



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – MULTI-FAMILY / MIXED USE

September 29 , 2020

Decision Date

1065 Allen Avenue

Address

Administrative Design Review (ADR)

Review Type

5624-008-029

APN

PDR2007057

Case Number

Gary Akopian

Applicant

Minjee Hahm

Case Planner

Allenglen Capital LLC – Hamlet Avanesian

Owner

Project Summary

The applicant is proposing to demolish an existing, detached garage and construct a new 441 SF, attached two-car garage and construct a 584 SF addition at the rear of an existing, single-family residence (built in 1922) on a 7,837 SF lot, located in the R-2250 (Medium Density Residential) Zone.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the addition to an existing dwelling will not result in an increase of more than 50 percent of the floor area of the building before the addition.

Existing Property/Background

The project site is a 7,837 SF lot with street frontage on Allen Avenue and an alley at the rear. The lot is developed with a one-story single family residence with a detached garage (developed in 1922), located in the R-2250 Zone. The house was previously surveyed in 2007 for the “2007 Glendale Craftsman Survey” and given a California Historic Resource Statue Code of 6L, “Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning”.

The residence currently has a symmetrical street façade and is configured with a nested gable and a partial width front porch. Exterior finishes include horizontal wood beveled siding, composition roof shingles, and wood-lap in the gable ends. The windows on the primary, street-front elevation are constructed of wood with fixed operations. Other windows throughout the house consist of wooden double-hung and casement windows. Character-defining features include a partial-width porch with posts and metal railing, unenclosed eave overhangs, and exposed rafters. Alterations to the building include replaced front porch supports and banisters, removal of the chimney stack, a swamp

cooler installed on the south elevation, and aluminum awnings installed over windows.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R2250 - Medium Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

Yards and Usable Open Space

yes **n/a** **no**

If "no" select from below and explain:

- Outdoor space integrated into site design and acknowledges adjacent development
- Common space easily accessible from all units
- Appropriate separation/screening from residential units
- Discrete seating and amenity areas allow for multiple users

Garage Location and Driveway

yes **n/a** **no**

If "no" select from below and explain:

- Garage fully integrated into overall structure

- Driveway and curb-cut widths minimized
- Grade-level garages and parking, if allowed, are appropriately screened from the street
- Decorative paving complements building design
- Stairs and lifts to subterranean garages incorporated into the design of the project

The applicant's proposal includes eliminating the existing Hollywood-style driveway and putting in a new concrete driveway in the same location. A condition of approval is added requiring that the applicant propose decorative paving for the driveway which would complement the building design and provide details for the proposed paving prior to plan check submittal.

Landscape Design

- yes** **n/a** **no**

If "no" select from below and explain:

- Complementary to building design
- Maintain existing trees when possible
- Provide landscaping adjacent to driveways and garages
- 20% of planting at above-grade common spaces is within 9 inches of finish floor
- Above-grade tree wells are at least 6 inches higher than box size of tree

Walls and Fences

- yes** **n/a** **no**

If "no" select from below and explain:

- Appropriate style/color/material for building design
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Equipment, Trash, and Drainage

- yes** **n/a** **no**

If "no" select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- All screening integrated with overall building and/or landscape design
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Lighting

- yes** **n/a** **no**

If "no" select from below and explain:

- Light fixtures are appropriate to the building and/or landscape design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

No new exterior lighting has been indicated. However, if this changes, the applicant

shall receive staff approval for the location and style of any exterior light fixtures located at the new addition.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The location of the proposed addition is consistent with the site planning pattern of the immediate neighborhood. The proposed addition to the rear and the new, attached, two-car garage are appropriately sited and meets setback requirements.
- The existing, detached garage will be demolished for a new two-car garage, which will be fully integrated and attached to the existing single-family dwelling. The surrounding neighborhood features a combination of attached and detached garages; the siting of the new garage is, therefore, appropriate. The new, attached, two-car garage will be appropriately setback from the southern property line and will be partially visible from the street.
- The applicant's proposal includes eliminating the existing Hollywood-style driveway and replacing it with a new concrete driveway in the same location. A condition of approval is added requiring that the applicant propose decorative paving for the driveway which would complement the building design and provide details for the proposed paving prior to plan check submittal.
- The project will feature 4,114 square-feet (52%) of landscaped area, where a minimum of 25% is required in the R-2250 zone.
- The trash storage is identified, behind the garage and out of public view.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Relates to predominant pattern through appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The property is located in a multi-family zone where the neighborhood is mainly comprised of one- and two-story single-family and multi-family developments in a variety of architectural styles. The one-story addition located at the rear of the existing single-family residence is appropriate to the site and its surroundings.
- The simple form of the addition relates well with the overall building concept and surrounding context of the neighborhood. The proposed addition to the rear and the new, attached, two-car garage are appropriately sited.
- The addition and new attached two-car garage will have a maximum roof ridge height at 14-feet, 10-inches, which is 1 foot lower than the existing roof ridge height, concealing and distinguishing the new addition from the existing portions of the dwelling. The gabled roof forms above the addition and the garage echoes the roof form of the existing building. The proposed roof design for the addition and the garage reinforces the architectural idea and maintains visual interest by utilizing a side-facing gable roof for the garage, which is partially visible from the street.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Design is compatible with neighborhood context
- Design is stylistically consistent
- Employs consistent vocabulary of forms and materials while expressing architectural variety
- Cladding materials and features such as balconies, canopies, and trim elements enhance the architectural concept and are applied around the building

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

The existing entryway porch will remain unchanged. The proposed back porch in the rear will mimic the partial-width, entryway porch at the front of the existing building, with wrought iron railing and a door that will match the existing style at the front. However, the renderings do not show the existing and proposed railings. A condition of approval is added requiring that the applicant accurately show the existing railings for the front entryway porch and the proposed railings for the back porch in a design and material compatible with the Craftsman style.

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Overall window pattern appropriate to style
- Window operation appropriate to style
- Recessed/flush window appropriate to style and/or location
- Openings are well detailed

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality materials, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

The applicant’s proposal includes eliminating the existing Hollywood-style driveway and replacing it with a new concrete driveway in the same location. A condition of approval is added requiring that the applicant propose decorative paving for the driveway which would complement the building design and provide details for the proposed paving prior to plan check submittal.

Ancillary Structures

yes n/a no

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates, fences, and/or walls complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The surrounding neighborhood features a mix of architectural styles. The proposed addition to an existing Craftsman home is compatible with the neighborhood context.
- The existing entryway porch will remain unchanged. The proposed back porch in the rear will recall the partial-width, entry way porch at the front of the existing building, with wrought iron railing and a door that will match the existing style at the front. However, the renderings do not show the existing and proposed railings. A condition of approval is added requiring that the applicant accurately show the existing railings for the front entryway porch and the proposed railings for the back porch in a design and material compatible with the Craftsman style.
- The new windows will be white, vinyl, nail-on frames flush to the wall with edge details that will match the existing. The windows will be a combination of casement and hung operations. Because the proposed windows are located at the rear and side, and not visible from the street, the proposed material, placement, and location is acceptable.
- As previously discussed, the applicant’s proposal includes eliminating the existing Hollywood-style driveway and replacing it with a new concrete driveway in the same location. A condition of approval is added requiring that the applicant propose decorative paving for the driveway which would complement the building design and provide details for the proposed paving prior to plan check submittal.
- The addition and the garage will feature a combination of appropriate exterior cladding materials that will match the existing building, including fiberglass-based asphalt roof shingles in sage and light-colored horizontal lap siding. The proposed railings for the back porch will be wrought iron and painted brown. The proposed colors and exterior materials are appropriate for the addition.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

Conditions

1. Propose decorative paving for the driveway which would complement the building design and provide details for the proposed driveway pavers prior to plan check submittal.
2. Revise drawings to clearly show existing railings for the front, entryway porch and the proposed railings for the rear porch.
3. Applicant shall receive staff approval for the location and style of any exterior light fixtures located at the new addition.

Attachments

1. Reduced Plans
2. Photo Survey of the Neighborhood with Photos of Existing Property
3. Location Map

1-STORY ADDITION TO SINGLE FAMILY RESIDENCE

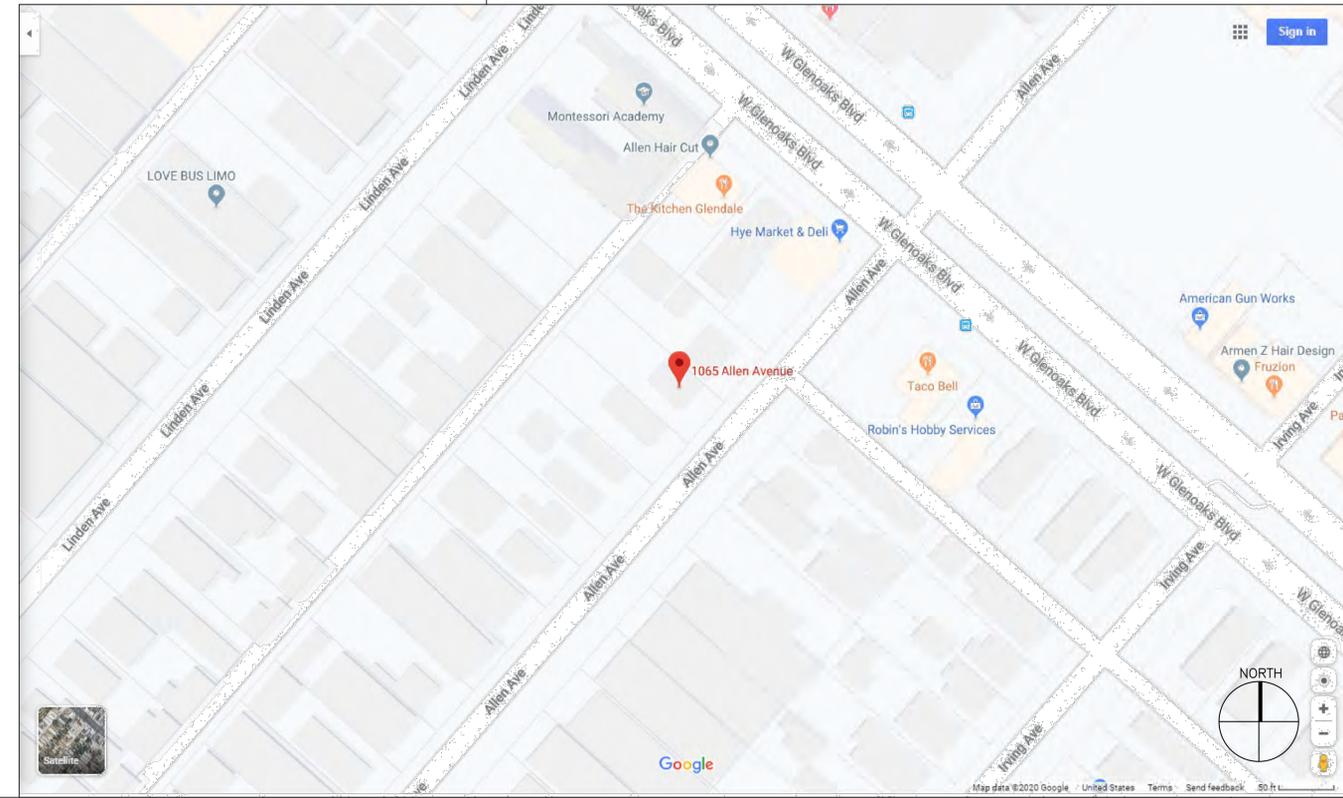
1065 ALLEN AVENUE

GLENDALE, CALIFORNIA 91201

ecumena
 3786 LA CRESCENTA AVE.
 SUITE 201 GLENDALE
 CA 91208 TEL: 818507-6787

REVISIONS	BY

ABBREVIATIONS:	SYMBOLS & LEGENDS:	MATERIAL SYMBOLS & LINEWORK:	DEFERRED APPROVALS:	SHEET INDEX:	BUILDING STATISTICS																																																																																																																													
<p>© COPYRIGHT & ANGLE L ANGLE AT CENTERLINE DIAMETER OR ROUND CHANNEL C OR I CHANNEL # POUND OR NUMBER</p> <p>A.B. ANCHOR BOLT A.C. AIR CONDITIONING ACOUST. ACOUSTICAL A.D. AREA DRAIN ADJ. ADJUSTABLE A.F.F. ABOVE FINISHED FLOOR AGGR. AGGREGATE ALLUM. ALUMINUM APPROX. APPROXIMATE ARCH. ARCHITECTURAL ASPH. ASPHALT</p> <p>B.D. BOARD BITUM. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLKS. BLOOMING BM. BEAM BOT. BOTTOM BTWN. BETWEEN</p> <p>CAB. CABINET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC CL. CAST IRON CLG. CEILING CLKG. CAULKING CLO. CLOSET CLR. CLEAR</p> <p>CNTR. COUNTER COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRIDOR CTR. CENTER CTSK. COUNTERSINK C.J. CONTROL JOINT</p> <p>DRY. DRYER DBL. DOUBLE DEPT. DEPARTMENT DET. DETAIL D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DISP. DISPENSER DN. DOWN D.O. DOOR OPENING DR. DOOR DRY. DRYER DS. DOWNSPOUT D.S.P. DRY STAND PIPE DWASH. DSH WASHER DWFR. DRAWER DWG. DRAWING</p> <p>E. EAST EA. EACH E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE EQUIP. EQUIPMENT EQ. EQUAL EXPO. EXPOSED EXSTOR. EXISTING EXP. EXPANSION EXT. EXTERIOR</p> <p>FA. FIRE ALARM F.B. FLAT BAR F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CABINET F.H. FULL HEIGHT F.H.C. FIRE HOSE CABINET FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUDS FOUND. FOUNDATION F.P.F. FIRE PROOF F.S. FULL SIZE FT. FOOT OR FEET FTG. FOOTING FURF. FURRING FUT. FUTURE</p> <p>GA. GAUGE GALV. GALVANIZED GR. GRAB BAR GL. GALVANIZED IRON GL. GLASS OR GLAZING GND. GROUND GR. GRADE GYP. GYPSUM GYP.BD. GYPSUM BOARD</p> <p>H.B. HOSE BB H.C. HOLLOW CORE HDOP.H.C. HANDICAP HDWD. HARDWOOD HWY. HARDWARE H.F.S. HALF FULL SIZE HGT. OR H. HEIGHT H.M. HOLLOW METAL HORIZ. HORIZONTAL H.P. HIGH POINT HR. HOUR H.S. HALF SIZE</p> <p>HVAC HEATING VENTILATION & AIR CONDITIONING ID. INSIDE DIAMETER INCL. INCLUDING INFO. INFORMATION INSL. INSULATION INT. INTERIOR</p> <p>JAN. JANITOR JT. JOINT</p> <p>KIT. KITCHEN</p> <p>LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY L.P. LOW POINT LT. LIGHT</p> <p>MATL. MATERIAL MAX. MAXIMUM MECH. MECHANICAL MEMBR. MEMBRANE</p> <p>MET. METAL MFR. MANUFACTURER MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS MTD. MOUNTED MUL. MULLION</p> <p>N. NORTH N/A. NOT APPLICABLE N.I.C. NOT IN CONTRACT NO. OR #. NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE</p> <p>O.A. OVERALL O.C. ON CENTER O.D. OUTSIDE DIAMETER OR. OVERFLOW DRAIN</p> <p>OFF. OFFICE OPNG. OPENING OPP. OPPOSITE OV. OVER</p> <p>PL. PLATE PLAM. PLASTIC LAMINATE PLAS. PLASTER PLWD. PLYWOOD</p> <p>PR. PAR P.T. POINT P.T. PRESSURE TREATED PTD. PAINTED PARTN. PARTITION</p> <p>Q.T. QUARRY TILE</p> <p>R. RISER OR RADIUS RAD. RADIUS R.D. ROOF DRAIN REF. REFERENCE REFR. REFRIGERATOR REINF. REINFORCED RECD. REQUIRED RESL. RESILIENT R.O. ROUGH OPENING R.W.D. REDWOOD</p> <p>S. SOUTH S.C. SOLID CORE SCHED. SCHEDULE SECT. SECTION SHT. SHEET SHTG. SHEATHING SIM. SIMILAR S.P. STANDPIPE SPEC. SPECIFICATION SQ. SQUARE SST. STAINLESS STEEL S.S. SERVICE SINK STA. STATION STD. STANDARD STL. STEEL</p> <p>STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL</p> <p>T. OR TRD. TREAD TB. TOP OF BEAM T.C. TOP OF CURB TEL. TELEPHONE TER. TERRAZZO T. & G. TONGUE AND GROOVE THK. THICK T.J. TRUSS JOIST T.O.P. TOP OF PARAPET T.O.S. TOP OF SHEATHING T.P. TOP OF PAVEMENT T.S. TOP OF SLAB T.V. TELEVISION T.W. TOP OF WALL TYP. TYPICAL</p> <p>U/C UNDER OUTDOOR UNF. UNFINISHED U/S UNDERSIDE UNO. UNLESS NOTED OTHERWISE</p> <p>V. VOLT VERT. VERTICAL VEST. VESTIBULE V.I.F. VERIFY IN FIELD</p> <p>WASH. WASHER W/ WITH W.C. WATER CLOSET W.D. WOOD W.H. WATER HEATER W/ WROUGHT IRON W/O WITHOUT WP. WATERPROOFING WR. WATER RESISTANT WSCT. WANSOT WT. WEIGHT W/M. WELDED WIRE MESH</p>	<p>1 GRID LINES</p> <p>1 DESIGNATION DRAWING OR DETAIL</p> <p>ELEVATION</p> <p>ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</p> <p>SECTION</p> <p>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</p> <p>DETAIL CALL-OUT</p> <p>DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>ROOM IDENTIFICATION</p> <p>ROOM NAME</p> <p>ROOM NUMBER</p> <p>102</p> <p>1 DOOR NUMBER</p> <p>1 WINDOW NUMBER</p> <p>1 DESIGNATION NOTES & KEYNOTES</p> <p>REVISION</p> <p>MATCH LINE SHADDED PORTION IS THE SIDE CONSIDERED</p> <p>POINT, DATUM POINT, WORK POINT, CONTROL</p> <p>PROJECT NORTH AND TRUE NORTH</p> <p>SMOKE DETECTOR SEE NOTE ON FLOOR PLANS</p> <p>CARBON MONOXIDE DETECTOR SEE NOTE ON FLOOR PLANS</p> <p>DUPLEX ELECTRICAL OUTLET @+15'A.F.F.</p> <p>GROUND FAULT CIRCUIT-INTERRUPTER SEE NOTE @ SHEET A-02</p> <p>TELEVISION OUTLET @+15'A.F.F.</p> <p>TELEPHONE OUTLET @+15'A.F.F.</p> <p>2x4' FLUORESCENT LIGHTING FIXTURE</p> <p>CEILING MOUNTED LIGHT FIXTURE-SHANDELIERE (BY OWNER)</p> <p>RECESSED CEILING MOUNTED LIGHT FIXTURE</p> <p>RECESSED CEILING MOUNTED FLUORESCENT LIGHT FIXTURE</p> <p>INCANDESCENT WALL MOUNTED LIGHT FIXTURE 66" AFF. (BY OWNER)</p> <p>FLUORESCENT STRIP LIGHT FIXTURE</p> <p>TRACK LIGHTING</p> <p>FAN EXHAUST</p> <p>FAN EXHAUST RECESSED</p> <p>FLUSH MOUNTED SPEAKER</p> <p>THERMOSTAT @+48"A.F.F.</p> <p>GARBAGE DISPOSAL</p> <p>WALL SWITCH @+48"A.F.F.</p> <p>DIMMER SWITCH @+48"A.F.F.</p>	<p>METAL LATH & PLASTER</p> <p>GYPSUM BOARD</p> <p>STEEL OR IRON</p> <p>ALUMINUM</p> <p>STONE</p> <p>WOODFRAMING</p> <p>BLOCKING</p> <p>WOOD, FINISH</p> <p>PLYWOOD</p> <p>CONCRETE MASONRY UNIT</p> <p>CONCRETE MASONRY UNIT (FENCE WALL)</p> <p>RETAINING WALL SEE STRUCT. DRAWINGS FOR DETAILS</p> <p>CONCRETE WALL</p> <p>1-HR RATED WD. STUD WALL WITH INSULATION</p> <p>2-HR RATED WD. STUD WALL WITH INSULATION</p> <p>EXISTING WOOD STUD WALL</p> <p>EXISTING STRUCTURE TO BE DEMOLISHED</p> <p>NEW 2x4 WOOD STUD WALL</p> <p>REFERENCE LINE AND ARROW</p> <p>WORK ABOVE, BELOW OR BEYOND EXISTING WORK TO BE REMOVED</p> <p>PROPERTY LINE</p> <p>TO BREAK CONTINUITY</p> <p>FINISH GRADE LINE (ELEVATION)</p> <p>NATURAL GRADE LINE (ELEVATION) WORK ABOVE, BELOW OR BEYOND</p> <p>GRADE OR EARTH SECTION</p> <p>MATERIAL/COLOR DESIGNATION SEE - - -</p> <p>CENTER LINE ELEVATION, FLOOR LINE PROJECTED LINE</p> <p>DIMENSION LINE</p> <p>BORDER FOR REVISED AREA OR BLOWN UP AREA</p> <p>OUTLINE, SILHOUETTE, ETC.</p> <p>GLASS WINDOW OR WALL</p> <p>RIGID INSULATION</p> <p>BATT INSULATION</p> <p>CERAMIC TILE</p> <p>WALL TYPE SEE SHEET A-1</p> <p>FIRE RATING - HOUR</p> <p>WROUGHT IRON FENCE</p>	<p>1 SITE CMU FENCE WALL.</p> <p>APPLICABLE CODES:</p> <ol style="list-style-type: none"> 2019 CBC CALIFORNIA BUILDING CODE (TITLE 24, PART 2). 2019 CEC CALIFORNIA ELECTRICAL CODE (TITLE 24, PART 3). 2019 CMC CALIFORNIA MECHANICAL CODE (TITLE 24, PART 5). 2019 CPC CALIFORNIA PLUMBING CODE (TITLE 24, PART 6). 2019 CEC CALIFORNIA ENERGY CODE (TITLE 24, PART 6). 2019 CFC CALIFORNIA FIRE CODE (TITLE 24, PART 9). 2019 CGSBC CALIFORNIA GREEN BUILDING STANDARDS CODE. 2020 GLENDALE BUILDING CODE. <p>SCOPE OF WORK:</p> <ul style="list-style-type: none"> 1-STORY ADDITION TO (E) RESIDENCE NEW ATTACHED 2-CAR GARAGE 	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>SHEET NO.</th> <th>SHEET TITLE</th> <th>DATE ISSUED</th> </tr> </thead> <tbody> <tr> <td colspan="3">GENERAL</td> </tr> <tr> <td>G001</td> <td>COVER SHEET, DRAWING INDEX, PROJECT INFO, CODE COMPLIANCE</td> <td>X</td> </tr> <tr> <td>G101</td> <td>PROJECT NOTES</td> <td>X</td> </tr> <tr> <td>G201</td> <td>CITY NOTES, FORMS</td> <td>X</td> </tr> <tr> <td>G301</td> <td>GREEN CODE NOTES</td> <td>X</td> </tr> <tr> <td>G302</td> <td>GREEN CODE NOTES</td> <td>X</td> </tr> <tr> <td>G303</td> <td>GREEN CODE NOTES</td> <td>X</td> </tr> <tr> <td>EN-1</td> <td>TTL-24 ENERGY COMPLIANCE FORMS</td> <td></td> </tr> <tr> <td colspan="3">ARCHITECTURAL</td> </tr> <tr> <td>A101</td> <td>SITE PLAN, EXISTING FLOOR PLAN</td> <td>X</td> </tr> <tr> <td>A102</td> <td>PROPOSED FLOOR PLAN</td> <td>X</td> </tr> <tr> <td>A103</td> <td>ROOF PLAN</td> <td>X</td> </tr> <tr> <td>A201</td> <td>EXTERIOR ELEVATIONS</td> <td>X</td> </tr> <tr> <td>A301</td> <td>BUILDING SECTIONS</td> <td>X</td> </tr> <tr> <td>A401</td> <td>DETAILS</td> <td>X</td> </tr> <tr> <td>A402</td> <td>HARDYPLANK DETAILS</td> <td>X</td> </tr> <tr> <td>A501</td> <td>DOOR & WINDOW SCHEDULE</td> <td>X</td> </tr> <tr> <td colspan="3">STRUCTURAL</td> </tr> <tr> <td>S-1</td> <td>GENERAL NOTES</td> <td>X</td> </tr> <tr> <td>S-2.1</td> <td>TYPICAL WOOD DETAILS</td> <td>X</td> </tr> <tr> <td>S-3</td> <td>DETAILS</td> <td>X</td> </tr> <tr> <td>S-4</td> <td>DETAILS</td> <td>X</td> </tr> <tr> <td>S-5</td> <td>FOUNDATION PLAN</td> <td>X</td> </tr> <tr> <td>S-6</td> <td>FLOOR FRAMING PLAN</td> <td>X</td> </tr> <tr> <td>S-7</td> <td>ROOF FRAMING PLAN</td> <td>X</td> </tr> </tbody> </table>	SHEET NO.	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VICINITY MAP

SCALE: 1
 N.T.S.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

PROJECT TITLE:
ADDITION TO S.F. DWELLING

JOB ADDRESS:
1065 ALLEN AVE., GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE:
COVER SHEET

SHEET NUMBER
G001
SHEETS OF

01. GENERAL NOTES:

0.1 THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, AND MAJOR CONSTRUCTION ELEMENTS. AS SUCH, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

0.38 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETS, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME.

1. FIRE/LIFE SAFETY:

*1.1 PROVIDE AN APPROVED FIRE ALARM SYSTEM, WITH DESCRIPTION OF SEQUENCE OF OPERATION AND LISTED STATE FIRE MARSHAL APPROVED EQUIPMENT.

2. EXITS & STAIRS:

2.1 THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R311.1)

2.11 ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS REQUIRES 1-HR FIRE RESISTIVE CONSTRUCTION ON ENCLOSED SIDE.

3. CONSTRUCTION NOTES:

3.1 PROVIDE 2 COATS OF INDUSTRIAL GLOSS ENAMEL (INTERIOR/EXTERIOR) OVER PRIMER ON ALL EXPOSED STRUCTURAL STEEL MEMBERS, STEEL SUPPORT STRUCTURAL RAILINGS PIPE CHANNELS AND BRACINGS.

4. SECURITY PROVISION NOTES:

- ALL OPENINGS NOTED WITH SYMBOL \square ARE SECURITY OPENINGS AND THE FOLLOWING NOTES SHALL APPLY.

4.13 SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TEST SPECIFIED IN 617.7.2

5. LIGHTING/ELECTRICAL NOTES:

5.1 THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES AND ELECTRICAL WORK AS SHOWN OR IMPLIED ON ALL DRAWINGS AND NOTES.

6.6 THE PLUMBING CONTRACTOR SHALL SUBMIT CUTS OF ALL NEW FIXTURES, FITTINGS AND ACCESSORIES TO THE "ECUMENA DESIGN STUDIO" FOR REVIEW AND APPROVAL.

7. SAFETY GLAZING IN HAZARDOUS AREAS:

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF SAFETY GLAZING SECTION 2406.

ecumena 3786 LA CRESCENTA AVE. SUITE 207 GLENDALE CA 91208 TEL: 818/507-6787

REVISIONS BY

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PROJECT TITLE: ADDITION TO S.F. DWELLING

JOB NO: DRAWN BY: CHECKED BY: DATE: SHEET TITLE: GENERAL NOTES

SHEET NUMBER: 1065 ALLEN AVE., GLENDALE, CA 91201

G101

SHEETS OF

7. Openings or windows referred to in item 2g above, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens, or grilles. The protective bars or grilles shall not interfere with the operation of opening windows if such windows are required to be operable by this Code.
8. In addition to the details and specifications required by items 1 through 7 above, provide appropriate general notes and specifications to comply with Volume VII, Ordinance No. 5581. The following example notes may be used in part or in total as appropriate:

GENERAL NOTES:

All openings marked * are security openings and the following notes shall apply:

- Each unit in a residential development shall be keyed differently than any other units under the same general plan. A certificate from the lock supplier declaring that all locks supplied to the project are keyed separately shall be acceptable as complying with the above requirements.
- Door jambs shall have a solid backing with no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.
- In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Jambs shall have solid backing against sole plates.
- Iron or steel screens shall be 1/8" thick with 2" mesh securely fastened.
- Iron bars shall be 1/2" diameter bars or 1" x 1/4" flat steel spaced at 5" max, securely fastened.
- Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to gripping tools.
- Door stops for in-swinging doors shall be integrated (rabbeted) with the jamb. Jambs for all doors shall be constructed or protected so as to prevent violation of the strike.
- The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by a minimum of two screws.
- Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.
- Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.
- Garage Door Types:** Rolling overhead, solid overhead, swing or sliding accordion garage-type doors shall conform to the following standards:
 - Wood doors shall have panels a minimum of five-sixteenths (5/16) inch (8mm) in thickness with the locking hardware being attached to the support framing.
 - Aluminum doors shall be a minimum thickness of .0215 inches (.546mm) and riveted together a minimum of eighteen (18) inches (458mm) on center along the outside seams.

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There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestrian access door.

- Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1831 gram/m²) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1526 grams/m²).
- Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch (25.4mm).
- Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points or, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header; or, torsion spring counter balance type hardware may be used.
- Doors with slide bolt assemblies shall have frames a minimum of .120 inches (3mm) in thickness, with a minimum bolt diameter of one-half (1/2) inch (13mm) and protrude at least one and one-half (1 1/2) inches (38mm) into the receiving guide. A bolt diameter of three-eighths (3/8) inch (10mm) may be used in a residential building. The slide bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach slide bolt assemblies.
- Swinging Exterior Doors:** All exterior swinging doors of any residential building and attached garages (Except for vehicular access doors), including the door leading from the garage area into the dwelling unit shall be equipped as follows:
 - All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches (45mm), or with panels not less than nine-sixteenths (9/16) inch (15mm) thick.
 - A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch (19mm) into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one fourth (1/4) inch (6.3mm) in diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.
 - The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch (16mm) into the head and threshold or the door frame.
 - Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing.
 - Wide Angle Viewer: Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle (180°) door viewer.

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- Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing.
 - Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" min. bolt projection or hook shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard.
 - Address Number and Identifying Data:** Address numbers and other identifying data shall be displayed as follows:
 - All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with rear vehicular access through any driveway, alleyway or parking lot shall also display the same numbers on the rear of the building.
 - Multiple Family Dwelling; Illuminated Diagrams and Identification Numbers: There shall be positioned at each entrance of a multiple family dwelling complex an illuminated diagrammatic representation of the complex which shows the location of:
 - The viewer;
 - The unit designations within the complex.
 - Each unit that is a "smoking unit and a "non smoking" unit (as governed by Chapter 8.52 of the Glendale Municipal Code, 1995, or any successor legislation);
 - A smoking permitted area authorized under Section 8.52.130 of the GMC; and
 - The complex's exits, stairwells, elevators, fire alarm annunciator panels, and standpipes.
- In addition, each individual unit within the complex shall display a prominent identification number, not less than four (4) inches (102mm) in height, which is easily visible to approaching vehicular and/or pedestrian traffic. In addition, any multiple family dwelling with rear vehicular access shall also display the same numbers on the rear of the building.
- Lighting; Multiple Family Dwelling.** Lighting in multiple family dwellings shall be as follows:
 - Aisles, Passageways and Recesses: Aisles, passageways and recesses related to and within the building complex shall be illuminated with an intensity of at least twenty-five hundredths (.25) of a footcandle (2.7 lux) at the ground level during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.
 - Parking Structures, Parking Lots and Carports: Parking structures, parking lots and carports shall be provided with a minimum of two (2) footcandles (21.5 lux) of light on the parking surface during the hours of darkness. Lighting devices shall be protected by weather and vandalism-resistant covers.
 - Note:** These notes are intended as a guide only. Contractor and supplier shall refer to Ordinance No. 5581, Volume VII for more complete and specific details.

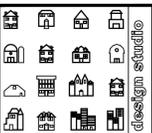
Rev 03/10 - Page 4 of 4

California Electrical Code (provide notes on plans)

- All receptacles in bathrooms, garages, accessory buildings, outdoors, crawl spaces, unfinished basements, kitchens (where receptacles serve counter top surfaces), laundry, utility, wet bar sinks (within 6' of the edge of the sink), shall have ground-fault circuit-interrupter (GFCI) protection. Show on the plans. (210.8 CEC)
- All branch circuits supplying 120v 15-ampere and 20-ampere outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a listed arc-fault circuit interrupter (AFCI). Show on the plans. (210.12(B) CEC)
- All wall spaces, 2' or more in width, shall have receptacles installed such that no point measured horizontally is more than 6' from a receptacle (12' maximum spacing). Show minimum receptacles on the plans. (210.52 (A) (1) & (2) CEC)
- Countertops in kitchens, pantries, breakfast rooms, dining rooms and similar areas spaces 12" or wider shall have receptacles installed such that no point along the wall is more than 2' from a receptacle. Show receptacles on the plans. (210.52 (C) (1) CEC)
 - Receptacle outlets shall be located above, but not more than 20" above, the countertop. Receptacle shall be readily accessible.
- In bathrooms, at least one receptacle shall be installed within 3' of the outside edge of each basin. Show receptacles on the plans. (210.52 (D) CEC)
 - At least one 20-ampere branch shall be provided to supply bathroom receptacle outlets. This circuit shall have no other outlets. (210.11(C)(3) CEC)
 - At least one receptacle at grade level shall be installed in both the front and back of each dwelling unit. Show receptacles on the plans. (210.52 (E) (1) CEC)
- Balconies, decks and porches accessible from inside the dwelling unit shall have at least one receptacle installed within the perimeter of the deck balcony or porch. Show receptacles on the plans. (210.52 (E) (3) CEC)
- Electrical boxes shall have drywall, plaster, or plasterboard surfaces finished so there will be no gaps or open spaces greater than 1/8" at the edge of the box per article 314.21 (CEC). In walls or ceilings boxes shall be installed so that the front edge of the box or plaster ring shall not be recessed more than 1/4" from non-combustible finish surface and shall be flushed with a combustible surface per article 314.20 (CEC).
- All 125v 15-ampere and 20-ampere receptacles in areas specified in article 210.52 (CEC) shall be listed tamper resistant receptacle. (406.12 CEC)
- Lighting shall comply with the applicable high efficacy requirement of the California Title 24 part 6 section 150.

Notes Required on the Plans

- Applications for which no permit is issued within one (1) year following the date of application shall automatically expire. (R105.3.2 CRC)
- Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandoned for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official.
- Fire sprinkler plans stamped approved by the City of Glendale's Fire Department shall be provided at the site at time of framing inspection.



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REVISIONS	BY

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:

PROJECT TITLE:
ADDITION TO S.F. DWELLING

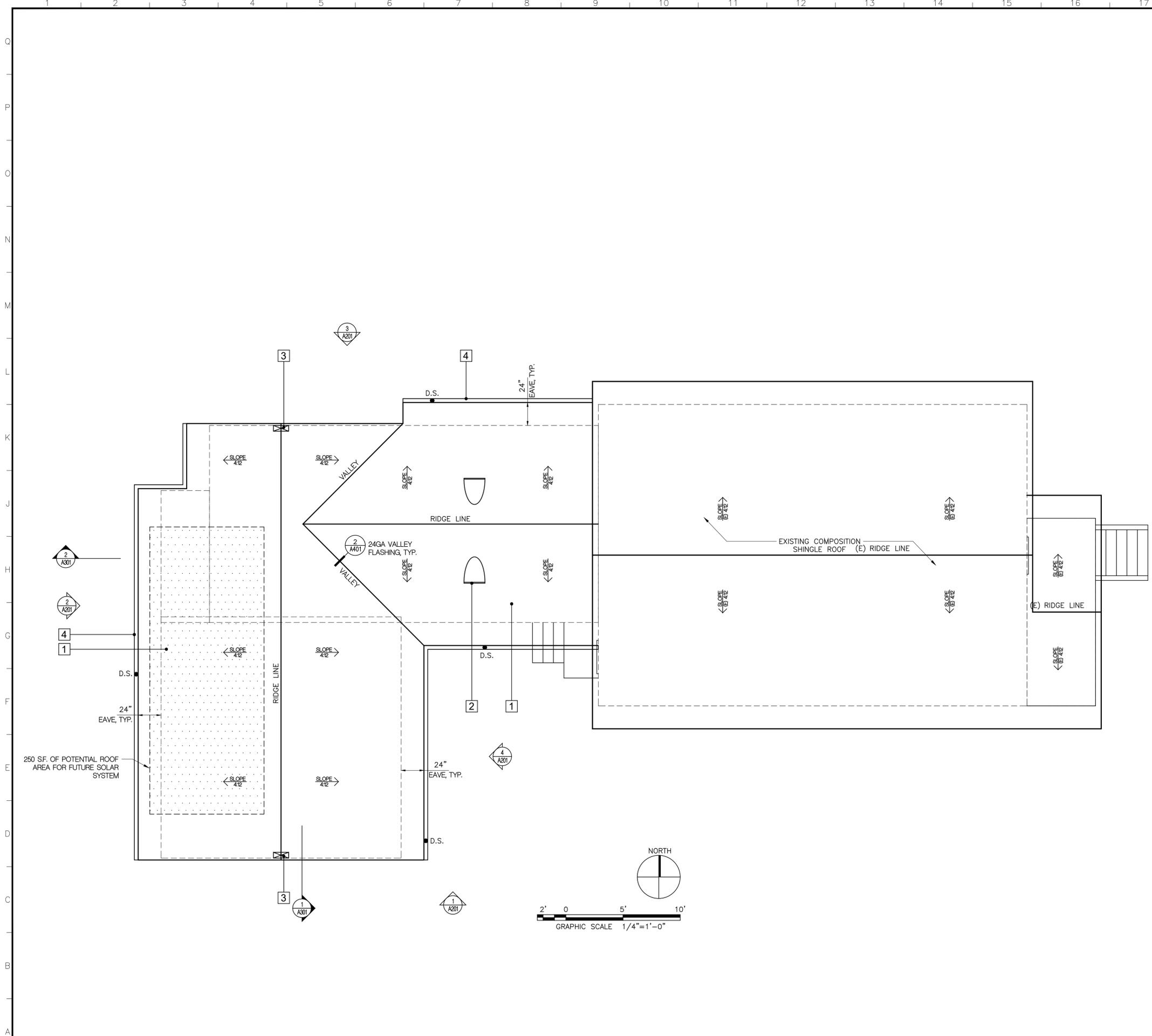
SHEET TITLE:
CITY OF GLENDALE GENERAL NOTES: FORMS

JOB ADDRESS:
1065 ALLEN AVE., GLENDALE, CA 91201

SHEET NUMBER

G201

SHEETS OF



ROOF PLAN NOTES:

1. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
2. ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
3. ALL DOWN SPOUTS DRAIN TO RAIN GARDEN, SEE 1/A101.

EXTERIOR FINISH SCHEDULE:

1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 COLOR & STYLE TO MATCH EXISTING HOUSE
2	12"x24" GALVANIZED STEEL HALF-ROUND DORMER VENT BY "GILBRATAR BUILDING PROD." OR APPROVED EQ., W/4" 26GA G.I. PAN FLASHING. COLOR TO MATCH SURROUNDING SURFACES
3	24GA G.I. LOUVERED ATTIC VENT. COLOR TO MATCH SURROUNDING SURFACES
4	4" GUTTER 24GA G.I. W/G.I. DOWN SPOUT.
5	ORNAMENTAL WOODEN MOLDINGS, TRIMS, ETC...-SIZE, COLOR, TYPE TO MATCH EXISTING HOUSE.
6	8" WIDE "HARDIEPLANK" LAP SIDING BY "JAMESHARDIE" COLOR & STYLE TO MATCH EXISTING HOUSE
7	WROUGHT IRON RAILING PAINT AS PER DUNN-EDWARDS "NORTHERN TERRITORY #447.
8	OFF-WHITE COLOR VINYL CLAD DOORS & WINDOWS BY "MARVINS" OR APPROVED EQ. COLOR & STYLE TO MATCH EXISTING HOUSE
9	CRAFTSMAN STYLE DOOR COLOR TO MATCH EXISTING HOUSE
10	SECTIONAL OVERHEAD GARAGE DOOR. COLOR & TEXTURE TO MATCH DOORS & WINDOWS.
11	CORROSION RESISTANT WEEP SCREED UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.

ROOF LEGEND:

- BUILDING WALLS BELOW SHOWN
- 24GA G.I. DOWN SPOUT
- SLOPE 4:12 → DIRECTION OF SLOPE/GRADIENT
- ⊕ EL.+2500' DENOTES TOP OF SHEATHING ELEVATION
- [Dotted Area] SOLAR ZONE SHOWN

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PROJECT TITLE:
 ADDITION TO S.F. DWELLING

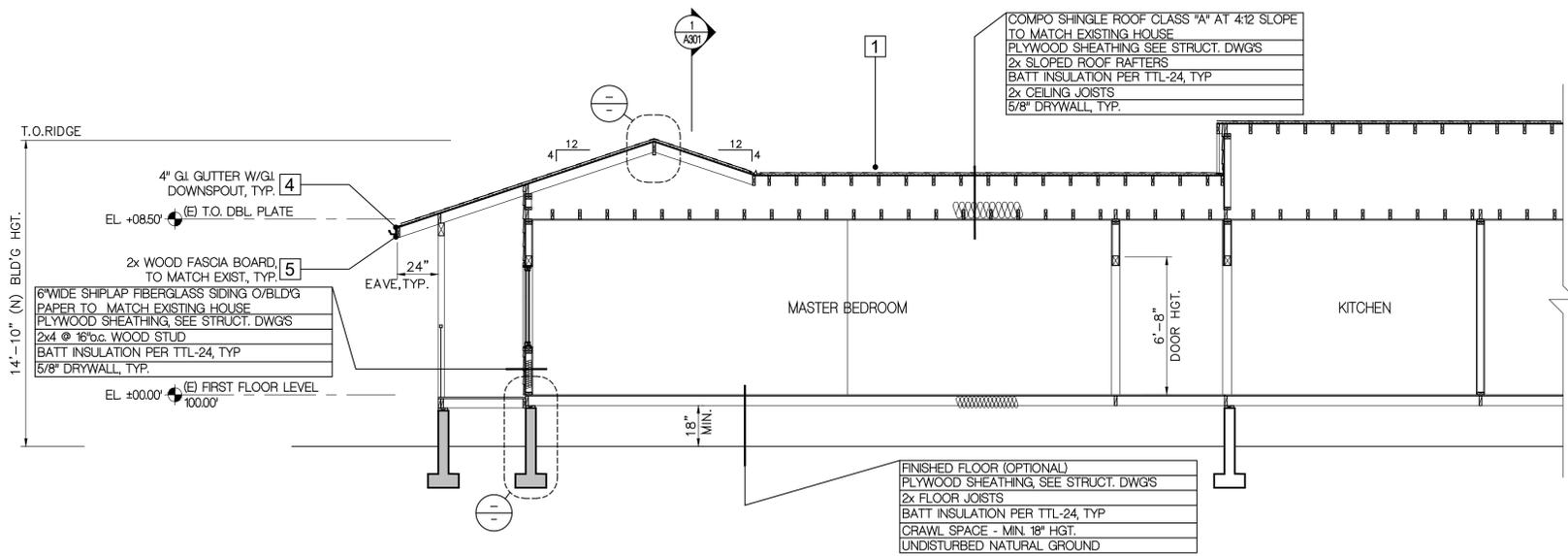
JOB ADDRESS:
 1065 ALLEN AVE., GLENDALE, CA 91201

JOB NO.:	
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CHECKED BY:	
DATE:	
SHEET NO.:	
SHEET TITLE:	ROOF PLAN
SHEET NUMBER:	

A103

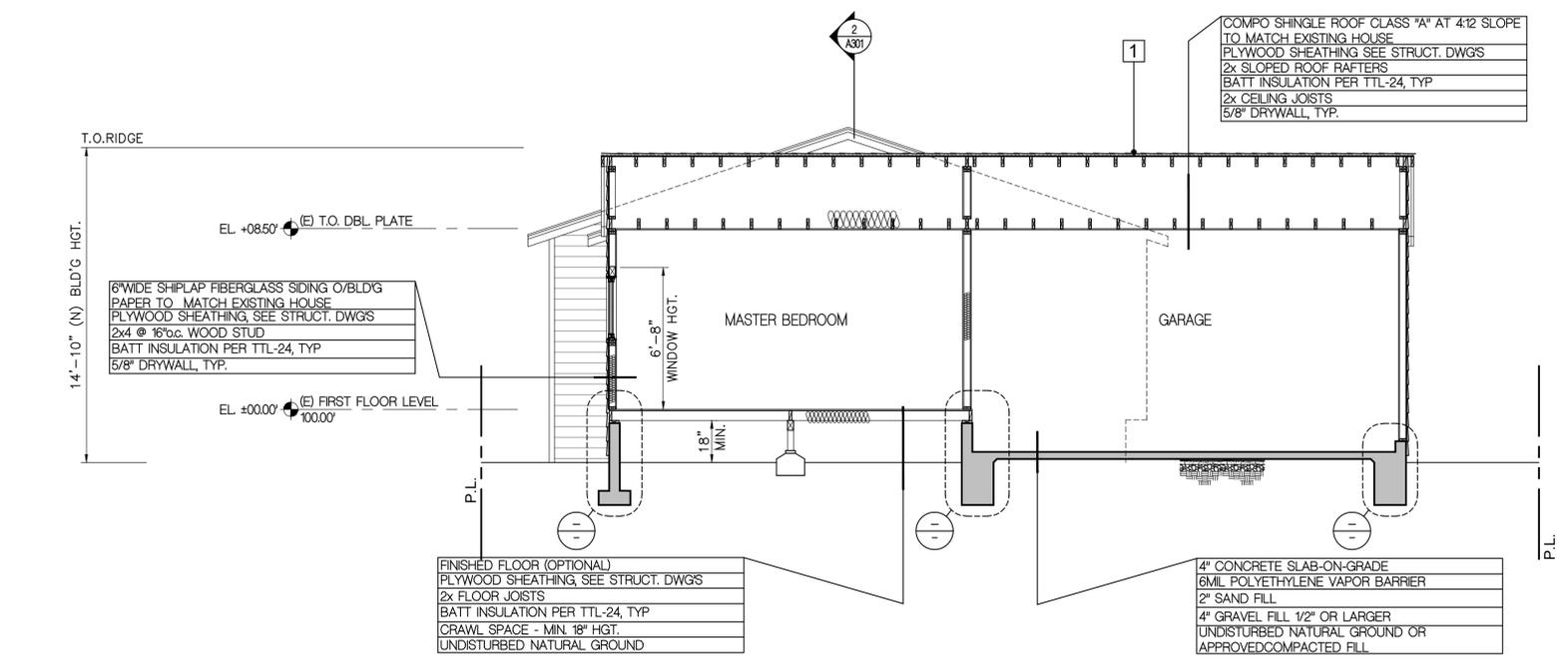
SHEETS OF

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BUILDING SECTION

SCALE: 1/4"=1'-0" 2



BUILDING SECTION

SCALE: 1/4"=1'-0" 1

EXTERIOR FINISH SCHEDULE:

1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 COLOR & STYLE TO MATCH EXISTING HOUSE
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11	CORROSION RESISTANT WEEP SCREED UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.

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PROJECT TITLE:
 ADDITION TO S.F. DWELLING

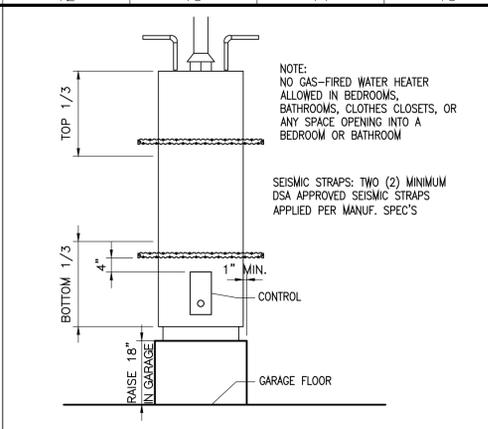
JOB ADDRESS:
 1065 ALLEN AVE., GLENDALE, CA 91201

JOB NO.:
 DRAWN BY:
 CHECKED BY:
 DATE:
 SHEET TITLE:
 BUILDING SECTIONS

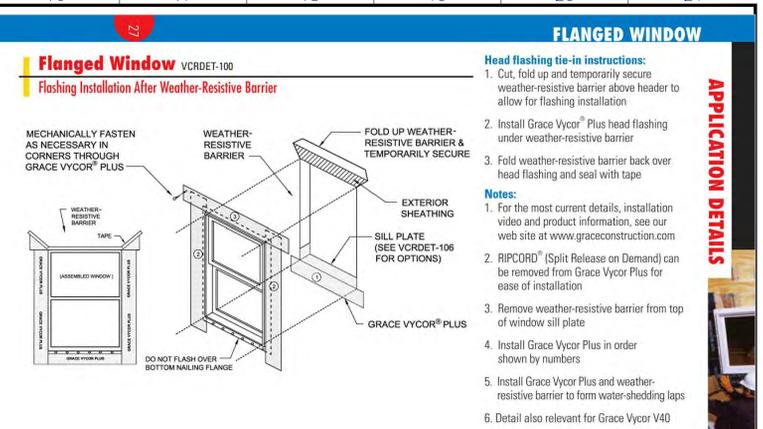
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A301

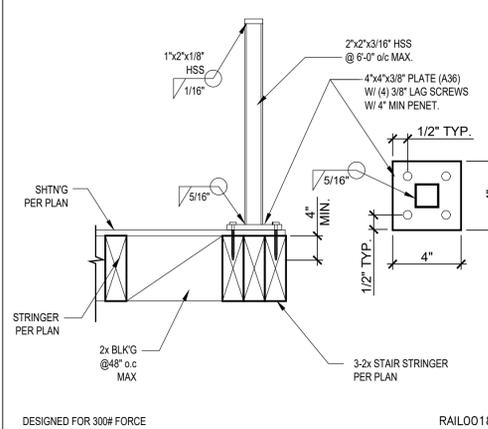
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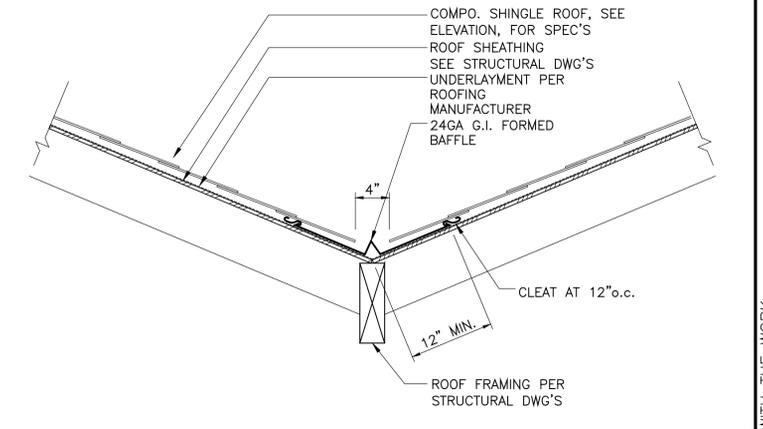
WATER HEATER DETAIL SCALE: 1/2"=1'-0" 7



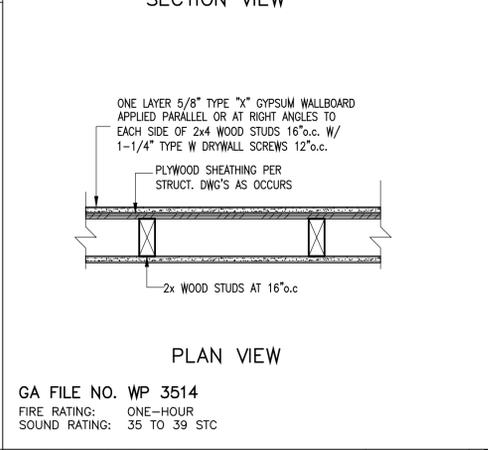
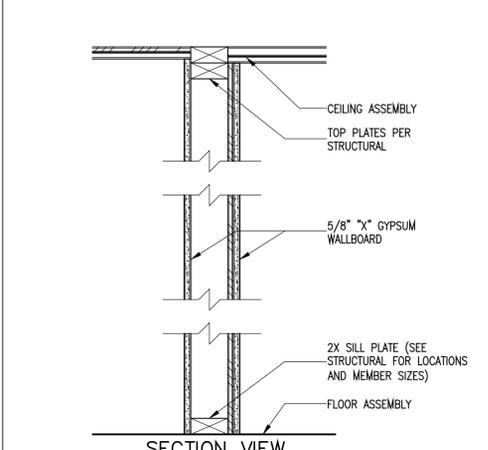
TYPICAL WINDOW FLASHING DETAIL SCALE: N.T.S. 4



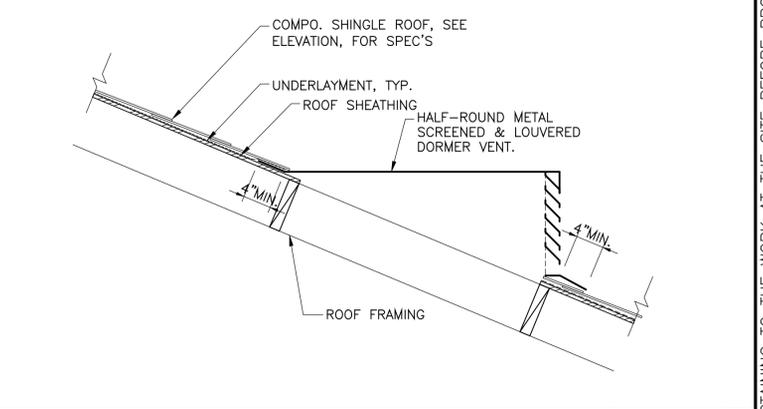
HANDRAIL DETAIL SCALE: 1"=1'-0" 6



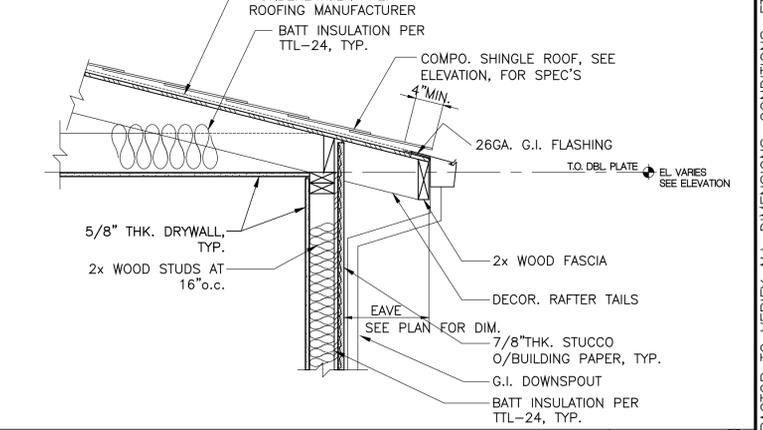
ROOF VALLEY DETAIL SCALE: 1"=1'-0" 3



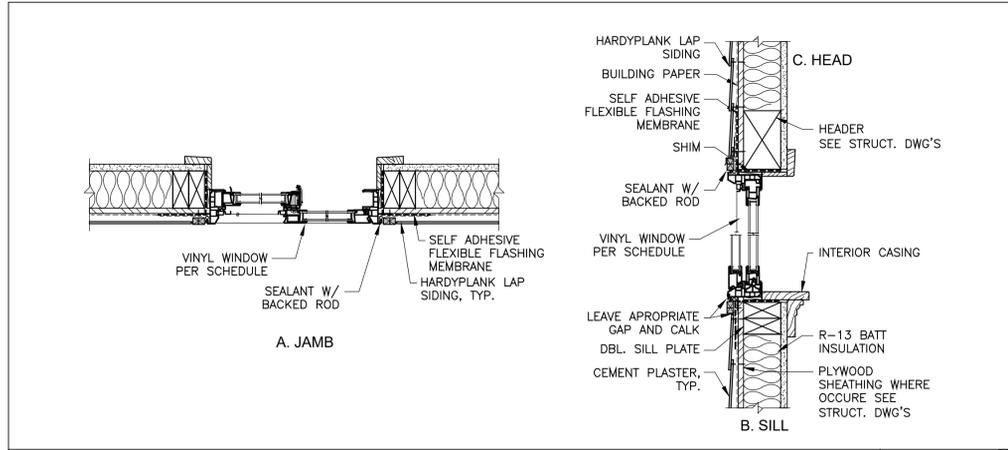
1HR RATED GARAGE PARTITION WALL ASSEMBLY SCALE: 1 1/2"=1'-0" 5



ROOF DORMER DETAIL SCALE: 1"=1'-0" 2



ROOF EAVE DETAIL SCALE: 1"=1'-0" 1



WINDOW JAMB, SILL AND HEAD DETAIL SCALE: 1 1/2"=1'-0" 8

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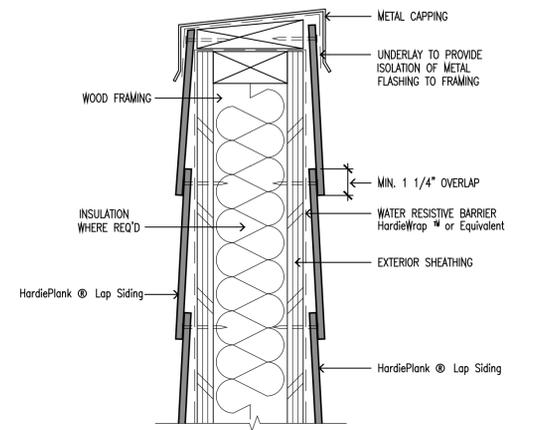
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JOB ADDRESS: 1065 ALLEN AVE., GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET NO.:
SHEET TITLE: DETAILS

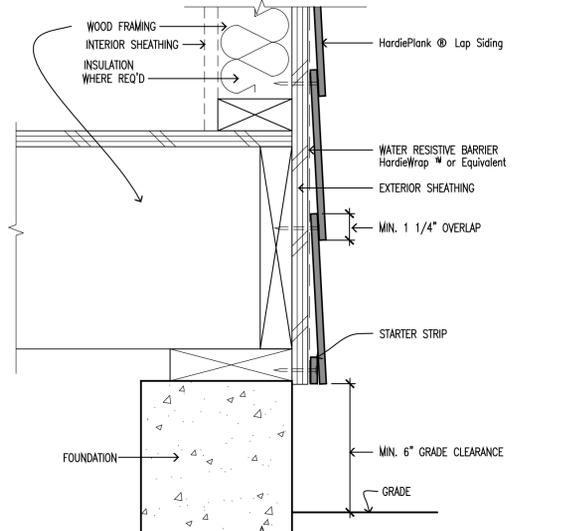
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A401

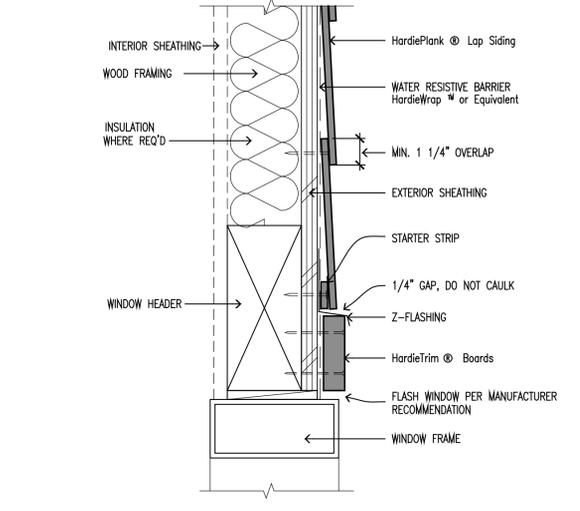
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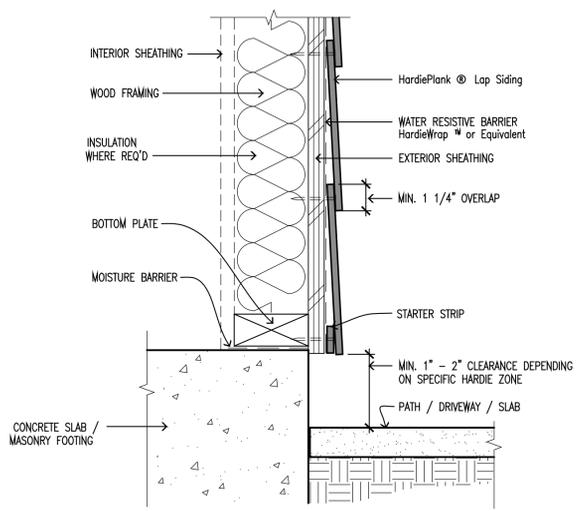
9 PARAPET
SCALE: 3"=1'-0"



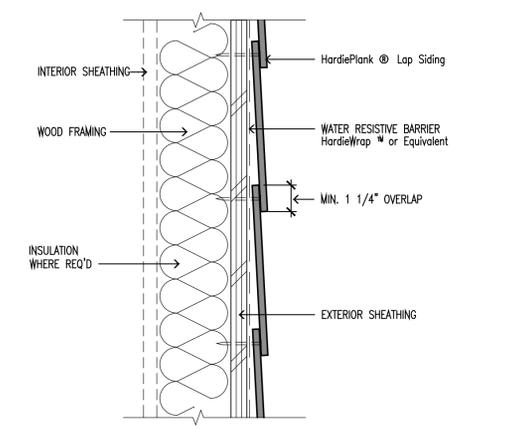
6 GRADE CLEARANCE
SCALE: 3"=1'-0"



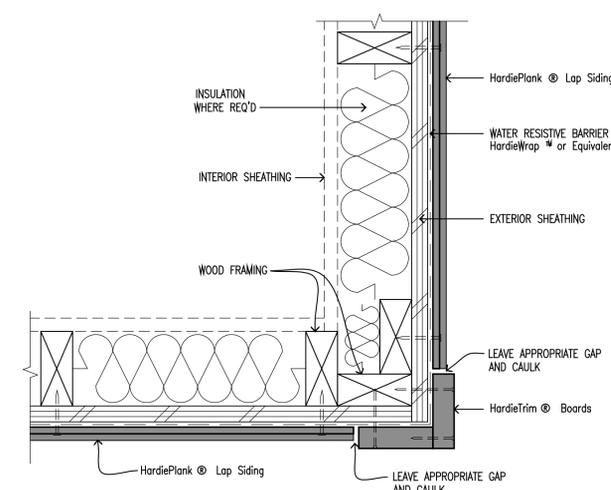
3 WINDOW/DOOR HEAD
SCALE: 3"=1'-0"



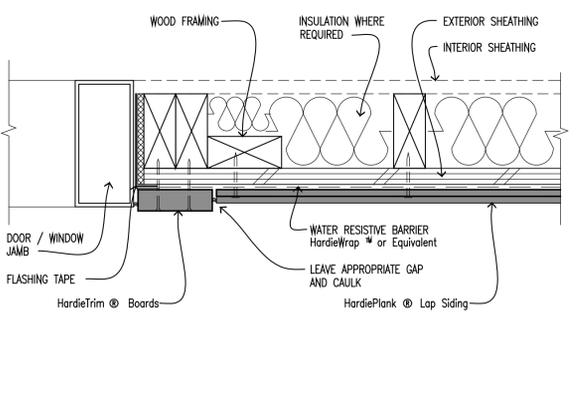
8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.
SCALE: 1/2"=1'-0"



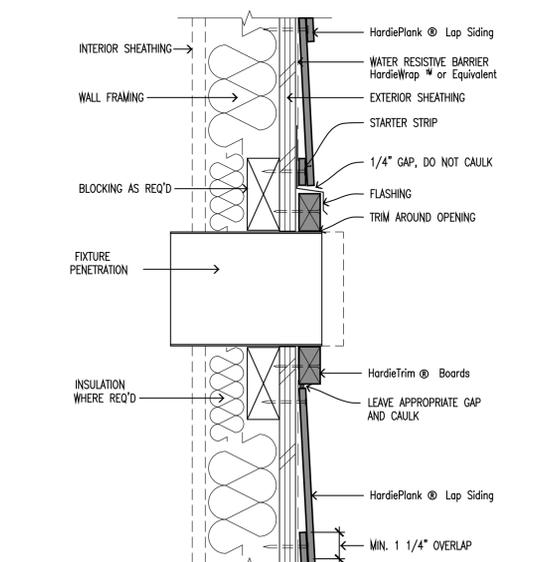
5 HORIZONTAL LAP VIEW
SCALE: 3"=1'-0"



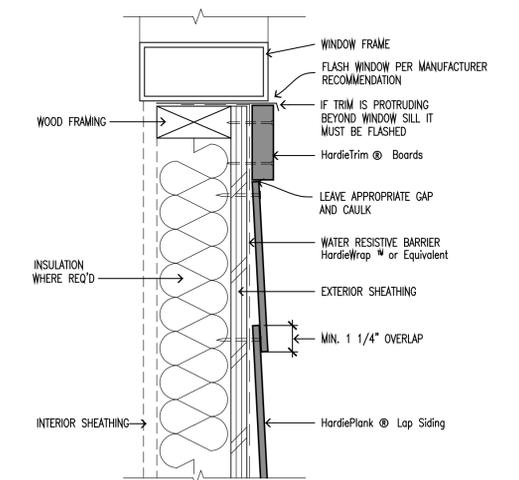
2 OUTSIDE CORNER
SCALE: 3"=1'-0"



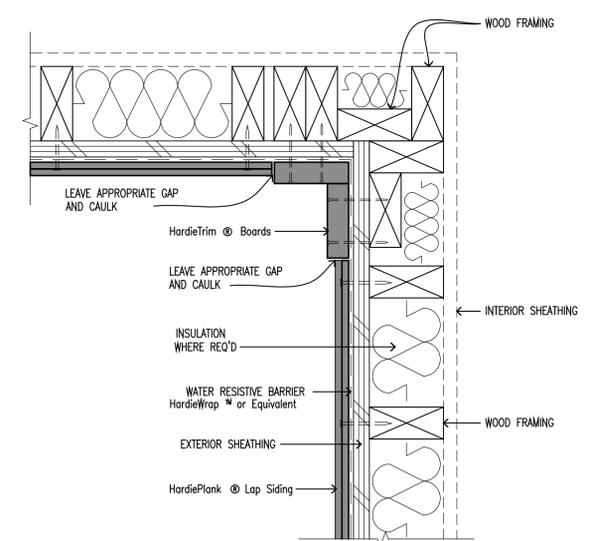
10 DOOR / WINDOW JAMB
SCALE: 3"=1'-0"



7 FIXTURE PENETRATION
SCALE: 3"=1'-0"



4 WINDOW SILL
SCALE: 3"=1'-0"



1 INSIDE CORNER
SCALE: 3"=1'-0"

These drawings are published as an information guide only. These CAD drawings are intended as templates to assist the designer. They do not contain the full details required for construction and must be read in conjunction with the installation instructions on www.jameshardie.com. You should obtain architectural, engineering or other technical advice to assess the suitability of these drawings to the requirements of your particular project. James Hardie accepts no liability in respect to the use of these drawings. For fastener specifications and complete installation instructions refer to appropriate documentation at www.jameshardie.com

HardiePlank® Lap Siding Details

- Wood Framing
- OSB or Plywood Sheathing
- Shown with Siding Nails Blind Fastened into Framing

PROJECT TITLE:	NEW 2 STORY S.F. DWELLING
JOB ADDRESS:	507 GROVE PL., GLENDALE, CA 91206
DRAWN:	JamesHardie
CHECKED:	JW
DATE:	March 1, 2010
SCALE:	AS NOTED
JOB NO.:	-
SHEET:	-
A402	
© 2010 James Hardie Technology Limited	

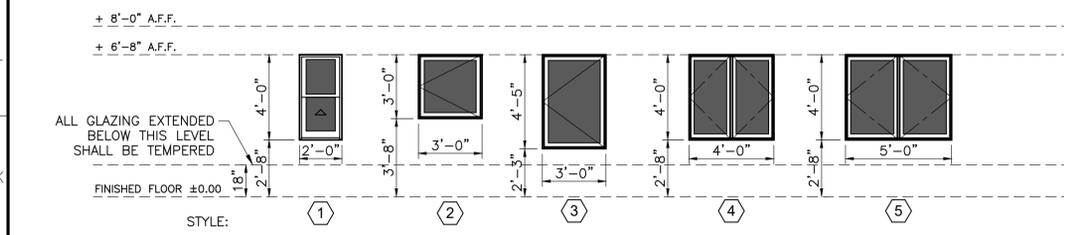
WINDOW SCHEDULE

WINDOW NO.	QUANTITY	WINDOWS										FRAME			GLAZING			DETAIL			OTHER ITEMS					REMARKS				
		EXISTING SIZE		NEW SIZE		EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM THE STREET	EXISTING OPERATION	NEW OPERATION	SCREEN	NEW FRAME TYPE	KEEP EXIST. SILL / FRAME	BUILD NEW SILL / FRAME	THCK.	TYPE	COLOR	EXISTING EDGE DETAIL	NEW EDGE DETAIL	JAMB DETAIL	HEAD DETAIL	SILL DETAIL	EXTERNAL GRID (SGL)	ENERGY EFFICIENT			SILL HEIGHT	BEDROOM	FIRE HAZARD ZONE	WINDOW WITHIN 18" OF FLOOR/ OR 40" OF DOOR
		WIDTH	HEIGHT	WIDTH	HEIGHT																			2	2					
1	1	-	-	2'-0"	4'-0"	-	VNL	N	-	HG	Y	NLN	-	Y	C	DG	OB	-	RE	8/A401	8/A401	8/A401	N	0.30	0.20	2'-8"	N	N	N	
2	1	-	-	3'-0"	3'-0"	-	VNL	N	-	CA	Y	NLN	-	Y	C	DG	CLR	-	RE	8/A401	8/A401	8/A401	N	0.30	0.20	3'-8"	Y	N	N	
3	1	-	-	3'-0"	4'-5"	-	VNL	Y	-	CA	Y	NLN	-	Y	C	DG/T	CLR	-	RE	8/A401	8/A401	8/A401	N	0.30	0.20	2'-3"	Y	N	N	
4	1	-	-	4'-0"	4'-0"	-	VNL	N	-	CAF	Y	NLN	-	Y	C	DG	CLR	-	RE	8/A401	8/A401	8/A401	N	0.30	0.20	2'-8"	Y	N	N	
5	1	-	-	4'-0"	5'-0"	-	VNL	N	-	CAF	Y	NLN	-	Y	C	DG/T	CLR	-	RE	8/A401	8/A401	8/A401	N	0.30	0.20	2'-8"	Y	N	Y	

DOOR & WINDOW NOTES:

- ALL DOORS AND WINDOWS SHALL COMPLY WITH THE MINIMUM STANDARD SET FORTH IN THE PROJECT SPECIFICATIONS.
- UNLESS NOTED OTHERWISE, DOORS AND OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALL OR SHALL BE LOCATED 5" FROM FINISH WALL TO EDGE OR BACK OF DOOR.
- INSTALL DOORS AND FRAMES PLUMB, STRAIGHT, IN TRUE ALIGNMENT AND RIGIDLY SECURED TO WALLS. ERECT IN PROPER SEQUENCE WITH WORK OF OTHER TRADES.
- SPECIAL LOCKING DEVICES IF SPECIFIED SHALL BE OF A CITY APPROVED TYPE.
- INSTALLATION OF GLASS SHALL CONFORM TO FEDERAL SPECIFICATION 16-CFR-1202 AND THE C.B.C. AND ALL LOCAL CODES AND ORDINANCES. SAFETY GLAZING IN HAZARDOUS LOCATIONS SHALL CONFORM TO C.B.C. SECTION 2406.
- ALL DOOR AND OPERABLE WINDOWS TO BE COMPLETELY WEATHER-STRIPPED, INCLUDING ROLL-UP TRUCK DOORS.
- ALL MANUFACTURED WINDOW AND DOOR UNITS SHALL BE LABELED AS MEETING ANSI STANDARD FOR AIR INFILTRATION.
- INSULATION MATERIAL SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 2.5312 B.E.E.S. - MOST CURRENT EDITION.
- DOORS AND WINDOWS SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 2.5317 B.E.E.S. - MOST CURRENT EDITION.
- DOOR OPENING IN MASONRY WALLS SHALL BE 4" HORIZONTAL AND 2" VERTICAL LARGER THAN DOOR DIMENSION TO PROVIDE FOR METAL DOOR FRAME.
- ALL DOORS AND WINDOWS DIMENSIONS ARE CLEAR OPENING DIMENSIONS.
- INSTALL ICE & WATER SHIELD @ EXTERIOR WINDOWS BY W.I. GRACE CO. AT WINDOW HEAD. INSTALL SHIELD UNDER BUILDING PAPER.
- USE VINYL EXTERIOR DOORS & WINDOWS BY "MILGARD"- OR APPROVED EQUAL, U-FACTOR =0.29, SHGC=0.2
- THE PERSON WITH OVERALL RESPONSIBILITY FOR CONSTRUCTION OR THE PERSON RESPONSIBLE FOR THE INSTALLATION OF REGULATED MANUFACTURED DEVICES SHALL POST, OR MAKE AVAILABLE

REVISIONS		BY



SAFETY GLAZING IN HAZARDOUS AREAS: R308.4

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

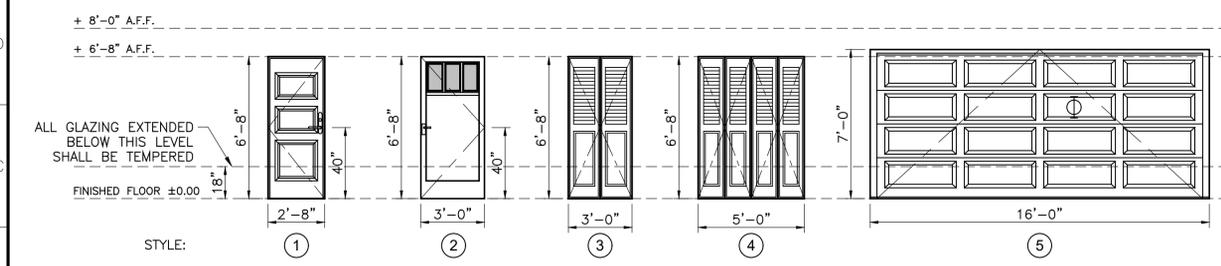
- FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
- GLAZING IN RAILINGS.
- GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
- GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.

WINDOW STYLES

SCALE: 1/4"=1'-0" **2**

DOOR SCHEDULE

DOOR NO.	DOOR					GLAZING			OTHER ITEMS			ENERGY EFFICIENCY		REMARKS		
	SIZE			TYPE	SCREEN	CONSTR.	FACE MATERIAL	THCK.	TYPE	COLOR	SELF CLOSING	UL LABEL/HR	THRE SHOLD		U FACTOR	SHGC
	WIDTH	HEIGHT	THCK.													
1	2'-8"	6'-8"	1 3/8"	SW	N	HC	VEN	3	-	-	N	-	-	-	-	PANEL DOOR
2	3'-0"	6'-8"	1 3/4"	SW	Y	SC	VEN	C	SG	CLR	N	-	-	-	-	ENTRY PANEL DOOR
3	3'-0"	6'-8"	1 3/8"	FLD	N	HC	LVR	-	-	-	N	-	-	-	-	CLOSET DOOR
4	5'-0"	6'-8"	1 3/8"	FLD	N	HC	LVR	-	-	-	N	-	-	-	-	CLOSET DOOR
5	16'-0"	7'-0"	1 3/4"	OH	N	SC	VEN	-	-	-	N	UL 325	-	-	-	OVERHEAD SECTIONAL GARAGE DOOR



DOOR & WINDOW LEGEND:

- | | | | | | | | | |
|--|--|--|---|---------------------|------------|--|--|---|
| 1 SL - SLIDING
SW - SWINGING
CA - CASEMENT
CAF - CASEMENT FRENCH
DH - DOUBLE HUNG
SH - SINGLE HUNG
PVT - PIVOTED
FIX - FIXED
FLD - FOLDING | 2 SC - SOLID CORE
HC - HOLLOW CORE
AL - ALUMINUM
HMI - HOLLOW METAL INTERIOR
HME - HOLLOW METAL EXTERIOR
WG - WOOD & GLASS
VNL - VINYL
FG - FIBERGLASS
ACD - ALUMINUM/WOOD CLAD
VCD - VINYL/WOOD CLAD
FCD - FIBERGLASS/WOOD CLAD | 3 TH - TEMPERED HARDBOARD
LVR - LOUVERED WOOD
LP - LAMINATED PLASTIC
MET - METAL
AL - ALUMINUM
DF - VERTICAL GRAIN DOUGLAS FIR
VEN - WOOD VENEER | 4 BLK - BLOCK FRAME
NLN - NAIL-ON FRAME
FIN - FLUSH FIN FRAME | 5 Y - YES
N - NO | 6 C - CODE | 7 PP - POLISHED PLATE
T - TEMPERED GLASS
W - WIRE
L - LAMINATED
SG - SINGLE GLASS
DG - DOUBLE GLASS | 8 CLR - CLEAR GLASS
OB - OBSCURE
M - MIRROR
STN - STAINED GLASS | 9 FW - FLAT WOOD CASING
MW - MOLDED WOOD CASING
RE - ROUNDED EDGE |
|--|--|--|---|---------------------|------------|--|--|---|

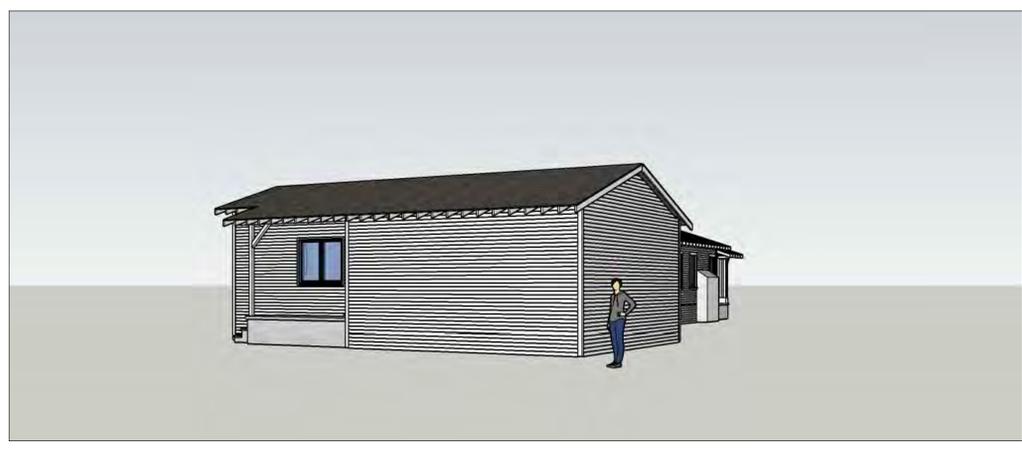
DOOR STYLES

SCALE: 1/4"=1'-0" **1**

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

PROJECT TITLE: ADDITION TO S.F. DWELLING
JOB ADDRESS: 1065 ALLEN AVE., GLENDALE, CA 91201

JOB NO.:
DRAWN BY:
CHECKED BY:
DATE:
SHEET TITLE: DOOR & WINDOW SCHEDULE
SHEET NUMBER:
A501
SHEETS OF



EXTERIOR FINISH SCHEDULE:

1	FIBERGLASS-BASED ASPHALT SHINGLES CLASS "A" AT 4:12 COLOR & STYLE TO MATCH EXISTING HOUSE
2	12"x24" GALVANIZED STEEL HALF-ROUND DORMER VENT BY "GILBRATAR BUILDING PROD." OR APPROVED EQ., W/4" 26GA G.I. PAN FLASHING. COLOR TO MATCH SURROUNDING SURFACES
3	24GA G.I. LOUVERED ATTIC VENT. COLOR TO MATCH SURROUNDING SURFACES
4	4" GUTTER- 24GA G.I. W/G.I. DOWN SPOUT. COLOR TO MATCH SURROUNDING SURFACES
5	ORNAMENTAL WOODEN MOLDINGS, TRIMS, ETC...-SIZE, COLOR, TYPE TO MATCH EXISTING HOUSE.
6	8" WIDE "HARDIEPLANK" LAP SIDING BY "JAMESHARDIE" COLOR & STYLE TO MATCH EXISTING HOUSE
7	WROUGHT IRON RAILING PAINT AS PER DUNN-EDWARDS "NORTHERN TERRITORY #447.
8	OFF-WHITE COLOR VINYL DOORS & WINDOWS BY "MARVINS" OR APPROVED EQ. COLOR & STYLE TO MATCH EXISTING HOUSE
9	CRAFTSMAN STYLE DOOR COLOR TO MATCH EXISTING HOUSE
10	SECTIONAL OVERHEAD GARAGE DOOR. COLOR & TEXTURE TO MATCH DOORS & WINDOWS.
11	CORROSION RESISTANT WEEP SCREED UNDER THE STUCCO. MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.

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REVISIONS BY

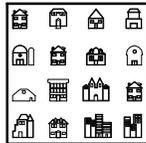
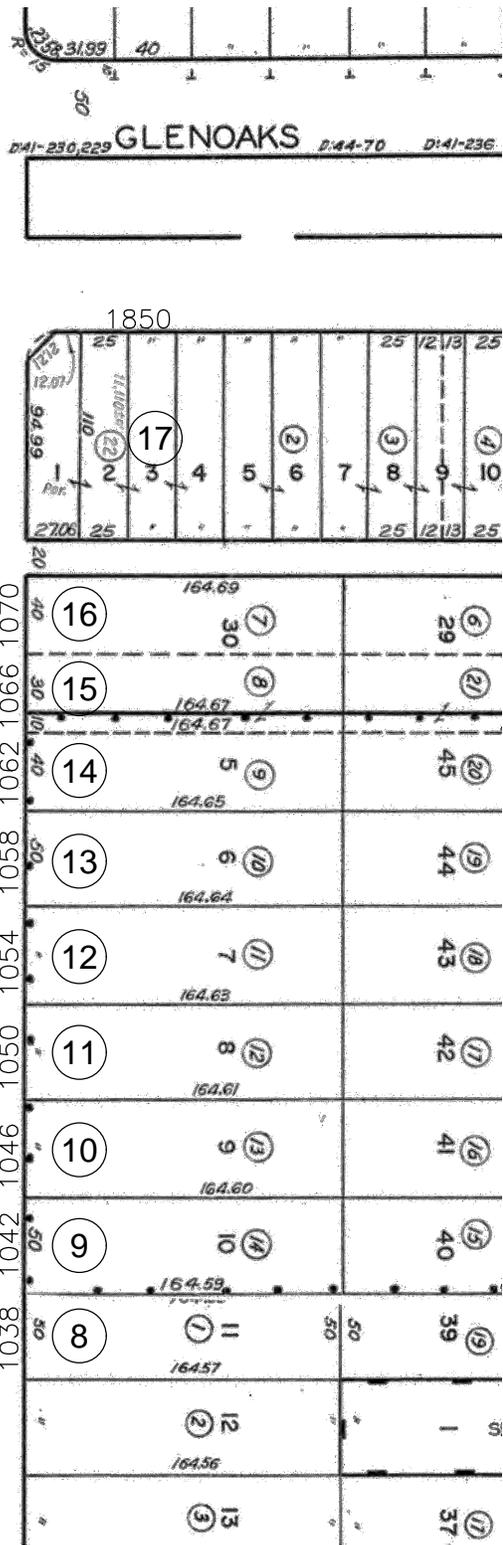
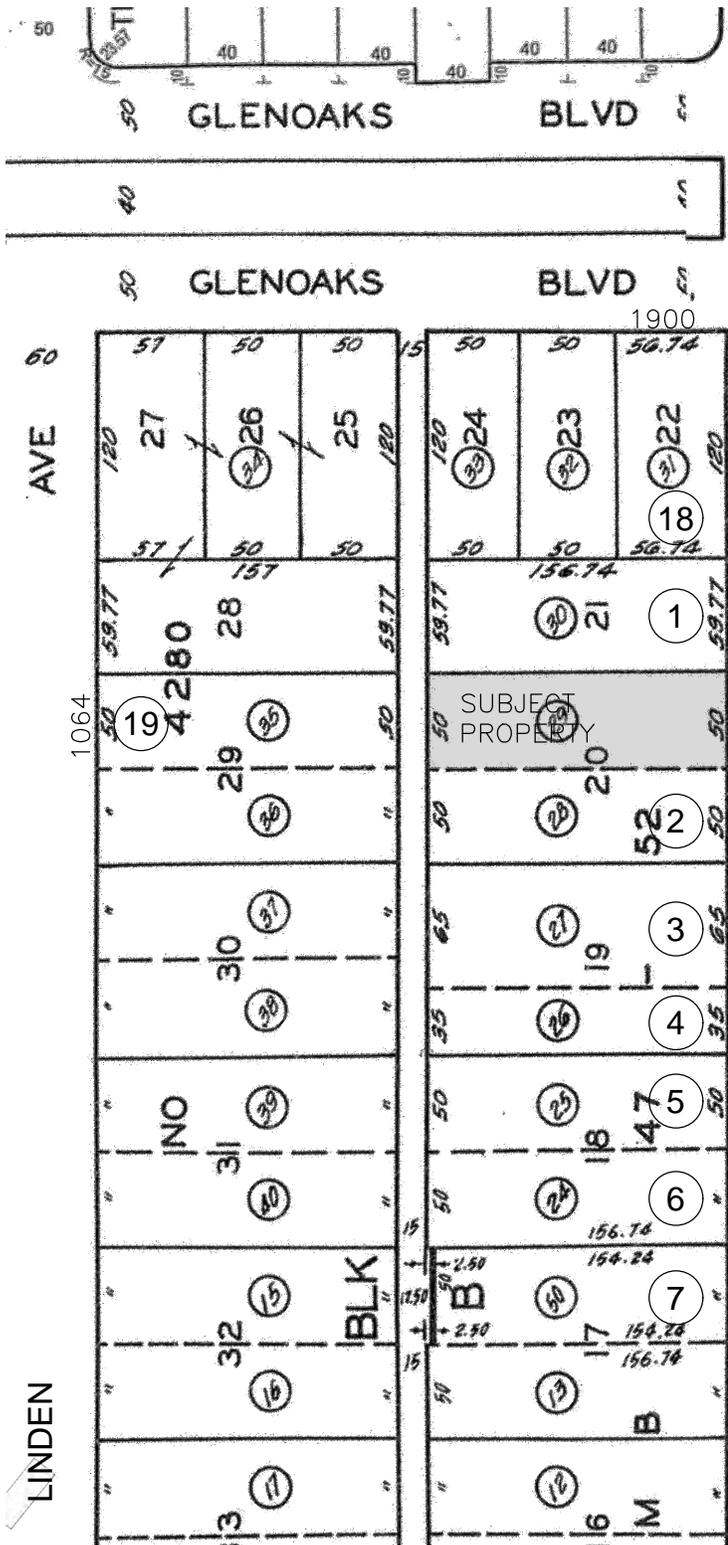
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

JOB NO: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 SHEET TITLE: 3D RENDERING
 SHEET NUMBER: _____

PROJECT TITLE:
 ADDITION TO S.F. DWELLING

JOB ADDRESS:
 1065 ALLEN AVE., GLENDALE, CA 91201

A601
 SHEETS OF



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SHEET TITLE:

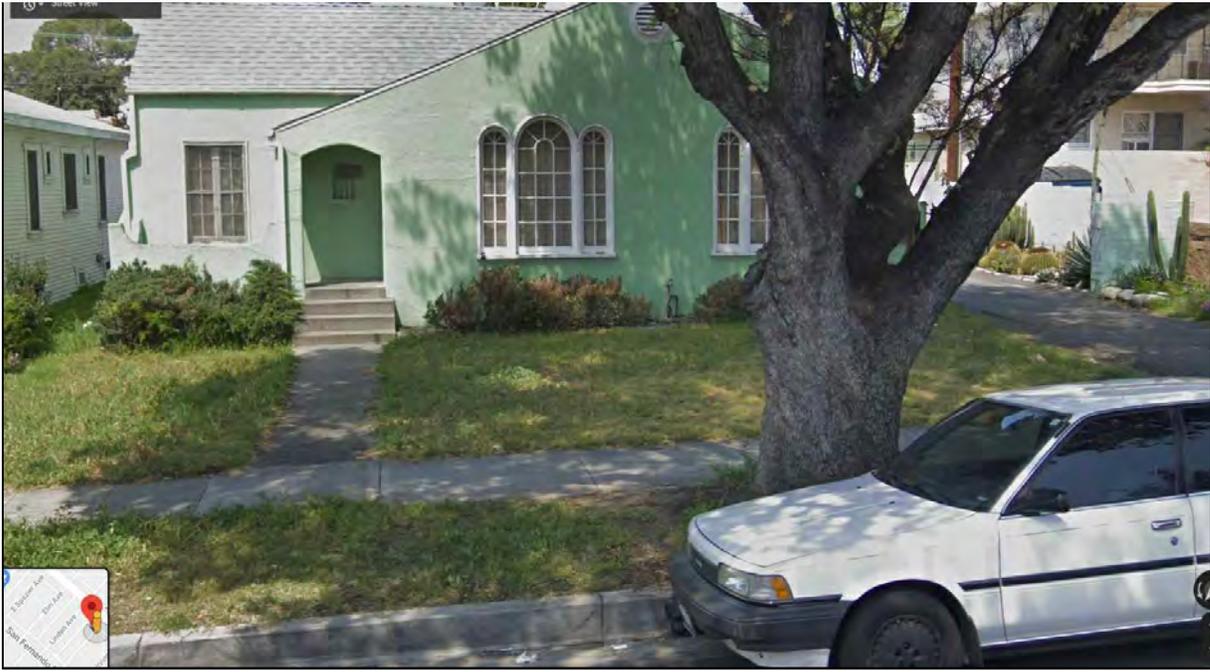
VICINITY & PHOTOGRAPHIC SURVEY MAP

SCALE:

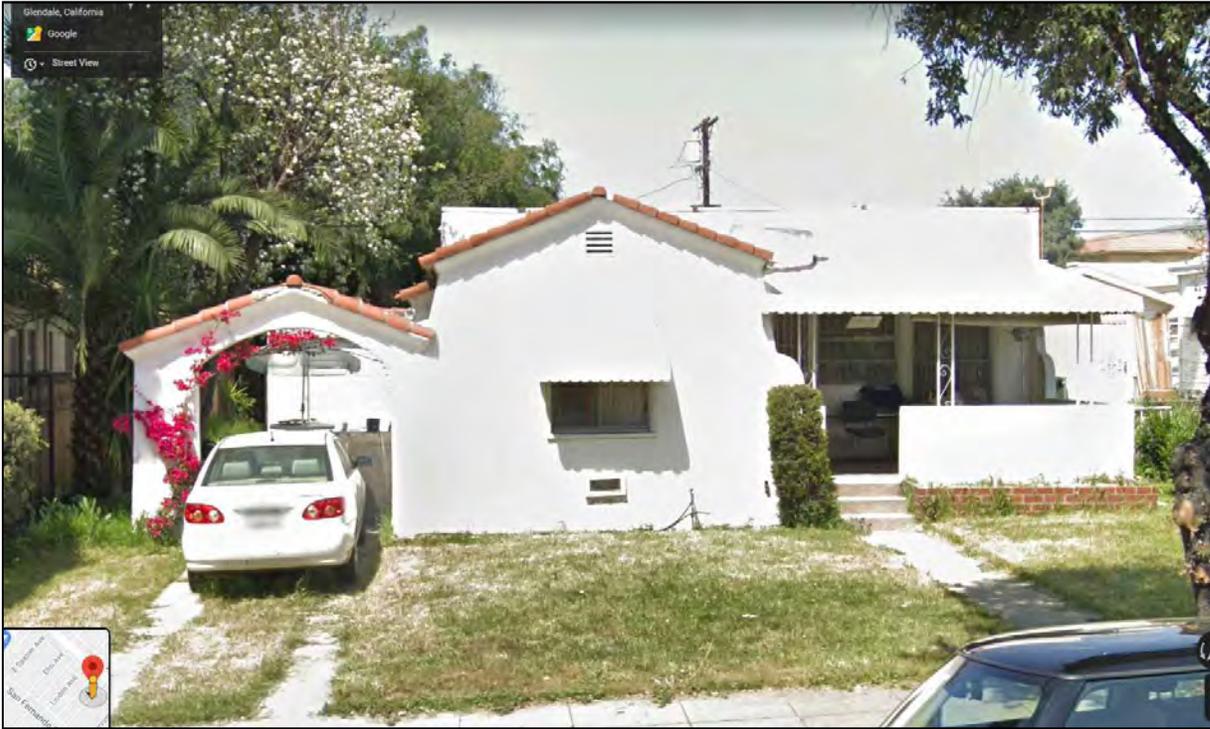
1"=100'

2

SHEET 2 OF 3



1. 1069 ALLEN AVE.



2. 1063 ALLEN AVE.



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SHEET TITLE: PHOTO SURVEY

1

SHEET 1 OF 11



3. 1055 ALLEN AVE.



4. 1053 ALLEN AVE.



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JOB ADDRESS:	1065 ALLEN AVE., GLENDALE, CA 91201	<p style="font-size: 2em; margin: 0;">2</p> <p style="margin: 0;">SHEET 2 OF 11</p>
SHEET TITLE:	PHOTO SURVEY	



5. 1049 ALLEN AVE.



6. 1045 ALLEN AVE.



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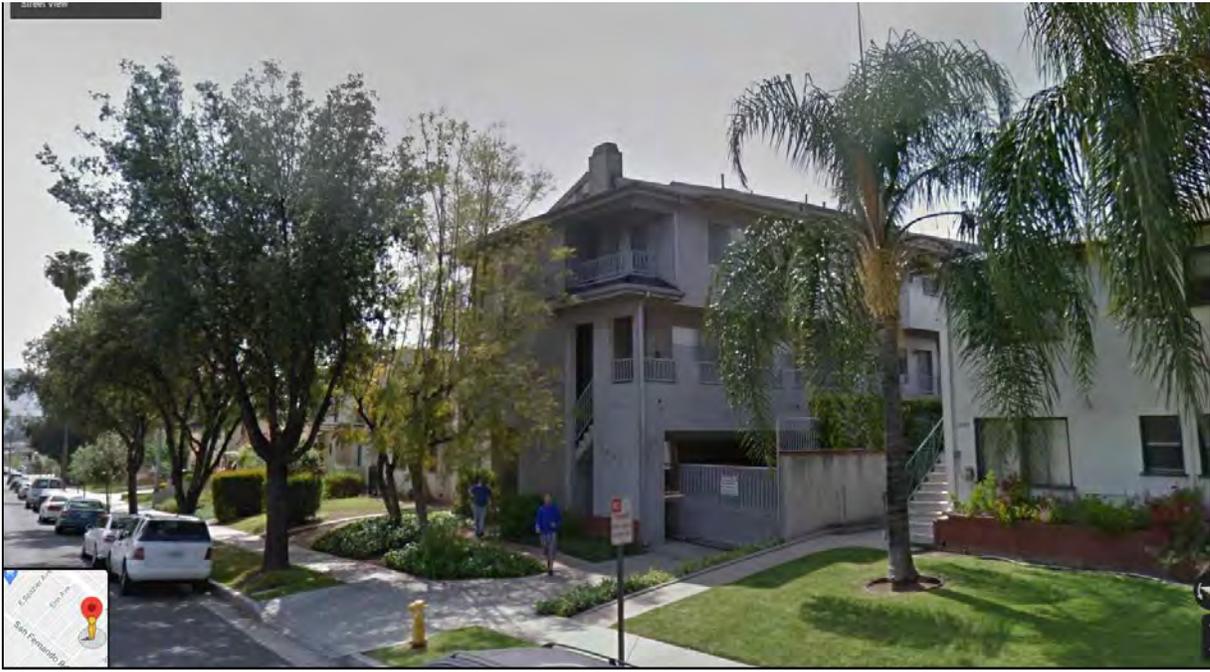
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JOB ADDRESS: 1065 ALLEN AVE., GLENDALE, CA 91201

SHEET TITLE: PHOTO SURVEY

3

SHEET 3 OF 11



7. 1041 ALLEN AVE.



8. 1038 ALLEN AVE.



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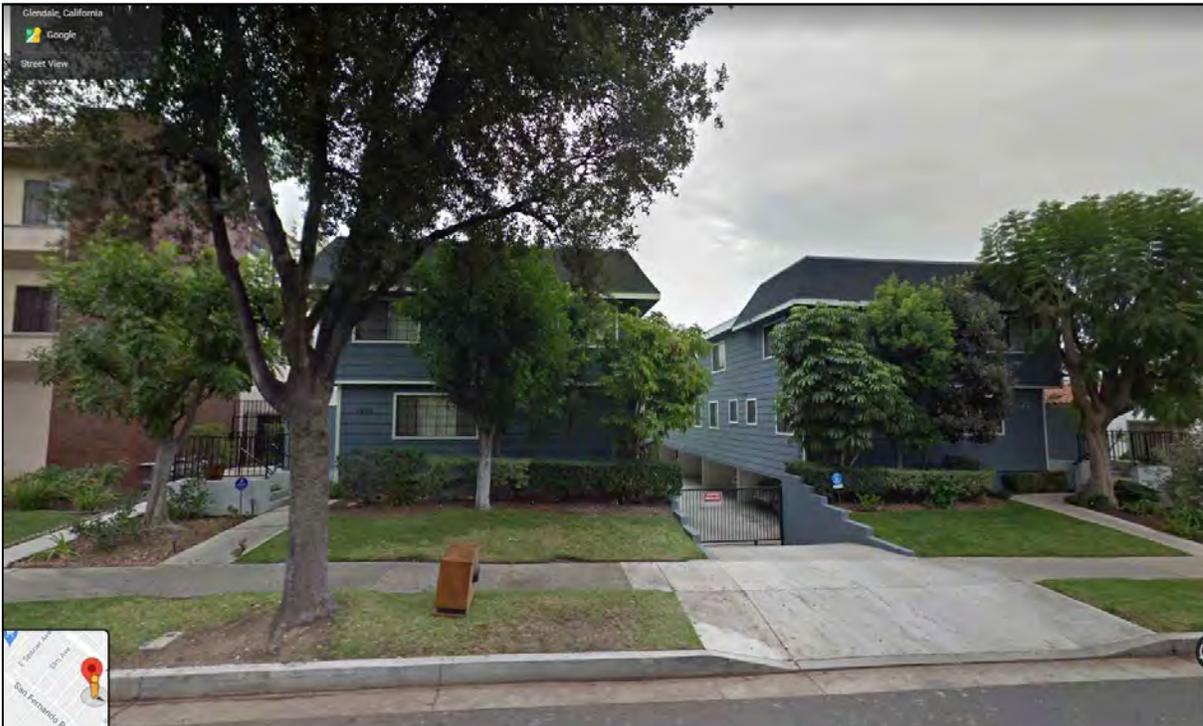
SHEET TITLE: PHOTO SURVEY

4

SHEET 4 OF 11



9. 1042 ALLEN AVE.



10-11. 1046-50 ALLEN AVE.



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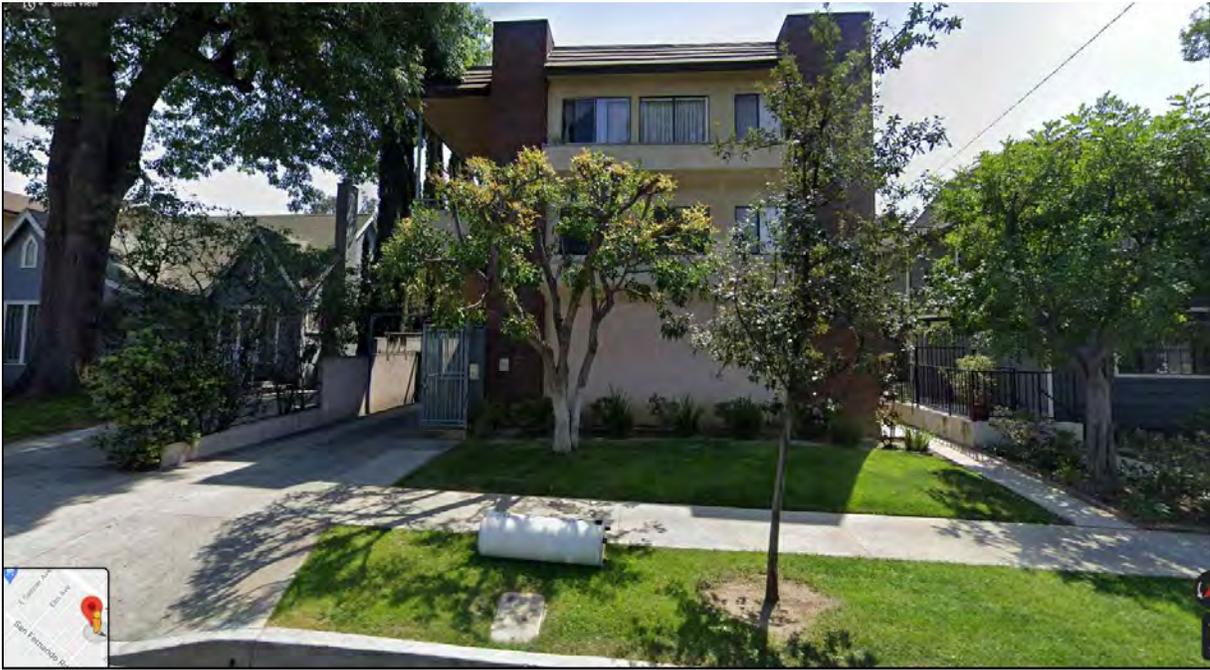
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JOB ADDRESS: 1065 ALLEN AVE., GLENDALE, CA 91201

SHEET TITLE: PHOTO SURVEY

5

SHEET 5 OF 11



12. 1050 ALLEN AVE.



13. 1058 ALLEN AVE.



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SHEET TITLE: PHOTO SURVEY

6

SHEET 6 OF 11



14. 1062 ALLEN AVE.



15. 1066 ALLEN AVE.



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JOB ADDRESS:	1065 ALLEN AVE., GLENDALE, CA 91201	<p style="font-size: 2em; margin: 0;">7</p> <p style="margin: 0;">SHEET 7 OF 11</p>
SHEET TITLE:	PHOTO SURVEY	



16. 1070 ALLEN AVE.



17. 1850 GLENOAKS BLVD.



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SHEET TITLE:	PHOTO SURVEY	



18. 1900 GLENOAKS BLVD.



19. 1066 LINDEN AVE.



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SHEET TITLE: PHOTO SURVEY

9

SHEET 9 OF 11



SUBJECT PROPERTY - FRONT



SUBJECT PROPERTY - SIDE



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JOB ADDRESS:	1065 ALLEN AVE., GLENDALE, CA 91201	<p style="font-size: 2em; margin: 0;">10</p> <p style="margin: 0;">SHEET 10 OF 11</p>
SHEET TITLE:	PHOTO SURVEY	



SUBJECT PROPERTY - REAR



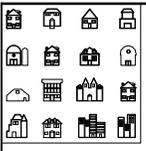
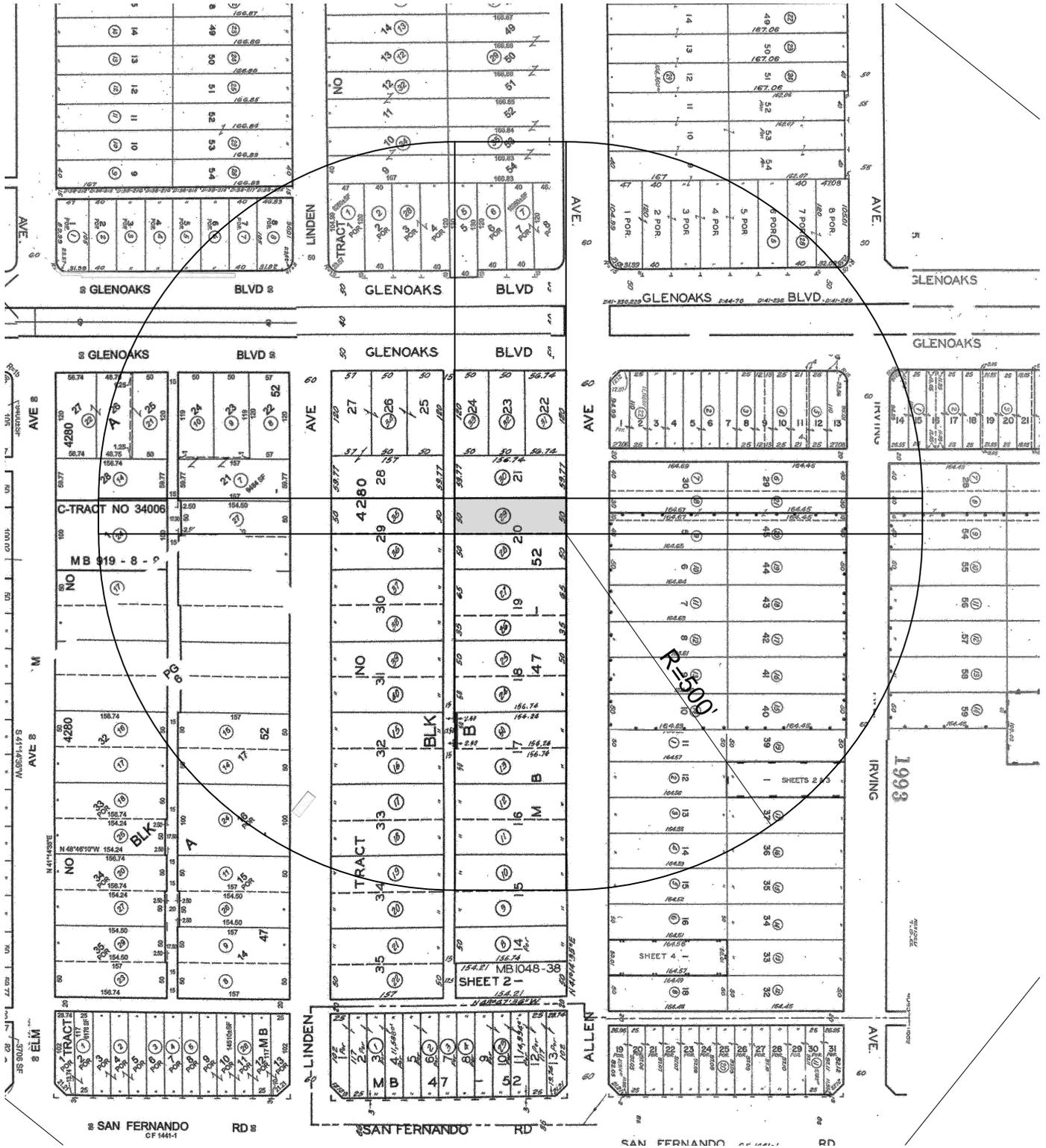
SUBJECT PROPERTY - SIDE



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JOB ADDRESS:	1065 ALLEN AVE., GLENDALE, CA 91201	<p style="font-size: 2em; margin: 0;">11</p> <p style="margin: 0;">SHEET 11 OF 11</p>
SHEET TITLE:	PHOTO SURVEY	



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JOB ADDRESS:	1065 ALLEN AVE., GLENDALE, CA 91201
SHEET TITLE:	LOCATION MAP
SCALE:	1"=200'

1

SHEET 1 OF 3