



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

February 16, 2023

Decision Date

1625 Cumberland

Address

Administrative Design Review (ADR)

Review Type

5632-016-002

APN

PADR-000521-2022

Case Number

Nareg Khodadadi

Applicant

Chloe Cuffel, Planning Associate

Case Planner

Maral Honanian and Carlo Honanian

Owner

Project Summary

The project proposes a new second-story, 550 square-foot addition to an existing one-story, 2,196 square-foot single-family residence (originally constructed in 1956) with an attached two-car garage located on a 12,230 square-foot lot. The project proposes to convert the existing 734 square-foot garage into living space and construct a new, 500 square-foot two-car attached garage; the new 550 square-foot second story addition will be constructed above the new garage. The total combined floor area for the existing house including proposed additions and conversions will be 3,499 square feet.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square feet of floor area.

Existing Property/Background

Originally developed in 1956, the project site is a 12,230 square-foot lot with frontage on Cumberland Terrace. The existing dwelling is a 2,196 square-foot single-family residence with an attached two-car garage. The lot has a 4.3% slope, giving the appearance of a lower-level garage on the western side. Access to the existing garage from a driveway located along Cumberland Terrace will be maintained. The project site also features an existing swimming pool and an attached 265 square-foot covered patio, to remain. A detached covered patio will be removed.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R1R – FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	19,016 sq. ft.	9,559 sq. ft. – 36,300 sq. ft.	12,230 sq. ft.
Setback	26 feet	10 feet – 83feet	11 feet
House size	2,802	1,666 sq. ft. – 5,400 sq. ft.	2,196 sq. ft.
Floor Area Ratio	0.15	0.08 – 0.26	0.18
Number of stories	15 homes are 1-story & 5 homes are 2-stories	1 to 2-stories	1-story

DESIGN ANALYSIS**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Setbacks of buildings on site
- ☐ Prevailing setbacks on the street
- ☐ Building and decks follow topography
- ☐ Alteration of landform minimized

Yards and Usable Open Space

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Avoid altering landform to create flat yards
- ☐ Outdoor areas integrated into open space
- ☐ Use of retaining walls minimized
- ☐ Provide landscaping to reduce visual impact of retaining walls
- ☐ Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent with predominant pattern on street
- ☐ Compatible with primary structure
- ☐ Permeable paving material
- ☐ Decorative paving

Landscape Design (Existing Landscaping to Remain)

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Complementary to building design and surrounding site
- ☐ Maintains existing trees when possible
- ☐ Maximizes permeable surfaces
- ☐ Appropriately sized and located

Walls and Fences

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate style/color/material
- ☐ Perimeter walls treated at both sides
- ☐ Retaining walls minimized
- ☐ Appropriately sized and located
- ☐ Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The site plan remains relatively unchanged; the project features a 550 square-foot addition at the front of the house, above a new 525 square foot two-car attached garage, facing Cumberland Terrace. The existing 734 square-foot garage will be converted to livable space at the rear of the dwelling unit.
- The addition at the front is setback from the existing attached 2-car garage, will have minimal visibility, and will bring the living area closer to the street.

- A detached covered patio will be removed. No other landscaping or site plan changes are proposed.
- A new three-foot high retaining wall along the driveway is proposed. The wall is code-compliant and will use decorative materials.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate proportions and transitions
- ☐ Impact of larger building minimized

Building Relates to Existing Topography

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Form and profile follow topography
- ☐ Alteration of existing land form minimized
- ☐ Retaining walls terrace with slope

Consistent Architectural Concept

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Concept governs massing and height

Scale and Proportion

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Scale and proportion fit context
- ☐ Articulation avoids overbearing forms
- ☐ Appropriate solid/void relationships
- ☐ Entry and major features well located
- ☐ Avoids sense of monumentality

Roof Forms

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Roof reinforces design concept
- ☐ Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions, and architectural concept of the project are consistent with the existing residence and proposed style change.
- The immediate neighborhood features a combination of one- and two- story single-family residences. The subject property will become two-stories, but with appropriate massing for the existing home and the neighboring properties.
- The addition features a gable-roof design with a 4.5:12 pitch that is consistent with the roof plan of the existing house.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consistent architectural concept
- ☐ Proportions appropriate to project and surrounding neighborhood
- ☐ Appropriate solid/void relationships

Entryway

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Well integrated into design
- ☐ Avoids sense of monumentality
- ☐ Design provides appropriate focal point
- ☐ Doors appropriate to design

Windows

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Appropriate to overall design
- ☐ Placement appropriate to style
- ☐ Recessed in wall, when appropriate

Privacy

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Consideration of views from “public” rooms and balconies/decks
- ☐ Avoid windows facing adjacent windows

Finish Materials and Color

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Textures and colors reinforce design
- ☐ High-quality, especially facing the street
- ☐ Respect articulation and façade hierarchy
- ☐ Wrap corners and terminate appropriately
- ☐ Natural colors appropriate to hillside area

Paving Materials

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Decorative material at entries/driveways
- ☐ Permeable paving when possible
- ☐ Material and color related to design

Lighting, Equipment, Trash, and Drainage

☒ **yes** ☐ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Light fixtures appropriately located/avoid spillover and over-lit facades
- ☐ Light fixture design appropriate to project
- ☐ Equipment screened and well located
- ☐ Trash storage out of public view
- ☐ Downspouts appropriately located
- ☐ Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

☐ **yes** ☒ **n/a** ☐ **no**

If “no” select from below and explain:

- ☐ Design consistent with primary structure
- ☐ Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition's design and detailing are compatible with the proposed contemporary Ranch style of the house through the use of architectural treatments, materials, windows, and colors.
 - The new windows for the addition are fiberglass, with a combination of single-hung, casement and fixed operations. The windows on the rest of the house are proposed to remain as existing.
 - The addition will feature a metal standing seam roof. The walls will be stucco with new stone cladding at the base along the front façade.
 - The proposed design and materials are compatible with the existing style of the house.
-

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

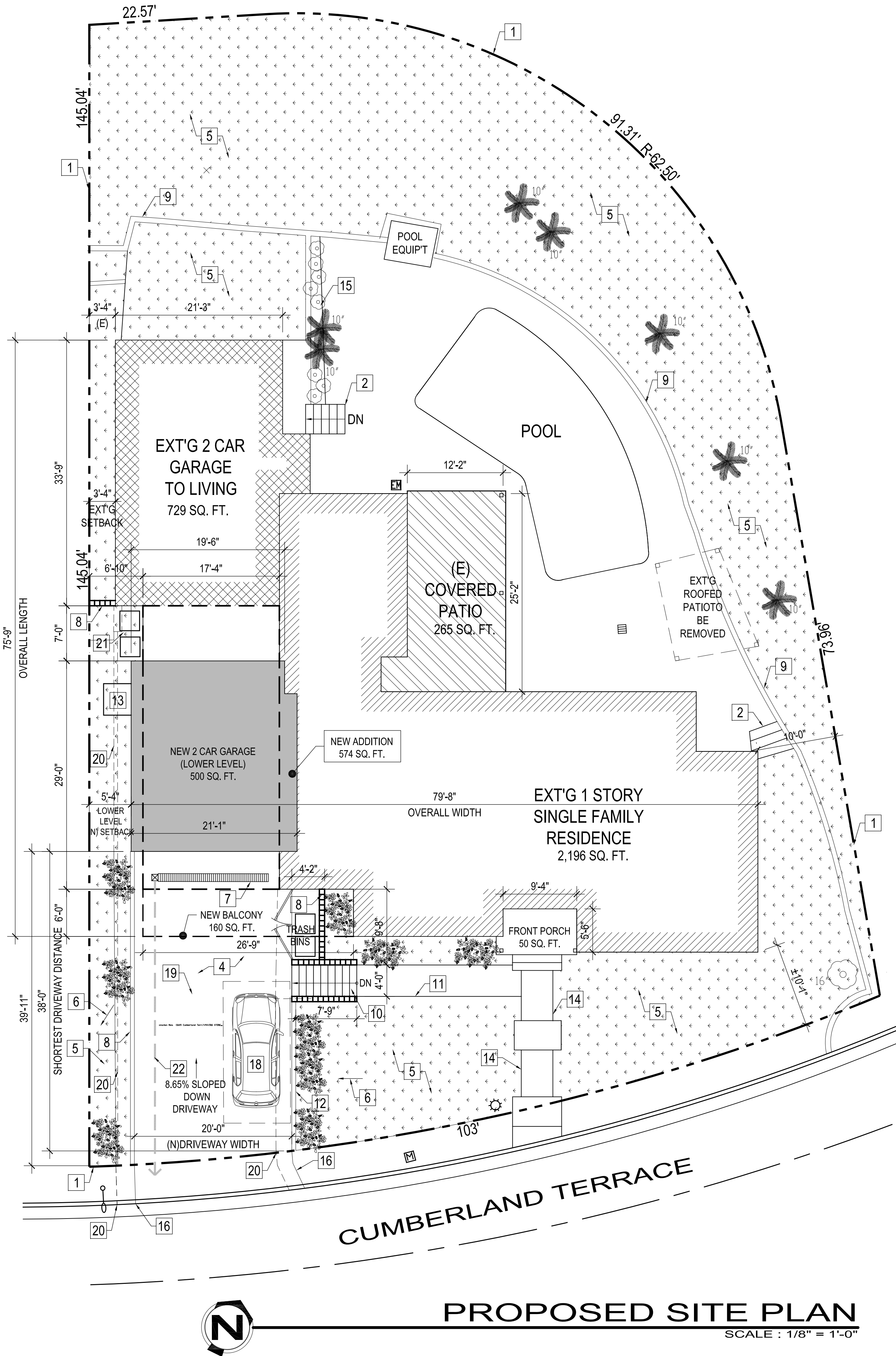
Conditions

1. That the new retaining wall proposed at the front of the property be constructed with decorative building material per the Zoning Code for staff review and approval.
-

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey

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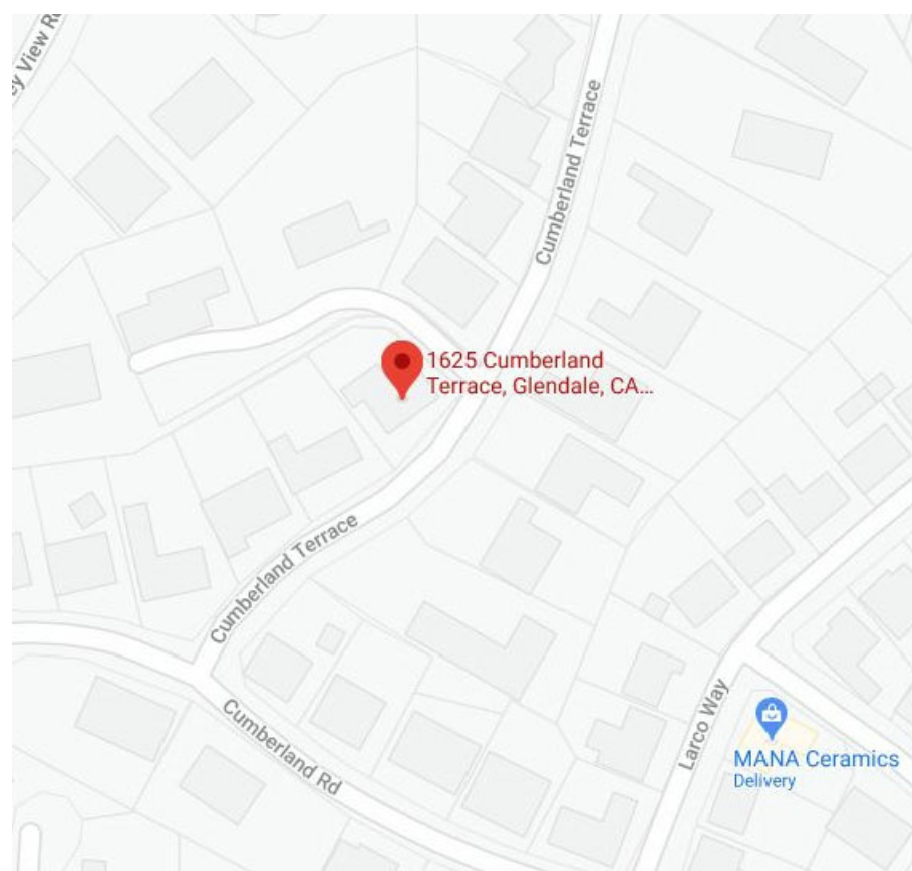


RESIDENTIAL REMODEL AND ADDITION

HONANIAN RESIDENCE

1625 CUMBERLAND TER. GLENDALE, CA 91202

SITE MAP



SHEET INDEX

ARCHITECTURAL SHEETS:

A0.1	COVER SHEET & NEW SITE PLAN	A3.0	EXT'G & NEW SOUTH FRONT ELEVATIONS
A0.2	EXT'G SITE PLAN & AREA VIEWS	A3.1	EXT'G & NEW WEST SIDE ELEVATIONS
A0.3	NEIGHBORING PROPERTIES	A3.2	EXT'G & NEW NORTH REAR ELEVATIONS
A0.4	GREEN NOTES & SECURITY NOTES	A3.4	EXT'G & NEW EAST SIDE ELEVATIONS
A2.0	EXT'G FLOOR PLAN	A4.0	SECTIONS AA & BB
A2.1	EXT'G ROOF PLAN	A4.1	SECTIONS CC & DD
A2.2	DEMOLITION PLAN	A4.2	DETAILS
A2.3	PROPOSED NEW LOWER PLAN DOOR & WINDOW SCHEDULE		
A2.4	PROPOSED NEW UPPER MAIN PLAN		
A2.5	NEW ROOF PLAN		

TITLE 24 SHEETS:

T1	TITLE 24
T2	TITLE 24

ENGINEERING SHEETS:

S1	GENERAL NOTES
S2	DETAILS
S3	FRAMING & FOUNDATION PLAN
S4	DETAILS

SITE PLAN KEYED NOTES

- PROPERTY LINE
- EXT'G CONCRETE STEPS (PER SURVEY)
- NEW GARAGE / LOWER LEVEL ADDITION
- NEW CONCRETE DRIVEWAY (7% SLOPED DOWN)
- EXT'G LANDSCAPING TO REMAIN
- MIN 2% SHEET FLOW
- NEW METAL TRENCH DRAIN W/ BUILT-IN SUMP-PUMP
- NEW PLANTER WALL / DRIVEWAY EDGE
- EXT'G BLOCK WALL TO REMAIN
- NEW CONCRETE STAIR
- NEW CONCRETE WALK (BY OTHERS)
- NEW 6" CONCRETE CURB
- NEW 42'x48" CONCRETE LANDING
- EXT'G CONCRETE WALK TO REMAIN
- EXT'G PLANTER
- EXT'G DRIVEWAY APRON TO REMAIN & ADJUST WIDTH (TO LINE UP W/ NEW DRIVEWAY WIDTH)
- EXT'G CONCRETE PATIO AROUND POOL
- 3RD PARKING RESERVED SPACE
- NEW LIGHTLY SHADED STONE PAVEMENT COLOR SELECTION CREATES PAVEMENT PATTERN (SELECTED BY OWNER)
- LINE OF DEMOLITION WORK ON DRIVEWAY (SEE DEMO PLAN ON A2.2)
- EXT'G / NEW AC UNIT LOCATION
- TRENCH DRAIN WATER LINE PUMPED UP TO STREET
- RETAINING WALL / TRASH ENCLOSURE

- EXT'G RESIDENCE
- NEW MAIN LEVEL ADDITION TO S.F.D.
- EXT'G GARAGE TO BE CONVERTED TO LIVING
- EXT'G COVERED PATIO
- NEW 2-CAR GARAGE / LOWER LEVEL ADDITION
- EXT'G LANDSCAPING

- EXT'G WATER METER
- EXT'G AREA LIGHT
- EXT'G STREET LIGHT
- EXT'G ELECTRICAL METER
- EXT'G AREA DRAIN
- EXT'G TREES

SCOPE OF WORK

- 250 SQ. FT. INTERIOR REMODEL (KITCHEN AREA)
- 550 SQ. FT. ADDITION (MAIN LEVEL) TO EXT'G 2,196 SQ. FT. SINGLE FAMILY DWELLING
- CONVERTING EXT'G 734 SQ. FT. GARAGE TO LIVING AREA (TOTALING S.F.D. AREA TO 3,499 SQ. FT.)
- NEW 2 CAR GARAGE 500 SQ. FT. (LOWER LEVEL)

PROJECT INFORMATION

PROJECT LOCATION 1625 CUMBERLAND TER. GLENDALE CA 91202	STRUCTURAL ENGINEER ---
PROJECT DESIGNER DESIGNNRK 213 N. ORANGE ST. UNIT: E GLENDALE, CA 91203 OFFICE : 818.823.7286 FAX : 888.424.8125 E-MAIL : INFO@DESIGNNRK.COM	OWNER HONANIAN 1625 CUMBERLAND TER. GLENDALE, CA 91202

PROJECT FLOOR PLAN AREA & DATA

LOT AREA	12,230 SQ. FT.
EXT'G RESIDENCE	*2,196 SQ. FT.
EXT'G COVERED PATIO	265 SQ. FT.
EXT'G FRONT PORCH	50 SQ. FT.
EXT'G GARAGE CONVERTED TO LIVING	*729 SQ. FT.
NEW ADDITION TO S.F.D. (MAIN FLOOR)	*574 SQ. FT.
NEW 2 CAR GARAGE / LOWER LEVEL ADDITION	500 SQ. FT.
NEW COVERED BALCONY	160 SQ. FT.
TOTAL SINGLE FAMILY DWELLING AREA	*3,499 SQ. FT.

FLOOR AREA RATIO

MAX. 40% (OF 10,000) - 4,000 SQ. FT.	TOTAL SFD AREA (3,499 SQ. FT.)	
MAX. 10% (OF 2,230) - 223 SQ. FT.	LOT AREA (12,230 SQ. FT.)	28 %
TOTAL 4,223 SQ. FT.		

LOT COVERAGE RATIO

MAX. 40% - 4,892 SQ. FT.	EXT'G RESIDENCE (2,196 SQ. FT.)	
	EXT'G GARAGE TO BE CONVERTED (729 SQ. FT.)	
	EXT'G COVERED PATIO (265 SQ. FT.)	
	EXT'G FRONT PORCH (50 SQ. FT.)	
	MAIN LEVEL ADDITION TO SFD (574 SQ. FT.)	
	NEW BALCONY (160 SQ. FT.)	
	TOTAL (3,974 SQ. FT.)	
	LOT AREA (12,230 SQ. FT.)	32 %

LANDSCAPE RATIO

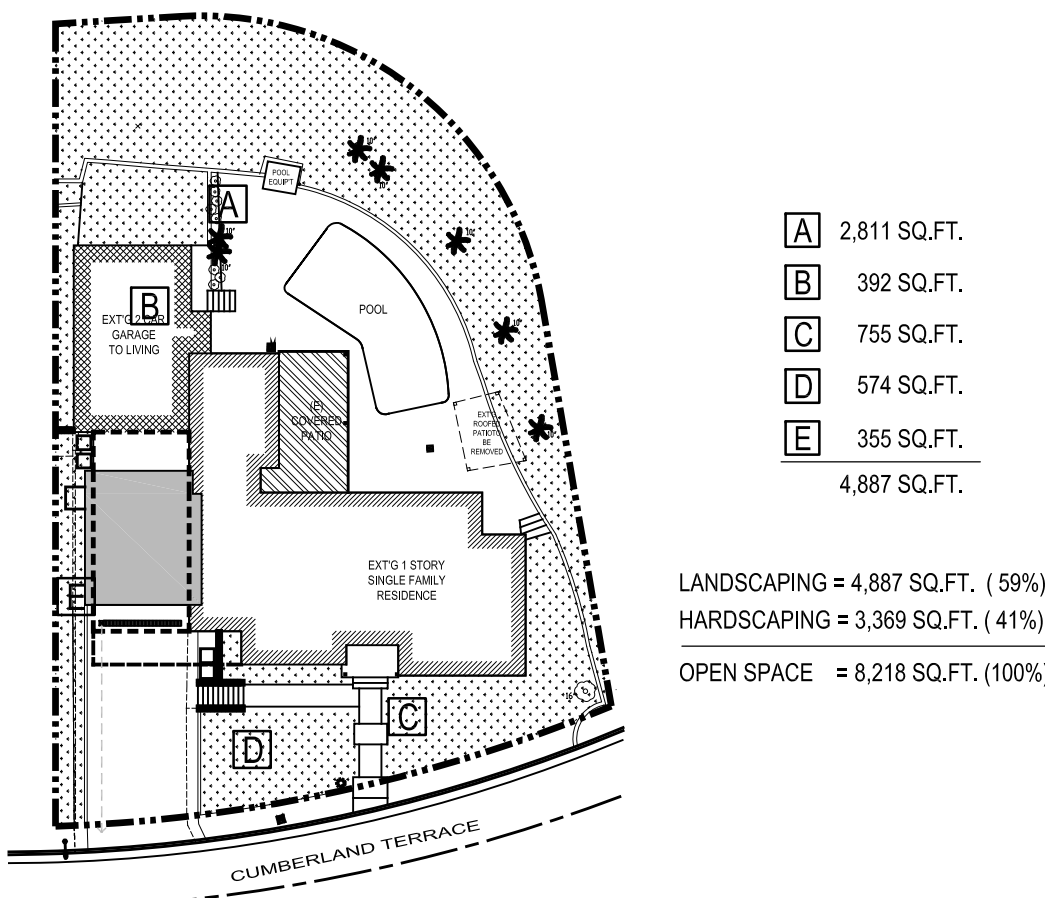
MIN. 40% - 4,892 SQ. FT.	EXT'G LANDSCAPED AREA TO REMAIN (8,218 SQ. FT.)	
	LOT AREA (12,230 SQ. FT.)	67 %

ZONING	R1R II
APN	5632-016-002
LEGAL DESCRIPTION	TRACT #19257 LOT 22
OCCUPANCY	RESIDENCE - R3 GARAGE - U
CONSTRUCTION TYPE	V-B
YEAR BUILT	1956
FIRE SPRINKLERS	NO
NUMBER OF STORIES	1
FIRE ZONE	YES
CA CLIMATE ZONE	9

APPLICABLE CODES

PROJECT SHALL COMPLY W/ THE 2019 CBC, CMC, CEC, CPC, GFD & CALIFORNIA ENERGY CODE AS WELL AS THE 2020 GLENDALE BUILDING & SAFETY CODE. CBC SECTION 106.1.1

LANDSCAPE DIAGRAM



FIRE DEPT. NOTES

- ADDRESS NUMBERS:** APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
- SMOKE DETECTORS:** SMOKE DETECTORS SHALL BE WIRED TO THE BUILDING ELECTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OTHER SMOKE DETECTORS.
- EGRESS:** ALL REQUIRED EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- CARBON MONOXIDE DETECTORS:** SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (2) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND /OR NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315

CITY OF GLENDALE PLANNING NOTES

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

NO NEW ROOFTOP EQUIPMENT ALLOWED

NOTES

- A. SEPARATE PERMIT IS REQUIRED FOR THE FOLLOWING:
- RETAINING WALL OF BLOCK FENCE WALL
 - GRADING WORK
 - SWIMMING POOL
 - A SEPARATE STRUCTURE
 - SHORING
 - DEMOLITION

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK. HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/ OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

APPLICATION FOR WHICH NO PERMIT IS ISSUED WITHIN ONE (1) YEAR FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R105.3.2.CRC) EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY OF GLENDALE'S FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.

REVISIONS:	

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COVER SHEET AND SITE PLAN

HONANIAN RESIDENCE

1625 CUMBERLAND TERR. GLENDALE CA 91202

DATE:	07/2022
DRAWN BY:	NRK
JOB NO.	20101

SHEET NO.

A0.1

[illegible]

SCALE : 1/8" = 1'-0"



△

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EXT'G SITE PLAN & AREA VIEWS

HONANIAN RESIDENCE

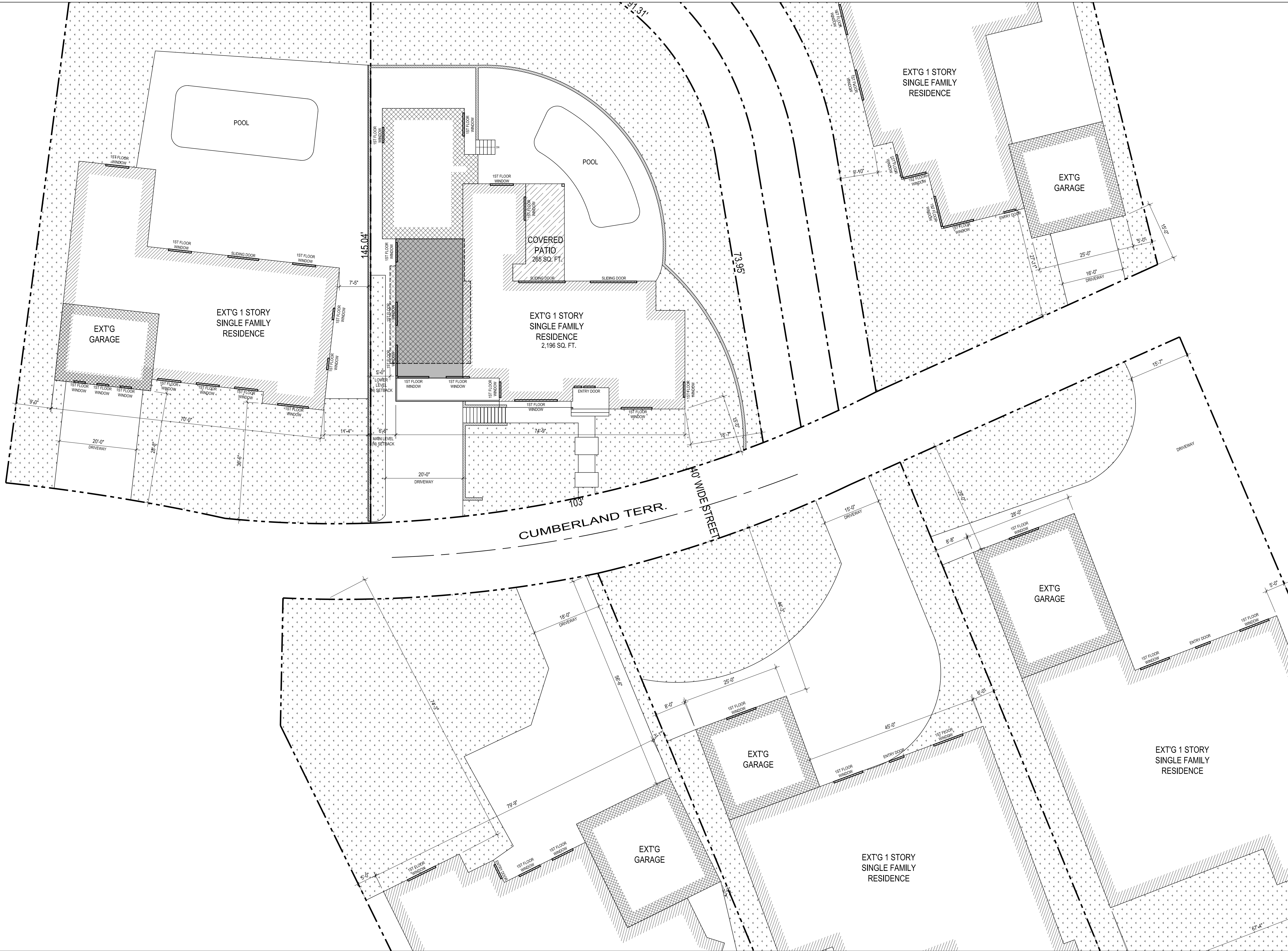
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DATE:	10/2021
DRAWN BY:	NRK
JOB NO.	20101

SHEET NO.

A0.2

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NEIGHBORHOOD MAP

HONANIAN RESIDENCE

1625 CUMBERLAND TERR, GLENDALE CA 91202

DATE:	07/2022
DRAWN BY:	NRK
JOB NO.	20101

SHEET NO.
A0.3

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EXT'G FLOOR PLAN
SCALE : 1/4" = 1'-0"

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Δ	-

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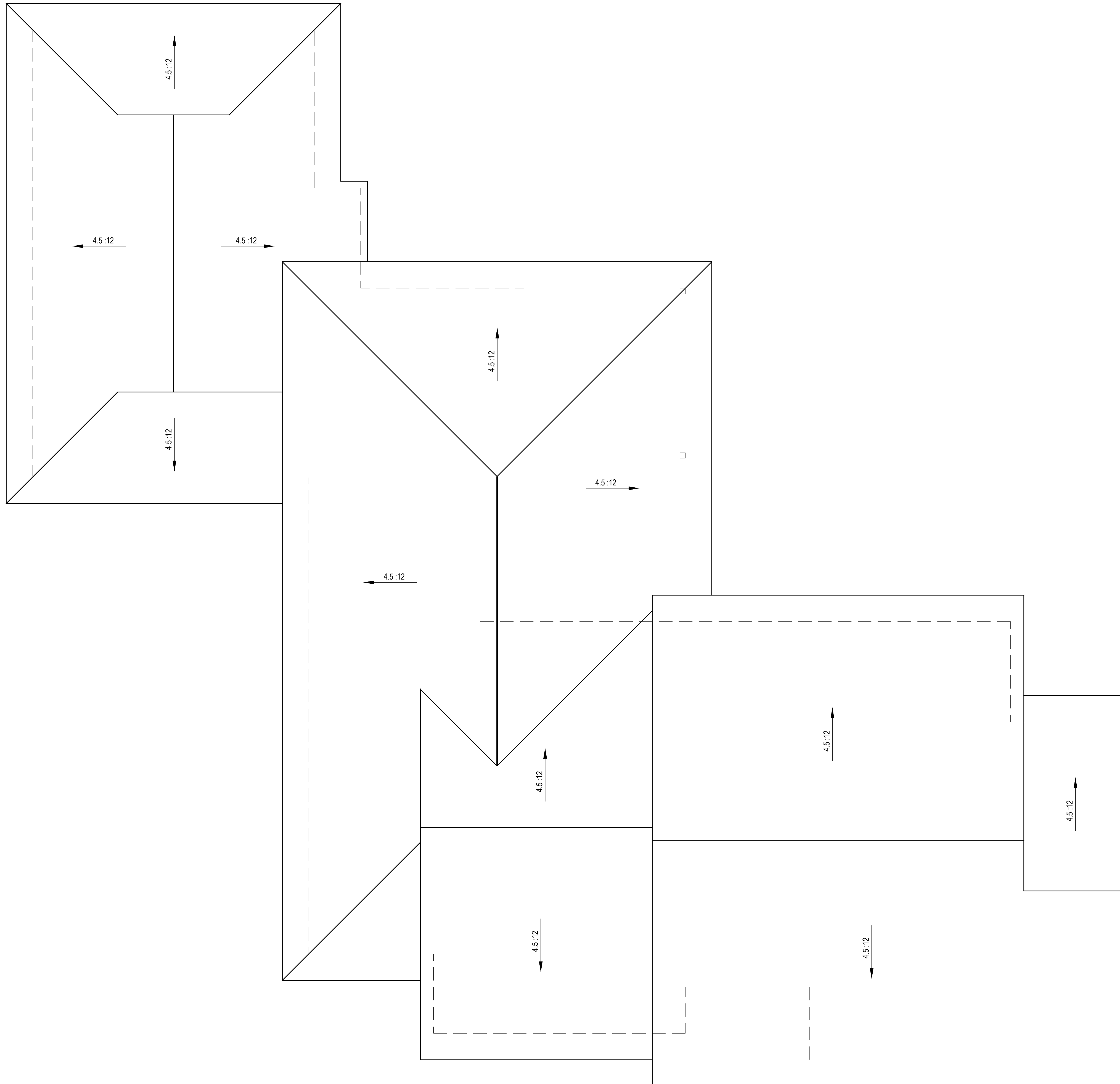
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EXT'G FLOOR PLAN

HONANIAN RESIDENCE
1625 CUMBERLAND TER. GLENDALE, CA 91202

DATE:	07/2022
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SHEET NO.
A2.0



EXT'G ROOF PLAN

SCALE : 1/4" = 1'-0"

EXISTING ROOF PLAN

HONANIAN RESIDENCE

1625 CUMBERLAND TER. GLENDALE, CA 91202

DATE:	07/2022
DRAWN BY:	NRK
JOB NO.	20101

SHEET NO.

A2.1

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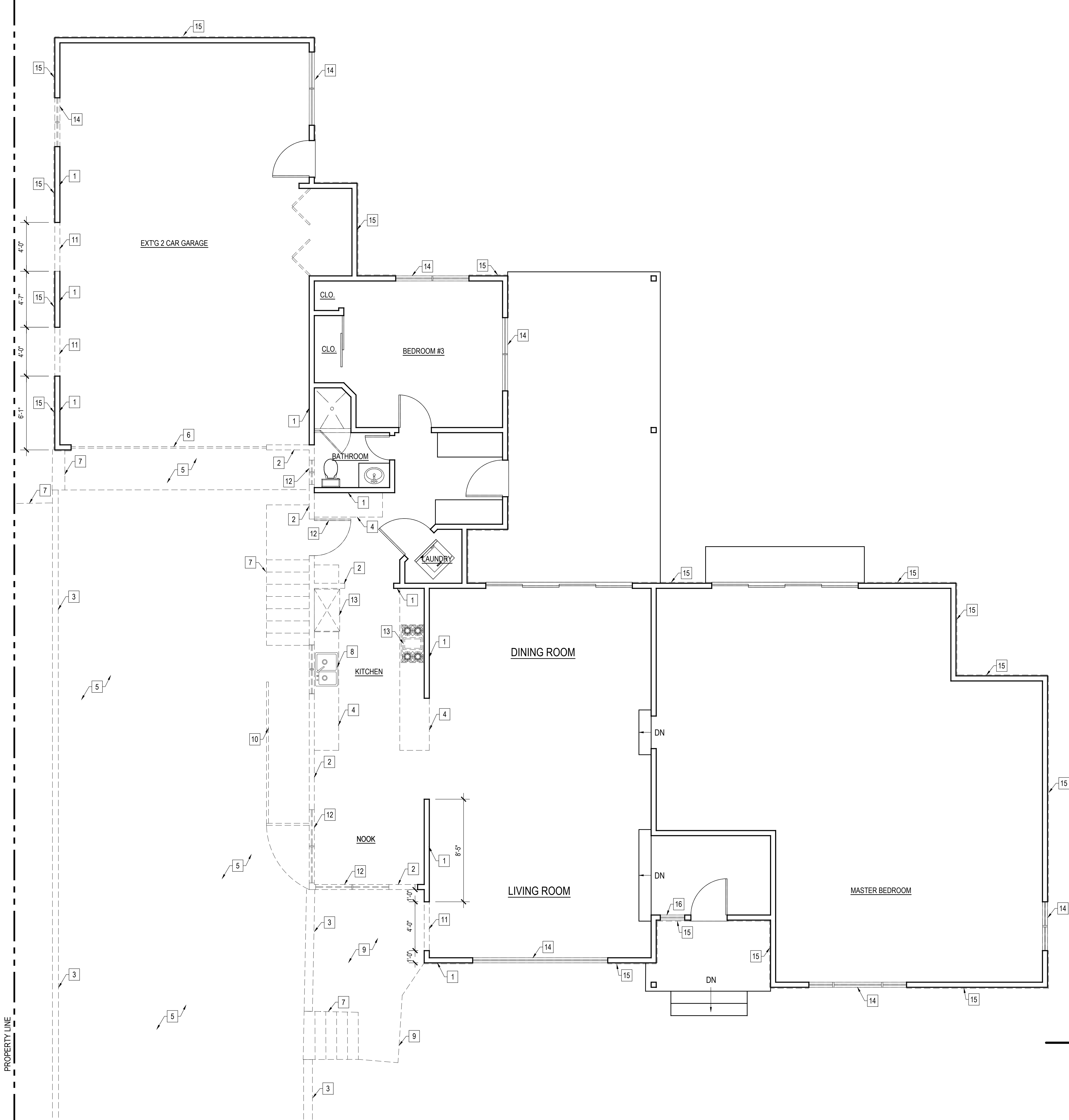


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DEMOLITION PLAN KEYED NOTES :

1. EXT'G WALL TO REMAIN
2. EXT'G WALL TO BE REMOVED
3. EXT'G RETAINING WALL TO BE REMOVED
4. EXT'G CABINETRY TO BE REMOVED
5. EXCAVATION & DIG WORK NOT MORE THAN 5'-0" DEEP OF DIRT (SEE SECTION)
6. EXT'G GARAGE DOOR TO BE REMOVED
7. EXT'G CONCRETE STAIRS/STEPS TO BE REMOVED
8. REMOVE EXT'G SINK (INCLUDES EXT'G PLUMBING SYSTEM)
9. EXT'G CONCRETE FLAT PATIO TO BE REMOVED
10. REMOVE EXT'G TRASH ENCLOSURE & CONCRETE CURB
11. OPEN WALL TO ACCEPT NEW WINDOW
12. REMOVE EXT'G DOOR & WINDOWS
13. REMOVE EXT'G APPLIANCES
14. EXT'G WINDOW TO BE REMOVED & REPLACED (SAME SIZE & TYPE)
15. SCRAPE OFF EXT'G STUCCO & WALL PREP
16. REMOVE WINDOW & CLOSE OUT OPENING

WALL / SYMBOL LEGEND

- WALLS TO REMAIN
- - - - - WALLS TO BE REMOVED

DEMOLITION PLAN

SCALE : 1/4" = 1'-0"

REVISIONS:	
Δ	-

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DEMOLITION PLAN

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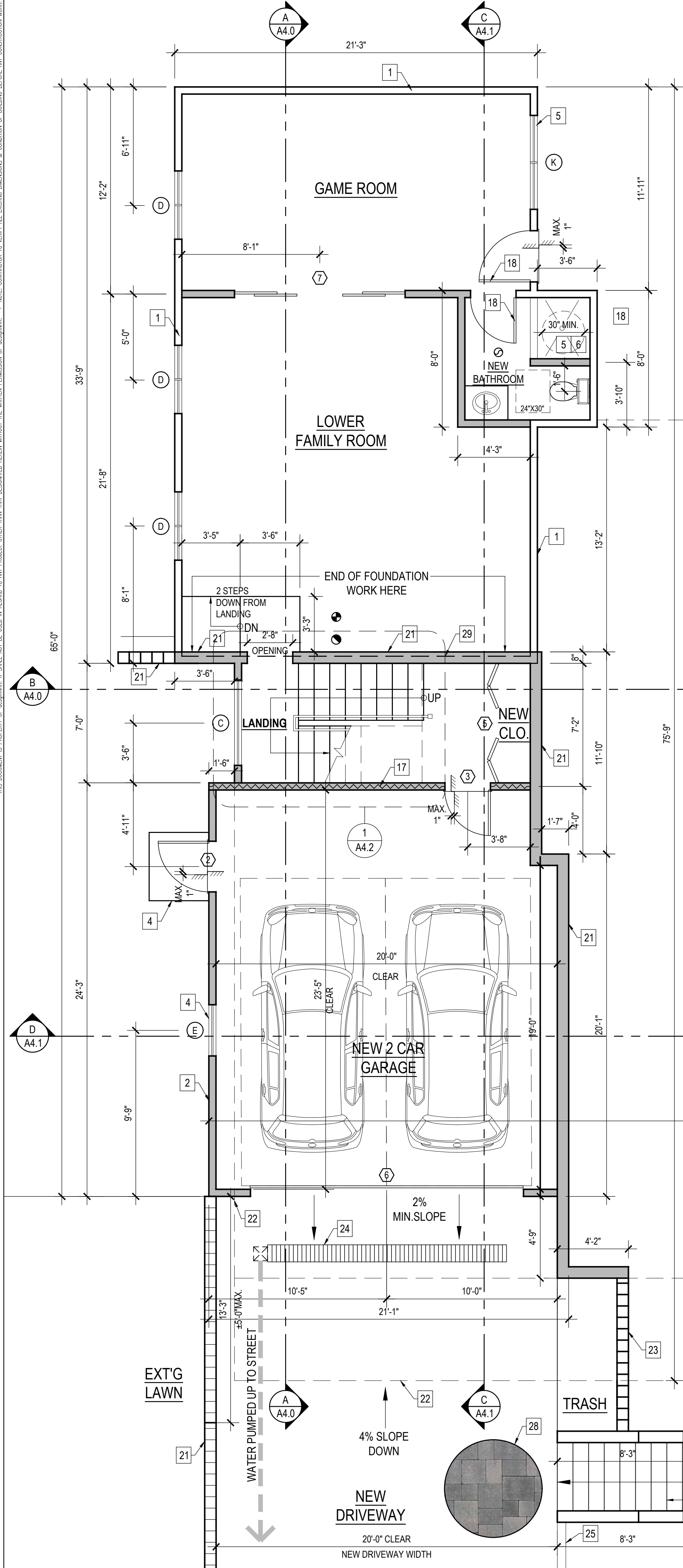
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WINDOW SCHEDULE																									
MARK	NO. OF UNIT	EXT'G SIZE		PROPOSED SIZE		EXT'G MATERIAL	NEW MATERIAL	EXT'G OPERATION	NEW OPERATION	NEW FRAME TYPE	GLAZE		BEDROOM Y/N	COLOR	VISIBLE FROM THE STREET Y/N	EXTERNAL GRID (SD) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXT'G EDGE DETAIL Y/N	NEW EDGE DETAIL	FIRE HAZARD ZONE Y/N	WINDOW WIN 18" OF FLOOR OR 40" OF DOOR Y/N	U-FACTOR	SHGC FACTOR	NOTE
		WIDTH	HEIGHT	WIDTH	HEIGHT						DUAL	TEMP													
(A)	2	—	—	6'-0"	6'-0"	—	FIBERGLASS	—	FIXED / AWNING	NAIL ON	●	●	NO	WHITE	YES	NO	—	NO	—	WOOD	YES	NO	0.29	0.23	
(B)	2	—	—	8'-0"	6'-0"	—	FIBERGLASS	—	FIXED- AWNING	NAIL ON	●	●	NO	WHITE	YES	NO	—	NO	—	WOOD	YES	NO	0.29	0.23	
(C)	1	—	—	4'-0"	6'-5"	—	FIBERGLASS	—	FIXED	NAIL ON	●	●	NO	WHITE	NO	NO	—	NO	—	WOOD	YES	NO	0.29	0.23	
(D)	3	—	—	4'-0"	4'-0"	—	FIBERGLASS	—	SLIDER	NAIL ON	●	●	NO	WHITE	NO	NO	—	NO	—	WOOD	YES	NO	0.29	0.23	
(E)	1	—	—	3'-0"	4'-0"	—	FIBERGLASS	—	DOUBLE HUNG	NAIL ON	●	●	NO	WHITE	NO	NO	—	NO	—	WOOD	YES	NO	0.29	0.23	
(F)	1	—	—	5'-0"	6'-0"	—	FIBERGLASS	—	SLIDER	NAIL ON	●	●	NO	WHITE	NO	NO	—	NO	—	WOOD	YES	NO	0.29	0.23	
(G)	1	11'-0"	5'-6"	11'-0"	5'-6"	ALUMINUM	FIBERGLASS	FIXED	FIXED	NAIL ON	●	●	NO	WHITE	YES	NO	NO	YES	NO	WOOD	YES	NO	0.29	0.23	
(H)	1	8'-0"	4'-0"	8'-0"	4'-0"	ALUMINUM	FIBERGLASS	COMBINATION FIXED/SLIDER	COMBINATION FIXED/SLIDER	NAIL ON	●	●	NO	WHITE	YES	NO	NO	YES	NO	WOOD	YES	NO	0.29	0.23	
(I)	1	4'-0"	2'-0"	4'-0"	2'-0"	ALUMINUM	FIBERGLASS	SLIDER	SLIDER	NAIL ON	●	●	NO	WHITE	NO	NO	NO	YES	NO	WOOD	YES	NO	0.29	0.23	
(J)	2	6'-0"	4'-0"	6'-0"	4'-0"	ALUMINUM	FIBERGLASS	SLIDER	SLIDER	NAIL ON	●	●	YES	WHITE	NO	NO	NO	YES	NO	WOOD	YES	NO	0.29	0.23	
(K)	1	6'-0"	4'-0"	6'-0"	4'-0"	ALUMINUM	FIBERGLASS	SLIDER	SLIDER	NAIL ON	●	●	NO	WHITE	NO	NO	NO	YES	NO	WOOD	YES	NO	0.29	0.23	

WINDOW NOTE:

EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN, RATED PER. TITLE-24 CALCULATIONS - ALL GLAZING TO HAVE NON-METAL FRAMES. PER. TITLE-24 - ALL GLAZING WILL HAVE EXTERIOR SHADING DEVICES, VIA BUG SCREENS PER. SHGC IN THE CALCULATIONS. BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 s.f., A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" MAXIMUM ABOVE THE FINISH FLOOR.

PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS. (6304.1)

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL THE FINAL INSPECTION HAS BEEN COMPLETED



WINDOW (C) TO BE REPLACED. SIZE TO REMAIN

DOOR SCHEDULE										
MARK	NO. OF UNIT	DOOR				GLAZE		FINISH	NOTES	
		WD	HGT	THK	DUAL	DUAL	TEMP			
(1)	1	2'-8"	6'-8"	1 3/4"	●	●		PAINTED	BALCONY DOOR	
(2)	1	3'-0"	6'-8"	1 3/4"				PAINTED	EXTERIOR DOOR	
(3)	1	2'-8"	6'-8"	1 3/8"				PAINTED	20-MIN FIRE-RATED, SELF-CLOSING, SELF-LATCHING	
(4)	2	2'-8"	6'-8"	1 3/8"				PAINTED	INTERIOR DOOR	
(5)	1	6'-0"	6'-8"	1 3/8"				PAINTED	BIFOLD DOORS	
(6)	1	16'-0"	7'-0"	1 3/4"	●	●		PAINTED	GARAGE DOOR	
(7)	1	10'-0"	6'-8"	1 3/8"	●	●		PAINTED	INTERIOR SLIDER	

FLOOR PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

- EXT'G WALLS TO REMAIN
- NEW 2"x STUD WALLS
- PROVIDE NEW VENT TO OUTSIDE
- NEW WINDOW (SEE SCHEDULE)
- 30" MIN. CLEAR SHOWER CLEARANCE
- TILE 3-WALLS TO CEILING
- NEW STAIRCASE WITH RAILING
- NEW CONCRETE LANDING
- EXT'G STEPS TO REMAIN
- NEW WASHER AND DRYER
- NEW BASE AND UPPER CABINETS
- NEW DOUBLE SINK
- NEW RANGE
- NEW REFRIGERATOR
- RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
- NEW ISLAND
- NEW 1-HOUR FIRE RATED WALL
- EXT'G DOOR TO REMAIN
- NEW GUARDRAIL (MIN. 42" HT.)
- NEW CONCRETE STAIR (TYP. T=11", R=7.75" MAX.)
- NEW STEPPED RETAINING WALL (SEE FOUNDATION PLAN)
- OUTLINE OF NEW MAIN FLOOR & BALCONY ABOVE
- NEW 6'-0" RETAINING WALL FOR TRASH ENCLOSURE
- NEW METAL TRENCH DRAIN W/ BUILT-IN SUMP PUMP
- NEW 6" CONCRETE CURB
- NEW CONCRETE WALK
- PROVIDE EMERGENCY DRAIN UNDER WASHER
- NEW LIGHTLY SHADED STONE PAVERS (S.B.O.)
- LINE OF EXT'G GARAGE WALL ABOVE TO REMAIN

WALL / SYMBOL LEGEND

- NEW WALL
- WALLS TO REMAIN
- EXT'G WALL TO BE REMOVED
- FIRE RATED WALL
- 5/8" TYPE 'X' GYP. BOARD ON THE GARAGE SIDE
- EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CEILING HEIGHTS
- WATER CLOSET CLEARANCE

PROPOSED LOWER FLOOR PLAN

SCALE : 1/4" = 1'-0"

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PROPOSED NEW LOWER LEVEL FLOOR PLAN & DW SCHEDULE

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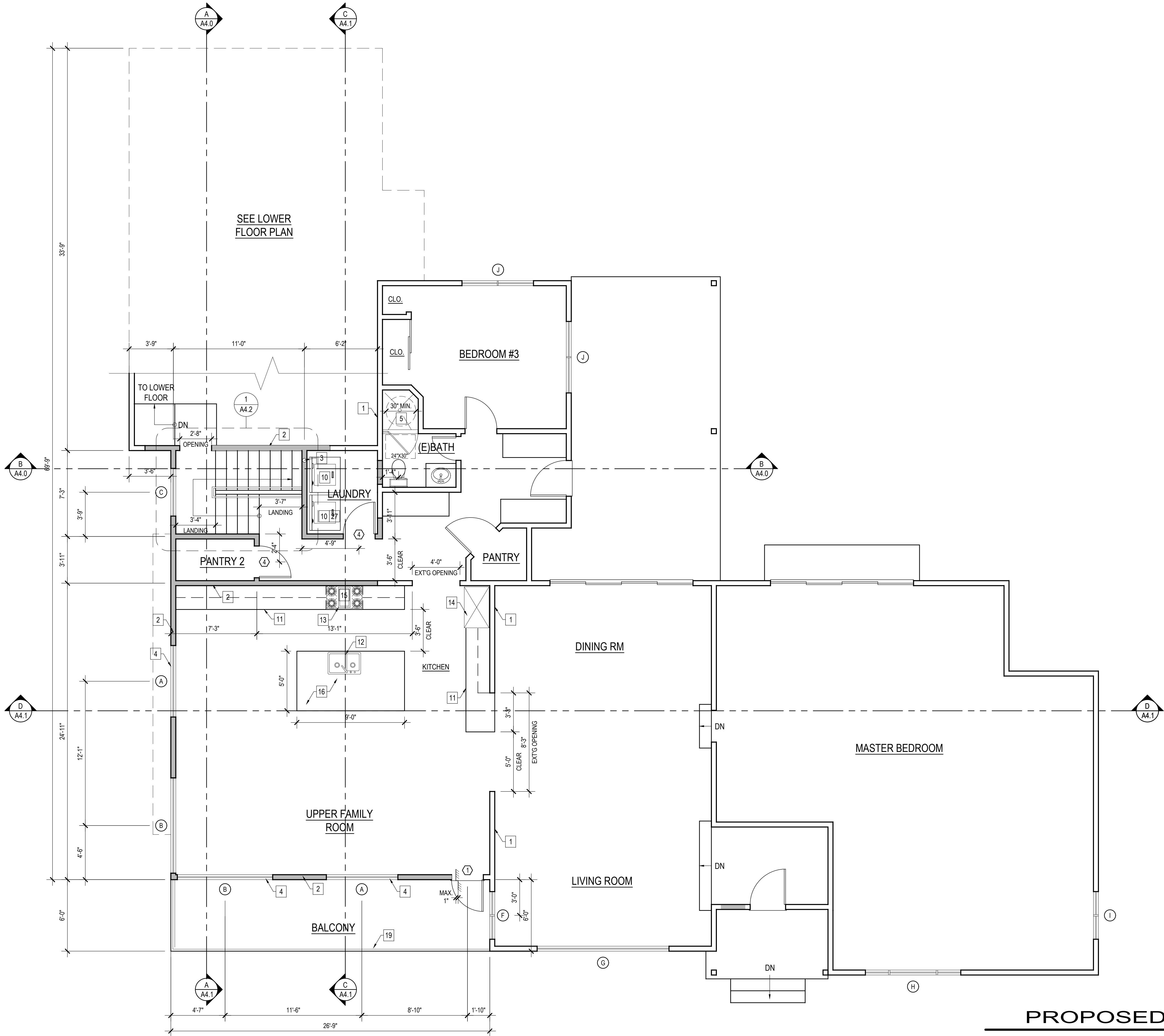
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FLOOR PLAN KEYED NOTES :
(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. EXT'G WALLS TO REMAIN
2. NEW 2"x STUD WALLS
3. PROVIDE NEW VENT TO OUTSIDE
4. NEW WINDOW (SEE SCHEDULE)
5. 30" MIN. CLEAR SHOWER CLEARANCE
6. TILE 3-WALLS TO CEILING
7. NEW STAIRCASE WITH RAILING
8. NEW LANDING WITH STEPS
9. EXT'G STEPS TO REMAIN
10. NEW WASHER AND DRYER
11. NEW BASE AND UPPER CABINETS
12. NEW DOUBLE SINK
13. NEW RANGE
14. NEW REFRIGERATOR
15. RANGE EXHAUST FAN (S.B.O.) MIN. 100 CFM
16. NEW ISLAND
17. NEW 1-HOUR FIRE RATED WALL
18. EXT'G DOOR TO REMAIN
19. NEW GUARDRAIL (MIN. 42" HT.)
20. NEW CONCRETE STAIR (TYP. T=11", R=7.75" MAX.)
21. NEW RETAINING WALL (SEE FOUNDATION PLAN)
22. OUTLINE OF NEW MAIN FLOOR & BALCONY ABOVE
23. NEW 6'-0" RETAINING WALL FOR TRASH ENCLOSURE
24. NEW METAL TRENCH DRAIN
25. NEW 6" CONCRETE CURB
26. NEW CONCRETE WALK (BY OTHERS)
27. PROVIDE EMERGENCY DRAIN UNDER WASHER

- WALL / SYMBOL LEGEND
- NEW WALL
 - WALLS TO REMAIN
 - EXT'G WALL TO BE REMOVED
 - FIRE RATED WALL
 - 5/8" TYPE 'X' GYP. BOARD ON THE GARAGE SIDE
 - EXHAUST FAN CAPABLE OF PROVIDING 5 COMPLETE AIR CHANGES PER HOUR - 50 CFM
 - CARBON MONOXIDE DETECTOR
 - SMOKE DETECTOR SHALL BE INTERCONNECTED HARD-WIRED W/ BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
 - CEILING HEIGHTS
 - WATER CLOSET CLEARANCE

- NEW WATER FIXTURE NOTES
- EFFECTIVE JANUARY 1 2014, AS A CONDITION OF FINAL PERMIT APPROVAL BY BUILDING & SAFETY THE PERMIT APPLICANT SHALL REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES W/ WATER CONSERVING PLUMBING FIXTURE (SENATE BILL 407)
- NON-COMPLIANT PLUMBING FIXTURES ARE DEFINED AS :
- A) ANY TOILET MANUFACTURED TO USE MORE THAN 1.28 GALLONS PER FLUSH.
 - B) ANY URINAL MANUFACTURED TO USE MORE THAN 1.0 GALLONS PER FLUSH.
 - C) ANY SHOWER HEAD MANUFACTURED TO FLOW MORE THAN 2.0 GALLONS / MIN.
 - D) ANY INTERIOR FAUCET MANUFACTURED TO FLOW MORE THAN 1.8 GALLONS / MIN.
 - E) ANY LAVATORY FAUCETS ARE TO FLOW MORE THAN 1.5 GALLONS / MIN.

- TITLE-24 ENERGY REQUIREMENTS
- GARAGES, LAUNDRY OR UTILITY ROOMS MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND CONTROLLED BY AN OCCUPANT SENSOR.
- BEDROOMS, LIVING ROOMS, FAMILY ROOMS, AND OTHER ROOMS USED FOR LIVING AND SLEEPING MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, OR AN OCCUPANT SENSOR, OR DIMMERS MAY BE INSTALLED.
- EXTERIOR LIGHTING MUST BE FLUORESCENT OR HIGH EFFICACY, OR AN OCCUPANT SENOR WITH AN INTEGRAL PHOTO CONTROL MAY BE INSTALLED.
- 100% OF THE LUMINARIES IN A KITCHEN MUST BE FLUORESCENT OR HIGH EFFICACY.
- INSULATION TYPES :
EXTERIOR WALL - R-15
RAISED FLOOR - R-19
CEILING - R-30

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PROPOSED MAIN FLOOR PLAN

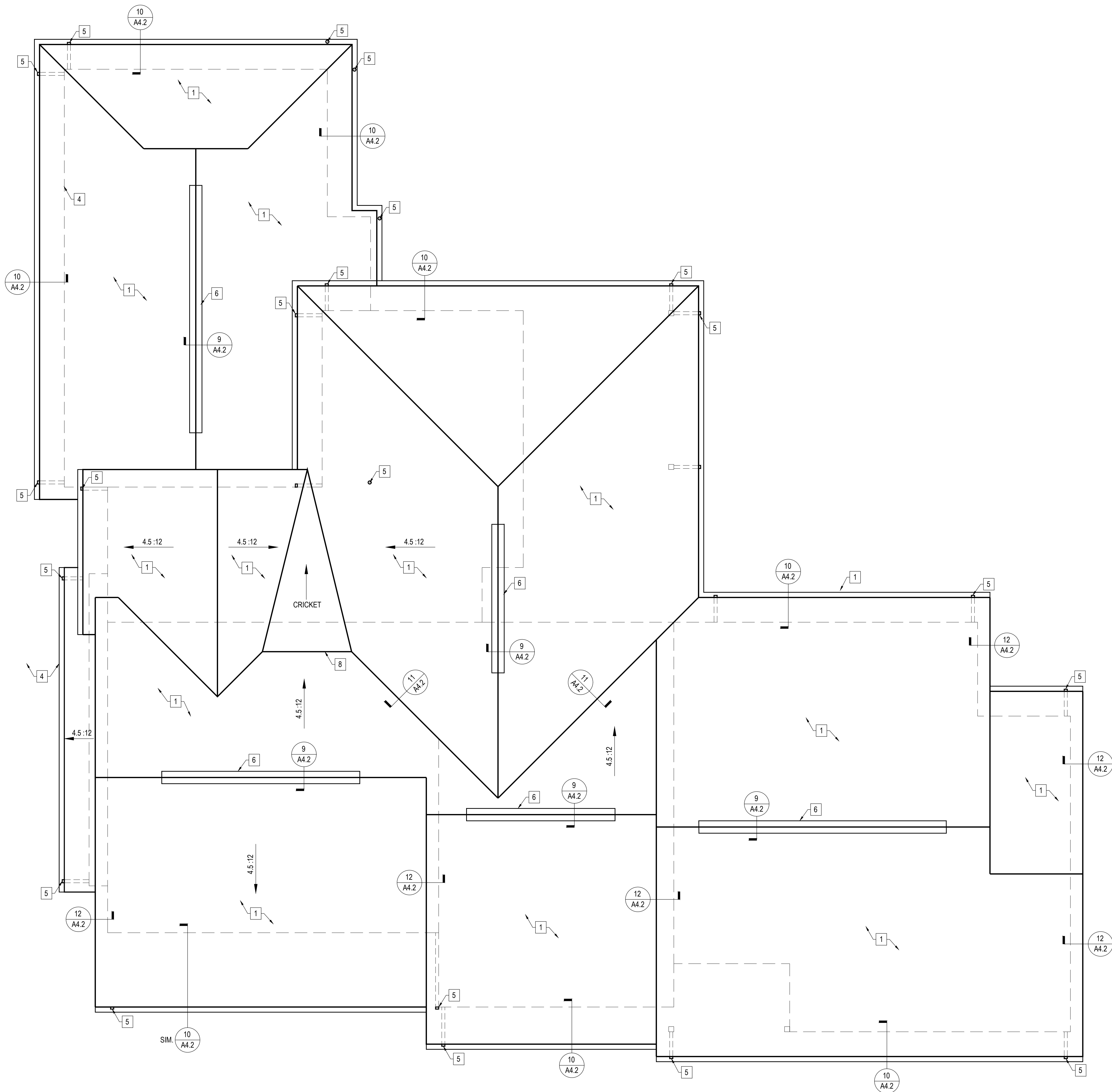
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PROPOSED MAIN FLOOR PLAN
SCALE : 1/4" = 1'-0"



(S.B.O.) SELECTED BY OWNER OR CONTRACTOR

1. REPLACE ENTIRE ROOF WITH CLASS "A" METAL STANDING SEAM ROOF (ICC ESR 2048-2017 OR APPROVED EQUAL (COLOR :S.B.O.)
2. OUTLINE OF UPPER MAIN FLOOR PLAN
3. OUTLINE OF LOWER FLOOR PLAN
4. NEW METAL GUTTERS (SEE DETAIL)
5. DOWNSPOUT LOCATIONS
6. SNAP Z RIDGE VENTS
7. OUTLINE NEW BALCONY
8. ROOF CRICKET
9. AREA OF CONVERTED PORTION

ATTIC VENT CALCULATIONS:

<u>3.605 SF (ATTIC AREA)</u>	=	24.0 SF REQUIRED
150		
SINAP Z- PATENTED METAL	=	288 LFT (12 SQ.IN.)
RIDGE VENT SYSTEM	=	3,456 SQ.IN./144
NFVA =12 SQ.IN./LFT	=	24 SF
12"x18" ATTIC VENT	=	49 SQ.IN./144
GABLE END (3)	=	0.34 SF (3)
NFVA = 49 SQ.IN.	=	1 SF

24.0 SF REQUIRED = 25.0 SF PROVIDED

NEW ROOF PLAN

SCALE : 1/4" = 1'-0"

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NEW ROOF PLAN

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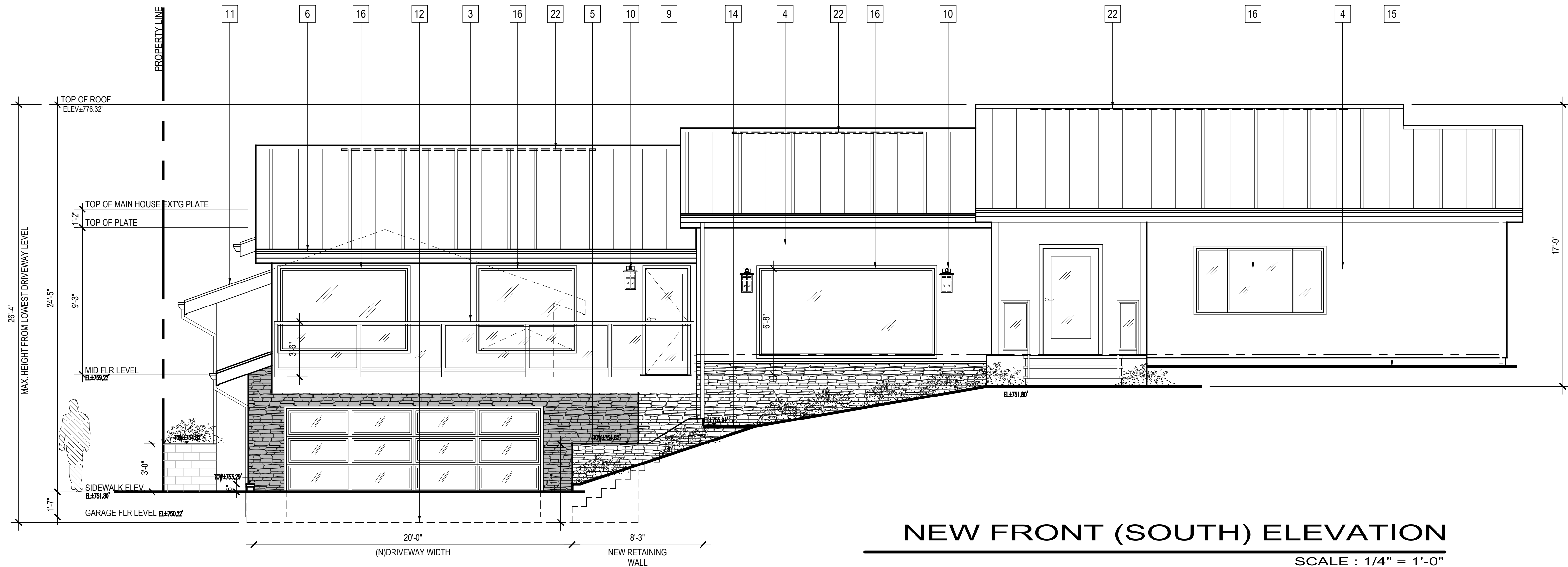
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EXT'G FRONT (SOUTH) ELEVATION

SCALE : 1/4" = 1'-0"



NEW FRONT (SOUTH) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

- EXT'G CONC. TILE ROOF TO BE REPLACED WITH CLASS 'A' METAL STANDING SEAM ROOF (ICC ESR 2048 OR APPROVED EQUAL)
- NEW 7/8" SMOOTH STUCCO TO MATCH EXT'G
- NEW BALCONY W/ METAL FRAMED GLASS RAILING
- RE-FURBISHED STUCCO WALL
- NEW 5' RETAINING WALL FOR TRASH ENCLOSURE
- NEW GUTTERS & DOWNSPOUTS
- EXT'G DOOR TO REMAIN
- NEW GARAGE DOOR
- NEW CONCRETE STAIR (PER STRUCTURAL)
- NEW EXTERIOR LAMP TO MATCH EXT'G
- EXT'G GARAGE ROOF FRAME TO REMAIN
- NEW SLOPED DOWN DRIVEWAY (3% SLOPE)
- NEW STUCCO WEEP SCREED
- NEW CONCRETE WALK TO CONNECT WITH EXISTING (SITE WORK BY OTHERS)
- EXT'G GRADE
- NEW WINDOW (SEE SCHEDULE)
- NEW CONCRETE CURB
- NEW GLASS BALCONY RAILING
- NEW PLANTER WALL/DRIVEWAY EDGE
- NEW 12"x18" GABLE END VENTS
- CUT-STONE VENEER WALL (S.B.O.)
- RIDGE VENTS

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NEW & EXT'G FRONT ELEVATIONS

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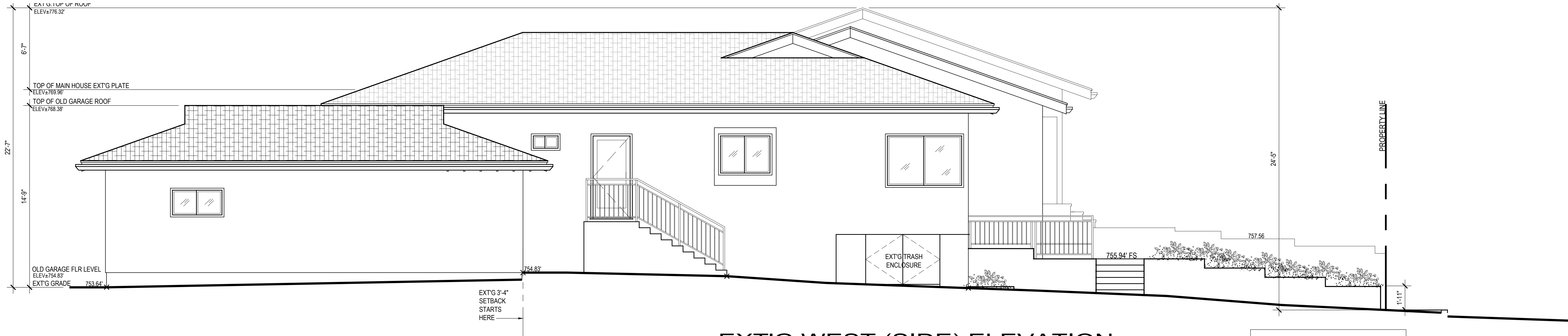
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EXT'G WEST (SIDE) ELEVATION

SCALE : 1/4" = 1'-0"

ZERO LEVEL	=	ELEV 751.80'
EXT'G DRIVEWAY LEVEL	=	ELEV 754.83'
HEIGHT DIFF	=	3.02' OR 3'-0"
DRIVEWAY RUN	=	69.75' OR 69'-9"
SLOPE ANGLE	=	2.46°
PERCENT CONVERSION	=	4.3%

ELEVATION KEYED NOTES

- EXT'G CONC. TILE ROOF TO BE REPLACED WITH CLASS 'A' METAL STANDING SEAM ROOF (ICC ESR 2048 OR APPROVED EQUAL)
- NEW 7/8" SMOOTH STUCCO TO MATCH EXT'G
- NEW BALCONY W/ METAL FRAMED GLASS RAILING
- RE-FURBISHED STUCCO WALL
- NEW 5' RETAINING WALL FOR TRASH ENCLOSURE
- NEW GUTTERS & DOWNSPOUTS
- EXT'G DOOR TO REMAIN
- NEW GARAGE DOOR
- NEW CONCRETE STAIR (PER STRUCTURAL)
- NEW EXTERIOR LAMP TO MATCH EXT'G
- EXT'G GARAGE ROOF FRAME TO REMAIN
- NEW SLOPED DOWN DRIVEWAY (3% SLOPE)
- NEW STUCCO WEEP SCREED
- NEW CONCRETE WALK TO CONNECT WITH EXISTING (SITE WORK BY OTHERS)
- EXT'G GRADE
- NEW WINDOW (SEE SCHEDULE)
- NEW CONCRETE CURB
- NEW GLASS BALCONY RAILING
- NEW PLANTER WALL/DRIVEWAY EDGE
- NEW 12"x18" GABLE END VENTS
- CUT-STONE VENEER WALL (S.B.O.)
- RIDGE VENTS



NEW WEST (SIDE) ELEVATION

SCALE : 1/4" = 1'-0"

ZERO LEVEL	=	ELEV 751.80'
TRENCH LEVEL	=	ELEV 749.99'
HEIGHT DIFF	=	1.81' OR 1'-9.75"
DRIVEWAY RUN	=	34.67' OR 34'-8"
SLOPE ANGLE	=	3°
PERCENT CONVERSION	=	5.22%
GMC MAX SLOPE PERCENT	=	15%
WHERE:	=	5.22% < 15%

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NEW & EXT'G WEST ELEVATIONS

HONANIAN RESIDENCE

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EXT'G REAR (NORTH) ELEVATION

SCALE : 1/4" = 1'-0"



NEW REAR (NORTH) ELEVATION

ELEVATION KEYED NOTES

1. EXT'G CONC. TILE ROOF TO BE REPLACED WITH CLASS 'A' METAL STANDING SEAM ROOF (ICC ESR 2048 OR APPROVED EQUAL)
2. NEW 7/8" SMOOTH STUCCO TO MATCH EXT'G
3. NEW BALCONY W/ METAL FRAMED GLASS RAILING
4. RE-FURBISHED STUCCO WALL
5. NEW 5' RETAINING WALL FOR TRASH ENCLOSURE
6. NEW GUTTERS & DOWNSPOUTS
7. EXT'G DOOR TO REMAIN
8. NEW GARAGE DOOR
9. NEW CONCRETE STAIR (PER STRUCTURAL)
10. NEW EXTERIOR LAMP TO MATCH EXT'G
11. EXT'G GARAGE ROOF FRAME TO REMAIN
12. NEW SLOPED DOWN DRIVEWAY (3% SLOPE)
13. NEW STUCCO WEEP SCREED
14. NEW CONCRETE WALK TO CONNECT WITH EXISTING (SITE WORK BY OTHERS)
15. EXT'G GRADE
16. NEW WINDOW (SEE SCHEDULE)
17. NEW CONCRETE CURB
18. NEW GLASS BALCONY RAILING
19. NEW PLANTER WALL/DRIVEWAY EDGE
20. NEW 12"x18" GABLE END VENTS
21. CUT-STONE VENEER WALL (S.B.O.)
22. RIDGE VENTS

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NEW & EXT'G NORTH ELEVATIONS

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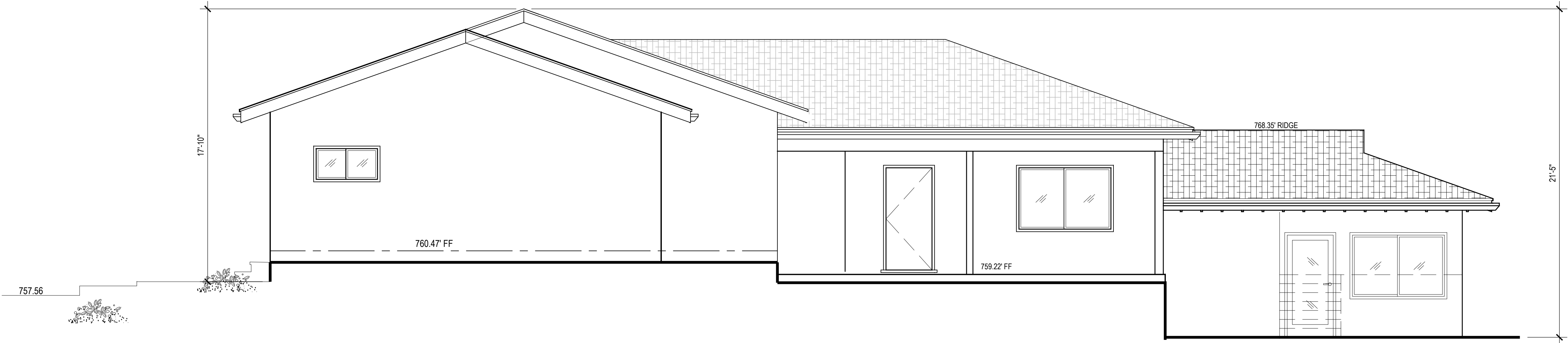
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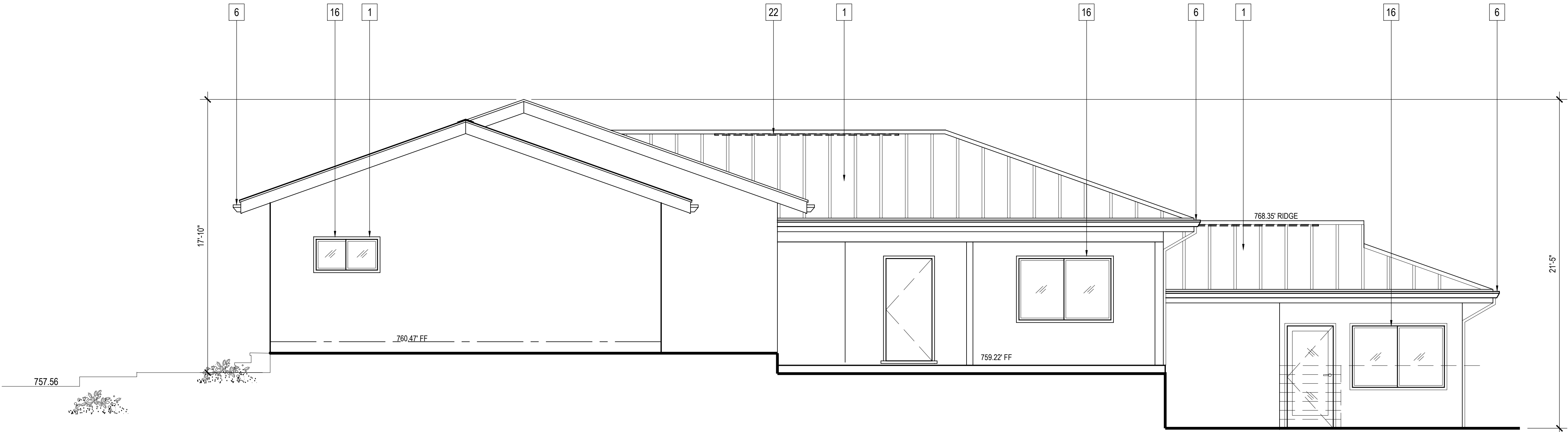
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EXT'G EAST (SIDE) ELEVATION

SCALE : 1/4" = 1'-0"



NEW EAST (SIDE) ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION KEYED NOTES

- EXT'G CONC. TILE ROOF TO BE REPLACED WITH CLASS 'A' METAL STANDING SEAM ROOF (ICC ESR 2048 OR APPROVED EQUAL)
- NEW 7/8" SMOOTH STUCCO TO MATCH EXT'G
- NEW BALCONY W/ METAL FRAMED GLASS RAILING
- RE-FURBISHED STUCCO WALL
- NEW 5' RETAINING WALL FOR TRASH ENCLOSURE
- NEW GUTTERS & DOWNSPOUTS
- EXT'G DOOR TO REMAIN
- NEW GARAGE DOOR
- NEW CONCRETE STAIR (PER STRUCTURAL)
- NEW EXTERIOR LAMP TO MATCH EXT'G
- EXT'G GARAGE ROOF FRAME TO REMAIN
- NEW SLOPED DOWN DRIVEWAY (3% SLOPE)
- NEW STUCCO WEEP SCREED
- NEW CONCRETE WALK TO CONNECT WITH EXISTING (SITE WORK BY OTHERS)
- EXT'G GRADE
- NEW WINDOW (SEE SCHEDULE)
- NEW CONCRETE CURB
- NEW GLASS BALCONY RAILING
- NEW PLANTER WALL/DRIVEWAY EDGE
- NEW 12"x18" GABLE END VENTS
- CUT-STONE VENEER WALL (S.B.O.)
- RIDGE VENTS

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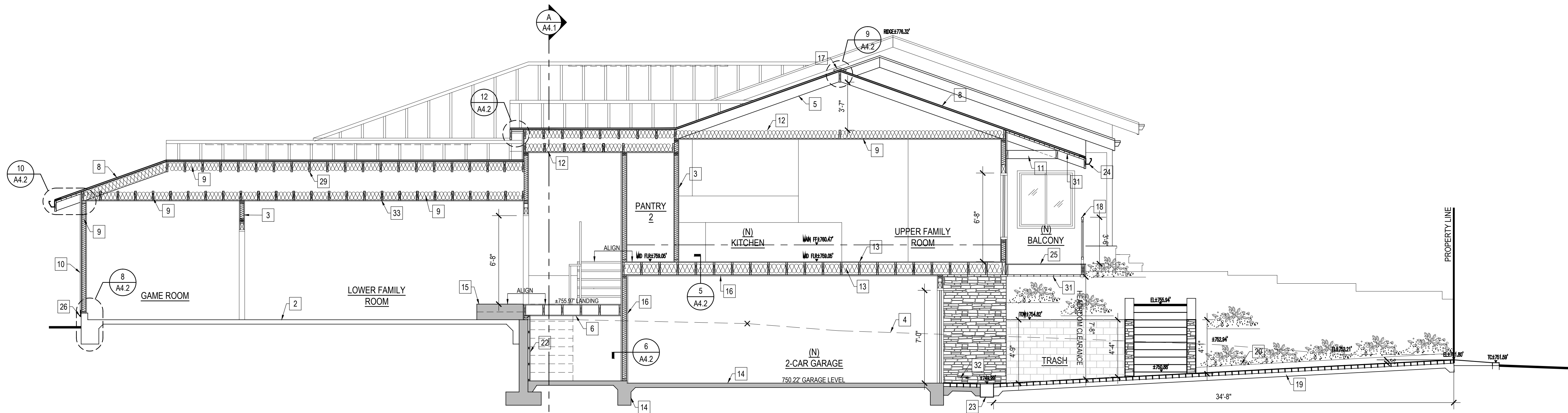
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NEW & EXT'G EAST ELEVATIONS
HONANIAN RESIDENCE
1625 CUMBERLAND TERR. GLENDALE CA 91202

DATE:	07/2022
DRAWN BY:	NRK
JOB NO.	20101

SHEET NO.
A3.3

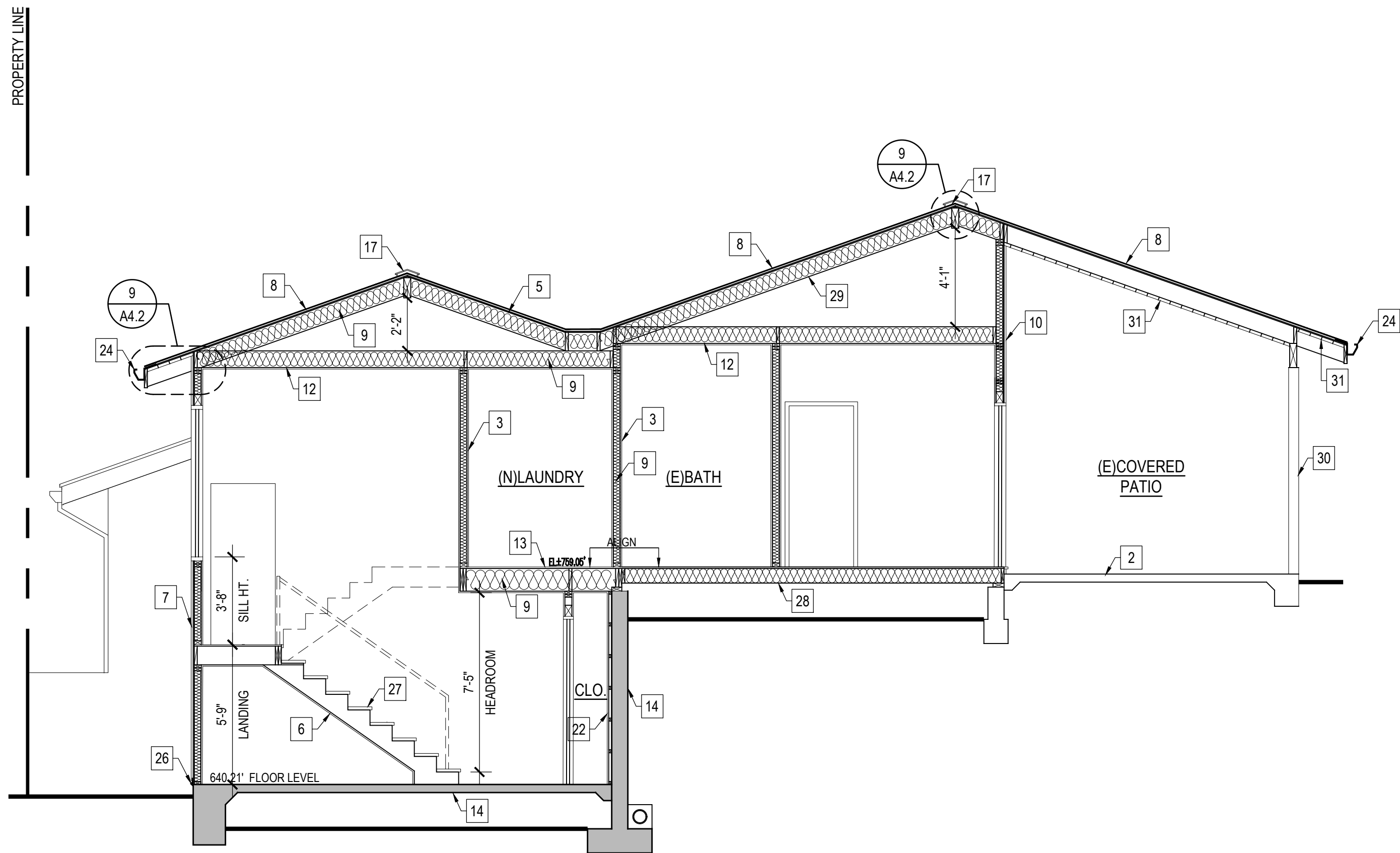
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SECTION AA

SCALE : 1/4" = 1'-0"

ZERO LEVEL	=	ELEV 751.80'
TRENCH LEVEL	=	ELEV 749.99'
HEIGHT DIFF	=	1.81' OR 1'-9.75"
DRIVEWAY RUN	=	34.67' OR 34'-8"
SLOPE ANGLE	=	3°
PERCENT CONVERSION	=	5.22%
GMC MAX SLOPE PERCENT	=	15%
WHERE:	=	5.22% < 15%



SECTION BB

SCALE : 1/4" = 1'-0"

CROSS SECTION KEY NOTES

- EXT'G GRADE
- EXT'G CONC. FOUNDATION
- NEW 2" x 4" STUD WALL
- OUTLINE OF EXT'G ELEVATION TO CUT
- NEW 2" x ROOF RAFTER
- NEW TYPE "X" 5/8" GYP. BOARD UNDERSTAIRS
- NEW 7/8" SMOOTH STUCCO TO MATCH EXT'G
- NEW CLASS 'A' METAL STANDING SEAM ROOF
- NEW R- ROOF/CEILING INSULATION
- NEW R- WALL INSULATION
- NEW R- FLOOR INSULATION
- RE-FURBISH EXT'G STUCCO WALL
- 2" x OPEN RAFTER CEILING
- NEW 2"x CEILING JOISTS
- NEW 2"x FLOOR JOIST TO ALIGN W/ EXT'G
- NEW CONC. FOUNDATION PER PLAN
- NEW CONCRETE STEPS/STAIRS
- NEW 1-HOUR FIRE RATED WALL
- NEW RIDGE VENT
- METAL-GLASS RAILING SYSTEM @42" HIGH
- NEW CONCRETE DRIVEWAY@ 3% SLOPE DOWN
- NEW CONCRETE CURB
- NEW PLANTER WALL
- NEW 2"x2" WALL FURRING
- METAL TRENCH DRAIN
- NEW METAL GUTTERS
- DEX-O TEX FLOOR @ BALCONY
- NEW STUCCO WEEP SCREED
- NEW WOOD FRAMED STAIRCASE TYP.T=11", R-7.5" MAX.
- EXT'G 2"x FLR JOIST TO REMAIN
- EXT'G 2"x RAFTERS TO REMAIN
- EXT'G WOOD POST BEYOND
- T&G CEILING & UNDER EAVES
- 2% SLOPE MIN. TO DRAIN
- EXT'G CEILING JOIST
- EXT'G PARTITION WALL

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SECTIONS

HONANIAN RESIDENCE

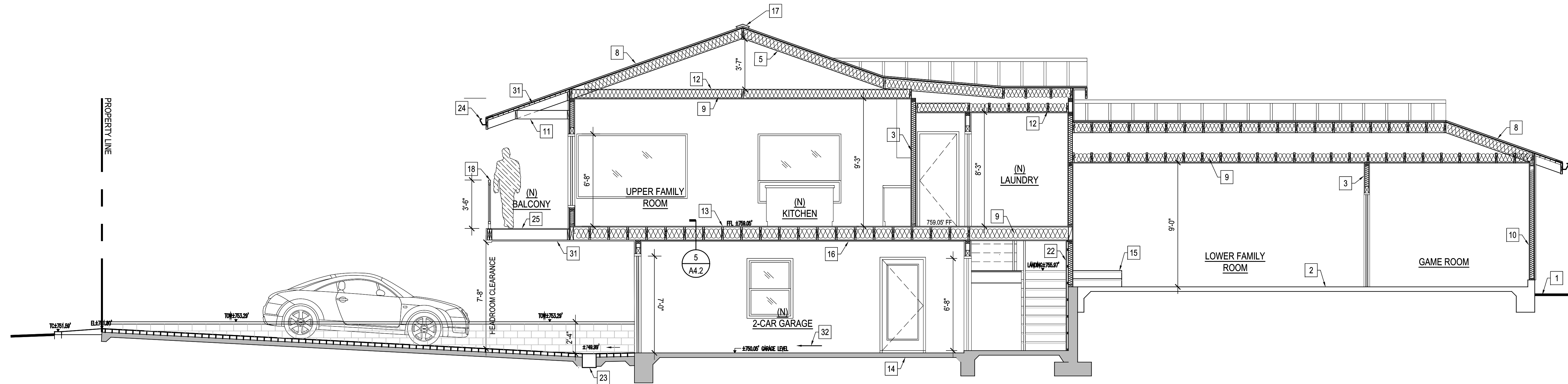
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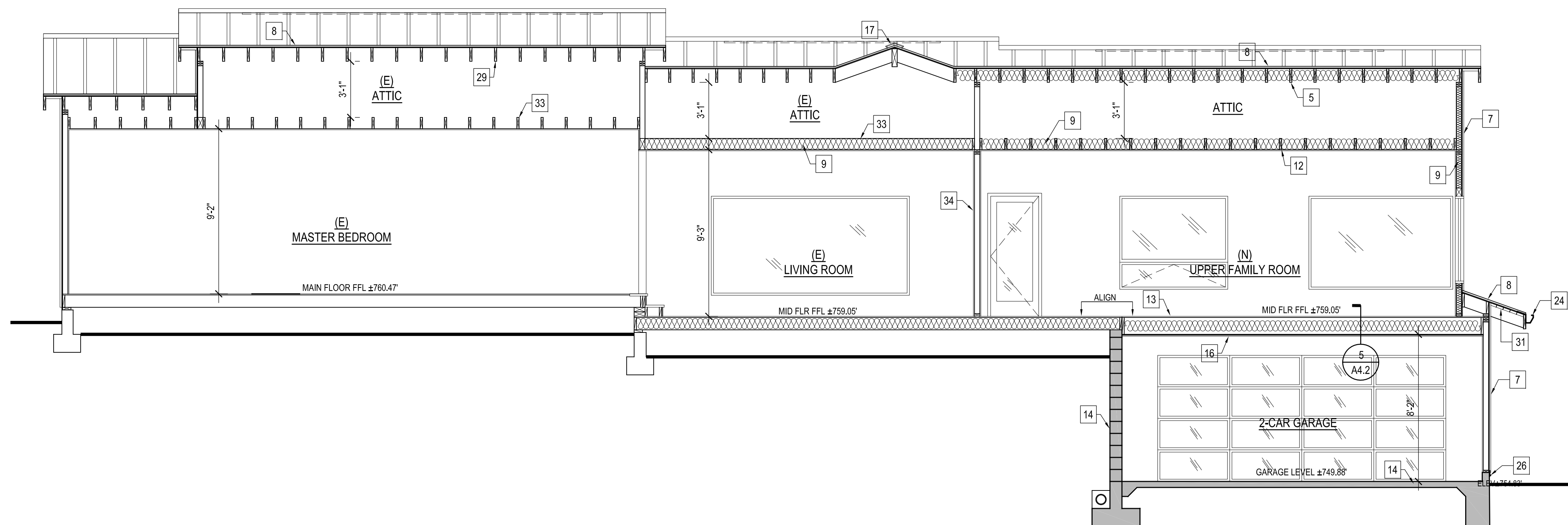
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SECTION CC

SCALE : 1/4" = 1'-0"



SECTION DD

SCALE : 1/4" = 1'-0"

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- EXT'G PARTITION WALL

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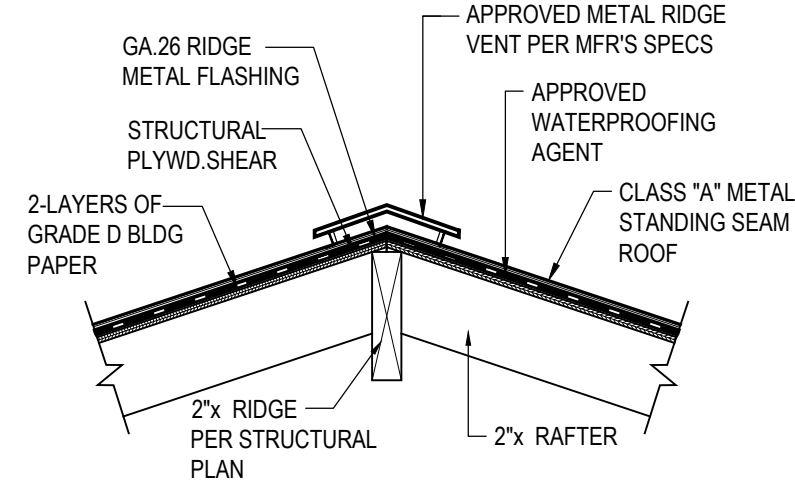
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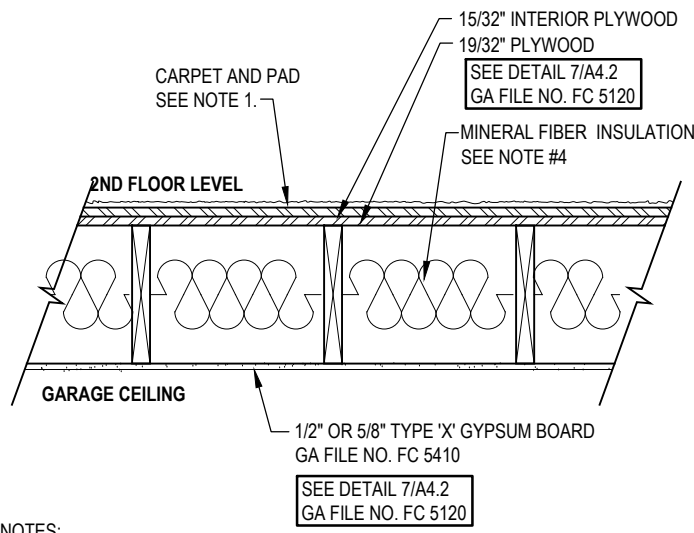
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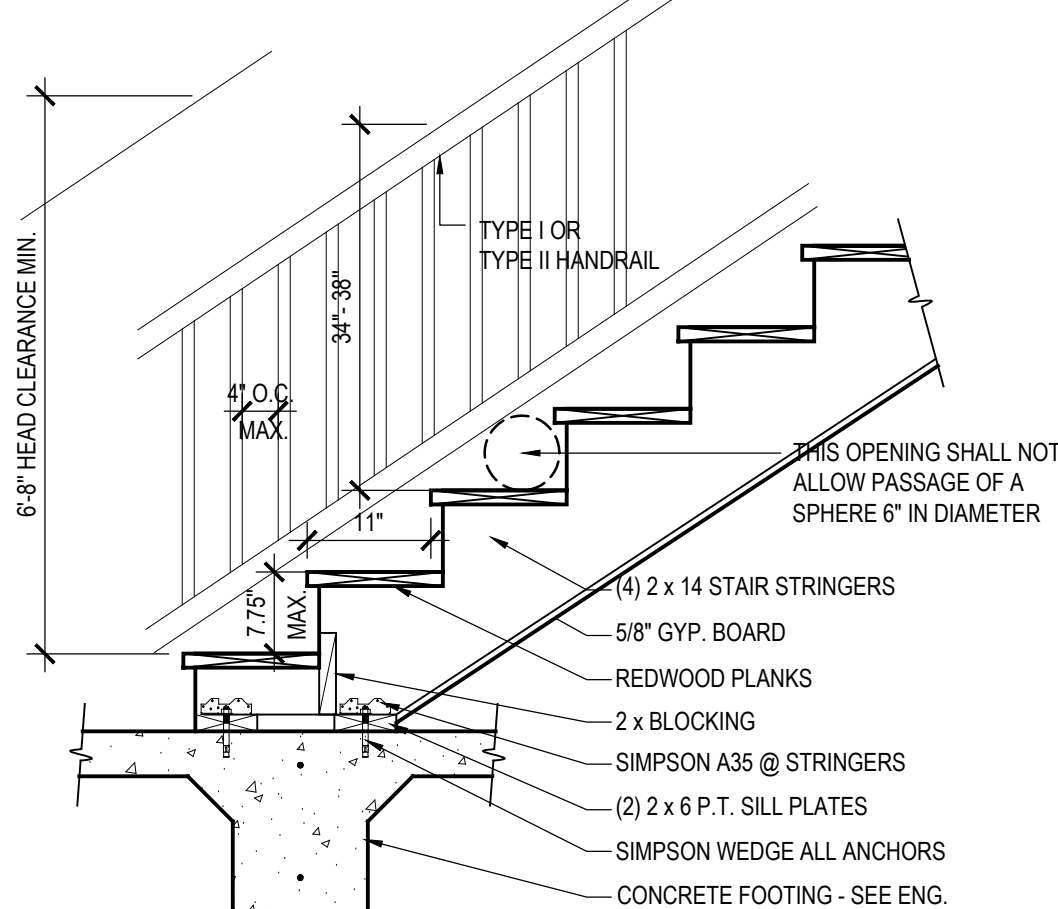


ROOF RIDGE - 9
SCALE : 1" = 1'-0"



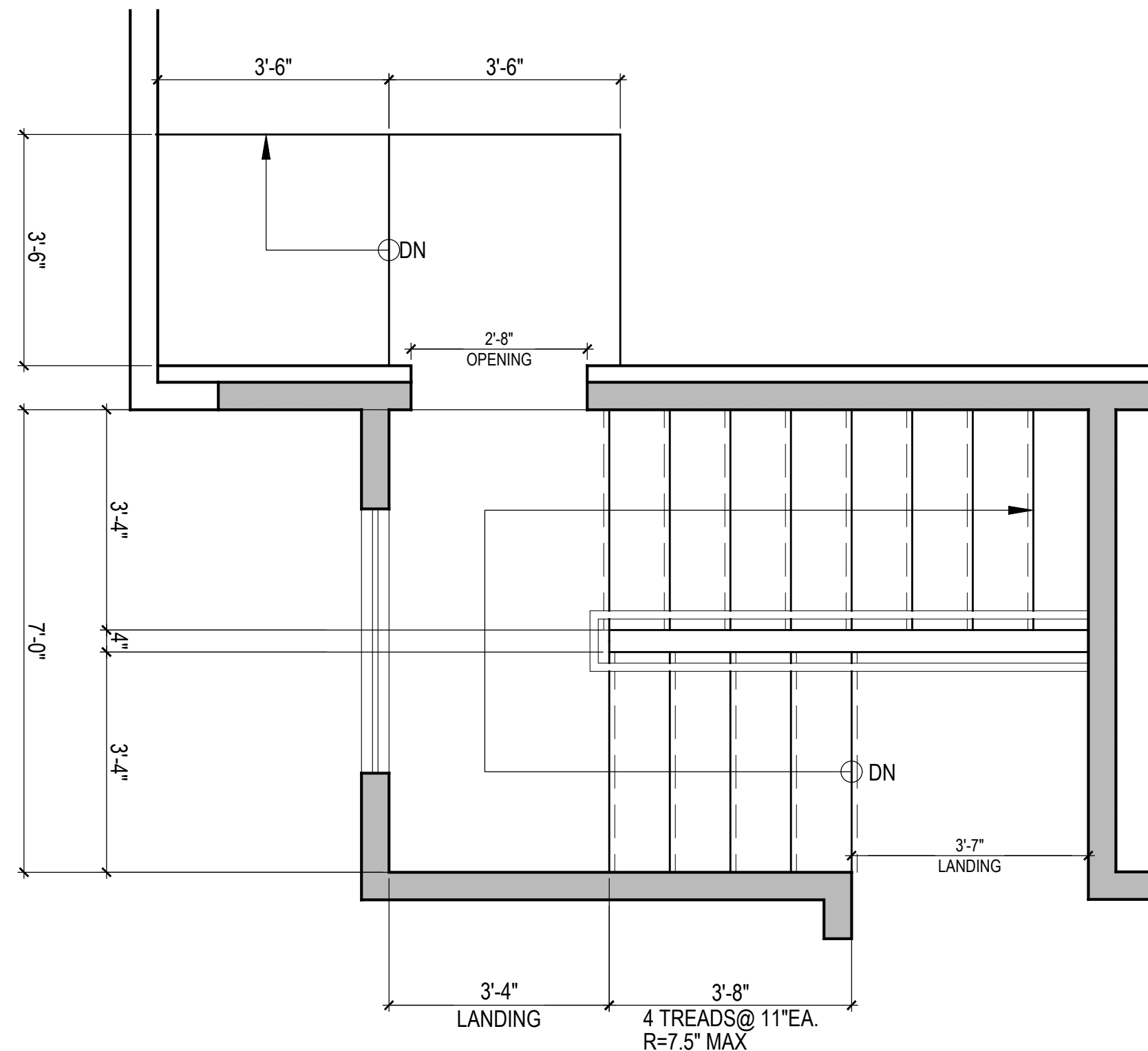
GENERAL NOTES:
1. 13 OZ. FACE WT. CARPET (31 OZ. TOT) AND 40 OZ. JUTTED PAD, OR 48 OZ. FOAM RUBBER, OR 3/8" REBONDED URETHANE FOAM (4 PCF), OR 1/2" URETHANE FOAM (2.4 PCF).
2. TYPE AND SPACING OF RESILIENT CHANNELS AND THE ATTACHMENT OF CHANNELS AND GYPSUM BOARD OR LATH SHALL BE AS REQUIRED FOR FIRE RATINGS.
3. SHEET VINYL AND LINOLEUM FLOOR COVERINGS WITH 1/8" MINIMUM THICKNESS RESILIENT BACKING MAY BE SUBSTITUTED FOR CARPET AND PADDING IN KITCHEN AND BATHROOM AREAS, IF CEILINGS ARE ON RESILIENT CHANNELS.
4. THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER AS DETERMINED BY FEDERAL SPECIFICATION HH-1-521E.

FLOOR (1 HR.) DETAIL - 5
SCALE : NTS

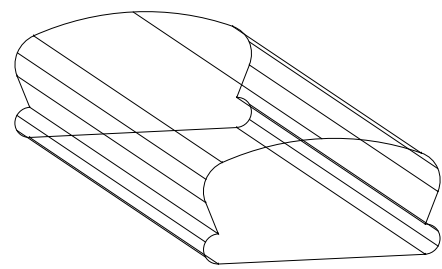


NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OR NOT LESS THAN 1 FOOT-CANDLE (11 LUX).

STAIR DETAIL - 1
SCALE : NTS

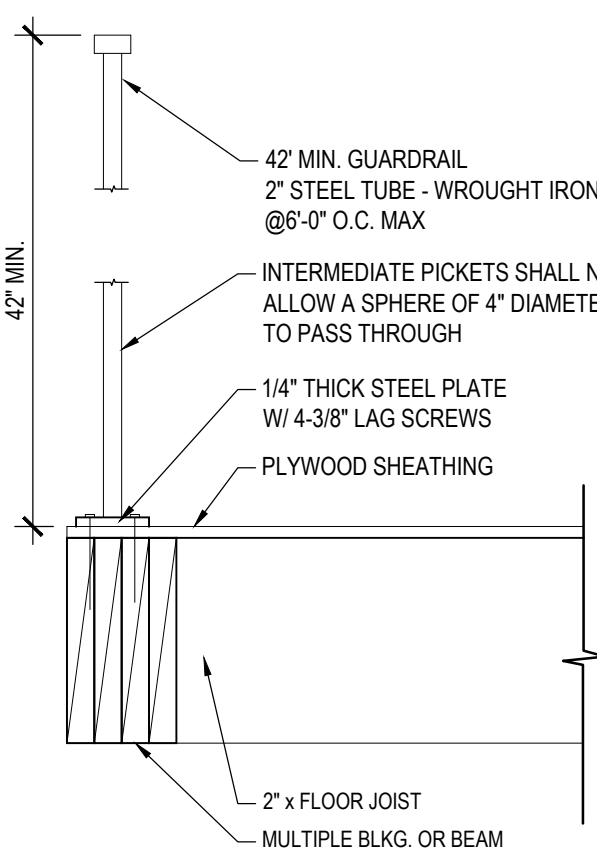


STAIR PLAN @ UPPER LEVEL
SCALE : 1/2" = 1'-0"

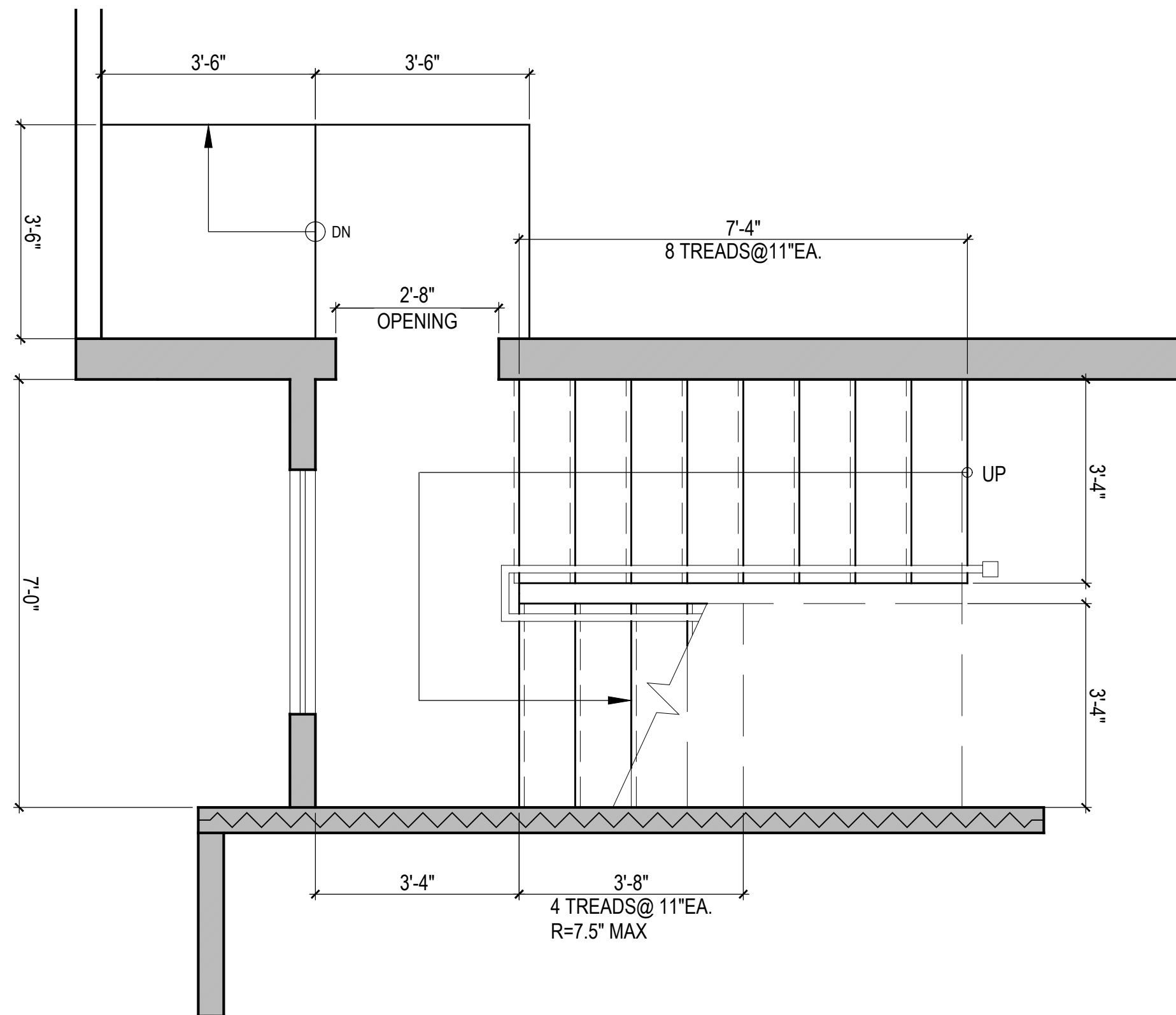


- PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES.
- RETURN HANDRAILS TO NEAREST POST OF WALL.
- HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II.
- HANDRAILS (TYPE I) SHALL BE AT LEAST 1.25" AND 2" OUTSIDE DIAMETER. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" AND A MAXIMUM CROSS-SECTIONAL DIMENSION OF 2.25".
- HANDRAILS (TYPE II) WITH A PERIMETER GREATER THAN 6.25" SHALL HAVE GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. RECESSES SHALL BEGIN WITHIN 3/4" FROM THE TALLEST PORTION OF THE PROFILE AND BE AT LEAST 5/16" DEEP WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO LEVEL THAT IS NOT LESS THAN 1.75" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH ABOVE THE RECESS SHALL BE 1.25" TO 2.75".

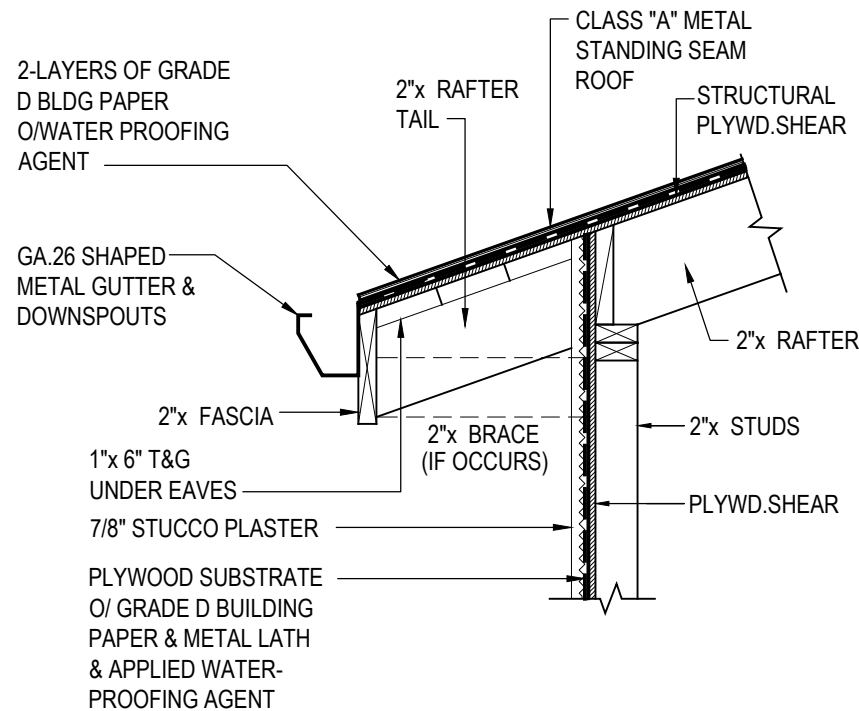
TYP. HANDRAIL DET.- 2
SCALE : NTS



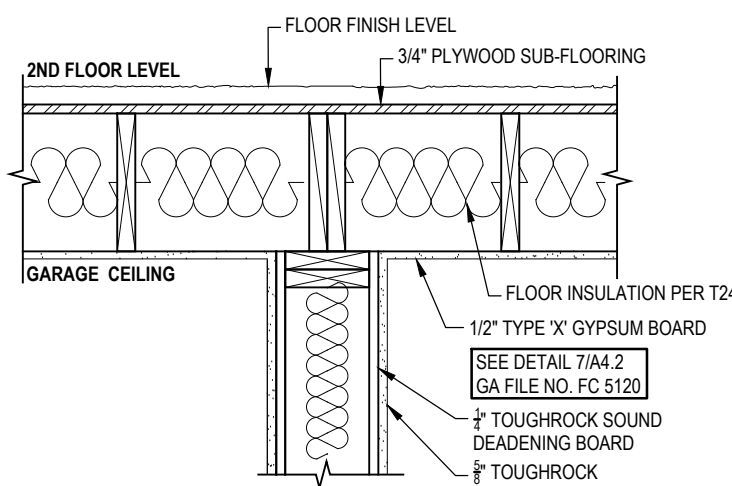
GUARDRAIL DETAIL - 3
SCALE : NTS



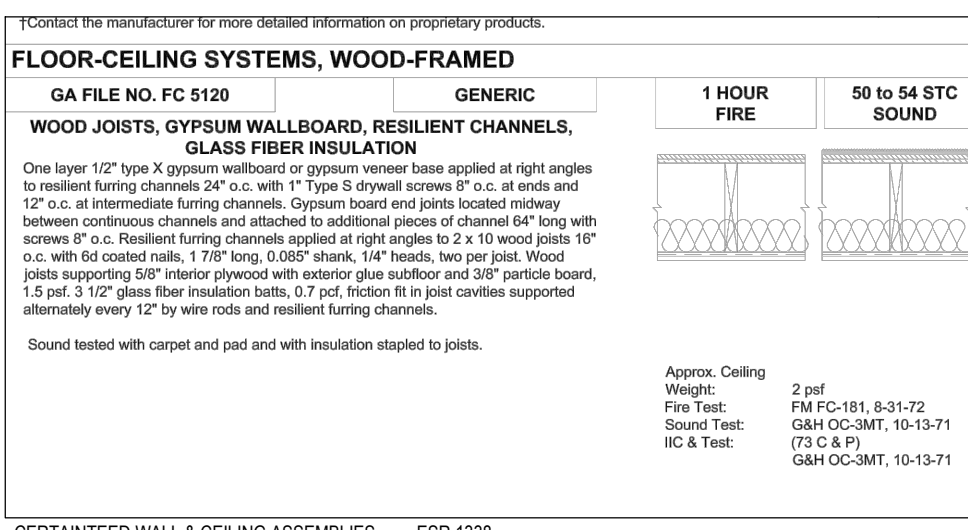
STAIR PLAN @ LOWER LEVEL
SCALE : 1/2" = 1'-0"



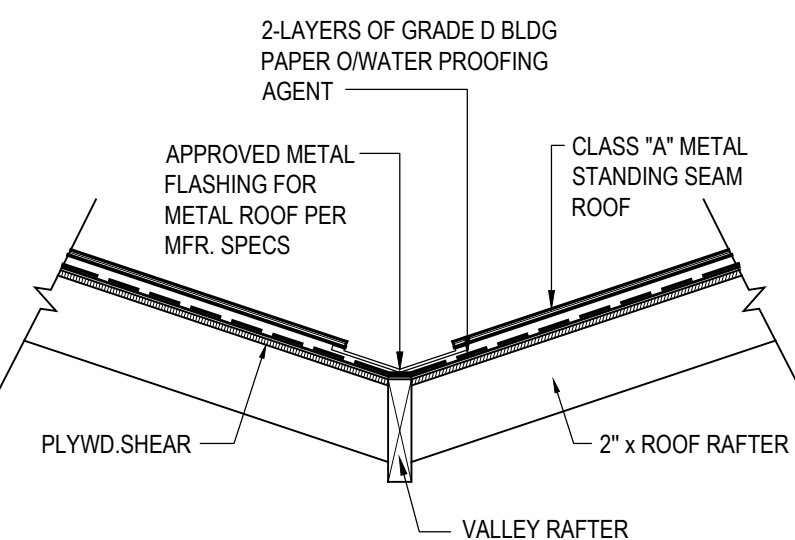
EAVE DETAIL - 10
SCALE : 1" = 1'-0"



WALL/ FLOOR (1 HR) DETAIL - 6
SCALE : NTS

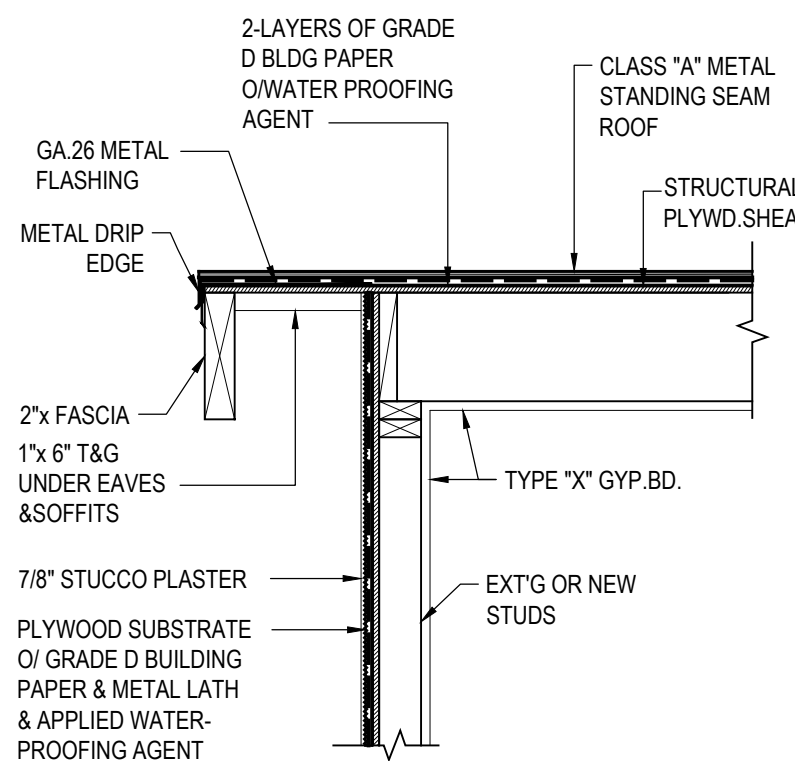


50 TO 54 STC
SOUND PROOF WALLS - 7
SCALE : NTS

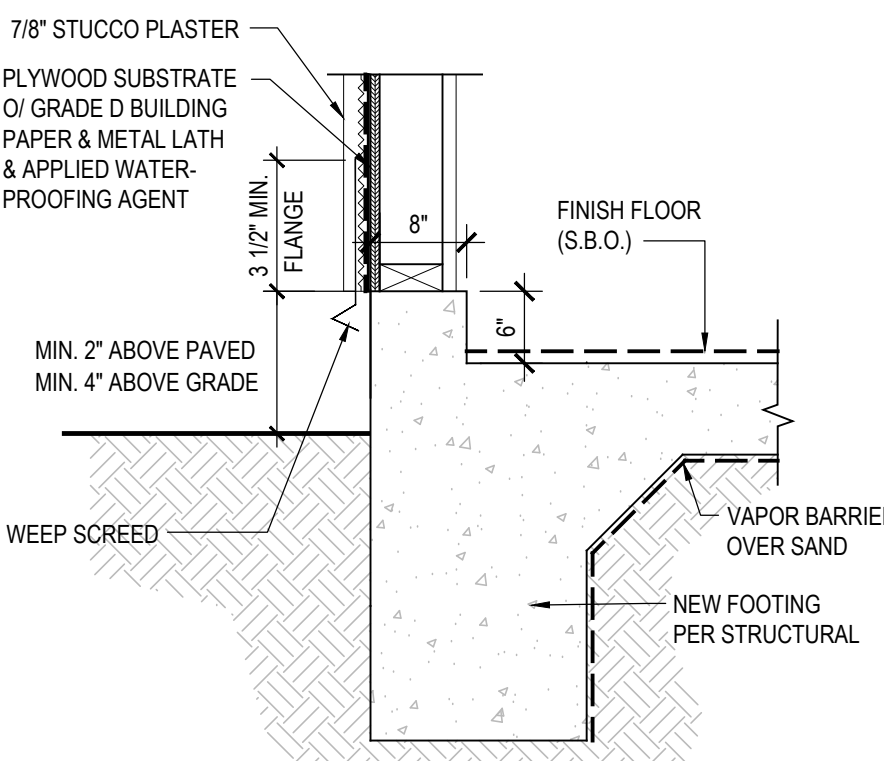


VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019 INCH (NO.26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A 3/8-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D3909 RUNNING THE FULL LENGTH OF THE VALLEY.

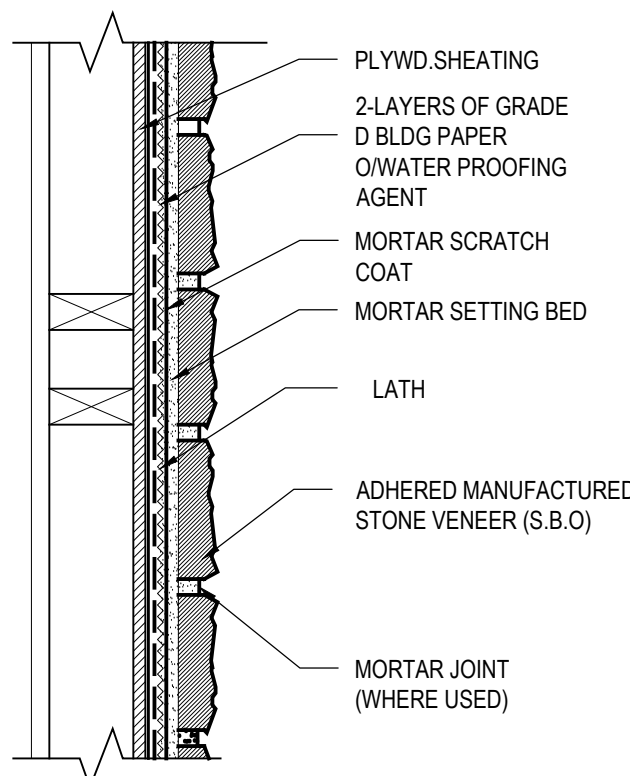
VALLEY FLASHING - 11
SCALE : 1" = 1'-0"



RAKE DETAIL - 12
SCALE : 1/2" = 1'-0"

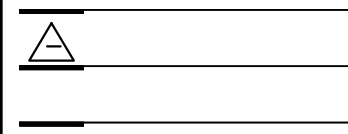


GARAGE FOOTING
WEEP SCREED DET - 8
NOT TO SCALE



VENEER STONE WALL DETAIL - 4
SCALE : NTS

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STAIR PLAN & DETAILS

HONANIAN RESIDENCE

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A4.2



1. 1625 CUMERLAND TERRACE



2. 1619 CUMERLAND TERRACE



3. 1611 CUMERLAND TERRACE



4. 241 CUMBERLAND RD



5. 250 CUMBERLAND RD



6. 230 CUMERLAND RD



7. 233 CUMERLAND RD



8. 1614 CUMERLAND TERRACE



9. 1620 CUMERLAND TERRACE



10. 1626 CUMERLAND TERRACE



11. 1636 CUMERLAND TERRACE



12. 1640 CUMERLAND TERRACE



13. 1650 CUMERLAND TERRACE



14. 1660 CUMBERLAND TERRACE



15. 1655 CUMBERLAND TERRACE



16. 1651 CUMERLAND TERRACE



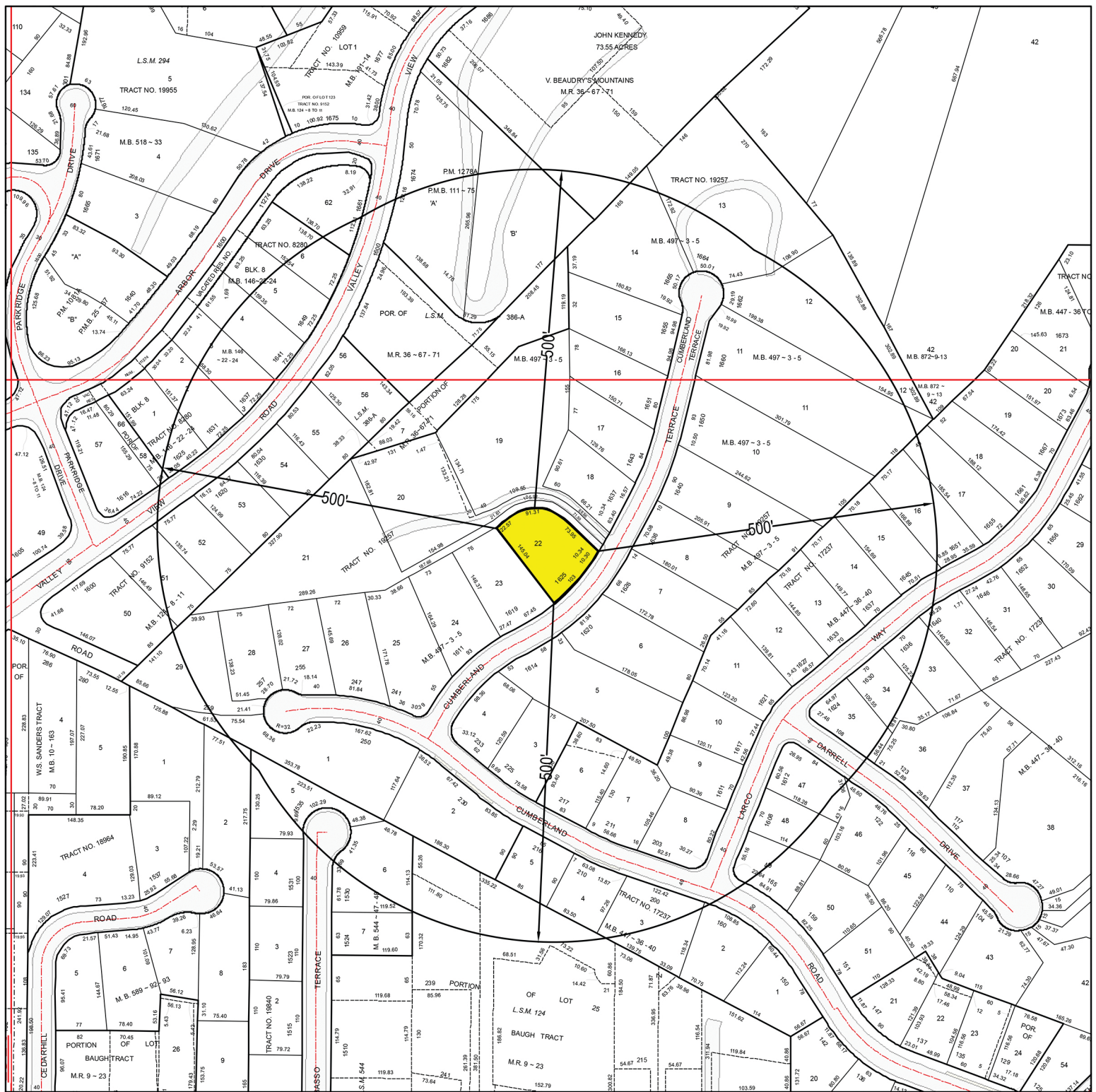
17. 1643 CUMERLAND TERRACE



18. 1637 CUMERLAND TERRACE



- 19. 1633 CUMBERLAND TERRACE
- 20. 1631 CUMBERLAND TERRACE
- 21. 1629 CUMBERLAND TERRACE



LOCATION MAP

LEGEND

SUBJECT PROPERTY(IES)

SITE LOCATION: 1625 CUMBERLAND TER
GLENDALE, CA 91202

APN:

5632-016-002

DATE: Nov 10, 2022



SCALE: 1"=200'

PREPARED BY:



412 W. BROADWAY STE 206
GLENDALE, CA 91204
818-409-8921

NEIGHBORHOOD SURVEY FOR:

1625 CUMBERLAND TER

KEY	ADDRESS	PARCEL NUMBER	LOT S.F.	HOUSE S.F.	FLOOR AREA	STORIES	ESTIMATED SETBACK (Feet)	ROOF
1(SITE)	1625 CUMERLAND TERRACE	5632-016-002	12,230	2,196	18%	1	11	CONC. TILE
2	1619 CUMERLAND TERRACE	5632-016-003	12,470	2,474	20%	2	32	ASHPHALT SHINGLES
3	1611 CUMERLAND TERRACE	5632-016-004	12,090	3,139	26%	2	25	ASHPHALT SHINGLES
4	241 CUMBERLAND RD	5632-016-005	15,960	2,811	18%	1	27	ASHPHALT SHINGLES
5	250 CUMBERLAND RD	5632-017-006	21,952	4,209	19%	2	23	SPANISH TILE
6	230 CUMERLAND RD	5632-017-007	18,952	2,208	12%	1	12	ASHPHALT SHINGLES
7	233 CUMERLAND RD	5648-001-002	9,559	1,666	17%	1	24	ASHPHALT SHINGLES
8	1614 CUMERLAND TERRACE	5648-001-012	26,288	3,286	13%	1	83	CONC. TILE
9	1620 CUMERLAND TERRACE	5648-001-004	16,720	2,311	14%	1	35	CONC. TILE
10	1626 CUMERLAND TERRACE	5648-001-005	14,000	3,144	22%	1	34	ASHPHALT SHINGLES
11	1636 CUMERLAND TERRACE	5648-001-006	15,552	2,630	17%	1	25	ASHPHALT SHINGLES
12	1640 CUMERLAND TERRACE	5648-001-007	19,800	2,279	12%	1	28	ASHPHALT SHINGLES
13	1650 CUMERLAND TERRACE	5648-001-008	27,540	5,400	20%	1	20	FLAT
14	1660 CUMBERLAND TERRACE	5648-001-009	36,300	2,979	8%	1	15	ASHPHALT SHINGLES
15	1655 CUMBERLAND TERRACE	5632-015-002	14,532	2,340	16%	2	10	ROCK GRAVEL
16	1651 CUMERLAND TERRACE	5632-015-003	11,534	2,409	21%	1	18	ASHPHALT SHINGLES
17	1643 CUMERLAND TERRACE	5632-015-004	10,780	2,519	23%	2	26	CONC. TILE
18	1637 CUMERLAND TERRACE	5632-015-005	10,112	1,929	19%	1	24	CONC. TILE
19	1633 CUMBERLAND TERRACE	5632-015-006	34,380	2,958	9%	1	FLAG LOT	ASHPHALT SHINGLES
20	1631 CUMBERLAND TERRACE	5632-015-008	23,800	2,475	10%	1	FLAG LOT	CONC. TILE
21	1629 CUMBERLAND TERRACE	5632-016-001	34,780	3,484	10%	1	FLAG LOT	CONC. TILE
AVERAGE			19,016	2,802	15%	1	26	

NOTE: 19, 20 & 21 (FLAG LOTS) NOT CALCULATED IN ESTIMATED SETBACK AVERAGE