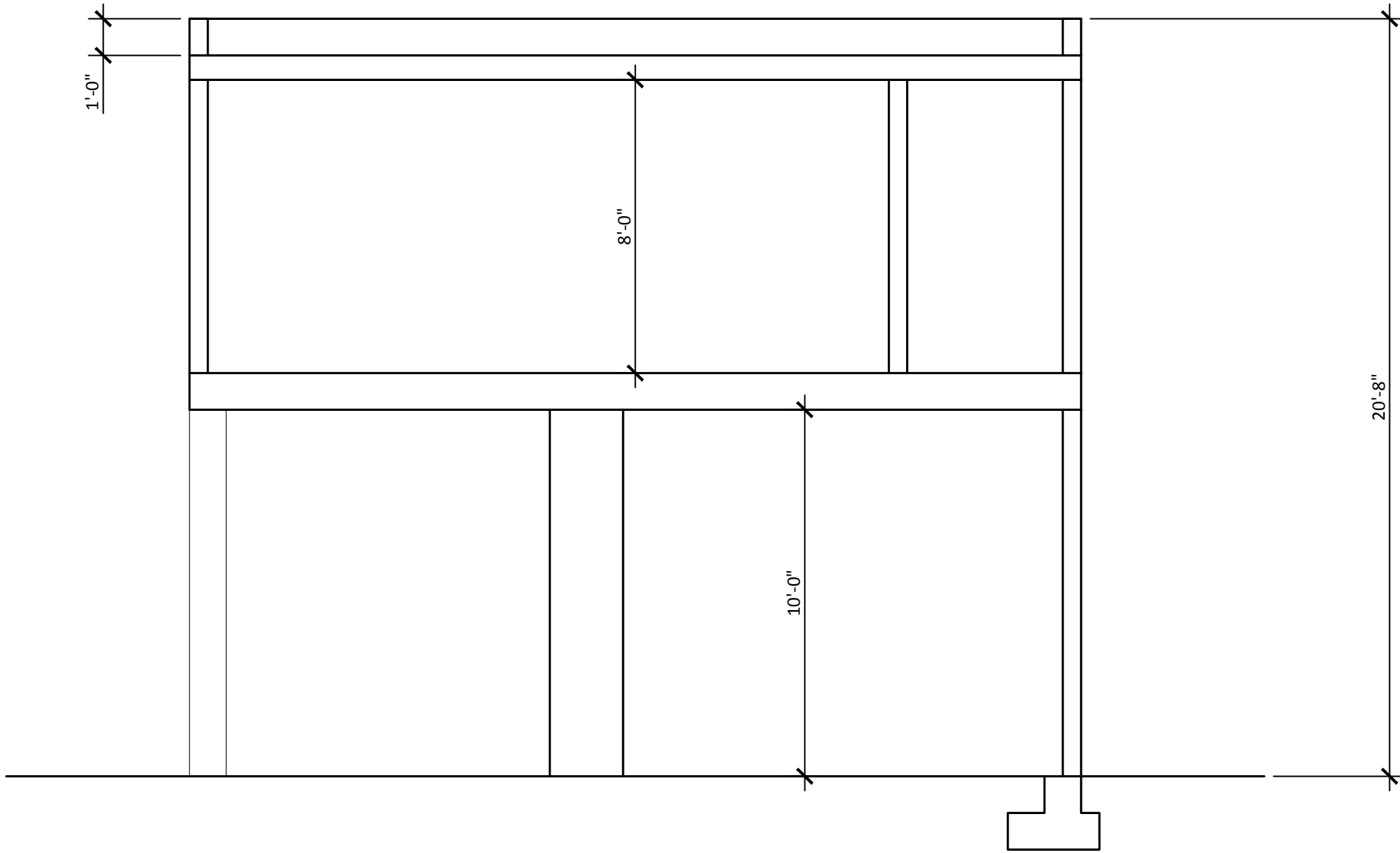
COLOR ELEVATIONS

SCALE: 1/4"=1'-0"	
DATE: 8-16-2018	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:

A-3.02b



SECTION A-A
SCALE: 1/4"=1'-0"



SECTION B-B
SCALE: 1/4"=1'-0"

EXCLUSIVE DESIGN GROUP

3800 LA CRESCENTA AVE. suite 104
LA CRESCENTA, CA 91214
818-429-3373
ArisArtunyan@gmail.com

SUBMITTAL:		DATE:
REVISIONS:		DATE:

PROJECT NAME:

ADDITION TO EXISTING
COMMERCIAL BUILDING

PROJECT OWNER:

PROJECT ADDRESS:

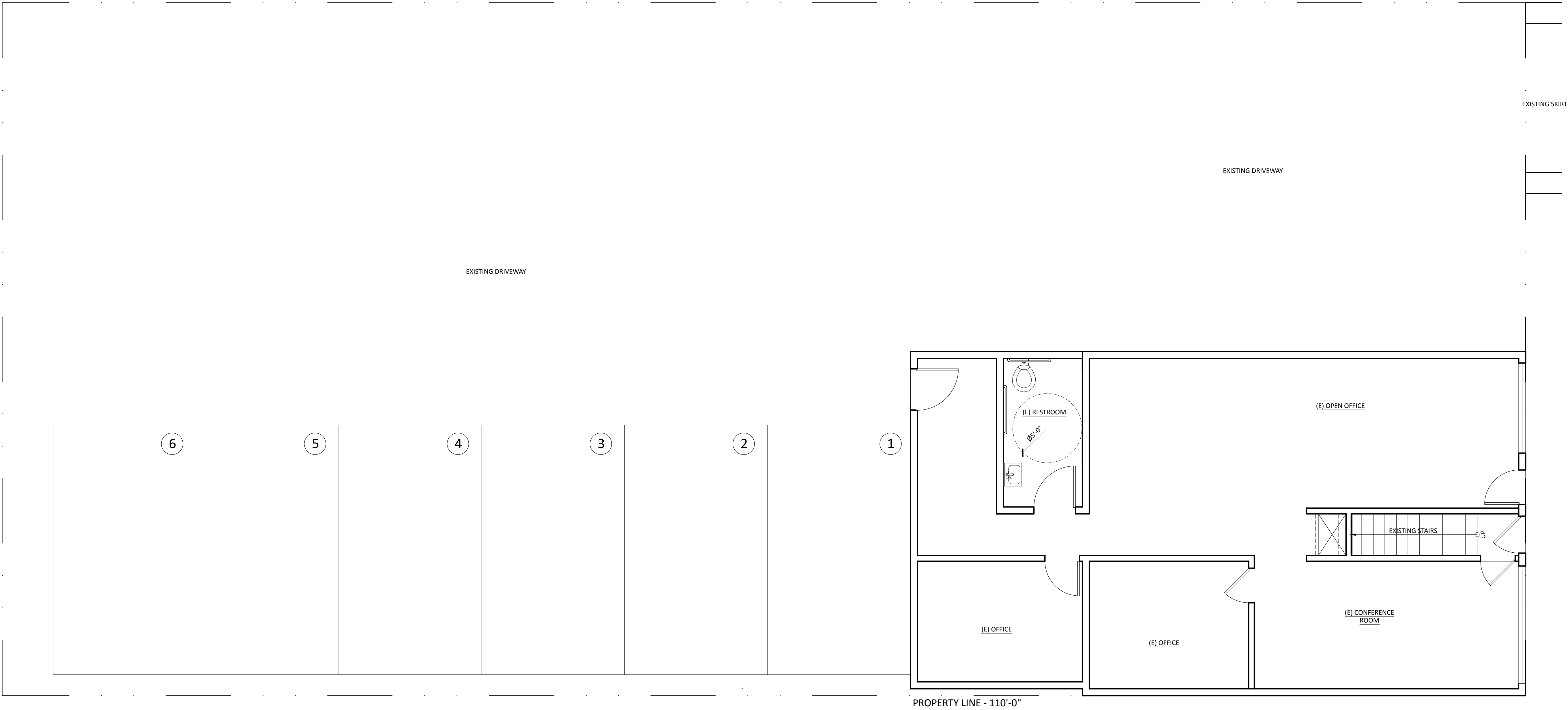
611 E. GLENOAKS BLVD.
GLENDALE, CA 91207

DRAWING TITLE:

SECTIONS

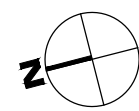
SCALE:	
1/4"=1'-0"	
DATE:	
12-15-2020	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:

A-4.01



EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



EXCLUSIVE DESIGN GROUP

7054 SHADYGROVE ST.
TUJUNGA, CA 91042
818-429-3373
ARISARTUNYAN@GMAIL.COM

SUBMITTAL:		DATE:	
REVISIONS:		DATE:	

PROJECT NAME:

ADDITION TO EXISTING
COMMERCIAL BUILDING

PROJECT OWNER:

PROJECT ADDRESS:

611 E. GLENOAKS BLVD.
GLENDALE, CA 91207

DRAWING TITLE:

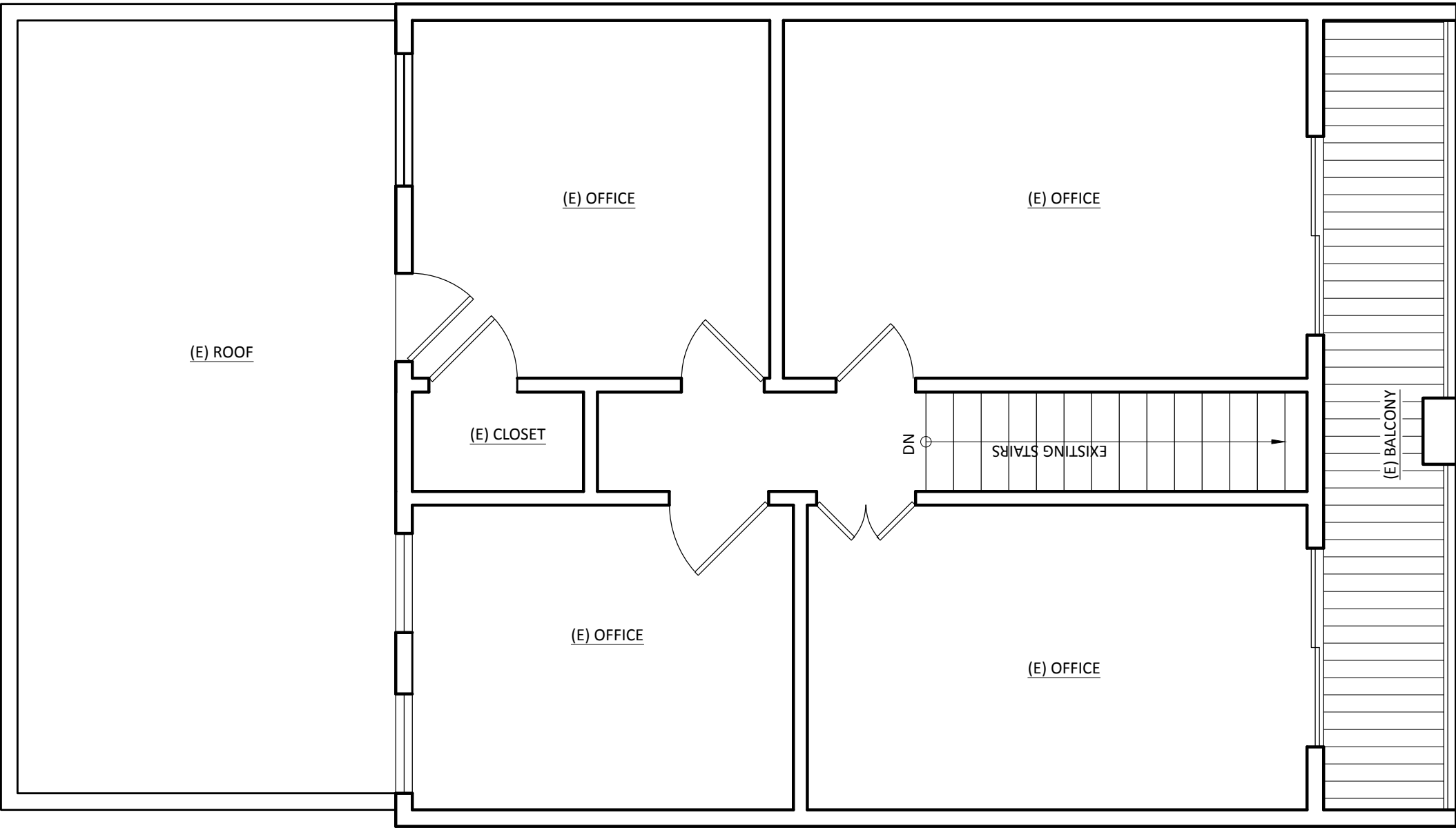
EXISTING FIRST LEVEL
FLOOR PLAN

SCALE: 1/4"=1'-0"	
DATE: 6-7-2018	
DRAWN BY:	
JOB NUMBER:	

REVIEWED:

DRAWING NUMBER:

AE-2.01



EXISTING SECOND LEVEL FLOOR PLAN 

SCALE: 1/4"=1'-0"

EXCLUSIVE DESIGN GROUP

7054 SHADYGROVE ST.
TUJUNGA, CA 91042
818-429-3373
ARISARTUNYAN@GMAIL.COM

SUBMITTAL:		DATE:
REVISIONS:		DATE:

PROJECT NAME:

ADDITION TO EXISTING
COMMERCIAL BUILDING

PROJECT OWNER:

PROJECT ADDRESS:

611 E. GLENOAKS BLVD.
GLENDALE, CA 91207

DRAWING TITLE:

EXISTING SECOND LEVEL
FLOOR PLAN

SCALE: 1/4"=1'-0"	
DATE: 6-7-2018	
DRAWN BY:	
JOB NUMBER:	
REVIEWED:	DRAWING NUMBER:

AE-2.02

PROJECT INFORMATION

**611 E. GLENOAKS BLVD
GLENDALE, CA.**

PHOTO SURVEY
SHEET 1 OF 14



1

SUBJECT PROPERTY: 611 E GLENOAKS BLVD
SOUTH ELEVATION



1

SUBJECT PROPERTY: 611 E GLENOAKS BLVD
WEST ELEVATION (LOOKING SOUTH-WEST)

PROJECT INFORMATION

611 E. GLENOAKS BLVD
GLENDALE, CA.

PHOTO SURVEY
SHEET 2 OF 14



1

SUBJECT PROPERTY: 611 E GLENOAKS BLVD
LOOKING NORTH TO REAR OF THE PROPERTY



1

SUBJECT PROPERTY: 611 E GLENOAKS BLVD
SOUTH ELEVATION







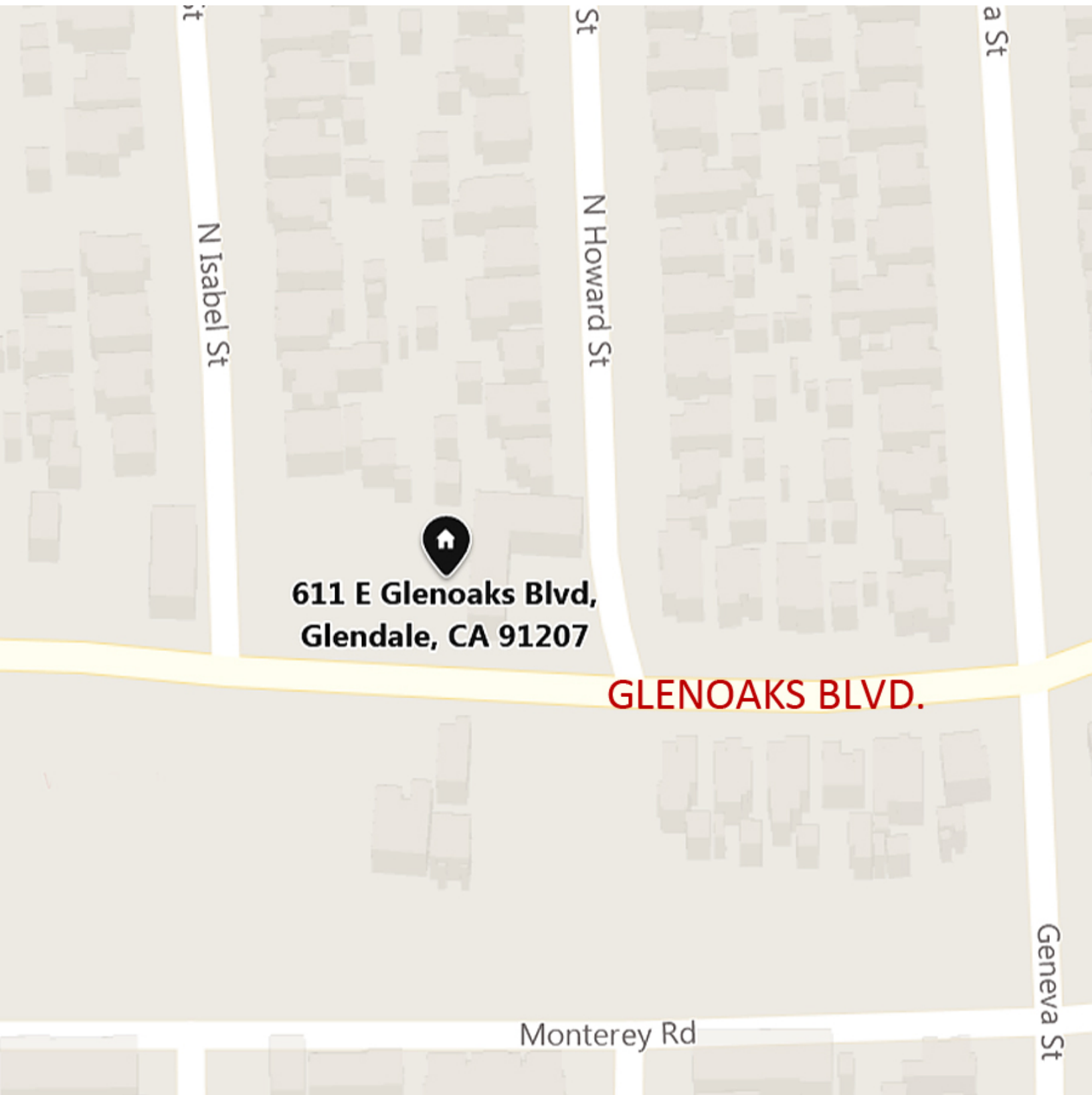












611 E Glenoaks Blvd,
Glendale, CA 91207

GLENOKS BLVD.

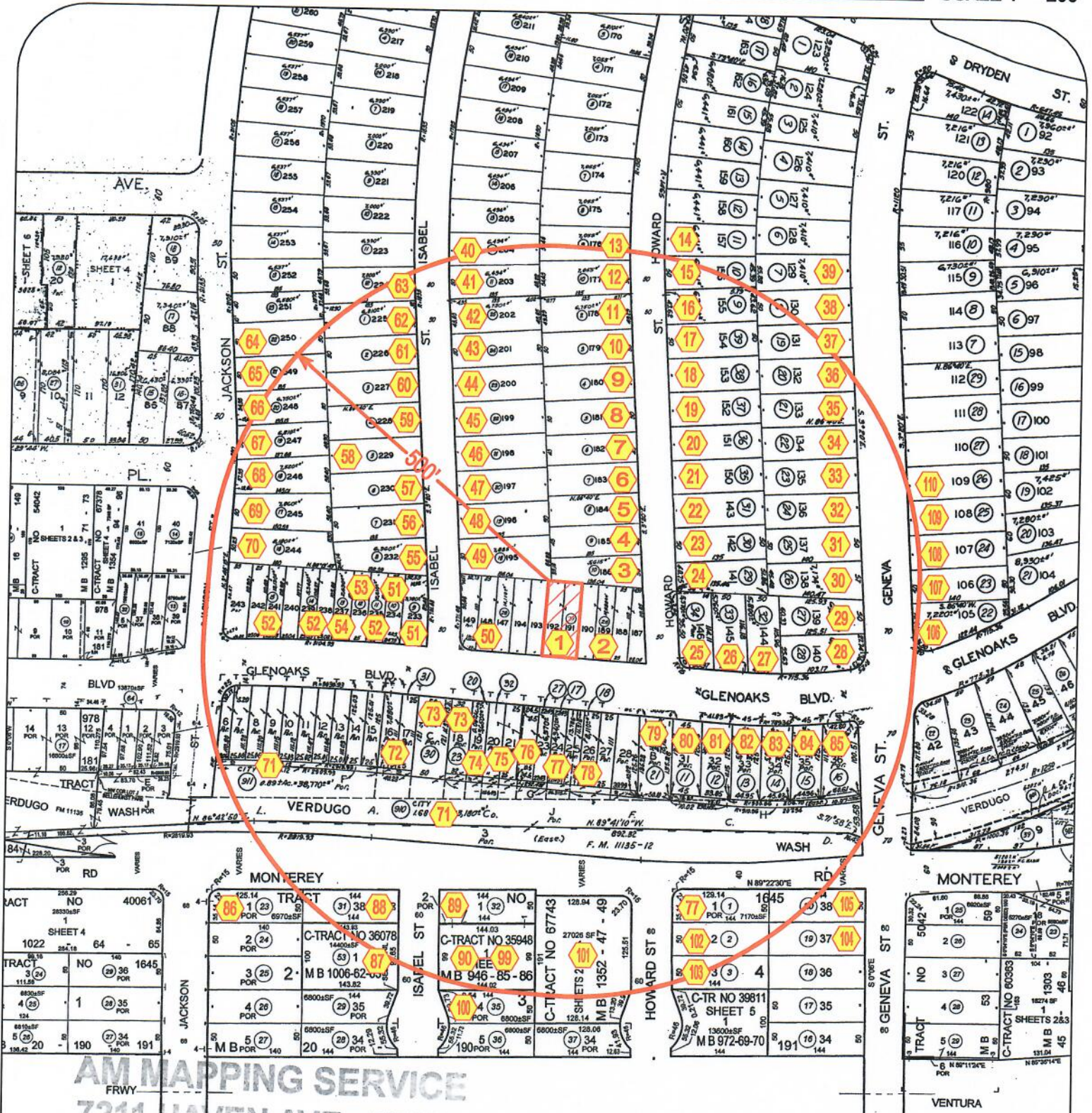
PROJECT INFORMATION

611 E. GLENOAKS BLVD
GLENDALE, CA.
18-166

OWNERSHIP
& OCCUPANTS
MAP



SCALE 1" = 200'



AM MAPPING SERVICE
7211 HAVEN AVE., #E375
ALTA LOMA, CA 91701
626-403-1803 • 909-466-7596

RTE 134

FRWY

The map displays a grid of land parcels with various lot numbers and street names. A large red circle with a dashed line indicates a 500-foot radius centered on a specific pink-shaded lot labeled 'SUBJECT PROPERTY'. The streets shown include Jackson Street, Howard Street, Geneva Street, Glenoaks Street, Arroyo Street, and Monterey Street. The map also identifies several tracts and blocks, such as Tract No. 1645, Tract No. 35948, and Tract No. 39811. The subject property is located within a block bounded by Glenoaks Street to the north, Arroyo Street to the south, and Howard Street to the east. The map includes numerous lot numbers and dimensions, providing a detailed view of the local land ownership and street layout.