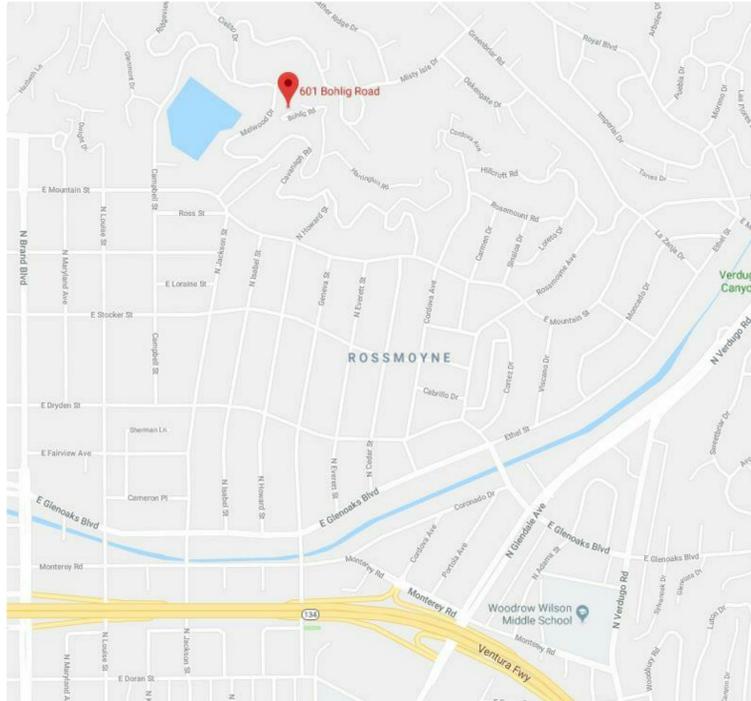


PROPOSED TWO LOT DEVELOPMENT

SKYE TRUST
NRE LLC,
ELENA
NEAGU

VICINITY MAP



PROJECT DATA (LOT 1-601 BOHLIG)

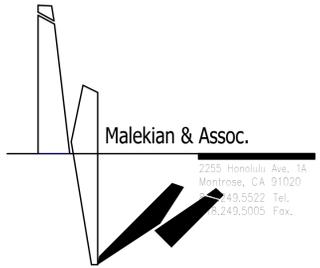
PROJECT ADDRESS	601 BOHLIG RD.
AIN	5649021025, 5649008006
PROPERTY DESCRIPTION	M B 76-99-100 SEE ASSESSOR'S MAPS POR OF
ZONE	RIR DISTRICT II
LOT SIZE	13,569 SF
AVERAGE SLOPE OF LOT	33.6%
MAXIMUM FAR ALLOWED	13,569 SF < $10,000 \times 0.40 = 4,000$ > 4,356.90 SF 3,569 X 0.10 = 356.90
PROPOSED FAR	4,344 SF
	GARAGE - 813 - 700 = 113 SF FIRST LEVEL - 2,368 SF SECOND LEVEL - 1,863 SF 4,344 SF
MAXIMUM HEIGHT ALLOWED (MAIN RESIDENCE)	32 FEET (ADDITIONAL 3 FEET WITH 3:12 ROOF PITCH)
PROPOSED MAXIMUM HEIGHT (MAIN RESIDENCE)	24 FEET
MAXIMUM HEIGHT ALLOWED (ACCESSORY BUILDING)	12 FEET OR 15 FEET IF MIN. ROOF PITCH IS 3:12
PROPOSED MAXIMUM HEIGHT (ACCESSORY BUILDING)	32' - 9"
MAXIMUM ALLOWABLE NO. OF STORIES	2 STORIES FOR LOT WITH AVERAGE SLOPE LESS THAN 40%
AVERAGE SLOPE WITHIN POLYGON	S = $0.002296 \times 2 \text{ FT} \times 302.25 \text{ FT} = 12.09\%$ 0.1148 ACRES
PROPOSED NUMBER OF STORIES	2 STORIES (SEE STORY VOLUME DIAGRAM ON SHEET D-A001)
MIN. REQUIRED LANDSCAPED AREA	13,569 X 0.40 = 5,427.60 SF
PROPOSED LANDSCAPED AREA	LIVE PLANTING AREA 5,482 SF POOL AREA 504 SF 5,986 SF (44.11%)
MAXIMUM ALLOWABLE LOT COVERAGE	13,569 SF x 0.40 = 5,427.60 SF
PROPOSED LOT COVERAGE	4,960 SF (36.55%)
% OF UNGRADED AREA (SEE DIAGRAM)	5,990 SF / 13,569 SF = 44.14 %
LOT WIDTH	136' - 6" AS MEASURED ALONG STREET SETBACK LINE. (SEE PLOT PLAN)
EXCEPTIONS	1. LOT AREA SUBJECT LOT IS LESS THAN THE AVERAGE LOT SIZE OF 15,565 SF (SEE 500 RADIUS MAP WITH NEIGHBORHOOD KEY)
VARIANCES	1. SETBACK VARIANCE (REFER TO TABLE 30.11-B) A. REQUIRED STREET FRONT SETBACK (15'-0" MINIMUM) PROPOSED STREET FRONT SETBACK IS 9'-5" 2. HEIGHT OF ACCESSORY BUILDING VARIANCE (REFER TO TABLE 30.11-B) A. MAXIMUM ALLOWABLE HEIGHT OF ACCESSORY BUILDING (12 FEET OR 15 FEET IF MIN. ROOF PITCH IS 3:12) PROPOSED ACCESSORY BUILDING (GARAGE ELEVATOR) WILL BE 32' - 9" IN HEIGHT 3. LENGTH OF DRIVEWAY IN RIR ZONE VARIANCE (REFER TO SECTION 30.32.130.G.4) A. REQUIRED LENGTH OF DRIVEWAY IN RIR ZONE (18'-0" MINIMUM) PROPOSED DRIVEWAY LENGTH IS 11'-0"

PROJECT DATA (LOT 2-603 BOHLIG)

PROJECT ADDRESS	603 BOHLIG RD.
AIN	5649008005, 5649008012, 5649008013
PROPERTY DESCRIPTION	M B 76-99-100 SEE ASSESSOR'S MAPS POR OF
ZONE	RIR DISTRICT II
LOT SIZE	10,297 SF
AVERAGE SLOPE OF LOT	62.8%
MAXIMUM FAR ALLOWED	10,297 SF < $10,000 \times 0.30 = 3,000$ > 3,029.70 SF 297 X 0.10 = 29.7
PROPOSED FAR	2,529 SF
	GARAGE - 455 SF (NOT INCLUDED) MAIN LEVEL - 1,187 SF LOWER LEVEL - 1,342 SF 2,529 SF
MAXIMUM HEIGHT ALLOWED	32 FEET (ADDITIONAL 3 FEET WITH 3:12 ROOF PITCH)
PROPOSED MAX. HEIGHT	31' - 11 5/8"
MAXIMUM ALLOWABLE NO. OF STORIES	3 STORIES PERMITTED WHERE THE PRIMARY BUILDING IS LOCATED ON A PORTION OF A LOT HAVING AN AVERAGE CURRENT SLOPE OF FORTY (40) PERCENT (21.8 DEGREES) OR STEEPER.
AVERAGE SLOPE WITHIN POLYGON	S = $0.002296 \times 2 \text{ FT} \times 723.04 \text{ FT} = 57.24\%$ 0.058 ACRES
PROPOSED NUMBER OF STORIES	3 STORIES
MIN. REQUIRED LANDSCAPED AREA	10,297 SF X 0.40 = 4,118.80
PROPOSED LANDSCAPED AREA	6,804 SF
MAXIMUM ALLOWABLE LOT COVERAGE	13,569 SF x 0.40 = 5,427.60 SF
PROPOSED LOT COVERAGE	2,500 SF (24.28%)
% OF UNGRADED AREA (SEE DIAGRAM)	6,994 SF / 10,297 SF = 67.92 %
LOT WIDTH	125' - 1" AS MEASURED ALONG STREET SETBACK LINE. (SEE PLOT PLAN)
EXCEPTIONS	1. LOT AREA SUBJECT LOT IS LESS THAN THE AVERAGE LOT SIZE OF 15,565 SF (SEE 500 RADIUS MAP WITH NEIGHBORHOOD KEY) 2. FRONTAGE PROPOSED DEVELOPMENT WILL HAVE A DUAL FRONTAGE . ONE ALONG BOHLIG ROAD AND ONE ALONG MELWOOD DRIVE
VARIANCES	1. SETBACK VARIANCE (REFER TO TABLE 30.11-B) A. REQUIRED STREET FRONT SETBACK (15'-0" MINIMUM) PROPOSED STREET FRONT SETBACK ALONG BOHLIG ROAD IS 4'-9" B. REQUIRED INTERIOR SETBACK (10'-0" MINIMUM) PROPOSED INTERIOR SETBACK IS 6'-0" 2. LENGTH OF DRIVEWAY VARIANCE (REFER TO SECTION 30.32.130.G.4) A. REQUIRED LENGTH OF DRIVEWAY IN RIR ZONE (18'-0" MINIMUM) PROPOSED DRIVEWAY LENGTH IS 6'-0 5/8"

OWNER :

Skye Trust
NRE LLC, Elena Neagu
1544 Garden St, Glendale CA 91201
(323) 9139960



Bohlig Properties

601, 603 BOHLIG
GLENDALE, CA

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COVER SHEET

D-A000



VICINITY MAP
NO SCALE

LEGAL DESCRIPTION:

PARCEL 1 (APN'S 5649-008-006 & 5649-021-025):

THOSE PORTIONS OF LOT 249 OF BELLEHURST HILLSLOPES, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 76, PAGES 99 AND 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 13 WEST, OF V. BEAUDRY'S MOUNTAINS, IN SAID CITY OF GLENDALE, AS PER MAP RECORDED IN BOOK 36, PAGE 76, ET SEQ., OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 249 OF BELLEHURST HILLSLOPES; THENCE SOUTHWESTERLY ALONG THE CURVE IN THE SOUTHEASTERLY LINE OF SAID LOT 249, WHICH IS CONCAVE SOUTHEASTERLY AND HAS A RADIUS OF 141.64 FEET, AN ARC DISTANCE OF 22 FEET; THENCE ALONG SAID SOUTHEASTERLY LINE SOUTH 64° 07' 10" WEST 120 FEET TO A POINT IN A CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 20 FEET (THE RADIAL LINE FROM SAID LAST MENTIONED CURVE AT SAID POINT BEARING NORTH 10° 59' 22" EAST); THENCE NORTHWESTERLY ALONG SAID LAST MENTIONED CURVE 28.57 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 165.99 FEET; THENCE NORTHWESTERLY ALONG SAID LAST MENTIONED CURVE 25.13 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 249; THENCE CONTINUING NORTHERLY ALONG SAID LAST MENTIONED CURVE 11.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 88.90 FEET; THENCE NORTHEASTERLY ALONG SAID LAST MENTIONED CURVE 49.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 97.50 FEET; THENCE NORTHEASTERLY ALONG SAID LAST MENTIONED CURVE 37.75 FEET TO A POINT FROM WHICH A RADIAL LINE BEARS NORTH 65° 00' 18" WEST; THENCE NORTH 64° 32' 10" EAST 39.40 FEET; THENCE NORTH 38° 42' 44" EAST TO THE NORTHWESTERLY PROLONGATION OF THE NORTHEASTERLY LINE OF SAID LOT 249 OF SAID BELLEHURST HILLSLOPES; THENCE SOUTH 23° 35' 30" EAST ALONG SAID PROLONGATION AND SAID NORTHEASTERLY LINE TO THE POINT OF BEGINNING.

PARCEL 2 (APN'S 5649-008-005; 5649-008-012 & 5649-021-013):

THOSE PORTIONS OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 13 WEST, OF V. BEAUDRY'S MOUNTAINS, AS PER MAP RECORDED IN BOOK 36, PAGES 67 TO 71, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND OF LOT 249 OF BELLEHURST HILLSLOPES, AS PER MAP RECORDED IN BOOK 76, PAGES 99 AND 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, IN THE CITY OF GLENDALE, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF PARCEL 1, AS DESCRIBED IN THE DEED TO ALBERT L. KIRKHOFF AND WIFE, RECORDED IN BOOK 20899, PAGE 74, OFFICIAL RECORDS OF SAID COUNTY; SAID CORNER BEING A POINT IN THE EASTERLY LINE OF MELWOOD DRIVE, 30 FEET WIDE, AS DESCRIBED IN THE DEED TO THE CITY OF GLENDALE, RECORDED IN BOOK 12800, PAGE 122, OFFICIAL RECORDS, DISTANT NORTHERLY THEREON 16.50 FEET FROM THE SOUTHERLY EXTREMITY OF THAT CERTAIN CURVE IN SAID EASTERLY LINE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 233.26 FEET; THENCE NORTHERLY ALONG SAID CURVE 20.58 FEET TO THE INTERSECTION OF SAID EASTERLY LINE WITH THE NORTHERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO EDWARD M. LYNCH, RECORDED IN BOOK 7710, PAGE 61, OFFICIAL RECORDS; THENCE NORTHERLY ALONG SAID EASTERLY LINE 9.91 FEET, MORE OR LESS, TO THE MOST SOUTHERLY CORNER OF THE PARCEL OF LAND CONVEYED TO W. W. MCELROY AND WIFE, BY DEED RECORDED IN BOOK 12764, PAGE 199, OFFICIAL RECORDS; THENCE ALONG SAID SOUTHERLY LINE OF SAID LAST MENTIONED PARCEL OF LAND NORTH 75° 33' 40" EAST 10.92 FEET, SOUTH 83° 18' 00" EAST 6.85 FEET, NORTH 70° 06' 30" EAST 10.77 FEET, NORTH 26° 36' 30" EAST 8.97 FEET, NORTH 68° 44' 00" EAST 10.42 FEET, AND NORTH 81° 50' 50" EAST 37.00 FEET TO THE MOST WESTERLY CORNER OF THE PARCEL OF LAND CONVEYED TO LELAND C. MORRIS AND WIFE, BY DEED RECORDED IN BOOK 12833 PAGE 219, OFFICIAL RECORDS; THENCE SOUTH 46° 10' 00" EAST ALONG THE SOUTHWESTERLY LINE OF THE PARCEL OF LAND CONVEYED BY SAID LAST MENTIONED DEED 72.99 FEET TO THE NORTHERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE AFOREMENTIONED DEED RECORDED IN BOOK 7710, PAGE 61, OFFICIAL RECORDS; THENCE SOUTH 64° 32' 10" WEST ALONG SAID NORTHERLY LINE 39.40 FEET TO AN ANGLE POINT IN THE NORTHWESTERLY LINE OF THE PARCEL OF LAND FIRST DESCRIBED IN THE DEED TO JOHN POWELL RILEY, RECORDED IN BOOK 7051, PAGE 43, OFFICIAL RECORDS; SAID ANGLE POINT BEING THE NORTHERLY EXTREMITY OF THAT CERTAIN CURVE IN SAID NORTHWESTERLY LINE DESCRIBED IN SAID LAST MENTIONED DEED, AS CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 97.50 FEET AND LENGTH OF 37.75 FEET; THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE AND ALONG SAID LAST MENTIONED CURVE 37.75 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 88.90 FEET; THENCE SOUTHWESTERLY ALONG SAID LAST MENTIONED CURVE 49.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 165.99 FEET; THENCE SOUTHERLY ALONG SAID LAST MENTIONED CURVE 36.21 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHERLY ALONG SAID LAST MENTIONED CURVE 8.57 FEET TO AN ANGLE POINT IN THE NORTHERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO THE CITY OF GLENDALE, RECORDED IN BOOK 6758, PAGE 217, OFFICIAL RECORDS; THENCE ALONG SAID LAST MENTIONED NORTHERLY LINE SOUTH 89° 00' WEST 10.51 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 20.00 FEET; THENCE WESTERLY ALONG SAID LAST MENTIONED CURVE 22.88 FEET TO AN ANGLE POINT IN THE EASTERLY LINE OF SAID PARCEL 1, AS DESCRIBED IN SAID DEED TO ALBERT L. KIRKHOFF AND WIFE; THENCE ALONG SAID LAST MENTIONED EASTERLY LINE NORTH 35° 33' 34" WEST 36.57 FEET, NORTH 22° 00' EAST 37.30 FEET, NORTH 14° 00' EAST 33.00 FEET AND NORTH 26° 53' 10" WEST 53.50 FEET TO THE POINT OF BEGINNING.

NOTE:

- THE MAP SHOWN HEREON WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, ADDITIONAL EASEMENTS IF ANY ARE NOT SHOWN.
- BOUNDARIES SHOWN HEREON ARE FROM WRIGHT TRACT, M.R. 10-32.
- LANDSCAPING AND LANDSCAPE IRRIGATION DEVICES EXIST WITHIN THE PROPERTY AND ARE NOT SHOWN.
- TREELINE CANOPIES ARE PICTORIAL, AND MAY NOT REFLECT TRUE DRIPLINES.
- IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM TOPOGRAPHY SHOWN HEREON, THE ELEVATIONS OF CRITICAL POINTS CONTROLLING THE DESIGN MUST BE VERIFIED PRIOR TO ADOPTION OF FINAL DESIGN.

ABBREVIATIONS

- AC ASPHALT
- BLDG BUILDING
- BS BOTTOM OF STEPS
- BW BACK OF WALK
- CB CATCH BASIN
- CONC CONCRETE
- DG DRAIN GRATE
- DL DAYLIGHT
- EG EDGE OF CONCRETE
- EG EDGE OF GUTTER
- EW EDGE OF WALK
- ES EDGE OF STEPS
- FF FINISH FLOOR
- FL FLOW LINE
- FS FINISH SURFACE
- FW FACE OF WALK
- TG TOP OF GRATE
- TOE TOE OF SLOPE
- TOP TOP OF SLOPE
- GB GRASS BREAK
- INV INVERT
- TW TOP OF WALL
- OP OVERHEAD
- PH POWER POLE

LEGEND:

- ANCHOR GUY
- CLEAN OUT
- FIRE HYDRANT
- GAS VALVE
- POWER POLE
- STORM DRAIN MAN HOLE
- SEWER MAN HOLE
- GAS METER
- ELECTRICAL PULL BOX
- MAILBOX
- TREE
- WATER METER
- WATER VALVE
- BUILDING LINE
- BUILDING EAVE LINE
- CHAINLINK FENCE
- METAL FENCE
- WOOD FENCE
- BRICK WALL
- STONE WALL
- WALL
- CENTERLINE
- PROPERTY LINE
- OVERHEAD WIRES
- LOT LINE
- ROW

AVERAGE SLOPE CALCULATIONS: PARCEL 1

$$S = (0.00229)(2)(1,895.66) / 0.257953$$

$$S = 33.6\%$$

$$S = (0.00229)(l)(L) / A$$

S = AVERAGE PERCENT CURRENT SLOPE
l = CONTOUR INTERVAL, IN FEET
L = SUMMATION OF LENGTH OF CONTOUR LINES WITHIN THE BOUNDARY OF THE PROJECT, IN FEET
A = GROSS AREA OF THE PROJECT, IN ACRES

AVERAGE SLOPE CALCULATIONS: PARCEL 2

$$S = (0.00229)(2)(3,977.75) / 0.2899355$$

$$S = 62.8\%$$

$$S = (0.00229)(l)(L) / A$$

S = AVERAGE PERCENT CURRENT SLOPE
l = CONTOUR INTERVAL, IN FEET
L = SUMMATION OF LENGTH OF CONTOUR LINES WITHIN THE BOUNDARY OF THE PROJECT, IN FEET
A = GROSS AREA OF THE PROJECT, IN ACRES

BENCH MARK:

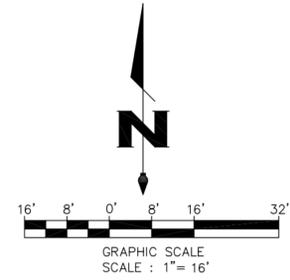
B.M. NO 2030

MAIN STREET: MELWOOD DRIVE

CROSS STREET: RES 1745

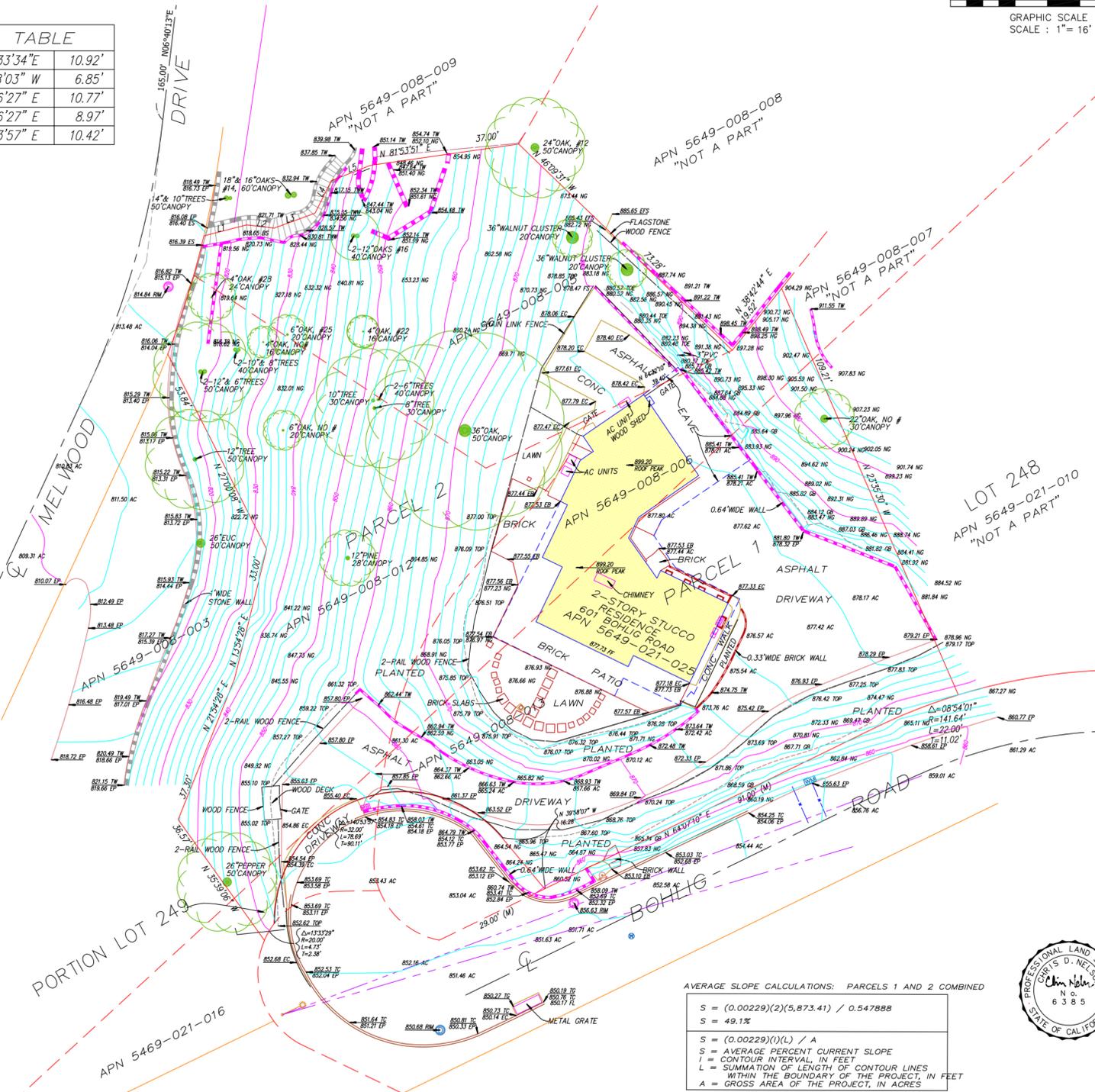
ELEVATION: 962.88 FEET

DESCRIPTION: BRASS DISK IN ROCK WALK ON NLY SIDE OF MELWOOD DR 6.0 FT. WLY OF MAILBOX @ RES NO. 1745 CHSLD "BM".



LINE TABLE

L1	N 75° 33' 34" E	10.92'
L2	N 83° 18' 03" W	6.85'
L3	N 70° 06' 27" E	10.77'
L4	N 23° 36' 27" E	8.97'
L5	N 68° 43' 57" E	10.42'



AVERAGE SLOPE CALCULATIONS: PARCELS 1 AND 2 COMBINED

$$S = (0.00229)(2)(5,873.41) / 0.547888$$

$$S = 49.1\%$$

$$S = (0.00229)(l)(L) / A$$

S = AVERAGE PERCENT CURRENT SLOPE
l = CONTOUR INTERVAL, IN FEET
L = SUMMATION OF LENGTH OF CONTOUR LINES WITHIN THE BOUNDARY OF THE PROJECT, IN FEET
A = GROSS AREA OF THE PROJECT, IN ACRES



REVISION NOTES

DATE	DESCRIPTION	BY

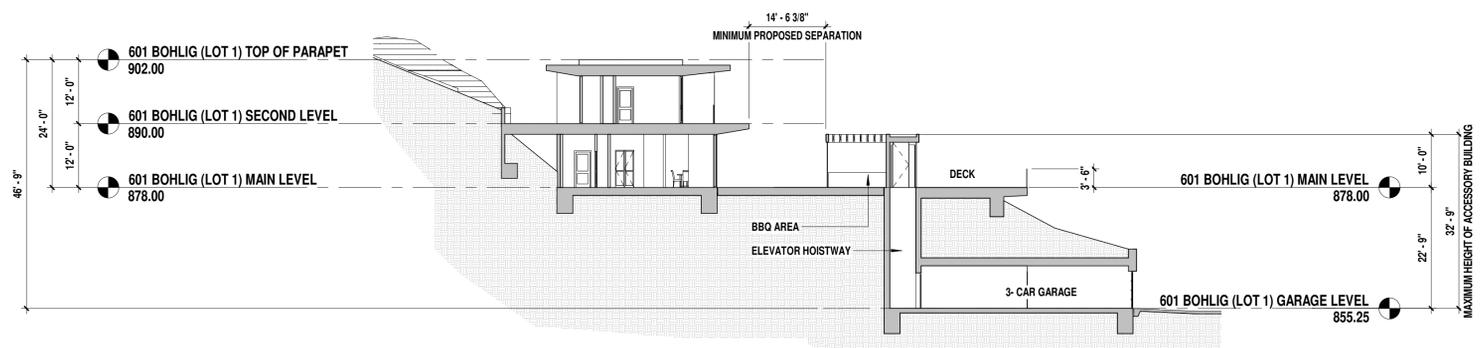
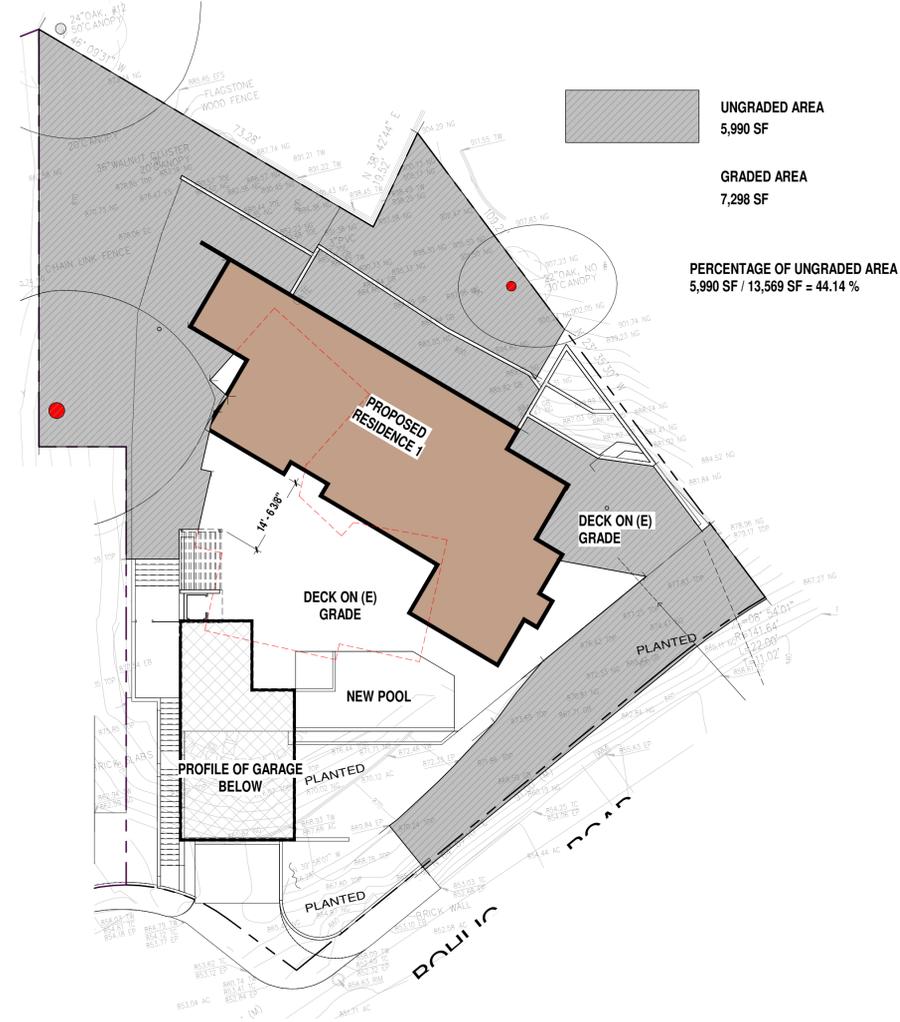
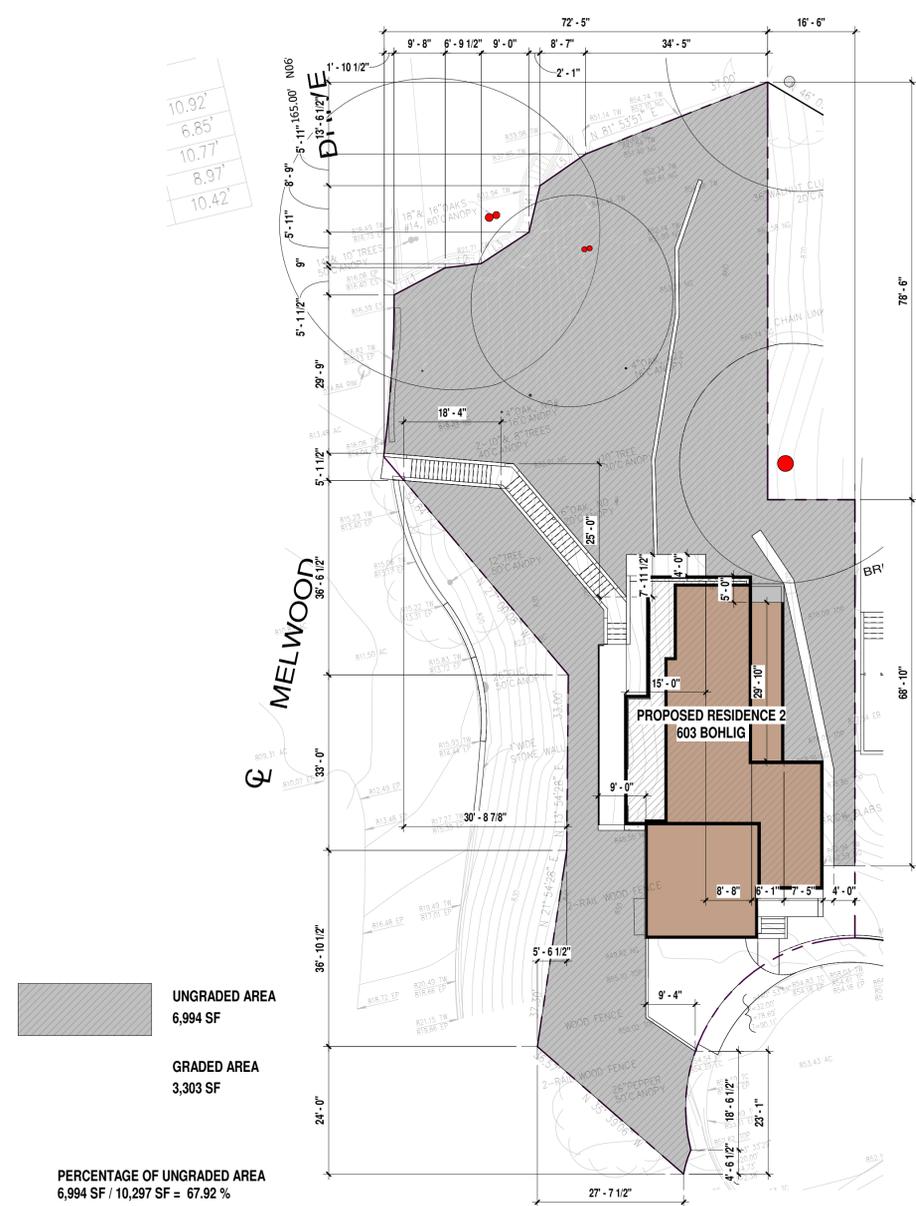
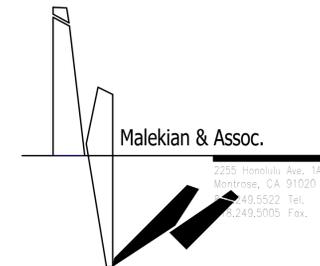
PREPARED BY:
chris nelson
& Associates, inc.
PROFESSIONAL LAND SURVEYORS
31238 Via Colinas Suite C, Westlake Village, CA. 91362
Voice: 818.991.1040 Fax: 818.991.0614

PREPARED FOR:
ELENA NEAGU
2255 HONOLULU AVE., 1A
MONTROSE, CA. 91020

TOPOGRAPHIC SITE SURVEY
A.P.N.'S 5649-021-025, 5649-008-005, -006, -012, -013.
601 BOHLIG
CITY OF GLENDALE, COUNTY OF LOS ANGELES

JOB NO. 17-4162
SCALE: 1" = 16'
DATE: MAR. 15, 2017
DRAFTED: SDN

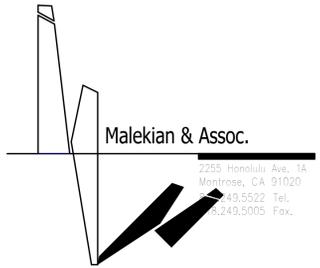
SHEET NO.
1
OF 1 SHEET



Bohlig Properties

601, 603 BOHLIG
GLENDALE, CA

GRADING DIAGRAMS



2 LANDSCAPE DIAGRAM 603 BOHLIG (LOT 2)
1/16" = 1'-0"



1 LANDSCAPE DIAGRAM 601 BOHLIG (LOT 1)
1/16" = 1'-0"

Bohlig Properties

601, 603 BOHLIG
GLENDALE, CA

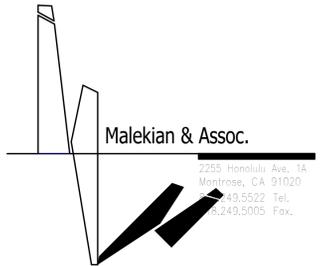
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LANDSCAPE DIAGRAM

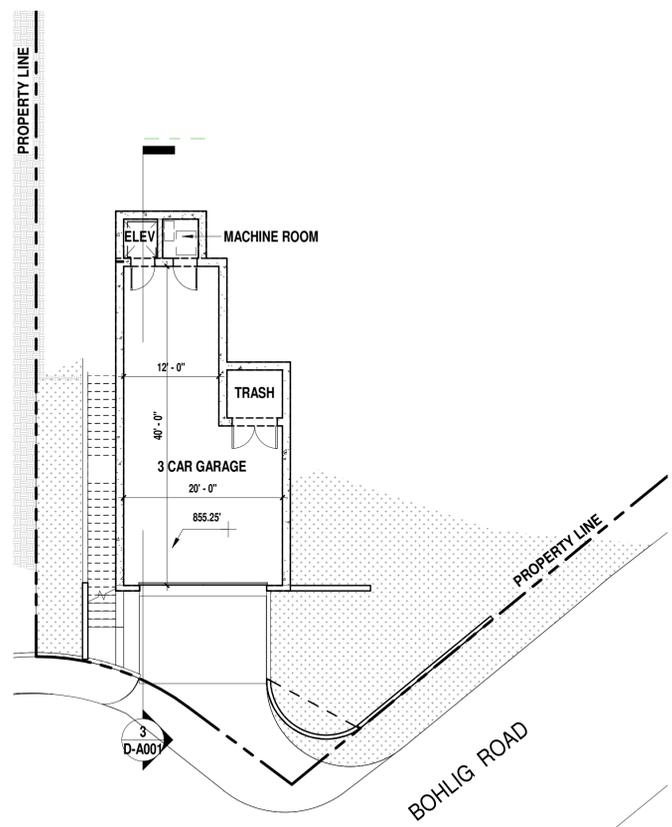
Project Status

10/23/19

Project Number



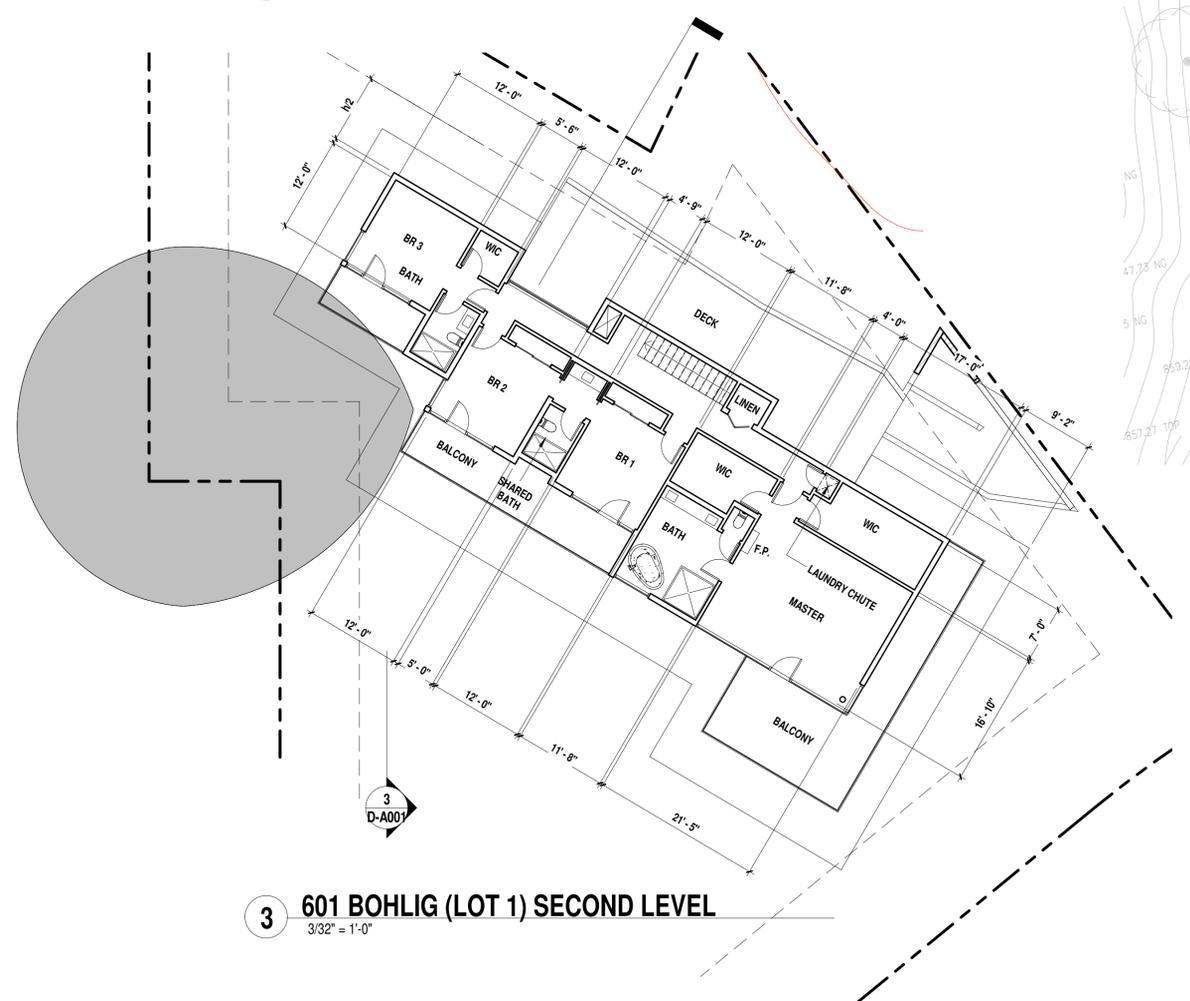
MAXIMUM FAR ALLOWED	13,569 SF $10,000 \times 0.40 = 4,000$ $3,569 \times 0.10 = 356.90$	> 4,356.90 SF
PROPOSED FAR	GARAGE LEVEL - 813 - 700 = 113 SF FIRST FLOOR - 2,368 SF SECOND FLOOR - 1,863 SF 4,344 SF	



1 601 BOHLIG (LOT 1) GARAGE LEVEL
3/32" = 1'-0"



2 601 BOHLIG (LOT 1) MAIN LEVEL
3/32" = 1'-0"



3 601 BOHLIG (LOT 1) SECOND LEVEL
3/32" = 1'-0"

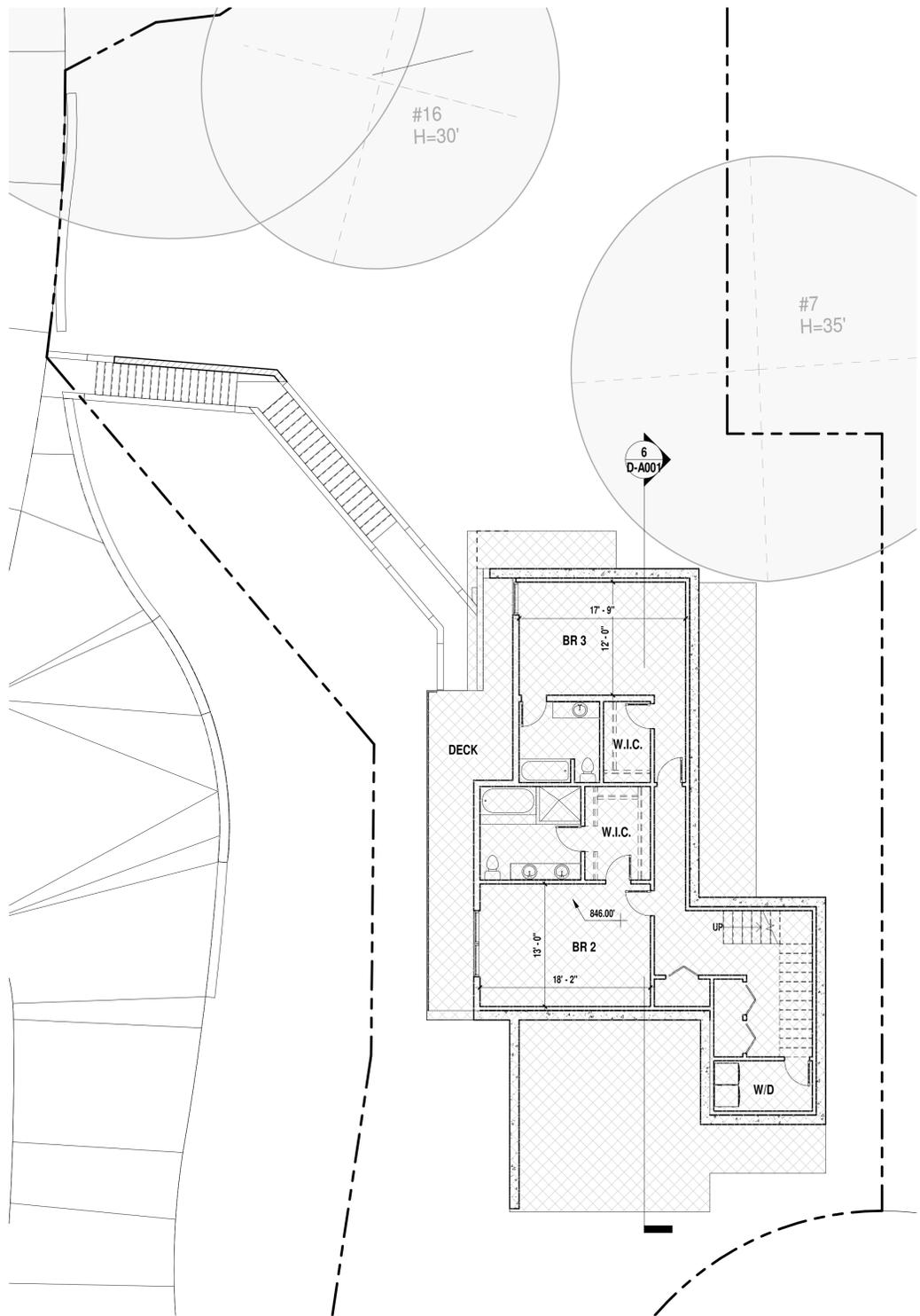
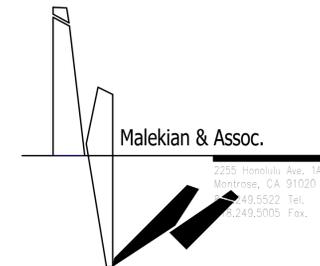
Bohlig Properties

601, 603 BOHLIG
GLENDALE, CA

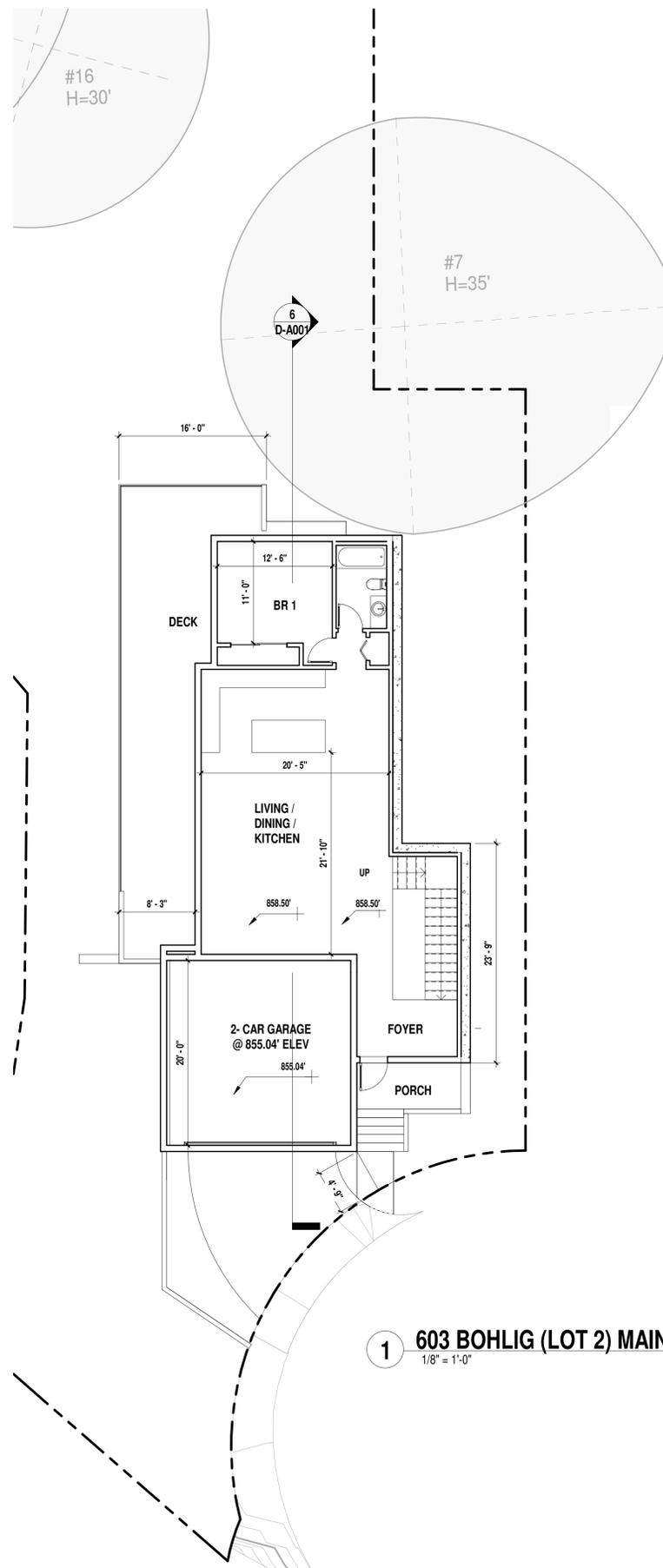
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601 BOHLIG (LOT 1)
FLOOR PLANS

Project Status
Project Number



2 603 BOHLIG (LOT 2) LOWER LEVEL
1/8" = 1'-0"



1 603 BOHLIG (LOT 2) MAIN LEVEL
1/8" = 1'-0"



Bohlig Properties

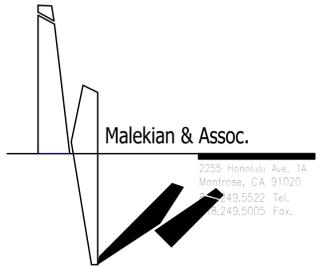
601, 603 BOHLIG
GLENDALE, CA

8/17/2020 4:44:13 PM

603 BOHLIG (LOT 2)
FLOOR PLANS



SKYE TRUST
NRE LLC,
ELENA
NEAGU



Bohlig Properties

601, 603 BOHLIG
GLENDALE, CA

8/17/2020 4:44:26 PM

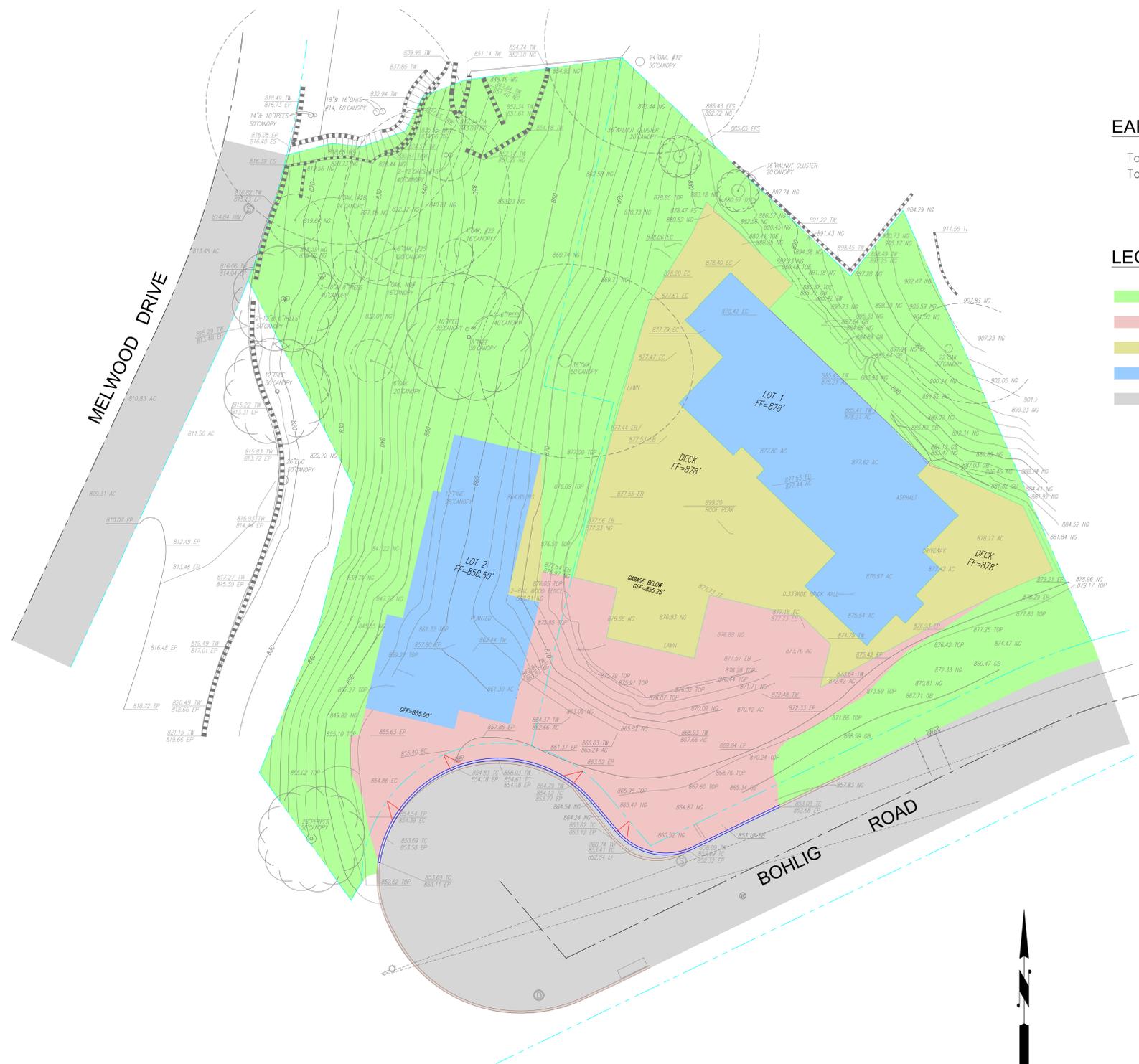
3D VIEWS

Project Status

Project Number

D-A300

601 BOHLIG ROAD

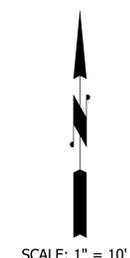


EARTHWORK QUANTITIES

Total Cut = 496 CUBIC YARDS
Total Fill = 148 CUBIC YARDS

LEGEND

- EXISTING GROUND
- CUT
- FILL
- PROPOSED BUILDING/GARAGE PAD
- STREET



SCALE: 1" = 10'

CUT & FILL MAP



TENTATIVE PARCEL MAP - 601 Bohlig Road

SHEET 1 of 1 GLN NO. 1637

RECORD OWNERS:
ELENA NEAGU 2255 HONOLULU AVENUE, 1A
MONTROSE, CA 91020

BASIS OF BEARINGS:
THE BASIS OF BEARING OF N 06°11'24" E
ALONG THE CENTERLINE OF MELWOOD DRIVE
AND SHOWN ON RECORD OF SURVEY 17605
BK 257 PG 59.

BENCHMARK:
BENCHMARK NO. 2030
MAIN STREET: MELWOOD DRIVE
CROSS STREET: RES 1745
ELEVATION: 962.88 FEET
DESCRIPTION: BRASS DISK IN ROCK WALK ON
DR 6.0 FT. W'LY OF
MAILBOX @ RES NO. 1745 N'LY SIDE OF
MELWOOD CHSLD "BM".

PARCEL MAP PREPARATION & FILING BY:
MALEKIAN & ASSOCIATES, INC.
2255 HONOLULU AVE
MONTROSE, CA 91020

**STATEMENT OF GENERAL CHARACTER OF
IMPROVEMENTS:**
NEW STREET TREES, STREET LIGHTING SYSTEM,
SIDEWALK, CURB & GUTTER, AC PAVEMENT, NEW
WATER SERVICE METERS AND LATERALS, FIRE
HYDRANTS, ELECTRICAL SERVICE, AND GAS SERVICE.

REGISTERED CIVIL ENGINEER
ARDASHES KAZARIANS - C36687

NOTE:
TOTAL AREA OF SUBDIVISION: 0.55 AC
PERCENTAGE OF UNGRADED OPEN SPACE: 70%
PRESENT USE ZONE: R1R
PROPOSED USE ZONE: R1R

LEGAL DESCRIPTION:
PARCEL 1 (APN'S 5649-008-006 & 5649-021-025) :

THOSE PORTIONS OF LOT 249 OF BELLEHURST HILLSLOPES, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 76, PAGES 99 AND 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; AND OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 13 WEST, OF V. BEAUDRY'S MOUNTAINS, IN SAID CITY OF GLENDALE, AS PER MAP RECORDED IN BOOK 36, PAGE 76, ET SEQ., OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 249 OF BELLEHURST HILLSLOPES; THENCE SOUTHWESTERLY ALONG THE CURVE IN THE SOUTHEASTERLY LINE OF SAID LOT 249, WHICH IS CONCAVE SOUTHEASTERLY AND HAS A RADIUS OF 141.64 FEET, AN ARC DISTANCE OF 22 FEET; THENCE ALONG SAID SOUTHEASTERLY LINE SOUTH 64° 07' 10" WEST 120 FEET TO A POINT IN A CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 20 FEET (THE RADIAL LINE FROM SAID LAST MENTIONED CURVE AT SAID POINT BEARING NORTH 10° 59' 22" EAST); THENCE NORTHWESTERLY ALONG SAID LAST MENTIONED CURVE 28.57 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 165.99 FEET; THENCE NORTHERLY ALONG SAID LAST MENTIONED CURVE 25.13 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 249; THENCE CONTINUING NORTHERLY ALONG SAID LAST MENTIONED CURVE 11.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 97.50 FEET; THENCE NORTHEASTERLY ALONG SAID LAST MENTIONED CURVE 37.75 FEET TO A POINT FROM WHICH A RADIAL LINE BEARS NORTH 65° 00' 18" WEST; THENCE NORTH 64° 32' 10" EAST 39.40 FEET; THENCE NORTH 38° 42' 44" EAST TO THE NORTHWESTERLY PROLONGATION OF THE NORTHEASTERLY LINE OF SAID LOT 249 OF SAID BELLEHURST HILLSLOPES; THENCE SOUTH 23° 35' 30" EAST ALONG SAID PROLONGATION AND SAID NORTHEASTERLY LINE TO THE POINT OF BEGINNING.

PARCEL 2 (APN'S 5649-008-005; 5649-008-012 & 5649-021-013):

THOSE PORTIONS OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 13 WEST, OF V. BEAUDRY'S MOUNTAINS, AS PER MAP RECORDED IN BOOK 36, PAGES 67 TO 71, INCLUSIVE, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND OF LOT 249 OF BELLEHURST HILLSLOPES, AS PER MAP RECORDED IN BOOK 76, PAGES 99 AND 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, IN THE CITY OF GLENDALE, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF PARCEL 1, AS DESCRIBED IN THE DEED TO ALBERT L. KIRKHUFF AND WIFE, RECORDED IN BOOK 20899, PAGE 74, OFFICIAL RECORDS OF SAID COUNTY, SAID CORNER BEING A POINT IN THE EASTERLY LINE OF MELWOOD DRIVE, 30 FEET WIDE, AS DESCRIBED IN THE DEED TO THE CITY OF GLENDALE, RECORDED IN BOOK 12800, PAGE 122, OFFICIAL RECORDS, DISTANT NORTHERLY THEREON 16.50 FEET FROM THE SOUTHERLY EXTREMITY OF THAT CERTAIN CURVE IN SAID EASTERLY LINE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 233.26 FEET; THENCE NORTHERLY ALONG SAID CURVE 20.58 FEET TO THE INTERSECTION OF SAID EASTERLY LINE WITH THE NORTHERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO EDWARD M. LYNCH, RECORDED IN BOOK 7710, PAGE 61, OFFICIAL RECORDS; THENCE NORTHERLY ALONG SAID EASTERLY LINE 9.91 FEET, MORE OR LESS, TO THE MOST SOUTHERLY CORNER OF THE PARCEL OF LAND CONVEYED TO W. W. MCELROY AND WIFE, BY DEED RECORDED IN BOOK 12764, PAGE 199, OFFICIAL RECORDS; THENCE ALONG SAID SOUTHERLY LINE OF SAID LAST MENTIONED PARCEL OF LAND NORTH 75° 33' 40" EAST 10.92 FEET, SOUTH 83° 18' 00" EAST 6.85, NORTH 70° 06' 30" EAST 10.77 FEET, NORTH 26° 36' 30" EAST 8.97 FEET, NORTH 68° 44' 00" EAST 10.42 FEET, AND NORTH 81° 50' 50" EAST 37.00 FEET TO THE MOST WESTERLY CORNER OF THE PARCEL OF LAND CONVEYED TO LELAND C. MORRIS AND WIFE, BY DEED RECORDED IN BOOK 12833 PAGE 219, OFFICIAL RECORDS; THENCE SOUTH 46° 10' 00" EAST ALONG THE SOUTHWESTERLY LINE OF THE PARCEL OF LAND CONVEYED BY SAID LAST MENTIONED DEED 72.99 FEET TO THE NORTHERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE FOREMENTIONED DEED RECORDED IN BOOK 7710, PAGE 61, OFFICIAL RECORDS; THENCE SOUTH 64° 32' 10" WEST ALONG SAID NORTHERLY LINE 39.40 FEET TO AN ANGLE POINT IN THE NORTHERLY LINE OF THE PARCEL OF LAND FIRST DESCRIBED IN THE DEED TO JOHN POWELL RILEY, RECORDED IN BOOK 7051, PAGE 43, OFFICIAL RECORDS; SAID ANGLE POINT BEING THE NORTHERLY EXTREMITY OF THAT CERTAIN CURVE IN SAID NORTHWESTERLY LINE DESCRIBED IN SAID LAST MENTIONED DEED, AS CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 97.50 FEET AND LENGTH OF 37.75 FEET; THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE AND ALONG SAID LAST MENTIONED CURVE 37.75 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 88.90 FEET; THENCE SOUTHWESTERLY ALONG SAID LAST MENTIONED CURVE 49.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 165.99 FEET; THENCE SOUTHERLY ALONG SAID LAST MENTIONED CURVE 36.21 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHERLY ALONG SAID LAST MENTIONED CURVE 8.57 FEET TO AN ANGLE POINT IN THE NORTHERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO THE CITY OF GLENDALE, RECORDED IN BOOK 6758, PAGE 217, OFFICIAL RECORDS; THENCE ALONG SAID LAST MENTIONED NORTHERLY LINE SOUTH 89° 00' WEST 10.51 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 20.00 FEET; THENCE WESTERLY ALONG SAID LAST MENTIONED CURVE 22.88 FEET TO AN ANGLE POINT IN THE EASTERLY LINE OF SAID PARCEL 1, AS DESCRIBED IN SAID DEED TO ALBERT L. KIRKHUFF AND WIFE; THENCE ALONG SAID LAST MENTIONED EASTERLY LINE NORTH 35° 33' 34" WEST 36.57 FEET, NORTH 22° 00' EAST 37.30 FEET, NORTH 14° 00' EAST 33.00 FEET AND NORTH 26° 53' 10" WEST 53.50 FEET TO THE POINT OF BEGINNING.

**ABUTTING PROPERTY OWNER NAMES &
ADDRESSES:**

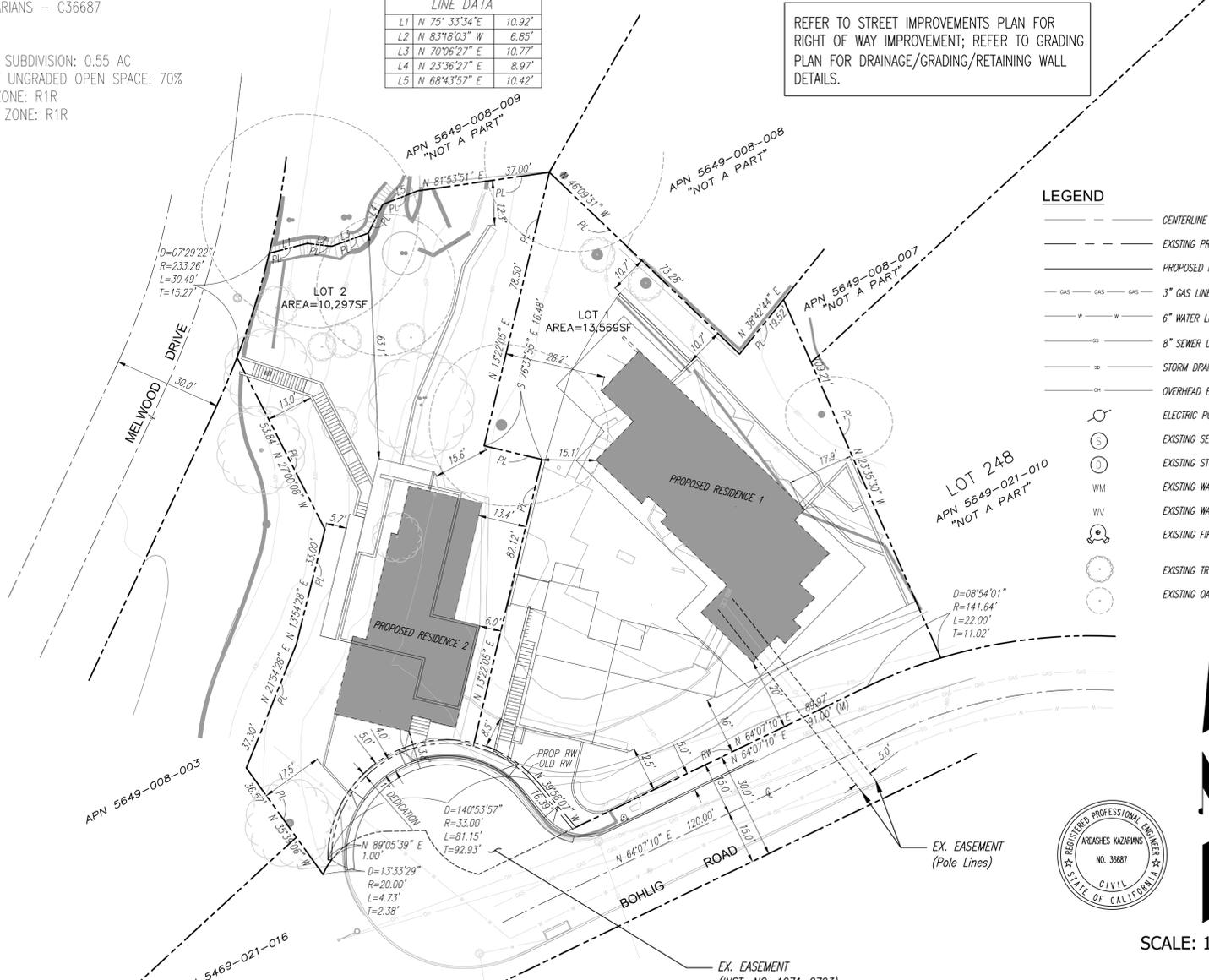
SOUTHSIDE
APN: 5649-008-003 - N/A
1500 Melwood Drive - N/A

NORTHSIDE
615 Bohlig Road - N/A
APN: 5649-008-007 - N/A
APN: 612 Seclusion Lane - N/A
1522 Melwood Drive - N/A

AVERAGE CURRENT SLOPE:
ENTIRE PROPERTY: 49.10%
LOT 1: 34.96%
LOT 2: 67.46%

LINE DATA		
L1	N 75° 33' 34" E	10.92'
L2	N 83° 18' 03" W	6.85'
L3	N 70° 06' 27" E	10.77'
L4	N 23° 36' 27" E	8.97'
L5	N 68° 43' 57" E	10.42'

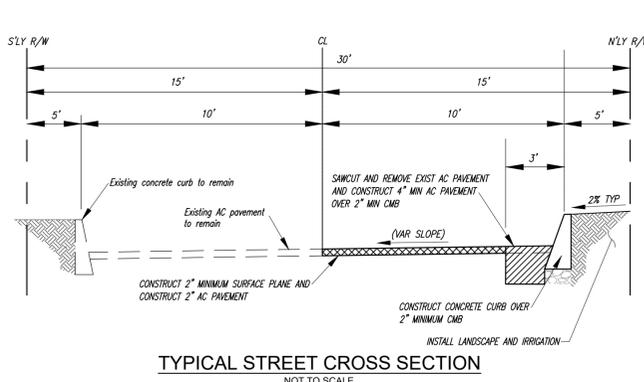
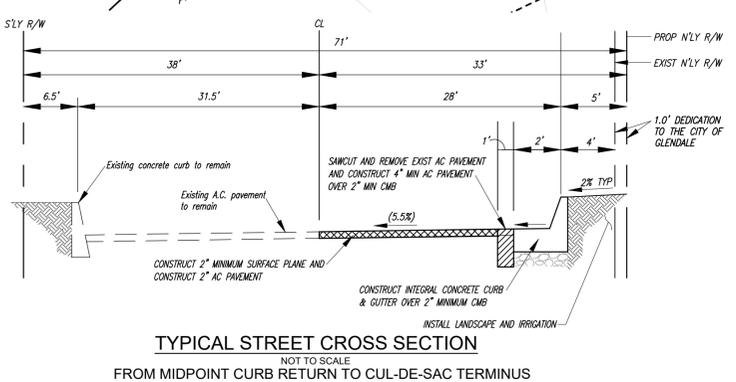
REFER TO STREET IMPROVEMENTS PLAN FOR
RIGHT OF WAY IMPROVEMENT; REFER TO GRADING
PLAN FOR DRAINAGE/GRADING/RETAINING WALL
DETAILS.



- LEGEND**
- CENTERLINE
 - - - EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - GAS — GAS — GAS — 3" GAS LINE
 - W — W — W — 6" WATER LINE
 - S — S — S — 8" SEWER LINE
 - SD — STORM DRAIN LINE
 - OH — OVERHEAD ELECTRICAL LINE
 - ⊙ ELECTRIC POWER POLE
 - ⊙ EXISTING SEWER MANHOLE
 - ⊙ EXISTING STORM DRAIN MANHOLE
 - ⊙ EXISTING WATER METER
 - ⊙ EXISTING WATER VALVE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING TREE
 - ⊙ EXISTING OAK TREE



SCALE: 1" = 20'



HYDROLOGY ANALYSIS MAP - 601 BOHLIG ROAD



SCALE: 1" = 20'



LEGEND

- A – area
- CPFR – clear peak flow rate
- BPFR – burned peak flow rate
- applicable flow of water

TRIBUTARY AREA CALCULATIONS: (DPA = 7, Peak Burning Factor = 1.57)

SUBAREA 1a:	SUBAREA 1b:	SUBAREA 1c:	SUBAREA 1d:	SUBAREA 1e:	SUBAREA 2a:	SUBAREA 2b:	SUBAREA 2c:	SUBAREA 2d:	SUBAREA 2e:	SUBAREA 2f:	SUBAREA 2g:
A = 0.051ac	A = 0.013ac	A = 0.012ac	A = 0.018ac	A = 0.046ac	A = 0.024ac	A = 0.021ac	A = 0.033ac	A = 0.012ac	A = 0.019ac	A = 0.029ac	A = 0.036ac
CPFR = 0.153cfs	CPFR = 0.0414cfs	CPFR = 0.0382cfs	CPFR = 0.0574cfs	CPFR = 0.1466cfs	CPFR = 0.0765cfs	CPFR = 0.0669cfs	CPFR = 0.1052cfs	CPFR = 0.0382cfs	CPFR = 0.0606cfs	CPFR = 0.0924cfs	CPFR = 0.1147cfs
BPFR = 0.1665cfs	BPFR = 0.0451cfs	BPFR = 0.0416cfs	BPFR = 0.0625cfs	BPFR = 0.1596cfs	BPFR = 0.0833cfs	BPFR = 0.0729cfs	BPFR = 0.1145cfs	BPFR = 0.0416cfs	BPFR = 0.0659cfs	BPFR = 0.1006cfs	BPFR = 0.1249cfs
=1.57*0.1665	=1.57*0.0451	=1.57*0.0416	=1.57*0.0625	=1.57*0.1596	=1.57*0.0833	=1.57*0.0729	=1.57*0.1388	=1.57*0.0416	=1.57*0.0659	=1.57*0.1006	=1.57*0.1249
=0.2614cfs	=0.0708cfs	=0.0653cfs	=0.0981cfs	=0.2506cfs	=0.1308cfs	=0.1144cfs	=0.1798cfs	=0.0653cfs	=0.1035cfs	=0.1579cfs	=0.1961cfs

PROPOSED GRADING AND RETAINING WALLS WITH EXISTING RETAINING WALLS TO REMAIN

LINE DATA		
L1	N 75° 33' 34" E	10.92'
L2	N 83° 18' 03" W	6.85'
L3	N 70° 06' 27" E	10.77'
L4	N 23° 36' 27" E	8.97'
L5	N 68° 43' 57" E	10.42'

CONSTRUCTION NOTES

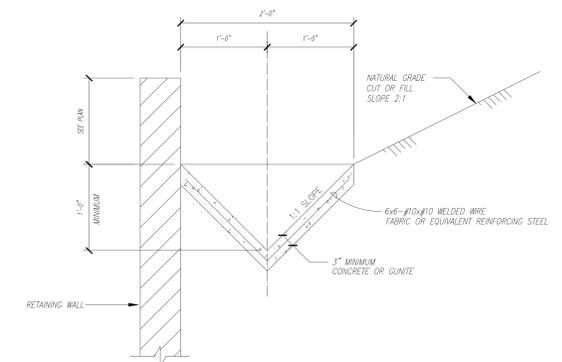
- ①—CONSTRUCT RETAINING WALL PER SPPWC STD. PLAN NO. 618-3, TYPE A.
- ②—CONSTRUCT 24-INCH WIDE CONCRETE SWALE PER DETAIL HEREIN OR AS SHOWN ON PLAN.
- ③—CONSTRUCT 2-FT HIGH BLOCK SLOUGH WALL PER SPPWC STD. PLAN NO. 622-4.
- ④—INSTALL 12" X 12" GRATE INLET.
- ⑤—INSTALL 6-INCH PVC SCHEDULE 40.
- ⑥—INSTALL PIPE ANCHORS AND BACKFILL STABILIZERS PER SPPWC STD. PLAN NO. 221-2.
- ⑦—INSTALL 4-INCH PERFORATED SUBDRAIN PIPE PER SOILS REPORT.

LOT 1 LEGEND

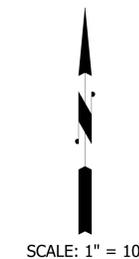
-  1st Floor Deck (FF=878')
-  New Retaining Wall
-  New Structural Retaining Wall (See Structural Plans)
-  Existing Retaining Wall to Remain

LOT 2 LEGEND

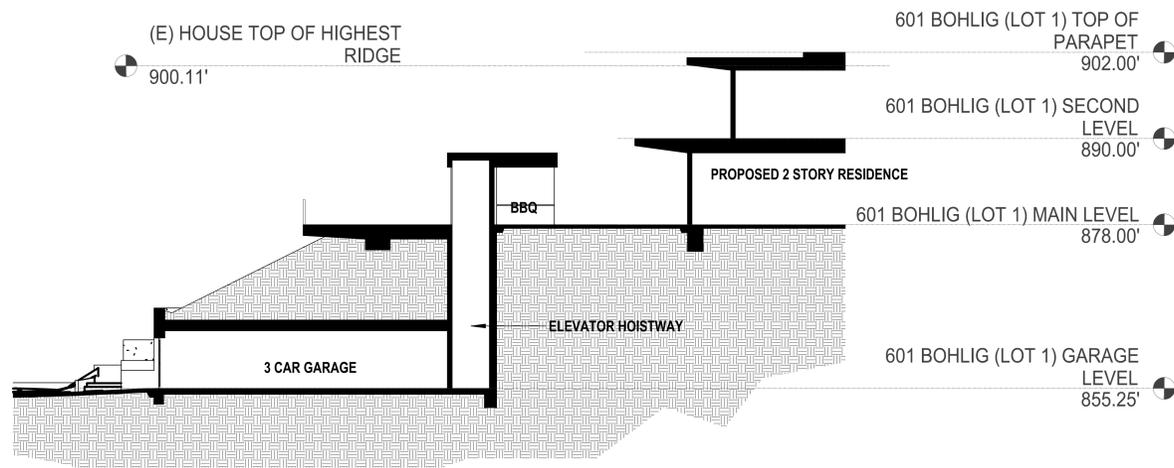
-  Lower Deck (FF=846')
-  New Retaining Wall
-  New Structural Retaining Wall (See Structural Plans)
-  Existing Retaining Wall to Remain



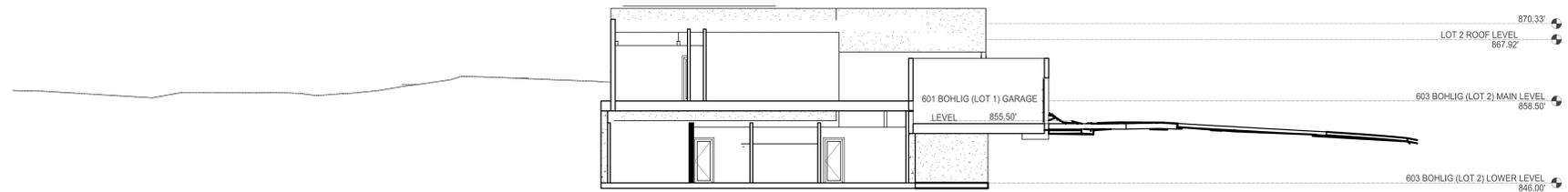
CONCRETE V-DITCH
NOT TO SCALE



NO.	REVISION DESCRIPTION	DATE	BY	DESIGNED BY: PRIME ENGR.	SCALE: 1" = 10'
1				DRAWN BY: PRIME ENGR.	PROJECT NO.
2				CHECKED BY:	DATE: JULY 2020



SECTION "A-A"
NOT TO SCALE



SECTION "B-B"
NOT TO SCALE



NO.	REVISION DESCRIPTION	DATE	BY	DESIGNED BY: FRANK ENR	SCALE: 1" = 10'
△				DRAWN BY: FRANK ENR	PROJECT NO.
△				CHECKED BY:	
				DATE:	

DEMOLITION PLAN

CONSTRUCTION NOTES

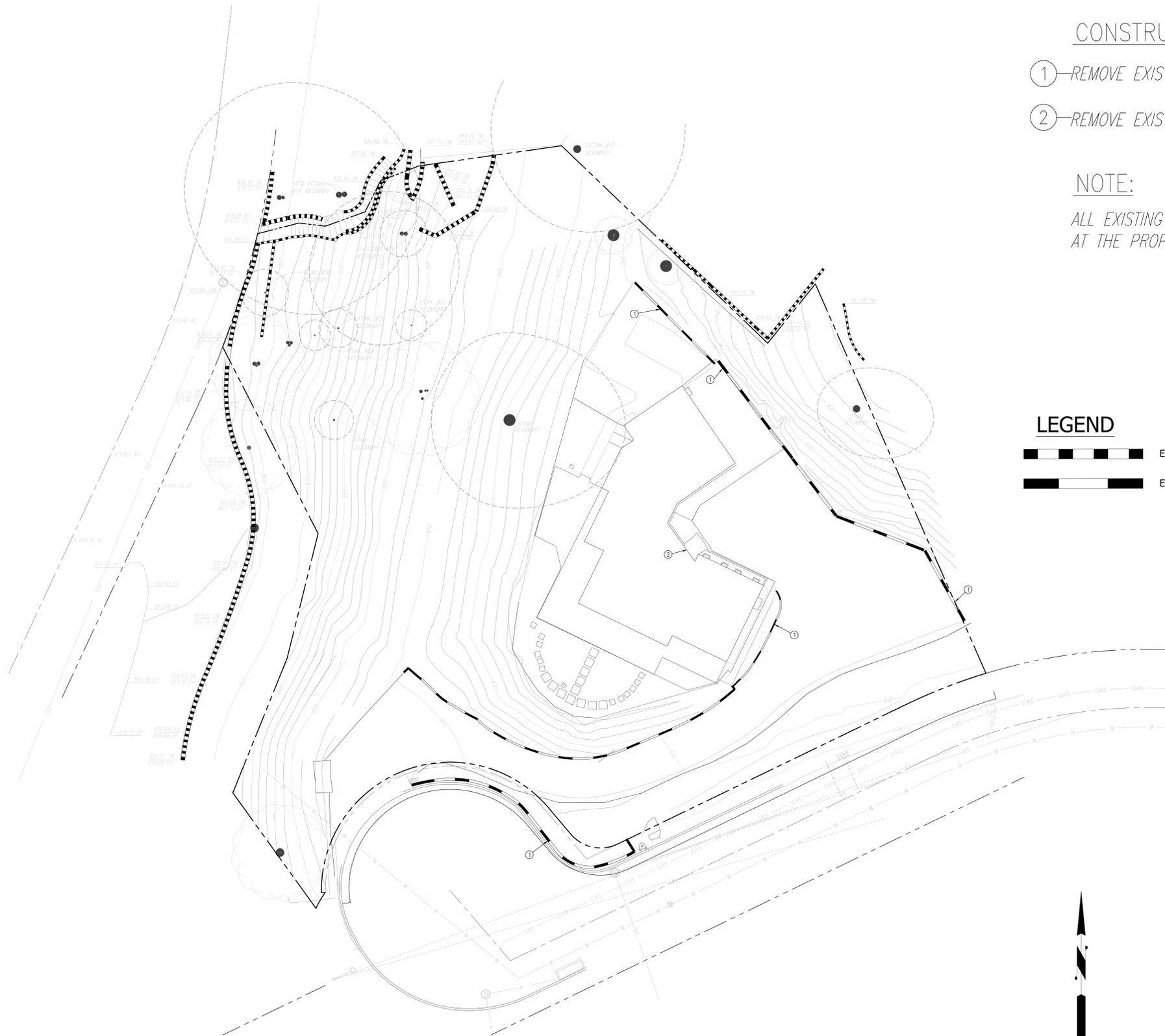
- ①—REMOVE EXISTING WALL
- ②—REMOVE EXISTING IMPROVEMENTS (BUILDING/CONCRETE/PAVEMENT/FENCE/BRICKS)

NOTE:

ALL EXISTING SEWER LATERALS SERVING THE PROJECT SITE SHALL BE CAPPED AT THE PROPERTY LINE PRIOR TO START OF DEMOLITION OPERATIONS.

LEGEND

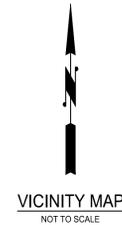
-  Existing Retaining Wall to Remain
-  Existing Retaining Wall to be Removed



NO.	REVISION DESCRIPTION	DATE	BY	DESIGNED BY: PRIME ENGR.	SCALE: 1" = 10'
△				DRAWN BY: PRIME ENGR. <td>PROJECT NO.</td>	PROJECT NO.
△				CHECKED BY: <td></td>	
				DATE:	

GENERAL NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET ABOVE THE U.S.G.S. DATUM PLANE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (2012 EDITION), CITY OF GLENDALE AMENDMENTS TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (SPPWC, 2012 EDITION)
- UTILITIES ARE SHOWN ACCORDING TO RECORDS IN THE OFFICE OF THE CITY ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND THEIR SERVICE CONNECTIONS.
- UNDERGROUND UTILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF THESE UTILITIES FROM THE RESPECTIVE OWNERS PRIOR TO ANY EXCAVATION WORK. LOCATION OF UTILITIES WITHIN THE PROJECT ARE ON FILE IN THE CITY ENGINEER'S OFFICE FOR REFERENCE. THE CONTRACTOR SHALL ALSO NOTE THAT FIELD MARKINGS MADE BY VARIOUS UTILITIES USING UNDERGROUND SERVICE ALERT (USA) SHALL BE CONSIDERED AS IDENTIFIED UTILITIES EVEN WHEN THEY ARE NOT SHOWN ON PLANS.
- EXISTING UTILITIES SHALL BE MAINTAINED IN PLACE BY THE CONTRACTOR, UNLESS OTHERWISE NOTED IN PLANS.
- CONTRACTOR MUST MAINTAIN ALL TRAFFIC SIGNS IN ERECT POSITIONS AND SET FRAME ORIENTATION IN PROPER POSITION PRIOR TO CLOSE OF THE JOB.
- SANITARY SEWER, STORM DRAIN, WATER VAULT AND WATER MANHOLE FRAME AND COVER SETS SHALL BE ADJUSTED TO THE NEW FINISHED SURFACE GRADE BY THE CONTRACTOR. THE USE OF CAST IRON RAISING RINGS WILL NOT BE ACCEPTED.
- NO LONGER THAN 48 HOURS SHALL ELAPSE BETWEEN THE TIME A MANHOLE IS DUG OUT FROM THE NEWLY LAID ASPHALT AND THE TIME THAT THE FINISHED SURFACE OF ASPHALT IS PLACED AROUND THE FRAME SET TO FIT THE NEW STREET SECTION.
- PREFORMED EXPANSION JOINTS 1/4" THICK SHALL BE PLACED IN CONCRETE CURB, GUTTER AND SIDEWALK, AT THE BEGINNING AND END OF ALL CURVES, AT THE TOP OF "X" OF DRIVEWAYS AND WHEELCHAIR RAMPS AND AT UNIFORM INTERVALS NOT TO EXCEED 25 FT.
- PLANTED AREAS ADJACENT TO THE PROPOSED WORK WHICH ARE DISTURBED BY THE CONTRACTOR SHALL BE PLANTED WITH SOD OR GROUND COVER TO MATCH EXISTING.
- THE CONTRACTOR SHALL REMOVE THE EXISTING PAVEMENT, CURB, GUTTER, AND SIDEWALK WHERE NEW IMPROVEMENTS ARE REQUIRED.
- THE CONTRACTOR SHALL REMOVE PORTIONS OF EXISTING SPRINKLER SYSTEMS, (IF ANY), IN CONFLICT WITH THE NEW CONSTRUCTION AND PROVIDE FOR THE IMMEDIATE RESTORATION OF A TEMPORARY SYSTEM. BEFORE FINAL ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL RESTORE THE SPRINKLER SYSTEMS TO THEIR ORIGINAL COVERAGE LESS THE NEW PAVED AREAS.
- THE CONTRACTOR SHALL REMOVE ANY TREE ROOTS WHICH HAVE DAMAGED EXISTING PAVEMENTS AND CURBS AND WHICH MAY POTENTIALLY DAMAGE NEW IMPROVEMENTS. ROOTS WITHIN 12 INCHES FROM PAVEMENT, BOTH HORIZONTALLY AND VERTICALLY, SHALL BE REMOVED PRIOR TO THE COMPACTION OF THE SUBGRADE. WHERE THIS REMOVAL MAY DAMAGE THE TREE'S ROOT SYSTEM, THE EXTENT OF REMOVAL SHALL THEN BE DETERMINED BY THE URBAN FORESTER, (818)-548-3950.
- REMOVAL OF MORE THAN 25% OF THE TREES' ROOT MASS AND/OR REMOVAL OF TREE ROOTS LARGER THAN TWO INCHES (2") MUST BE APPROVED BY THE URBAN FORESTER, (818)-548-3950.
- ALL TREES SHALL REMAIN IN PLACE AND SHALL BE ADEQUATELY PROTECTED DURING CONSTRUCTION UNLESS OTHERWISE SPECIFIED IN PLANS.
- PRIOR TO POURING CONCRETE ADJACENT TO EXISTING CURB, THE CURB SHALL BE PREPARED BY REMOVING CONCRETE REMNANTS, DIRT AND ASPHALT, TO INSURE GOOD CONTACT WITH EXISTING CONCRETE.
- ALL CONCRETE REMOVALS SHALL BE MADE TO A CLEAN SAWCUT LINE PER STANDARD SPECIFICATIONS.
- ALL NEW PCC PAVEMENT (SIDEWALKS, DRIVEWAYS, CROSS GUTTERS, BUS PADS, ETC.) SHALL HAVE WEAKENED PLANE JOINTS OR SCORELINES THAT MATCH EXISTING ADJACENT PATTERNS. AT LOCATIONS WHERE THERE ARE NO SIDEWALKS, THE WEAKENED PLANE JOINTS OR SCORELINES SHALL BE CONSTRUCTED AT REGULAR 5.0 FT INTERVALS IN ACCORDANCE WITH CONSTRUCTION STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION.
- DRIVEWAY LOCATIONS ARE SUBJECT TO CHANGE AT THE TIME OF CONSTRUCTION UPON REQUEST OF THE PROPERTY OWNER, PROVIDED THAT NO UTILITY CONFLICT OCCURS AND THE WIDTH IS WITHIN SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY RESIDENTIAL PROPERTY OWNERS 72 HOURS AND BUSINESS ESTABLISHMENTS 96 HOURS PRIOR TO ANY CLOSURE OF THEIR EXISTING DRIVEWAYS.
- SURFACE PLANE AND BASE FAILURE AREAS ARE SUBJECT TO ADJUSTMENT TO MAXIMIZE REMOVAL OF DETERIORATED A.C. PAVEMENT.
- EXACT LIMITS OF PAVEMENT REMOVALS WILL BE DETERMINED BY THE ENGINEER DURING CONSTRUCTION.
- ASPHALT CONCRETE PAVEMENT SHALL BE CONSTRUCTED JOINING GUTTER WITH 1/4" LIP.
- THE COMPLETED ASPHALT/ASPHALT RUBBER HOT MIX PAVEMENT SHALL BE THOROUGHLY COMPACTED TO BE FREE FROM BUMPS, DEPRESSION OR IRREGULARITIES. ANY RIDGES, INDENTATIONS OR OTHER OBJECTIONABLE MARKS LEFT ON THE SURFACE OF THE NEW PAVEMENT SHALL BE ELIMINATED BY ROLLER OR OTHER MEANS.
- LOCATIONS OF SURVEY WELL MONUMENTS WILL BE IDENTIFIED IN THE FIELD BY THE ENGINEER. CONTRACTOR SHALL GIVE 72 HOURS NOTIFICATION TO THE ENGINEER.
- LOCATIONS OF TRAFFIC LOOP DETECTORS WILL BE IDENTIFIED IN THE FIELD BY THE ENGINEER. CONTRACTOR SHALL GIVE 72 HOURS NOTIFICATION TO THE ENGINEER.
- GWP ELECTRICAL VAULTS, MANHOLES & PULL BOXES WILL BE ADJUSTED TO GRADE BY GWP, UNLESS OTHERWISE NOTED. POWER POLES WILL BE RELOCATED BY GWP. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REQUIRED WORK. PULL BOXES DAMAGED BY CONTRACTOR SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- A MINIMUM OF FIVE FEET OF UNDISTURBED SOIL SHALL BE MAINTAINED AROUND EACH POWER POLE. EXCAVATIONS IN THE VICINITY OF ANY POWER POLE SHALL BE ADEQUATELY AND PROPERLY SHORED TO PREVENT THE POWER POLE FROM BEING UNDERMINED. ADDITIONAL SUPPORT OF THE POWER POLE MAY BE REQUIRED IF THIS SEPARATION REQUIREMENT CAN NOT BE MET.
- PRIOR TO ANY WORK BEING DONE IN THE VICINITY OF AN EXISTING UNDERGROUND STREET LIGHT CIRCUIT, THE CONTRACTOR SHALL OBTAIN A DAILY CIRCUIT CLEARANCE FROM THE GLENDALE WATER & POWER. SEND A FAX TO GWP CORPORATE YARD, FAX NO. (818)543-1428. SEND THE NOTIFICATION TO THE ATTENTION OF THE STREET LIGHT SUPERVISOR. A MINIMUM OF 24 HOURS IN ADVANCE OF THE TIME THE CLEARANCE IS NEEDED. NOTIFICATION TIMES ARE BASED ON WORKING DAYS.
- ALL GAS VALVE COVERS & APPURTENANCES WILL BE ADJUSTED TO NEW FINISHED GRADE BY THE GAS COMPANY, UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REQUIRED WORK.
- ALL TELEPHONE MANHOLE COVERS/VAULTS & RELATED APPURTENANCES WILL BE ADJUSTED TO NEW FINISHED GRADE BY TELEPHONE COMPANY, UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REQUIRED WORK.
- RELEASE AGENT MUST BE USED TO SEPARATE ASPHALT FROM THE EXISTING VAULT LIDS. ALL VAULT LID LOCATIONS MUST BE FIELD MARKED TO PERMANENT OBJECTS FOR ADJUSTING.



BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF MELWOOD DRIVE AS SHOWN ON THE MAP OF RECORD OF SURVEYS 17605. BK 257 PG 59, AS N 06° 40' 13" E.

BENCH MARK
 B.M. NO 2030 MAIN STREET: MELWOOD DRIVE CROSS STREET: RES 1745 ELEVATION: 962.88 FEET DESCRIPTION: BRASS DISK IN ROCK WALK ON N'LY SIDE OF MELWOOD DR 6.0 FT. W'LY OF MAILBOX @ RES NO. 1745 CHSLD "BM".

ATTENTION:
 All utilities shown on this plan are based on available records. It shall be the sole responsibility of the contractor to verify all existing utilities by contacting utility agencies and to avoid damaging existing utilities during excavation.
 FOR UNDERGROUND SERVICE ALERT CALL:
 1-800-422-4133

SHEET INDEX
STREET IMPROVEMENT PLANS

SHEET 1 - TITLE SHEET
 SHEET 2 - STREET IMPROVEMENTS PLAN & PROFILE AND DETAILS

SPPWC STANDARD PLANS

CURB & SIDEWALK JOINTS	112-2
SIDEWALK & DRIVEWAY REPLACEMENT	113-2
CURB AND GUTTER	120-2

CITY OF GLENDALE STANDARD PLANS

STANDARD METER & SERVICE ASSEMBLY	133-2
WATER VALVE BOX ADJUSTABLE SLEEVE	1588-A
WATER VALVE BOX COVER	1589-A
STANDARD VALVE BOX	1590-A

WATER POLLUTION CONTROL GENERAL NOTES

- THIS PROJECT WILL REQUIRE THE IMPLEMENTATION OF BEST MANAGEMENT PRACTICES (BMPs) NECESSARY TO MEET MINIMUM WATER QUALITY PROTECTION REQUIREMENTS AS SPECIFIED IN SECTION 2.16 IN THE GENERAL CONDITIONS OF THE PROJECT SPECIFICATIONS. ADDITIONAL REQUIREMENTS ARE SPECIFIED IN PART 4, SECTION E-DEVELOPMENT CONSTRUCTION PROGRAM OF THE "MUNICIPAL STORM WATER AND URBAN RUNOFF DISCHARGES PERMIT" (ORDER #01-182).
- THE CONTRACTOR (INCLUDING ALL SUBCONTRACTORS) IS DIRECTED TO IMPLEMENT BMPs IN CONJUNCTION WITH ALL ACTIVITIES AND OPERATIONS. THE CONTRACTOR SHALL MAINTAIN COPIES OF BMP FACT SHEETS (GUIDANCE PAPER) AT THE PROJECT SITE, AND SHALL EMPHASIZE TO WORKERS/EMPLOYEES THE PRACTICES CONTAINED ON EACH FACT SHEET DURING CONSTRUCTION MEETINGS AND CONSTRUCTION OPERATIONS.

THE FOLLOWING BMPs WERE SELECTED FROM THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE HANDBOOK, CONSTRUCTION VOLUME (www.cabmphandbooks.com) AND SHALL APPLY TO THIS PROJECT:

SITE PLANNING CONSIDERATION
 PRESERVATION OF EXISTING VEGETATION (EC-2)

CONSTRUCTION PRACTICES
 STABILIZED CONSTRUCTION ENTRANCE (TC-1)
 SPILL PREVENTION AND CONTROL (WM-04)
 DUST CONTROL/WIND EROSION CONTROL (WE-1)
 STORM DRAIN INLET PROTECTION (SE-10)

VEHICLE & EQUIPMENT MANAGEMENT
 VEHICLE & EQUIPMENT CLEANING (NS-08)
 VEHICLE & EQUIPMENT MAINTENANCE (NS-10)

MATERIAL MANAGEMENT
 SOLID WASTE MANAGEMENT (WM-05)
 CONCRETE WASTE MANAGEMENT (WM-08)
 SANITARY/SEPTIC WASTE MANAGEMENT (WM-09)

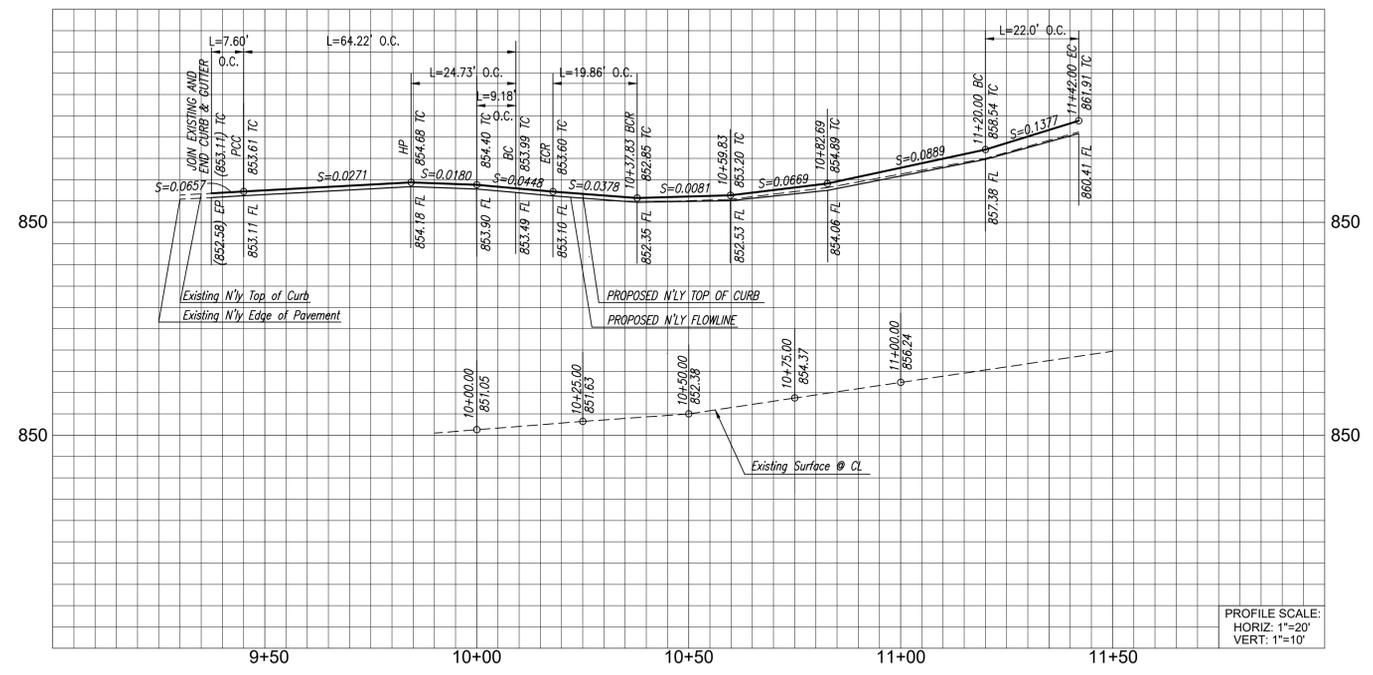
PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION
CITY OF GLENDALE
CALIFORNIA
PLAN FOR THE
601 BOHLIG ROAD STREET IMPROVEMENTS PLAN

ACCEPTED _____ PRINCIPAL CIVIL ENGINEER	ACCEPTED _____ PRINCIPAL TRAFFIC ENGINEER
ACCEPTED _____ PUBLIC WORKS DEPARTMENT DIRECTOR OF PUBLIC WORKS	ACCEPTED _____ GLENDALE WATER & POWER DEPARTMENT GENERAL MANAGER

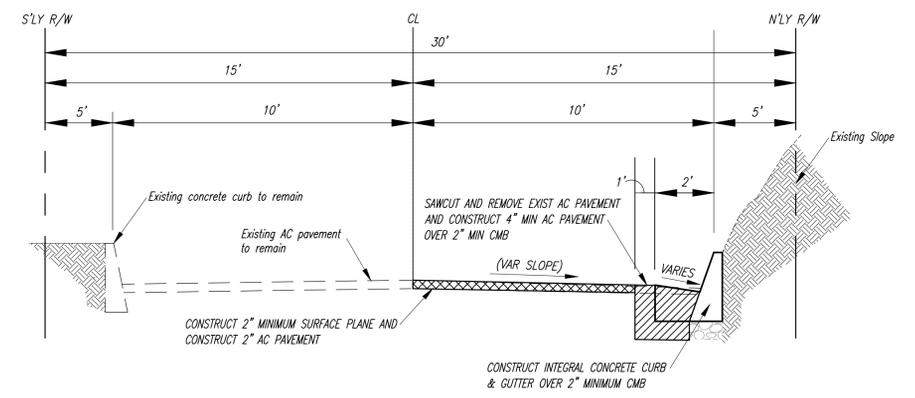
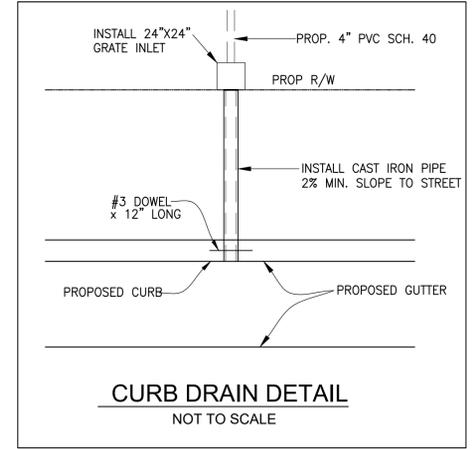
DESIGNED BY: PVT ENGR	SCALE: NTS	PLAN NO. 1-XXXX SHEET 1 OF 2 SHEETS
DRAWN BY: PVT ENGR	PROJ. NO.:	
CHECK BY: PVT ENGR	SPEC. NO.:	
DATE:	NOTES:	



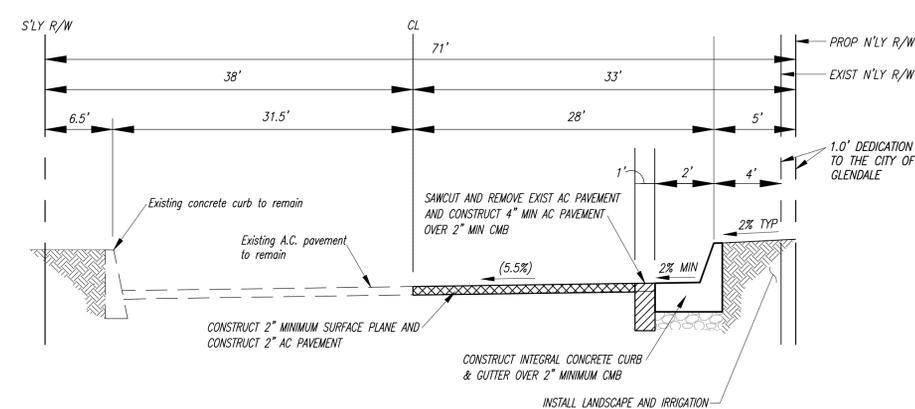
DIGALERT
 DIAL TOLL FREE
 1-800-422-4133
 AT LEAST TWO DAYS BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



- CONSTRUCTION NOTES**
- 1—CONSTRUCT INTEGRAL CONCRETE CURB & GUTTER PER SPPWC STD. PLAN NO. 120-2.
 - 2—CONSTRUCT 5-INCH P.C.C. DRIVEWAY "RESIDENTIAL" PER STD. PLAN NO. 110-2, TYPE A, X=3', Y=4', 15' WIDE.
 - 3—CONSTRUCT CURB DRAIN PER DETAIL HEREON.
 - 4—CONSTRUCT 2" MINIMUM SURFACE PLANE AND CONSTRUCT 2" A.C. PAVEMENT.
 - 5—RELOCATE GWP FIRE HYDRANT (FH) PER GWP STD. PLAN NO. 4946-A. LOCATION TO BE DETERMINED BY THE GWP ENGINEER/INSPECTOR IN THE FIELD.
 - 6—SAWCUT AND REMOVE EXISTING A.C. PAVEMENT AND CONSTRUCT VARIABLE THICKNESS A.C. PAVEMENT (T = 4" MIN) OVER VARIABLE THICKNESS C.M.B.

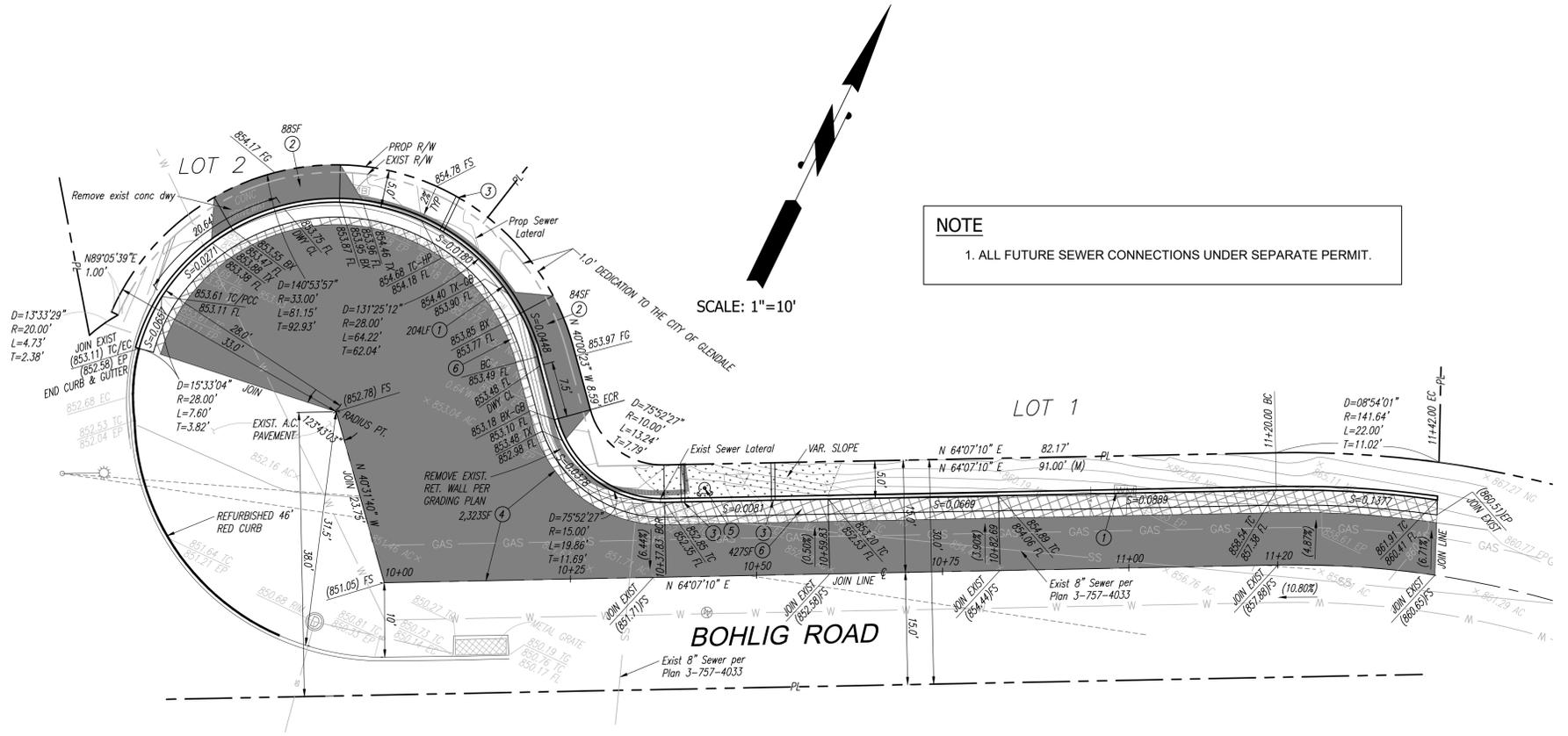


TYPICAL STREET CROSS SECTION
FROM STA. 10+37.83 BCR TO STA. 11+42.00 EC
NOT TO SCALE



TYPICAL STREET CROSS SECTION
FROM MIDPOINT CUL-DE-SAC TO 10+37.83 BCR
NOT TO SCALE

NOTE
1. ALL FUTURE SEWER CONNECTIONS UNDER SEPARATE PERMIT.



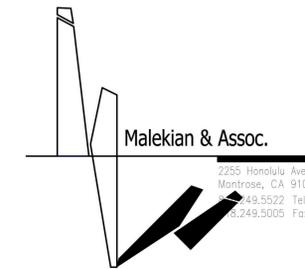
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AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV. NO.	REVISION DESCRIPTION	REV. DATE	REV. BY
1			

PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
CITY OF GLENDALE
CALIFORNIA

PLAN NO.
1-XXXX
SHEET 2 OF 2 SHEETS

SKYE TRUST
NRE LLC,
ELENA
NEAGU



2255 Honolulu Ave. 1A
Monrovia, CA 91020
Tel: 626.249.5522
Fax: 626.249.5005

LINE DATA		
L1	N 75°33'34" E	10.92'
L2	N 83°18'03" W	6.85'
L3	N 70°06'27" E	10.77'
L4	N 23°36'27" E	8.97'
L5	N 68°43'57" E	10.42'

SHADED AREA INDICATES PROPOSED CANTILEVERED DECK ON EXISTING LAWN. SEE ARBORIST'S REPORT FOR MORE DETAILS ON OAK TREE PROTECTION

LOT AREAS :	601 BOHLIG (LOT 1) - 13,569 SF
	603 BOHLIG (LOT 2) - 10,297 SF
LOT COVERAGE :	601 BOHLIG (LOT 1) - 4,960 SF / 13,569 SF = 36.55%
	603 BOHLIG (LOT 2) - 2,500 SF / 10,297 SF = 24.28%
PROPOSED FAR :	601 BOHLIG (LOT 1) - 4,344 SF / 13,569 SF = 32.01%
	603 BOHLIG (LOT 2) - 2,529 SF / 10,297 SF = 24.56%

3 FT HIGH RETAINING WALL MAX. WITHIN 5 FOOT OF PROPERTY LINE



73'-6" LOT WIDTH (BOHLIG) + 51'-7" LOT WIDTH (MELWOOD DRIVE) = 125'-1" AS MEASURED FROM SETBACK LINE

136'-6" LOT WIDTH AS MEASURED FROM SETBACK LINE

- BUILDING
- HARDSCAPE
- LANDSCAPE

NORTH

NORTH

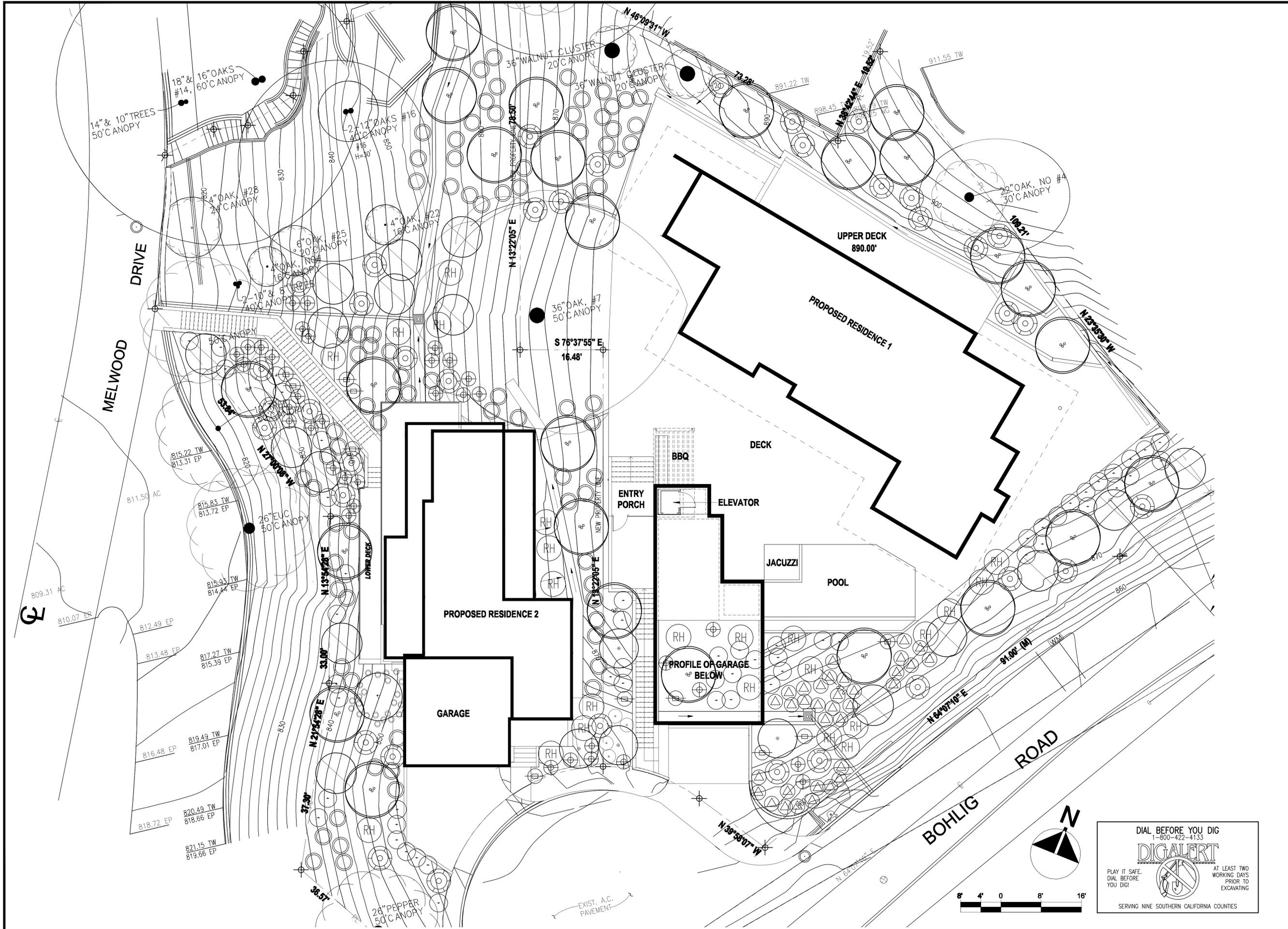
1 COLORED PLOT PLAN

Square Footage
 Lot: 23,866 sq ft
 Existing Structure: 2,013 sq ft
 Proposed Residence 1: 4,344 sq ft
 Proposed Residence 2: 2,529 sq ft

Bohlig Properties

601, 603 BOHLIG
GLENDALE, CA

ARBORIST PLAN



PICTURE THIS LAND
 A DESIGN / BUILD FIRM
 C 27 LIC# 984244
 818 507 8969

PLANTING CONCEPT

BOHLIG PROPERTIES
 601, 603 BOHLIG
 GLENDALE
 CALIFORNIA

REVISION	DATE	BY

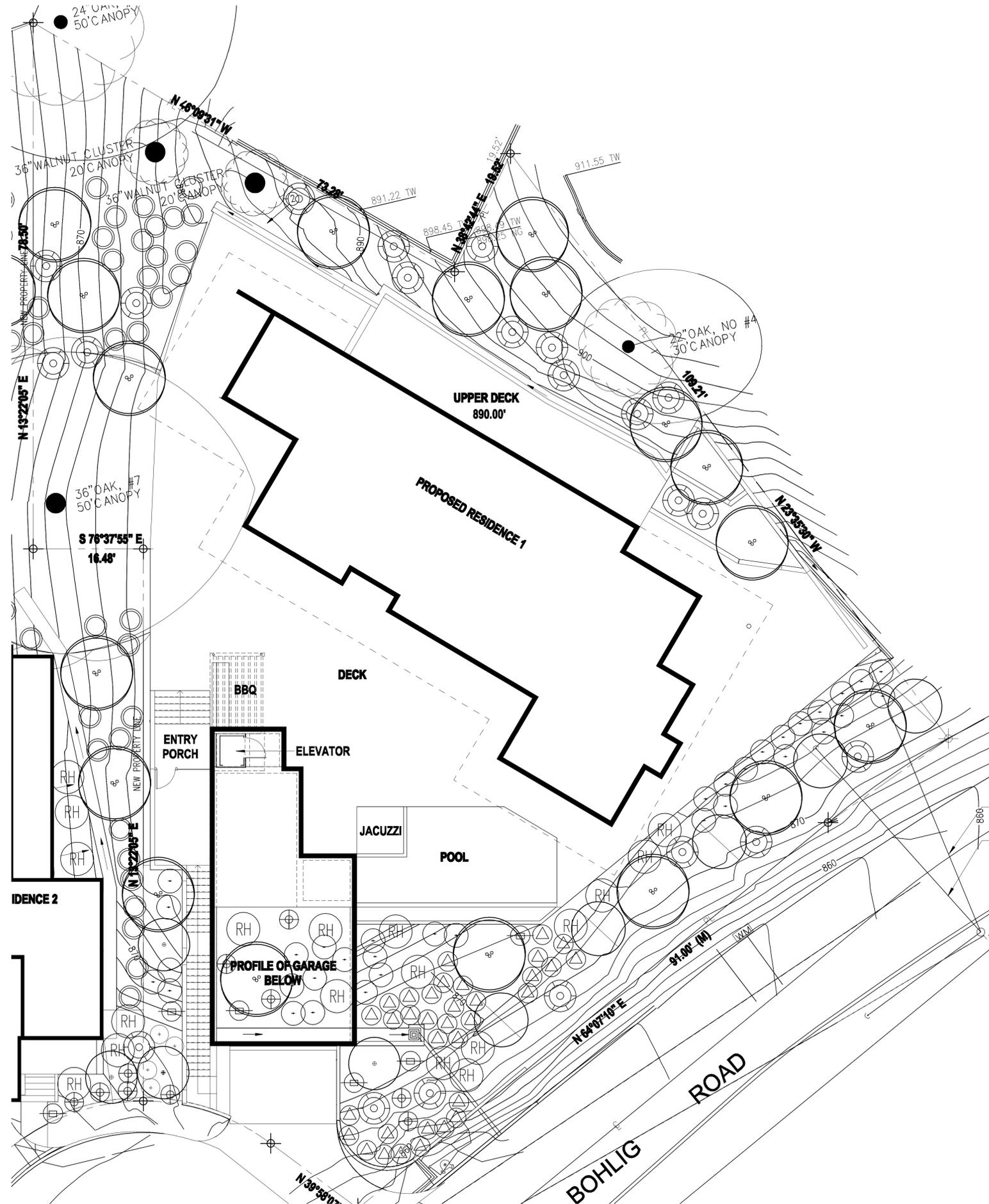
DATE: 11/17/19
 SCALE: 1/8" = 1'-00"
 DRAWN BY: GL
 SHEET:

L-0.0

1 OF 3 SHEETS

DIAL BEFORE YOU DIG
 1-800-422-4133
DIGALERT
 PLAY IT SAFE.
 DIAL BEFORE
 YOU DIG!
 AT LEAST TWO
 WORKING DAYS
 PRIOR TO
 EXCAVATING
 SERVING NINE SOUTHERN CALIFORNIA COUNTIES





PLANT LEGEND

TREES & LARGE SHRUBS	NAME	QTY	SIZE	NOTES
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD Mc MINN'	3	5 GAL	
	HETEROMELES ARBUTIFOLIA TOYON	17	15 GAL	
	RHUS OVATA SUGAR BUSH	5	5 GAL	
SHRUBS	NAME	QTY	SIZE	NOTES
	BACCHARIS CENTENNIAL	35	5 GAL	
	MAHONIA AQUIFOLIA OREGON GRAPE	43	5 GAL	
	RIBES AUREUM GOLDEN CURRANT	20	5 GAL	
	RHAMNUS CALIFORNICA COFFEEBERRY	12	5 GAL	
	RHOMNEYA COULTERI MATILIJIA POPPY	20	5 GAL	
	SALVIA APIANA WHITE SAGE	4	5 GAL	
	SALVIA CLEVENDII CLEVELAND SAGE	7	5 GAL	



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AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATING

SERVING NINE SOUTHERN CALIFORNIA COUNTIES

PICTURE THIS LAND
A DESIGN / BUILD FIRM
C 27 LIC# 984244
818 507 8969

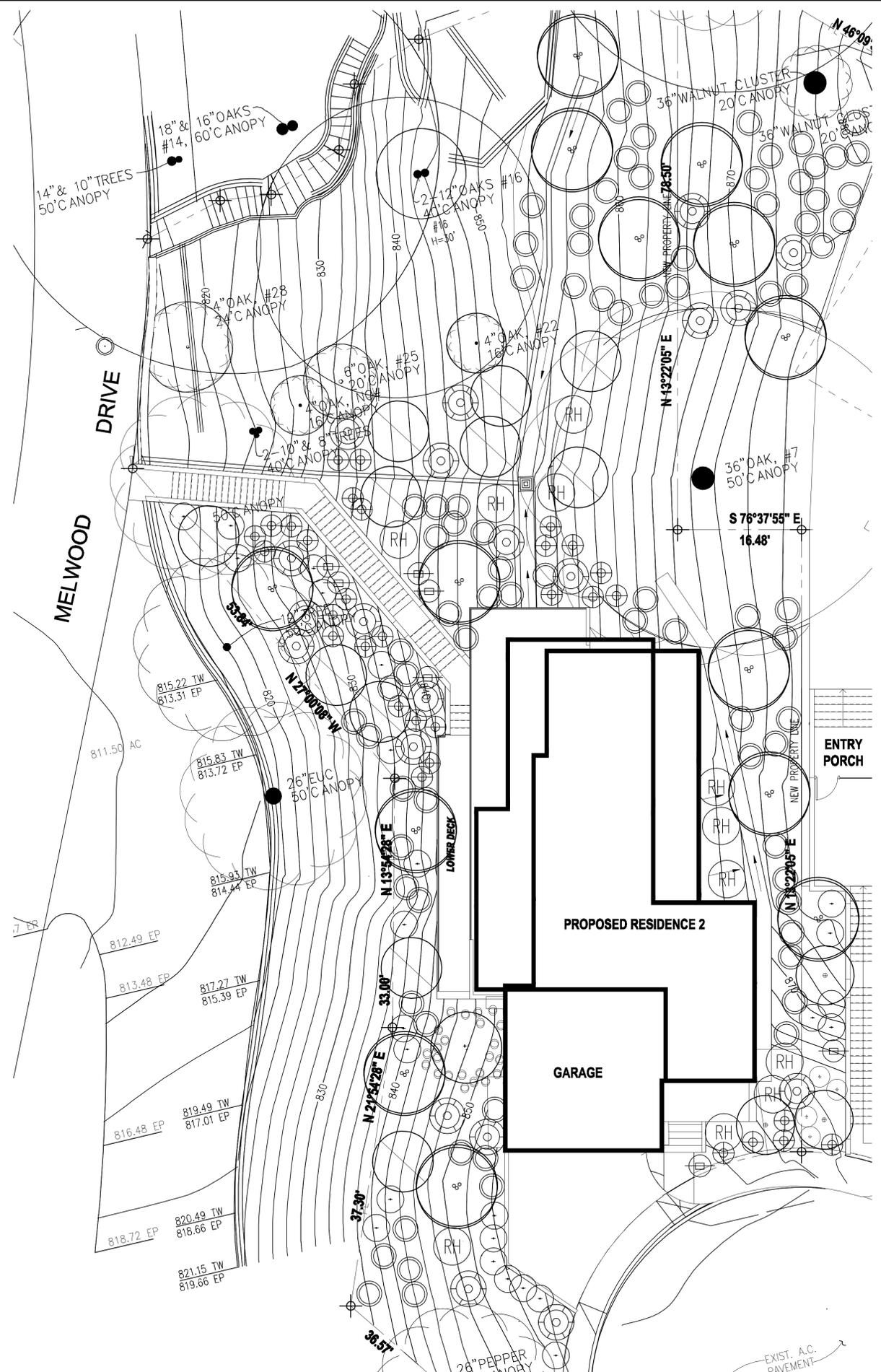
**PLANTING PLAN
AND LEGEND**

**BOHLIG PROJECT
RESIDENCE LOT 1
BOHLIG ROAD
GLENDALE CALIFORNIA**

REVISION	DATE	BY

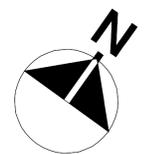
DATE: 11/17/19
SCALE: 1/8" = 1'-00"
DRAWN BY: GL
SHEET:

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PLANT LEGEND

TREES & LARGE SHRUBS	NAME	QTY	SIZE	NOTES
	ARCTOSTAPHYLOS DENSIFLORA 'SENTINEL'	1	15 GAL	
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD Mc MINN'	1	5 GAL	
	HETEROMELES ARBUTIFOLIA TOYON	10	15 GAL	
	RHUS OVATA SUGAR BUSH	9	5 GAL	
SHRUBS	NAME	QTY	SIZE	NOTES
	MAHONIA AQUIFOLIA OREGON GRAPE	20	5 GAL	
	RIBES AUREUM GOLDEN CURRANT	66	5 GAL	
	RHAMNUS CALIFORNICA COFFEEBERRY	11	5 GAL	
	RHOMNEYA COULTERI MATILJA POPPY	16	5 GAL	
	SALVIA APIANA WHITE SAGE	6	5 GAL	
	SALVIA CLEVENDII CLEVELAND SAGE	30	5 GAL	
GROUND COVER	NAME	QTY	SIZE	NOTES
	ARCTOSTAPHYLOS 'EMERALD CARPET'	23	1 GAL	
	ELYMUS CONDENSATUS 'CANYON PRIDE'	5	1 GAL	



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DIGALERT

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AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATING

SERVING NINE SOUTHERN CALIFORNIA COUNTIES

PICTURE THIS LAND
A DESIGN / BUILD FIRM
C 27 LIC# 984244
818 507 8969

**PLANTING PLAN
AND LEGEND**

BOHLIG PROJECT
RESIDENCE LOT 2
BOHLIG ROAD
GLENDALE, CALIFORNIA

REVISION	DATE	BY

DATE: 11/17/19
SCALE: 1/8" = 1'-00"
DRAWN BY: GL
SHEET:

NEIGHBORHOOD MAP - 601/603 BOHLIG RD.



Key	Address	Sq. Ft. Lot	Sq. Ft. Home	F/A %	Zoning
Subject Property	601 Bohlig - Lot 1	13,569	4,152	30.6%	R1R II
	603 Bohlig- Lot 2	10,297	2,529	24.6%	R1R II
2	1500 Melwood Dr.	13,789	4,342	31.5%	R1R II
3	606 Bohlig Dr.	5,770	2,231	38.7%	R1R II
4	610 Bohlig Dr.	5,237	2,111	40.3%	R1R II
5	614 Bohlig Dr.	7,448	2,459	33.0%	R1R II
6	640 Bohlig Dr.	10,157	2,267	22.3%	R1R II
7	642 Bohlig Dr.	6,191	2,568	41.5%	R1R II
8	650 Bohlig Dr.	16,825	2,307	13.7%	R1R II
9	660 Bohlig Dr.	6,189	2,723	44.0%	R1R II
10	701 Bohlig Dr.	16,029	2,814	17.6%	R1R II
11	726 Cavanagh Rd.	10,330	2,092	20.25%	R1R II
12	1338 Jackson St.	16,740	2,069	12.36%	R1R II
13	714 Cavanagh Rd.	6,560	2,297	35.02%	R1R II
14	706 Cavanagh Rd.	7,140	2,311	32.37%	R1R II
15	702 Cavanagh Rd.	7,140	1,928	27.00%	R1R II
16	640 Cavanagh Rd.	11,650	2,282	19.59%	R1R II
17	630 Cavanagh Rd.	10,900	2,050	18.81%	R1R II
18	614 Cavanagh Rd.	12,620	2,582	20.46%	R1R II
19	604 Cavanagh Rd.	8,310	1,592	19.16%	R1R II
20	600 Cavanagh Rd.	5,530	2,044	36.96%	R1R II
21	536 Cavanagh Rd.	5,010	1,868	37.3%	R1R II
22	526 Cavanagh Rd.	5,900	1,946	33.0%	R1R II
23	1436 Melwood Dr.	4,490	1,368	30.5%	R1R II
24	1446 Melwood Dr.	7,130	2,226	31.2%	R1R II
25	1480 Melwood Dr.	19,240	4,412	22.9%	R1R II
26	1440 Melwood Dr.	15,380	2,398	15.6%	R1R II
27	1482 Melwood Dr.	17,660	2,713	15.4%	R1R II
28	1492 Melwood Dr.	38,970	3,798	9.7%	R1R II
29	1480 Melwood Dr.	12,680	3,188	25.1%	R1R II
30	1463 Melwood Dr.	27,300	3,858	14.1%	R1R II
31	City Property (477,418)	0	0		
32	1521 Melwood Dr.	36,590	5,520	15.1%	R1R II
33	1521 Melwood Dr.	32,234	5,207	16.2%	R1R II
34	1551 Melwood Dr.	18,295	2,607	14.2%	R1R II
35	1625 Campbell St.	19,900	2,701	13.6%	R1R II
36	1570 Melwood Dr.	41,818	4,585	10.9%	R1R II
37	1650 Melwood Dr.	20,038	5,203	26.0%	R1R II
38	1700 Melwood Dr.	28,750	5,278	18.4%	R1R II
39	1550 Melwood Dr.	20,473	2,927	14.3%	R1R II
40	1710 Melwood Dr.	33,977	5,021	14.8%	R1R II
41	605 Seclusion Lane	21,780	3,462	15.9%	R1R II
42	1714 Melwood Dr.	13,504	3,315	24.5%	R1R II
43	1720 Melwood Dr.	14,810	2,365	16.0%	R1R II
44	1730 Melwood Dr.	13,504	3,037	22.5%	R1R II
45	1735 Melwood Dr.	20,473	2,597	12.7%	R1R II
46	1745 Melwood Dr.	13,068	3,110	23.8%	R1R II
47	1755 Melwood Dr.	37,026	2,085	5.6%	R1R II
48	1530 Remah Vista Dr.	42,099	3,687	8.8%	R1R II
49	1805 Melwood Dr.	14,839	1,569	10.6%	R1R II
50	1520 Remah Vista Dr.	18,295	5,146	28.1%	R1R II
51	1516 Remah Vista Dr.	17,974	2,475	13.8%	R1R II
52	1500 Remah Vista Dr.	12,178	2,423	19.9%	R1R II
53	1900 Melwood Dr.	21,344	2,397	11.2%	R1R II
54	811 Harrington	6,626	4,136	62.4%	R1R II
55	800 Harrington	15,712	1,573	10.0%	R1R II
56	801 Harrington	14,880	2,287	15.4%	R1R II
57	1836 Melwood Dr.	11,040	1,934	17.5%	R1R II
58	1830 Melwood Dr.	12,670	3,051	24.1%	R1R II
59	1822 Melwood Dr.	9,470	2,173	22.9%	R1R II
60	1816 Melwood Dr.	5,885	1,528	26.0%	R1R II
61	1810 Melwood Dr.	7,599	1,604	21.1%	R1R II
62	1802 Melwood Dr.	29,185	1,790	6.1%	R1R II
63	619 Bohlig	9,713	4,010	41.3%	R1R II
64	615 Bohlig	11,884	1,991	16.8%	R1R II
65	612 Seclusion Rd.	18,731	2,624	14.0%	R1R II
66	1522 Melwood Dr.	18,295	2,836	15.5%	R1R II
67	1740 Melwood Dr.	30,928	2,816	9.1%	R1R II
68	625 Cavanagh Rd.	7,800	1,566	20.1%	R1R II
69	631 Cavanagh Rd.	4,849	1,666	34.4%	R1R II
70	635 Cavanagh Rd.	7,450	1,666	22.4%	R1R II
Neighborhood Average		15,565	2,736	21.99%	R1R II



NORTH



PARCEL MAP SITE

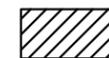
NEIGHBORHOOD MAP - 601/603 BOHLIG RD. 300 LINEAR



Key	Address	Sq. Ft. Lot	Sq. Ft. Home	F/A %	Stories	Setback	Zoning
Subject Property	601 Bohlig - Lot 1	13,569	4,152	30.6%			R1R II
	603 Bohlig- Lot 2	10,297	2,529	24.6%			R1R II
2	1500 Melwood Dr.	13,789	4,342	31.5%	2	75	R1R II
3	606 Bohlig Dr.	5,770	2,231	38.7%	2	5	R1R II
4	610 Bohlig Dr.	5,237	2,111	40.3%	1	0	R1R II
5	614 Bohlig Dr.	7,448	2,459	33.0%	2	12	R1R II
6	640 Bohlig Dr.	10,157	2,267	22.3%	2	5	R1R II
7	1816 Melwood Dr.	5,885	1,528	26.0%	2	8	R1R II
8	1810 Melwood Dr.	7,599	1,604	21.1%	2	10	R1R II
9	1802 Melwood Dr.	29,185	1,790	6.1%	1	94	R1R II
10	619 Bohlig	9,713	4,010	41.3%	3	6	R1R II
11	615 Bohlig	11,884	1,991	16.8%	2	60	R1R II
12	1822 Melwood Dr.	9,470	2,173	22.9%	3	8	R1R II
13	1830 Melwood	12,670	3,051	24.1%	3	25	R1R II
Neighborhood Average		10,734	2,463	22.95%	2.08	25.67	R1R II



NORTH



PARCEL MAP SITE

SITE: 601 & 603 BOHLIG RD.

SCALE: 1=200'

