



CITY OF GLENDALE, CA

DESIGN REVIEW STAFF REPORT – MULTI-FAMILY / MIXED USE

September 24, 2020 <i>Decision Date</i>	119 West Chestnut Street <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5641-007-016 <i>APN</i>
PDR2008548 <i>Case Number</i>	Rodney Khan <i>Applicant</i>
Minjee Hahm <i>Case Planner</i>	Maria Gharibyan <i>Owner</i>

Project Summary

The applicant is proposing to construct a new, two-story, five-unit, multi-family residential building over a semi-subterranean parking garage on an 8,686 square-foot lot located in the R-1650 (Medium High Density Residential) Zone.

The proposed work includes:

- Construction of a new 8,024 square-foot, two-story, multi-family building with a total of five units designed in a modern style. The proposed development is comprised of five, three-bedroom, units
- Construction of a new semi-subterranean parking garage with a total of 14 parking stalls, including one guest parking space.

Environmental Review

The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines because the project involves the development of not more than six dwelling units.

Existing Property/Background

The project site is an 8,686 square-foot, interior lot located mid-block on West Chestnut Street. The property was originally developed in 1920 and now features two detached dwelling units, a detached carport, and a gazebo. The South Glendale Historic Resources Survey found that the property is not a historic resource. The lot is rectangular in shape with a relatively flat terrain. The surrounding neighborhood features multi-family developments in a variety of architectural styles, with building heights ranging from one to three stories.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: R1650 - Medium High Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

Yards and Usable Open Space

yes **n/a** **no**

If "no" select from below and explain:

- Outdoor space integrated into site design and acknowledges adjacent development
- Common space easily accessible from all units
- Appropriate separation/screening from residential units
- Discrete seating and amenity areas allow for multiple users

Garage Location and Driveway

yes **n/a** **no**

If "no" select from below and explain:

- Garage fully integrated into overall structure
- Driveway and curb-cut widths minimized
- Grade-level garages and parking, if allowed, are appropriately screened from the street
- Decorative paving complements building design
- Stairs and lifts to subterranean garages incorporated into the design of the project

The new semi-subterranean parking garage will be accessed from West Chestnut Street. Pedestrian access to the semi-subterranean parking garage is from the rear

common open space area and the front with the lift and stairs appropriately incorporated into the overall design of the building. The applicant's proposal includes a 11-foot wide driveway constructed with permeable pavers. A condition of approval is added requiring that the applicant provide details for the proposed pavers prior to plan check submittal.

Landscape Design

yes **n/a** **no**

If "no" select from below and explain:

- Complementary to building design
- Maintain existing trees when possible
- Provide landscaping adjacent to driveways and garages
- 20% of planting at above-grade common spaces is within 9 inches of finish floor
- Above-grade tree wells are at least 6 inches higher than box size of tree

Walls and Fences

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate style/color/material for building design
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Equipment, Trash, and Drainage

yes **n/a** **no**

If "no" select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- All screening integrated with overall building and/or landscape design
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Lighting

yes **n/a** **no**

If "no" select from below and explain:

- Light fixtures are appropriate to the building and/or landscape design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The new five-unit, multi-family building will face West Chestnut Street and satisfies minimum and average setback requirements and is considerate of the prevailing

setbacks on the street. Outdoor areas including a BBQ and sitting areas are sited in the rear and well integrated into the site design.

- The proposed landscaping plan is complementary to the development of the site and complies with the minimum landscaping requirement for the zone. New drought tolerant landscaping in planters is used to create functional and usable common space at the rear and also to provide landscape buffer at the perimeters from adjacent properties and the street.
- The new semi-subterranean parking garage will be accessed from West Chestnut Street. Pedestrian access to the semi-subterranean parking garage is from the rear common open space area and the front with the lift and stairs appropriately incorporated into the overall design of the building. The applicant's proposal includes a 11-foot wide driveway constructed with permeable pavers. A condition of approval is added requiring that the applicant provide details for the proposed pavers prior to plan check submittal.
- The applicant is proposing split-face, concrete block walls with a maximum height of 6 feet at the western and rear property line, to match the existing block wall at the eastern property line; the new block walls will be finished with white cement plaster on both sides. The proposed walls' style and material are appropriate for the modern design of the building.
- The street-facing pedestrian gates are proposed to be custom-made, bronze-colored, iron gates with a metal mesh screen, which resembles a grid pattern. The railings for the second-floor balconies and the metal screening for the rooftop equipment complement the material and design of the entry gates, and are also to be custom-made, bronze-colored, iron railings with metal mesh screen. The proposed gates, railings, and the metal screening for the rooftop equipment are well integrated to the overall design and appropriate in color and material for the proposed building.
- The trash bins and recycling containers are located in the semi-subterranean garage and adequately screened from public view. The water and power meters are proposed to be in the semi-subterranean garage; the gas meter is located in the landscaped area right above the semi-subterranean garage, hidden from view and out of the setback area.
- The proposed light fixtures as shown on the drawings are compatible with the style of the new apartment building and are appropriately located by entryways of each unit and at the north and south elevations.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If "no" select from below and explain:

- Relates to predominant pattern through appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If "no" select from below and explain:

- Form and profile follow topography

- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The property is located in a multi-family zone where the neighborhood is comprised of a mix of one to three-story, multi-family developments in a variety of architectural styles. The new two-story apartment building will complement contextual massing of the immediate neighborhood.
- The project’s design incorporates building forms at different planes and geometric volumes, which is appropriate along all four façades, as it avoids overbearing presence toward the street and the adjacent neighbors while accentuating the modern design.
- While the overall height of the new building will be 26 feet (including the metal screening for the rooftop equipment) the roofline varies in height across the facades. The proposed flat roof is appropriate for the design. The difference in height of the geometric volumes of the building is the most noticeable from the street-facing façade and creates visual interest.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Design is compatible with neighborhood context
- Design is stylistically consistent
- Employs consistent vocabulary of forms and materials while expressing architectural variety
- Cladding materials and features such as balconies, canopies, and trim elements enhance the architectural concept and are applied around the building

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Overall window pattern appropriate to style
- Window operation appropriate to style
- Recessed/flush window appropriate to style and/or location
- Openings are well detailed

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality materials, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

The modern design of the project features a combination of appropriate exterior cladding materials including smooth finish cement plaster in light colors, horizontal and vertical metal siding in “Hemlock Green” and “Parchment”, and metal fascia. The proposed balcony railings, pedestrian gates, and the screening for the rooftop

enclosure will be consistent in look and material, which is custom-made in bronze-colored iron with metal mesh screen. The proposed colors and exterior materials are appropriate for the overall design of the development. However, because the colors depicted on the elevations do not match the rendering, a condition of approval is added requiring that the applicant revise the drawings to show accurate, consistent colors for proposed exterior materials.

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

The applicant’s proposal includes a 11-foot driveway with permeable pavers. A condition of approval is added requiring that the applicant provide details for the proposed pavers prior to plan check submittal.

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates, fences, and/or walls complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The surrounding neighborhood features a mix of architectural styles. The proposed modern style of the new building is compatible with the eclectic neighborhood context.
- The entryways for each unit are well integrated into the design and located along the east elevation. The entry doors are proposed to be modern-style single-doors with a transom window.
- All new windows will be aluminum-framed, dual-glazed, windows with a dark bronze finish and recessed into the openings that have dark bronze-colored concrete sills. The windows will be a combination of casement, fixed, single-hung, and sliding operations. The proposed windows are compatible with the modern style of the building.
- The window and balcony door openings on the second floor are detailed with canopies, which echo the fascia that separates the first and second floor of the building and creates visual interest for an otherwise empty space.
- As previously discussed, the applicant’s proposal includes an 11-foot wide driveway with decorative pavers. A condition of approval is added requiring that the applicant provide details for the proposed pavers prior to plan check submittal.
- The modern design of the project features a combination of appropriate exterior cladding materials including smooth finish cement plaster in light colors, horizontal and vertical metal siding in “Hemlock Green” and “Parchment”, and metal fascia.

The proposed colors and exterior materials are appropriate for the overall design of the development. However, because the colors depicted on the elevations do not match the rendering, a condition of approval is added requiring that the applicant revise the drawings to show accurate, consistent colors for proposed exterior materials.

- The proposed balcony railings, pedestrian gates, and the screening for the rooftop enclosure will be consistent in look and material, which is custom-made in bronze-colored iron with metal mesh screen. In addition, the proposed split-face, concrete block walls with a maximum height of 6 feet at the western and rear property line will be finished with white cement plaster on both sides. The proposed design and material of the railings, gates, screening, and the block walls are appropriate for the modern design of the building.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

Conditions

1. Provide details for the proposed driveway pavers prior to plan check submittal.
2. Revise drawings to consistently show the accurate colors for all proposed exterior materials.

Attachments

1. Reduced Plans
2. Location Map
3. Neighborhood Photo Survey with Existing Photos of Property



119 W CHESTNUT ST GLENDALE CA 91204

SCOPE OF WORK

100 % PRIVATELY FUNDED NEW 2-STORY OVER ONE LEVELS OF SUB. PARKING STRUCTURE 5-UNIT UNIFIED DWELLING COMPLEX. THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL.

PROJECT SUMMARY

1 - ZONE	= R-1650
2 - OCCUPANCY	= R2/S2
3 - TYPE OF CONSTRUCTION	= TYPE V B THROUGHOUT, NONE SEPARATED USE. (FULLY SPRINKLERED)W/NFPA 13
4 - LOT SIZE	= 50'X175'
5 - LOT AREA	= 8,686.00 SQ. FT.
6 - TOTAL No. OF UNITS ALLOWED	= 5 UNITS.
7 - PROPOSED No. OF UNITS (5)	= 3 BEDROOM UNITS
8 - No. OF STORIES,	= TWO
9 - MAX. HT. ALLOWED MEASURED FROM LOWEST POINT	= 26'-0"
9a - PROPOSED MAX. HT.	= 26'-0"
10 - REQUIRED No. OF PARKING SPACES	= 5x2.5 = 13 + ONE GUEST= 14
11 - PROPOSED No. OF PARKING SPACES	= (12 ASSIGNED + 1 UNASSIGNED) + ONE GUEST = 14 SEE TABLE "A"
12 - MAX. PERMITTED FAR	= 8,686.00x1.0= 8,686.00 SQ. FT.
13 - PROPOSED FAR	= 8,024.0 SQ. FT. = 0.923%
14 - PROPOSED LOT COVERAGE	= 4,212.00 SQ. FT. = 48% < 50%
15 - REQUIRED LANDSCAPING	= 2,170.00 SQ. FT. = 25%
16 - PROPOSED LANDSCAPING	= 2,258.00 SQ. FT. (SEE TABULATION ON L-1)
17 - REQUIRED COMMON OPEN SPACE	= 5x200=1,000.00 SQ. FT.
18 - PROPOSED COMMON OPEN SPACE	= 1,002.00 SQ. FT.
19 - PROPOSED PRIVATE PATIO PER UNIT	= MIN. 46 SQ.FT. > 40 SQ.FT. REQUIRED BY ZONING CODE
20 - AVERAGE CURB HEIGHT	= 497.61'
21 - PROPOSED DECK ELEVATION	= 497.61'+3.0'=500.61'
22 - EXISTING LOWEST GRADE	= T.B.D.
23 - THE PROPOSED COMPLEX COMPLIES WITH SECTION 1102A.3.2. MULTISTORY DWELLING UNITS IN BUILDINGS WITH ONE ELEVATOR.	

NOTES:

- PROPOSED ATTIC SPACE(S) IF ANY, ARE NOT DESIGNED TO BE UTILIZED FOR HUMAN OCCUPANCY OR STORAGE.
- THE ENCLOSED USABLE SPACE UNDER THE STAIRS TO BE PROTECTED WITH 1/2" GYP. BRD.
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST BE REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- A 70" HIGH NON-ABSORBENT WALL FINISH ADJACENT TO SHOWER IS REQUIRED.
- GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR (CBC 2406.3(6)), WITHIN 18" OF FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR (CBC 2406.3(5)), OR WITHIN 5' OF STAIRS AND STAIR LANDINGS (CBC 2406.3(10)) SHALL BE TEMPERED.
- NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH 3-1/2" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4-INCHES ABOVE EARTH OR 2-INCHES ABOVE PAVED AREAS.
- A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE JOB FILE PRIOR TO THE FIRST INSPECTION.

8- THE REQUIRED MAXIMUM FLOW RATES ARE AS FOLLOWS IN TABLE 603.2 - FIXTURE FLOW RATES^a

LAVATORY AND RESTROOM FAUCETS	1.8 GALLONS PER MINUTE (GPM) MAXIMUM
GRAVITY TANK WATER CLOSET	HIGH EFFICIENCY (HET) ^b OR DUAL FLUSH
SHOWERHEADS ^c	2.0 GALLONS PER MINUTE (GPM) MAXIMUM

- a-** MAXIMUM FLOW RATES ARE IN ACCORDANCE WITH TABLE 603.2 OF THE DRAFT STATE OF CALIFORNIA 2007 GREEN BUILDING STANDARDS CODE.
 - b-** HIGH EFFICIENCY TOILET IS DEFINED AS A WATER CLOSET THAT USES 1.28 GALLONS OF WATER PER FLUSH (GPF). A DUAL FLUSH TOILET IS A WATER CLOSET THAT HAS TWO FLUSH OPTIONS - 1.6 GPF (FULL FLUSH) FOR SOLIDS AND 1.1 GPF (HALF FLUSH) FOR LIQUIDS.
 - c-** FOR SINGLE FAMILY PROJECTS, THE 2.0 GPM SHOWERHEAD IS REQUIRED.
- 9- ALL BATHROOMS/KITCHEN TO HAVE FLUORESCENT LIGHTING.

ENGINEERING NOTES:

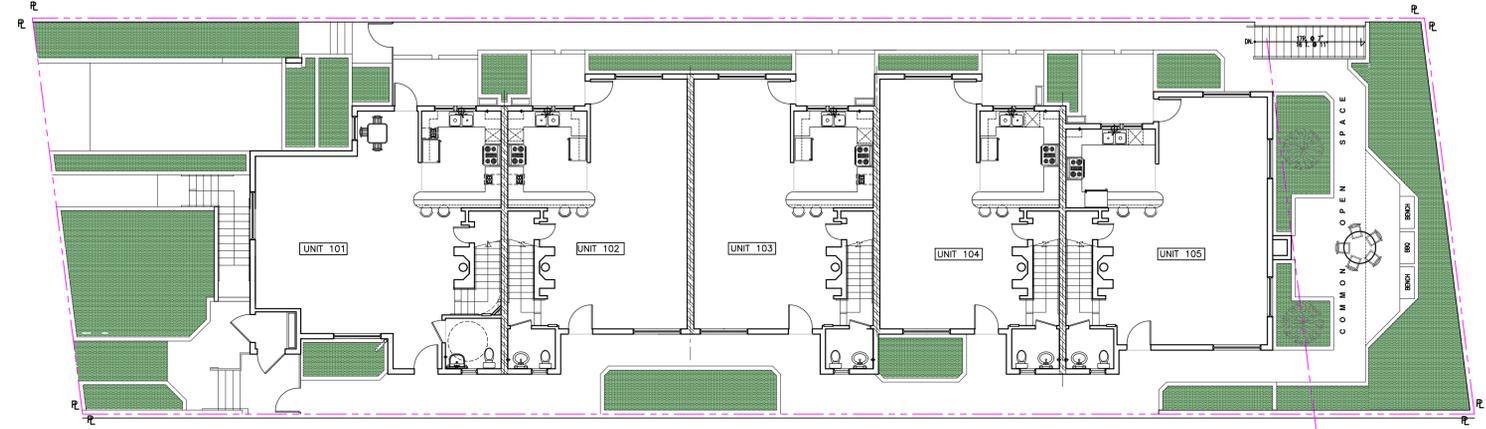
- REMOVE ALL EXISTING CURB, GUTTER, SIDEWALK, AND CONSTRUCT NEW PORTLAND CEMENT CONCRETE INTEGRAL CURB AND GUTTER, SIDEWALK INTEGRAL CURB AND GUTTER, SIDEWALK, IN ACCORDANCE WITH THE SPWCC MANUAL, UNDER SEPARATE PERMIT.
- ANY UNUSED DRIVEWAY APRON SHALL BE REMOVED AND REPLACED WITH NEW PORTLAND CEMENT CONCRETE INTEGRAL CURB AND GUTTER, SIDEWALK, LANDSCAPING AND IRRIGATION AS NECESSARY, IN ACCORDANCE WITH THE SPWCC MANUAL, UNDER SEPARATE PERMIT.
- CONSTRUCT THE PROPOSED DRIVEWAY APRON AND THE SIDEWALK IMMEDIATELY BEHIND THE NEW APRON WITH NEW 5-INCH PORTLAND CEMENT CONCRETE PAVEMENT, IN ACCORDANCE WITH THE SPWCC MANUAL, UNDER SEPARATE PERMIT.
- FOR LOW IMPACT DEVELOPMENT SEE (LID) DWG'S UNDER GRADING PERMIT.

DEFERRED APPROVAL & SEPARATE PERMIT IS REQUIRED FOR:

- A SEPARATE APPLICATION & PERMITS ARE REQ.D. FOR:
 - FIRE SPRINKLER/FIRE ALARM SYSTEM.
 - ELECTRICAL WORK.
 - SOLAR PANEL
 - EQUIPMENT ANCHORAGE IF OVER 400 POUNDS & OVER 48" HT./HVAC
 - GARAGE VENTILATION, IN COMPLIANCE W/GFC SEC. 155
 - PLUMBING WORK.
 - GRADING (BACKFILL) (REMOVAL)/RECOMPACTION (SITE GRADING).
 - SHORING.
 - SITE DRAINAGE SYSTEM.

NOTE:

THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW.



BUILDING AREA JUSTIFICATION PER CBC 2013

USING NONSEPARATED OCCUPANCY CRITERIA PER **CBC** SECTION 508.3

- PROPOSED OCCUPANCIES ARE R2, S2
- PROPOSED TYPE OF CONSTRUCTION V-B THROUGHOUT FULLY SPRINKLERED NFPA 13
- BASED ON SECTION 508.3.2 MOST RESTRICTIVE OCCUPANCY IS "R2" W/BASIC ALLOWABLE FLOOR AREA OF =21,000.0 SQ.FT. (NO HT. INCREASE)
- ALLOWABLE AREA INCREASE PER STORY PER SECTION 506.1
 - a- FRONTAGE INCREASE, If : NOT USED
 - b- SPRINKLER INCREASE, Is : NOT USED, NFPA 13
 - c- $Aa = \{At + [Atxlf] + [Atxls]\}$
 $Aa = \{21,000.0 + 0 + 0\}$
 =21,000.0 SQ.FT.
 - d- PROPOSED BUILDING IS 2-STORY
 $(2)(Aa) = 2 \times 21,000.0$
 =42,000.0 SQ.FT.
- PROPOSED TOTAL BUILDING FLOOR AREA
 - d- **R2** OCCUPANCY = 8,037.0 SQ.FT. (GROSS)
 - e- **S2** OCCUPANCY = 6,845.0 SQ.FT. (GROSS)
- TOTAL BUILDING FLOOR AREA =14,882.0 SQ.FT. < 42,000.0 SQ.FT. OK
- PROPOSED BUILDING FLOOR AREA(S) AT EACH FLOOR IS LESS THAN BASIC ALLOWABLE FLOOR AREA. SEE DWG. No. A-1, A-2 & A-3
- 1-HR OCCUPANCY SEPARATION(S) IS REQ'D BETWEEN R2 & S2 OCCUPANCIES
- PER TABLE 601, REQ'D FIRE RESISTANCE RATING(S) FOR BUILDING ELEMENTS IS, (ARE) AS FOLLOWS
- ONE HR. RATED DEMISING WALL(S) ARE REQ'D BETWEEN UNITS
- EXTERIOR WALLS @ 1ST FLOOR FACING E'LY & W'LY SIDES TO BE OF 1HR CONSTRUCTION
- OPENINGS AT ELEVATIONS FRONTING CHESTNUT ST. & REAR SETBACK ARE UNLIMITED DUE TO: "FIRE SEPARATION DISTANCE". PER CHAPTER 7 TABLE 705.8
- FOR OPENINGS FACING @ E'LY & W'LY WALLS SEE TABULATION ON DWG # A-7 (EXIT COURT < 10', UP TO 10' HEIGHT)

CONTEXTUAL PLAN

SCALE 3/32"=1'-0"



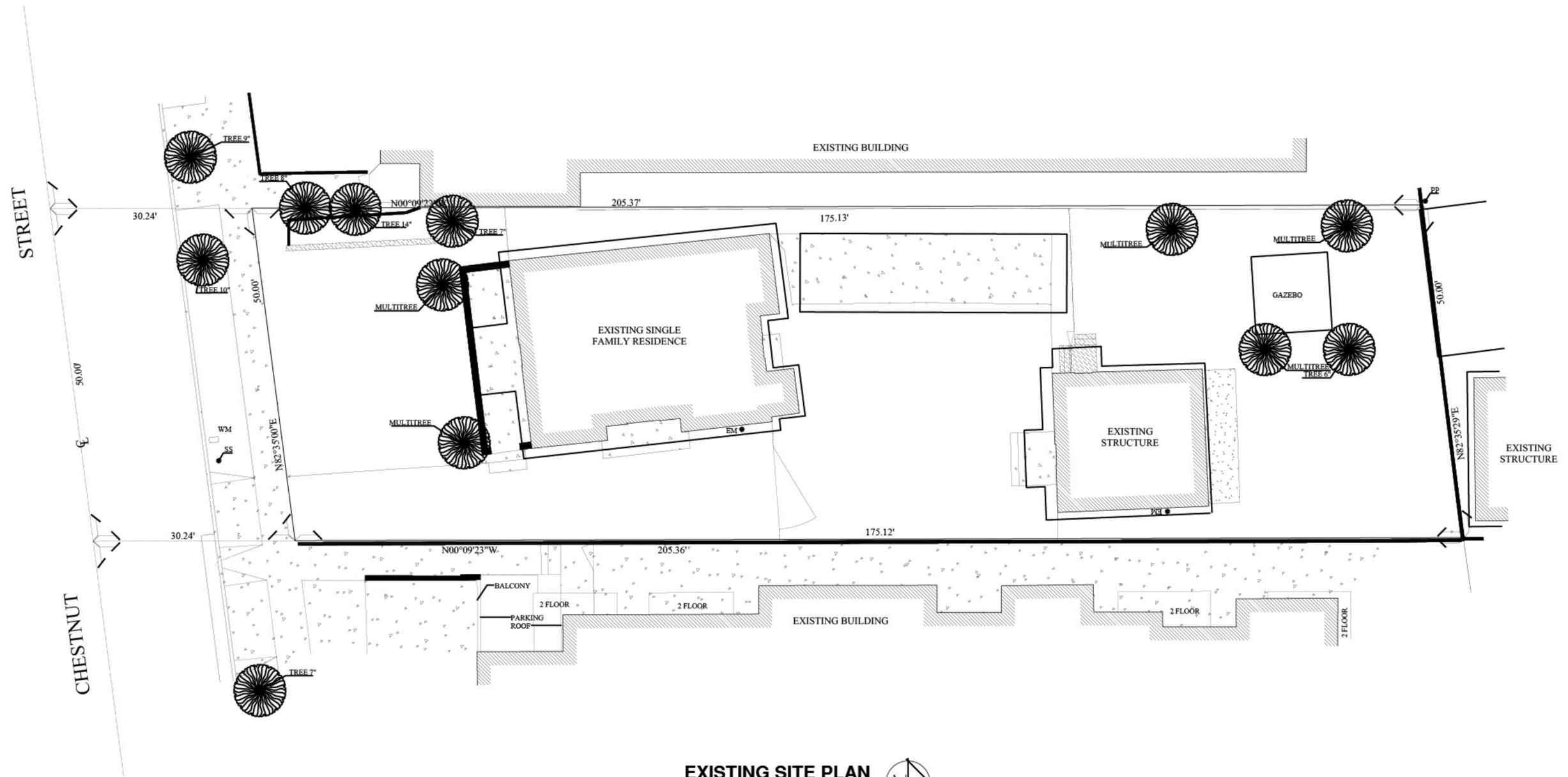
TABLE "A"

	ASSIGNED PARKING SPACES	LOWER LEVEL AREA "A"	LOWER LEVEL AREA "B"	UPPER LEVEL AREA "A"	UPPER LEVEL AREA "B"	TOTAL FAR	
UNIT 101	DA ACCESSIBLE UNIT 3 STALLS ASSIGNED # 1,2 & 3	413.0 SQ.FT.	493.0 SQ.FT.	522.0 SQ.FT.	400.0 SQ.FT.	1828.0 SQ.FT.	
UNIT 102	2 STALLS ASSIGNED # 5 & 6	326.0 SQ.FT.	432.0 SQ.FT.	350.0 SQ.FT.	387.0 SQ.FT.	1495.0 SQ.FT.	
UNIT 103	2 STALLS ASSIGNED # 7 & 8	346.0 SQ.FT.	413.0 SQ.FT.	350.0 SQ.FT.	387.0 SQ.FT.	1496.0 SQ.FT.	
UNIT 104	2 STALLS ASSIGNED # 9 & 10	346.0 SQ.FT.	413.0 SQ.FT.	350.0 SQ.FT.	387.0 SQ.FT.	1496.0 SQ.FT.	
UNIT 105	3 STALLS ASSIGNED # 11,12 & 13	365.0 SQ.FT.	466.0 SQ.FT.	458.0 SQ.FT.	420.0 SQ.FT.	1709.0 SQ.FT.	
PARKING # 4 ASSIGNMENT TO BE DECIDED BY OWNER/HOME OWNERS ASSOCIATION (IF ANY) Ⓢ IS A GUEST PARKING						TOTAL	8024.0 SQ.FT.



VICINITY MAP

REVISION	DATE	BY	THE ABOVE DRAWINGS & SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE & SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DWGS. AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.	LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123	PROJECT NAME:	DRAWN BY:	M.S.	OWNER:	LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL : LIPARITGHARIBYAN@YAHOO.COM E-MAIL : AMEDOYAN@YAHOO.COM	LANDMARK DESIGN & CONSTRUCTION, LLC AZ CA MD NY UT WI CA LIC. # C13791 V. SAROIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL. (818) 402-5264 E-MAIL LANDMARKDESIGNLLC@GMAIL.COM	PDR No:
			THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HAVE THEIR OWN CONSULTERS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECT AND /OR CONSULTING OFFICE.	Assessor's Id. Number 5641-007-016	PROJECT TITLE:	CHECKED BY:	V.S.	SHEET TITLE:			CONTEXTUAL PLAN
					JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204	DATE: MARCH 2020	SCALE: 3/32"=1'-0"	SHEET TITLE: CONTEXTUAL PLAN	OF SHEETS		

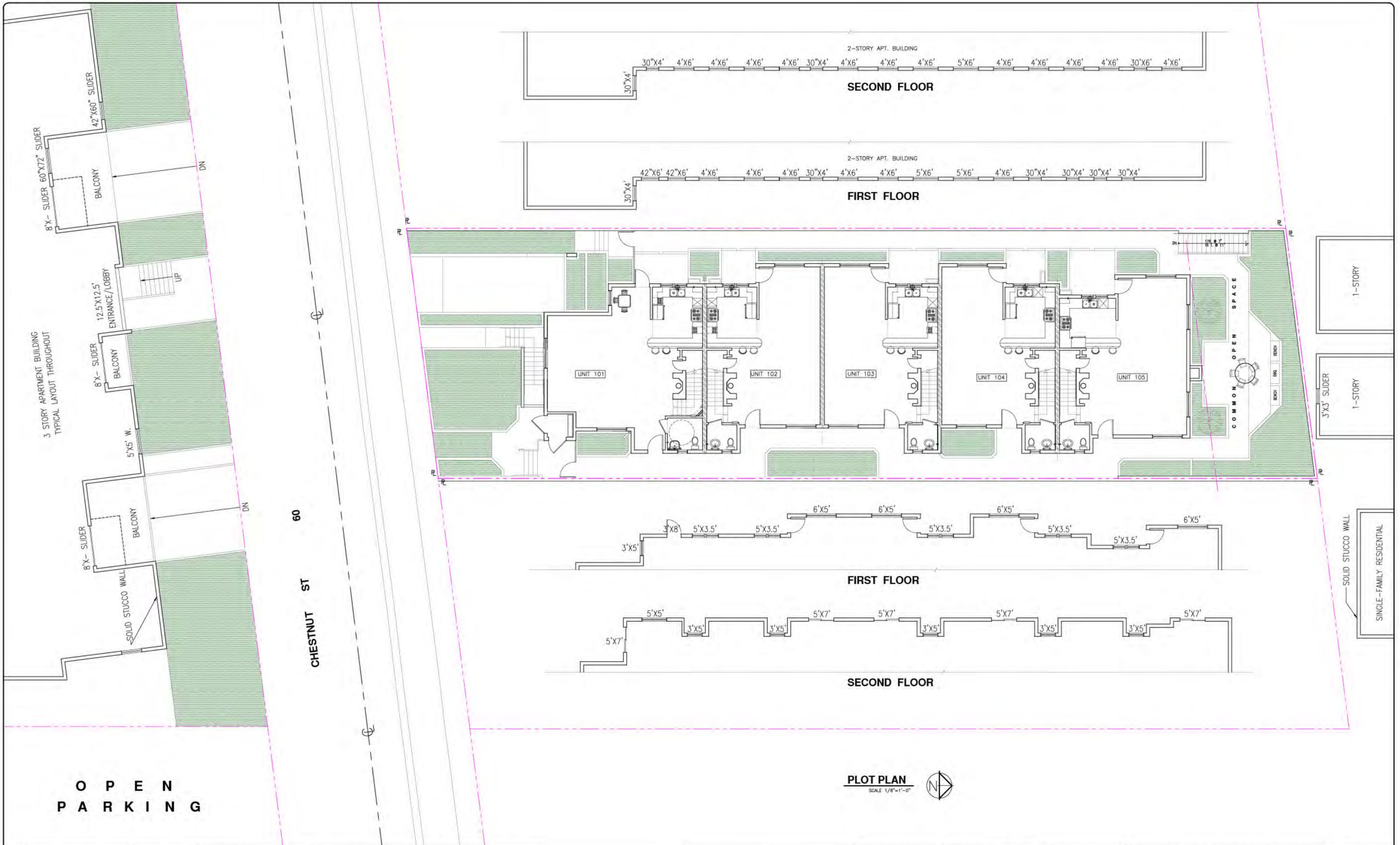


EXISTING SITE PLAN

SCALE 1/8"=1'-0"



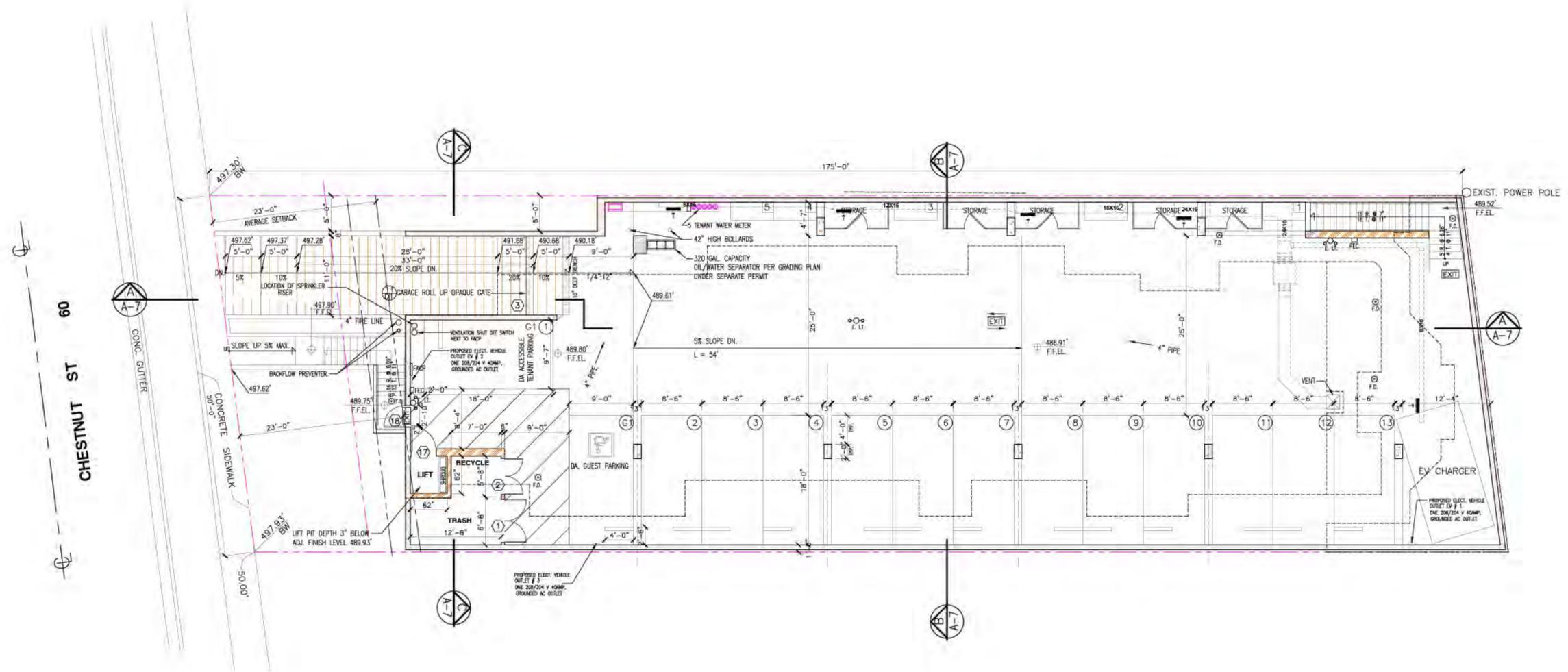
REVISION	DATE	BY	<p>THE ABOVE DRAWINGS & SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE & SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DIMS. AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.</p> <p>THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HIRE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECT AND /OR CONSULTING OFFICE.</p>	<p>LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123</p> <p>Assessor's Id. Number 5641-007-016</p>	<p>PROJECT NAME: PROJECT TITLE: JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204</p>	<p>DRAWN BY: M.S. CHECKED BY: V.S. DATE: MARCH 2020 SCALE: 1/8"=1'-0"</p>	<p>OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM</p>	<p>SHEET TITLE: EXISTING SITE PLAN</p>	<p>LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL. (818) 402-5264 E-MAIL: LANDMARKDESIGNLLC@GMAIL.COM</p> <p>AZ CA MD NY UT WI CA LIC. # C13791 TEL. (818) 247-4173 (818) 244-6405 FAX (818) 247-4610</p>	PDR No:	SHEET No:
											A-0.1



REVISION	DATE	BY	<p>THE ABOVE DIMENSIONS & SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE & SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DIMS. AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.</p> <p>THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HAVE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECT AND /OR CONSULTING OFFICE.</p>	<p>LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123</p> <p>Assessor's Id. Number 5641-007-016</p>	<p>PROJECT NAME: PROJECT TITLE: JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204</p>	<p>DRAWN BY: M.S. CHECKED BY: V.S. DATE: MARCH 2020 SCALE: 1/8"=1'-0"</p>	<p>OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM</p>	<p>LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL: (818) 402-5264 E-MAIL: LANDMARKDESIGNLLC@GMAIL.COM</p>	<p>PDR No: SHEET No: PLOT-1 OF SHEETS</p>

WALL LEGEND

-  EXTERIOR SHOTCRETE WALL
 -  R. CONC. COLUMN
 -  1-HR, 8" SOLID MASONRY WALL
- ALL PENETRATIONS TO RATED ASSEMBLIES TO BE CAULKED AND SEALED & PLUMBING PENETRATIONS TO BE GALVANIZED OR CAST IRON PIPING.



PARKING PLAN
SCALE 1/8"=1'-0"

1109A-4 Assigned Accessible Parking Spaces

When assigned parking spaces are provided for a resident or a group of residents, at least 2 percent of the assigned parking spaces serving covered multifamily dwelling units shall be accessible in each type of parking facility. At least one space of each type of parking facility shall be made accessible even if the total number exceeds 2 percent. When assigned parking is provided, signage as required by Section 1109A.8.8 shall not be required.

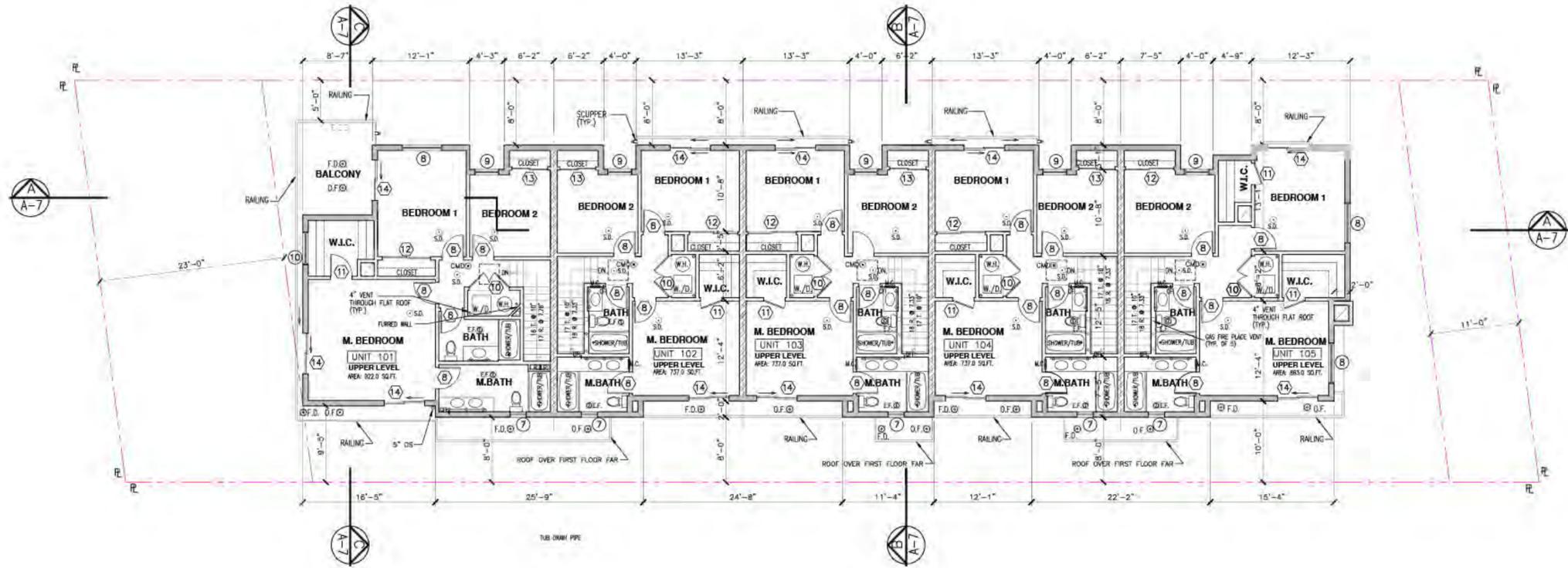
REVISION	DATE	BY	<p>THE ABOVE DRAWINGS & SPECIFICATIONS AND IDEAS, DESIGN AND ARRANGEMENTS REPRESENTED THEREIN ARE A SMALL PART OF THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DWGS. AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.</p> <p>THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HIRE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECT AND/OR CONSULTING OFFICE.</p>	<p>LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123</p> <p>Assessor's Id. Number 5641-007-016</p>	<p>PROJECT NAME: PROJECT TITLE: JOB ADDRESS: 119 W CHESTNUT ST, GLENDALE, CA 91204</p>	<p>DRAWN BY: M.S. CHECKED BY: V.S. DATE: MARCH 2020 SCALE: 1/8"=1'-0"</p>	<p>OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM</p> <p>SHEET TITLE: PARKING PLAN</p>	<p align="center">LANDMARK DESIGN & CONSTRUCTION, LLC</p> <p>V. SAROIAN, ARCHITECT AZ CA MD NY UT WI CA LIC # C13791 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL: (818) 402-5264 TEL: (818) 247-4173 E-MAIL: LANDMARKDESIGNLLC@GMAIL.COM FAX: (818) 244-6405</p>	<p>PDR No: SHEET No: A-1 OF SHEETS</p>
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LEGEND

- F.D. 4" FLOOR DRAIN (0.25"/FOOT SLOPE)
- P.D. 4" PLANTER DRAIN
- LT. RECESSED OUTDOOR FLUORESCENT LIGHT FIXTURE
- LT. RECESSED INDOOR FLUORESCENT LIGHT FIXTURE
- LT. WALL MOUNTED OUTDOOR FLUORESCENT LIGHT FIXTURE
- LT. PENDANT LIGHT, MIN 1' CANDLE FOR STAIR ILLUN.
- LT. ABOVE MIRROR FLUORESCENT LIGHT FIXTURE
- E.F. ENERGY STAR COMPLIANT HUMIDITY CONTROLLED EXHAUST FAN CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MIN. TO BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING EXHAUST FANS SHOULD NOT FUNCTION AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.
- S.D. HARD WIRED SMOKE DETECTORS W/ BATTERY BACKUP
- CMD HARD WIRED CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP
- AUTOMATIC WEATHER BASED IRRIGATION SYSTEM CONTROLLERS
- STAND PIPE, DRY, WET, COMBINATION
- 8"x8" INDOOR THIN SET CERAMIC TILE
- ROOF ACCESS HATCH/DOOR
- RETURN AIR GRILL

WALL LEGEND

- INTERIOR NONE RATED PARTITION WALL
 - 2-HR. SHAFT WALL
 - 1-HR. DEMISING/ CORRIDOR WALL
 - 1-HR. EXTERIOR WALL
- ALL PENETRATIONS TO RATED ASSEMBLIES TO BE CAULKED AND SEALED & PLUMBING PENETRATIONS TO BE GALVANIZED OR CAST IRON PIPING.
- ALL DEMISING & CORRIDOR WALLS SHALL BE CONTINUOUS TO THE UNDER SIDE OF THE FLOOR OR ROOF SHEATHING.



SECOND FLOOR PLAN

SCALE 1/8"=1'-0"



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SOPRALENE® FLAM 180 FR GR

SOPRALENE®
FLAM 180 FR GR
PRODUCT # 10851 (USA)
CLASS # 180
CONCRETE (C20)

PRODUCT DATA SHEET

DESCRIPTION & FEATURES

SOPRALENE Flam 180 FR GR (fire resistant, granulated) is an SBS-modified bitumen cap ply for use in approved multi-ply membrane and flashing assemblies. SOPRALENE Flam 180 FR GR is composed of a proprietary formulation of elastomeric styrene-butadiene-styrene (SBS) polymer modified bitumen and is reinforced with a tough, dimensionally stable non-woven polyester mat. The top-side is surfaced with ceramic coated granules and underside is surfaced with polyolefin burn-off film to optimize heat welding.

SOPRALENE Flam 180 FR GR includes the standard white granules. Contact SOPREMA® Customer Service or your sales representative for other granule color options and special order requirements.

STORAGE & HANDLING

Store rolls on end and maintain in an upright position to prevent damage. Store rolls in a clean dry location and cover as necessary to protect rolls from environmental damage such as extreme cold, heat, or moisture. Monitor varying environmental conditions during storage, handling and application of SOPRALENE Flam 180 FR GR.

APPLICATION

Prior to installation, unroll SOPRALENE Flam 180 FR GR onto the roof surface and allow to relax. Position SOPRALENE Flam 180 FR GR in desired position and back roll the product. SOPRALENE Flam 180 FR GR is then heat welded to approved substrates. Refer to the SOPREMA SBS Roofing Installation Guide for additional application guidelines.



COOL ROOF RATING

PROPERTY	SOLE REFLECTANCE	IR RMA ENERGY SAVING	TEST METHOD
SOPRALENE Flam 180 FR GR Standard white granules (WH)	0.27 Initial 0.24 3 year	0.97 Initial 0.96 3 year	27 Initial 234 3 year
SOPRALENE Flam 180 FR GR Highly reflective white granules (SD)	0.60 Initial 0.57 3 year	0.91 Initial 0.91 3 year	31 Initial 75 3 year
SOPRALENE Flam 180 FR GR Smog reducing granules (SDC)	0.10 Initial**	0.88 Initial**	8 Initial** N/A

**CPRC Based Ratings. Refer to Cool Roof Ratings Database (CRD).
**Calculated using infrared testing.

QUICK FACTS	ASTM STANDARD	LENGTH (ft)	WIDTH (in)	COVERAGE (sq ft)	THICKNESS (mils)	ROLL WEIGHT (lb)	ROLLS/PALLET (weight)
	D6164	32.8	39.4	97.9	110	118	25

SOPREMA
www.soprema.us
310 Quadra Drive, Wadsworth, Ohio 44281
Tel: (330) 334-0081 Fax: (330) 334-0080

SOPRALENE® FLAM 180 FR GR

TECHNICAL INFORMATION & TESTING

SHEET PROPERTIES	
Reinforcement	Non-woven polyester
Elastomeric bitumen	Proprietary blend of bitumen and SBS polymers
Top surfacing	Ceramic coated granules
Back surfacing	Polyolefin film
Sealing surface	Polyolefin film
Sealing width, in (mm)	3 in (76 mm)
End lap, in (mm)	8 in (203 mm)

DIMENSIONS & MASS		TEST METHOD
Thickness, mils (mm)	110 (2.8)	ASTM D5147
Thickness @ Sealing, mils (mm)	116 (2.9)	ASTM D5147
Net mass per sqm area (lb/100sq ft)	118 (287)	ASTM D5147
Bottom coating thickness, mils (mm)	2-40 (1.0)	ASTM D5147

PHYSICAL PROPERTIES			
Peak load @ 73.4°F (23°C) 50% RH	115 (26.1)	90 (15.8)	ASTM D5147
Elongation at peak load @ 73.4°F (23°C) 50% RH	30	40	ASTM D5147
Peak load @ 73.4°F (23°C) 85% RH	80 (14.8)	58 (11.4)	ASTM D5147
Elongation at peak load @ 73.4°F (23°C) 85% RH	30	60	ASTM D5147
Ultimate elongation @ 73.4°F (23°C) 50% RH	60	80	ASTM D5147
Tensile strength @ 73.4°F (23°C) 50% RH	125 (556)	85 (478)	ASTM D5147
Low temperature flexibility, °F (°C)	-15 (-20)	-15 (-25)	ASTM D5147
Dimensional stability, %	-0.5	-0.2	ASTM D5147
Compound stability, °F (°C)	240 (116)	240 (116)	ASTM D5147
Crystallinity, %	-1.6 (max @ 0.1mm)		ASTM D5147
Cyclic fatigue, condition 5	Pass		ASTM D2049

TESTING & APPROVALS



10510000 - REV 02/24/19

CITY OF LOS ANGELES
CALIFORNIA

BOARD OF BUILDING AND SAFETY COMMISSIONERS
VAN AMBATELOS
E. FELICIA BRANNON
JOSELYN DEAGA-ROSENTHAL
GEORGE HOVAGUIMAN
JAVIER NUNEZ

DEPARTMENT OF BUILDING AND SAFETY
BY SCOTT PASCUAL STREET
LOS ANGELES, CALIFORNIA
FRANK M. BLECH
SOPREMA MANAGER
SUPERINTENDENT OF BUILDING
OSAMA YOUNAN, P.E.
EXECUTIVE OFFICER

ERIC GARCETTI
MAYOR

SOPREMA, Inc.
310 Quadra Drive
Wadsworth, Ohio 44281
Attention: Glenn N. Bostor
(330) 334-0066

RESEARCH REPORT: RR 2606Z
(CSI # 07 52 00)

Expires: November 1, 2020
Issued Date: October 1, 2018
Code: 2017 LABC

GENERAL APPROVAL - Renewal - SOPREMA Modified Bitumen Roofing and Waterproofing System.

DETAILS

SOPREMA Modified Bitumen Roofing & Waterproofing Systems are multi-ply roof covers consisting of styrene-butadiene-styrene (SBS) modified bitumen, fiberglass, polyester and/or composite reinforced membranes that are installed using cold-adhesive, hot-asphalt, mechanical fasteners, self-adhering and/or torch-heat-weld application techniques.

SOPREMA Modified Bitumen Roofing & Waterproofing Systems meet the physical properties specifications outlined in Table 1 below.

The roof covering systems described above are approved as Class A and B roof coverings to the following conditions:

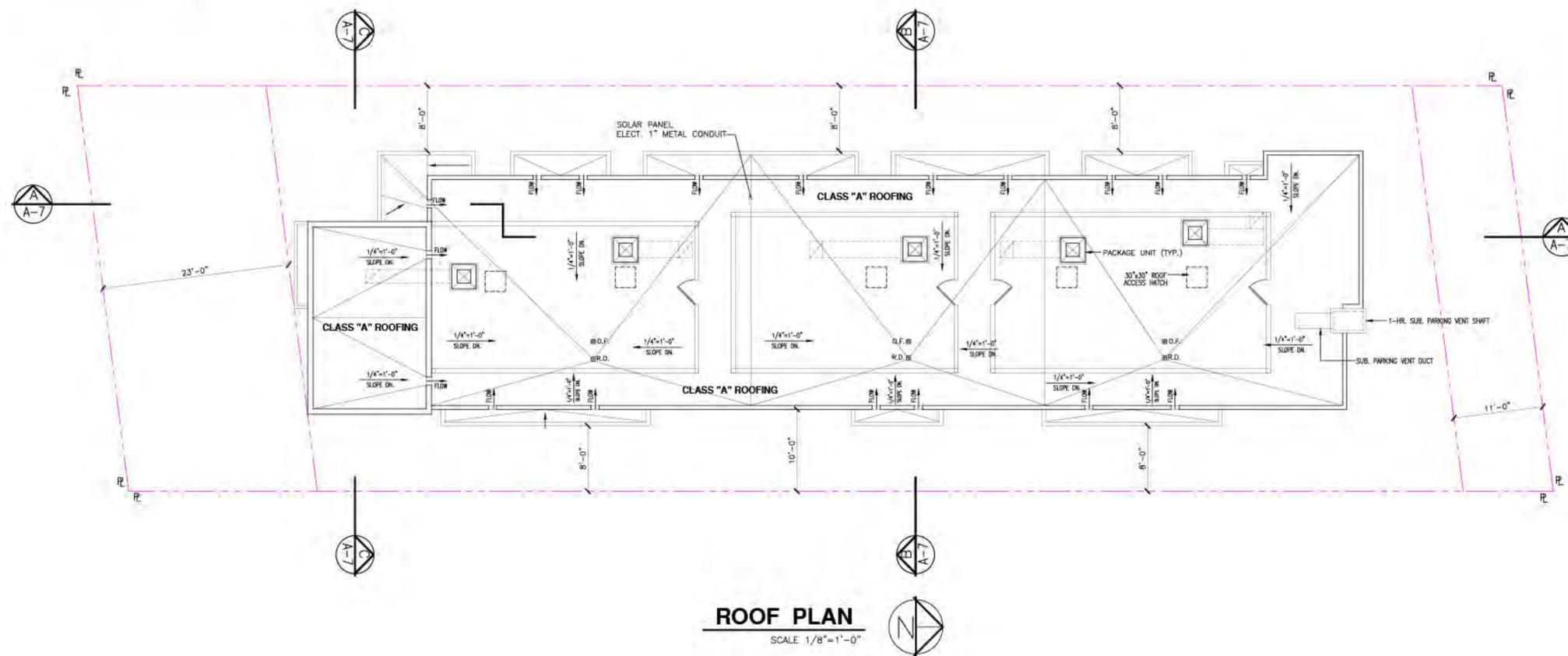
- The roofing materials shall be delivered to the job site in sealed containers identified by the manufacturer's name and product designation.
- Application of the components shall be in accordance with the applicant's published installation instructions, consistent with the description and requirements herein (a copy shall be available at the job site).

RR 2606Z
Page 1 of 4

AN EQUAL OPPORTUNITY/AFFIRMATIVE ACTION EMPLOYER

LEGEND

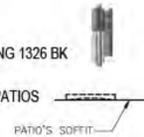
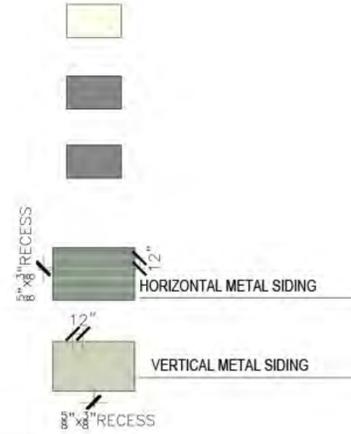
- HVAC UNIT PER T-24
- ACCESS HATCH
- R.D. ROOF DRAIN
- O.F. OVER FLOW



REVISION	DATE	BY	LEGAL DESCRIPTION:	PROJECT NAME:	DRAWN BY:	OWNER:	LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 TEL: (818) 247-4173 CELL: (818) 402-5264 E-MAIL: LANDMARKDESIGNLLC@GMAIL.COM	SHEET No: A-4 OF SHEETS
			GRIDER AND HAMILTON'S LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123 Assessor's Id. Number 5641-007-016	119 W CHESTNUT ST GLENDALE, CA 91204	M.S. V.S. DEC 2019	LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM		

EXTERIOR FINISH SCHEDULE

- ① - 7/8" THICK. TROWEL FINISH CEMENT PLASTER
#420 FLORAL WHITE (OMEGA-PRODUCTS.COM)
- ② - 7/8" THICK. SMOOTH FINISH CEMENT PLASTER
#414 CLOUD COVER (OMEGA-PRODUCTS.COM)
- ③ - 18 GAGE METAL FASCIA
#414 CLOUD COVER (OMEGA-PRODUCTS.COM)
- ④ - 12" EXPOSURE METAL SIDING "HEMLOCK GREEN" COLOR
BRIDGERSTEEL.COM (SEE DETAILS ON DWG. # D-1)
- ⑤ - 12" EXPOSURE METAL SIDING "PARCHMENT" COLOR
BRIDGERSTEEL.COM (SEE DETAILS ON DWG. # D-1)
- ⑥ - CUSTOM IRON RAILING WITH METAL MESH SCREEN
COLOR DARK BROWN (SEE DETAILS ON DWG. # D-2)
- ⑦ - CLEAR DOUBLE GLAZING ANODIZED ALUM. DOOR-WINDOW FRAME DARK BRONZE COLOR
- ⑧ - 3/4" X 1/2" METAL REVEAL, COLOR MEDIUM GRAY
- ⑨ - PARKING ROLL UP OPAQUE GATE, COLOR DARK BROWN
(SEE DETAILS ON DWG. # D-2)
- ⑩ - CUSTOM IRON GATE WITH METAL MESH SCREEN
COLOR DARK BROWN
- ⑪ - EXISTING SPLIT FACE CONCRETE BLOCK FENCE WALL @ ELY PL
- ⑪a - PROPOSED MAX. 6' SPLIT FACE CONCRETE BLOCK FENCE WALL @ WLY/REAR PL
- ⑫ - 5" DS. THROUGH PLANTER
- ⑬ - ROOFTOP EQUIPMENT ENCLOSURE
- ⑭ - EXTERIOR LIGHT FIXTURE AS SPECIFIED
HINKLEY OUTDOOR WALL MOUNTED LIGHTING 1326 BK
- ⑮ - RECESSED LIGHTING @ WEST ELEVATION PATIOS



FRONT ELEVATION
SCALE 1/8"=1'-0"



FRONT ELEVATION
SCALE 1/8"=1'-0"



EAST ELEVATION
SCALE 1/8"=1'-0"

REVISION	DATE	BY	<p>THE ABOVE DRAWINGS & SPECIFICATIONS AND IDEAS, DETAILS AND ARRANGEMENTS REPRESENTED THEREIN ARE & SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONSENT WITH THESE DINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.</p> <p>THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IS TO BE HELD. OWNER/CONTRACTOR SHALL HIRE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECT AND /OR CONSULTING OFFICE.</p>	<p>LEGAL DESCRIPTION: ORDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123</p> <p>Assessor's Id. Number 5641-007-016</p>	PROJECT NAME:	DRAWN BY: M.S.	OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL : LIPARITGHARIBYAN@YAHOO.COM E-MAIL : AMEDOYAN@YAHOO.COM	<p>LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROJIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL: (818) 402-5264 E-MAIL LANDMARKDESIGNLLC@GMAIL.COM</p>	PDR No:
					PROJECT TITLE:	CHECKED BY: V.S.			<p>LANDMARK DESIGN & CONSTRUCTION, LLC AZ CA MD NY UT WY CA LIC # C13791 TEL: (818) 247-4173 CELL: (818) 244-6405 FAX (818) 247-4610</p>
					JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204	DATE: MARCH 2020	SHEET TITLE: FRONT & EAST ELEVATIONS		A-5
					SCALE: 1/8"=1'-0"				OF SHEETS

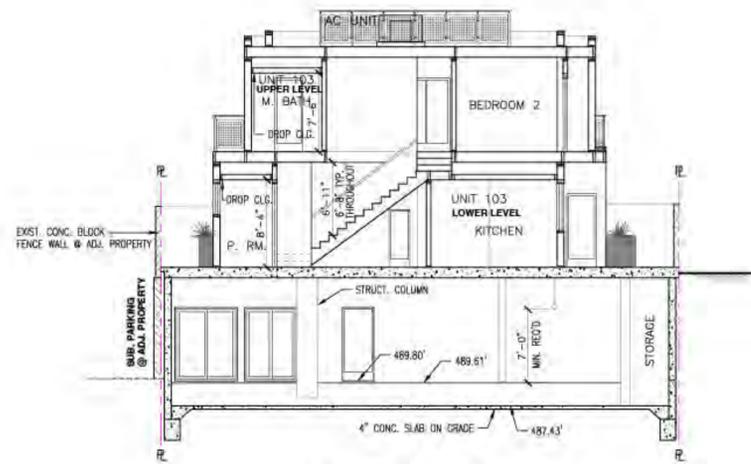


REAR ELEVATION
SCALE 1/8"=1'-0"

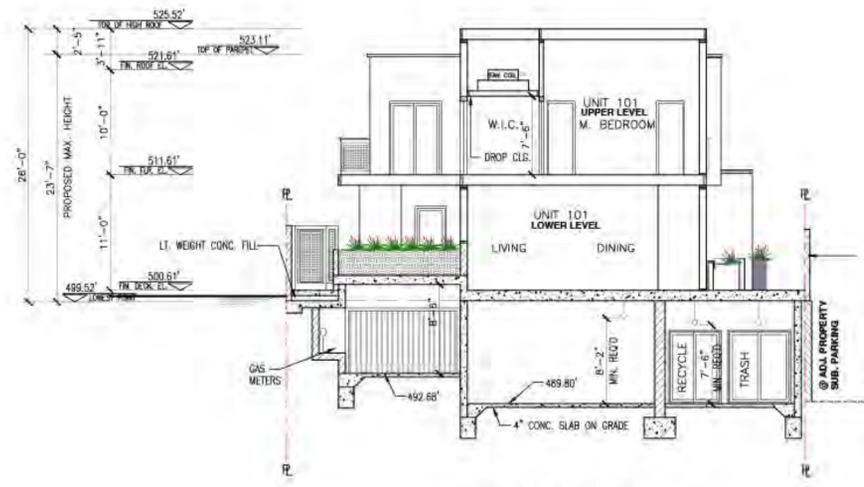


WEST ELEVATION
SCALE 1/8"=1'-0"

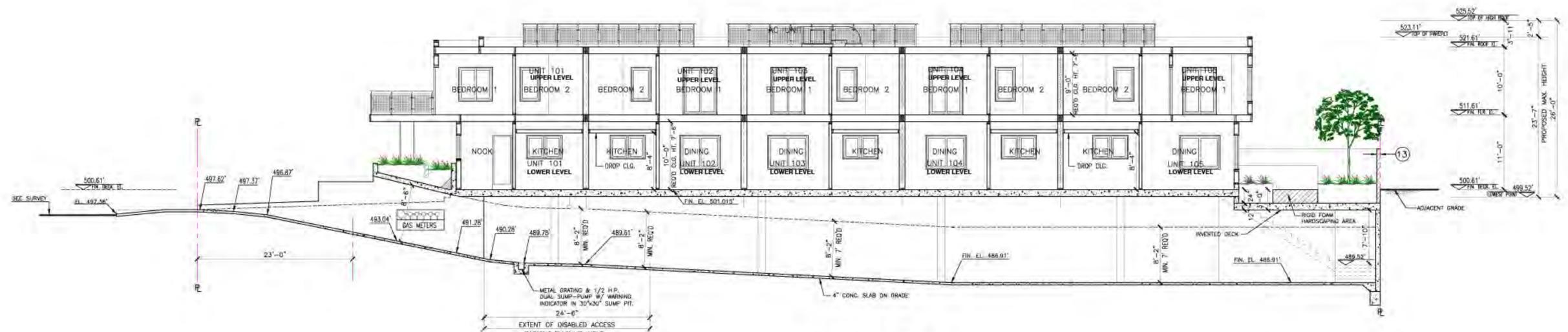
REVISION	DATE	BY	THE ABOVE DRAWINGS & SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE & SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DWGS. AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.	LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123	PROJECT NAME: PROJECT TITLE:	DRAWN BY: M.S. CHECKED BY: V.S. DATE: MARCH 2020	OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM	LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL: (818) 402-5264 E-MAIL: LANDMARKDESIGNLLC@GMAIL.COM	PDR No:
			THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT. PLANS DO NOT PROVIDE ANY SPECIFICATIONS OTHER THAN THOSE NECESSARY TO OBTAIN BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HIRE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECT AND /OR CONSULTING OFFICE.	Assessor's Id. Number 5641-007-016	JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204	SCALE: 1/8"=1'-0"	SHEET TITLE: REAR & WEST ELEVATIONS		SHEET No: A-6 OF SHEETS



SECTION B-B
SCALE 1/8"=1'-0"



SECTION C-C
SCALE 1/8"=1'-0"



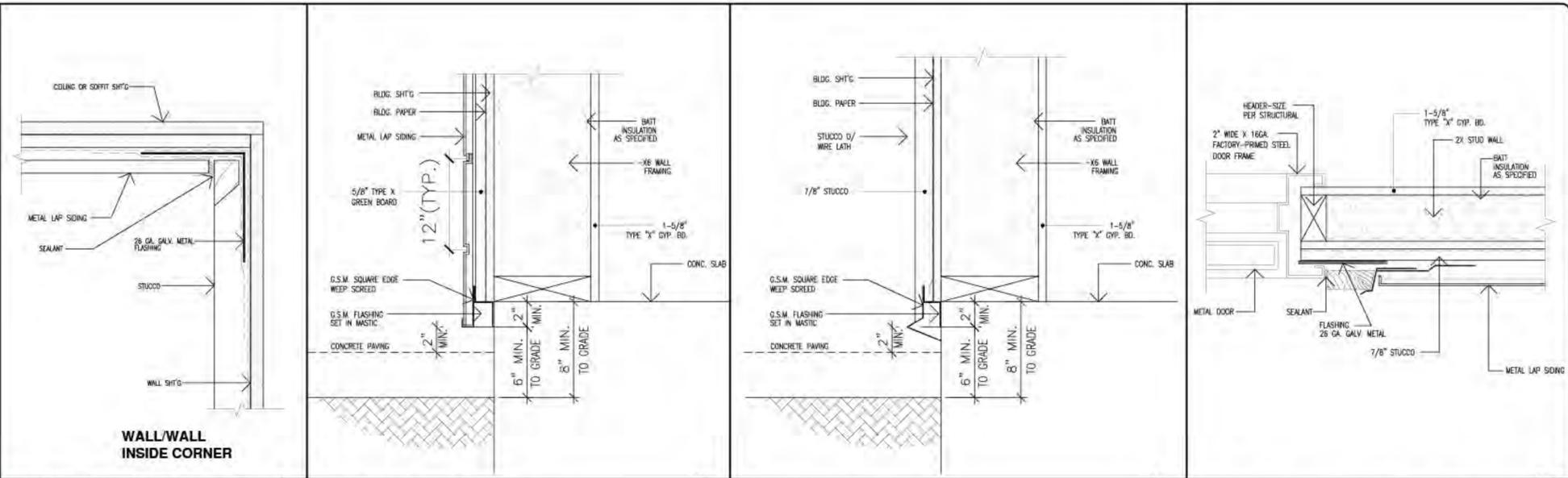
SECTION A-A
SCALE 1/8"=1'-0"

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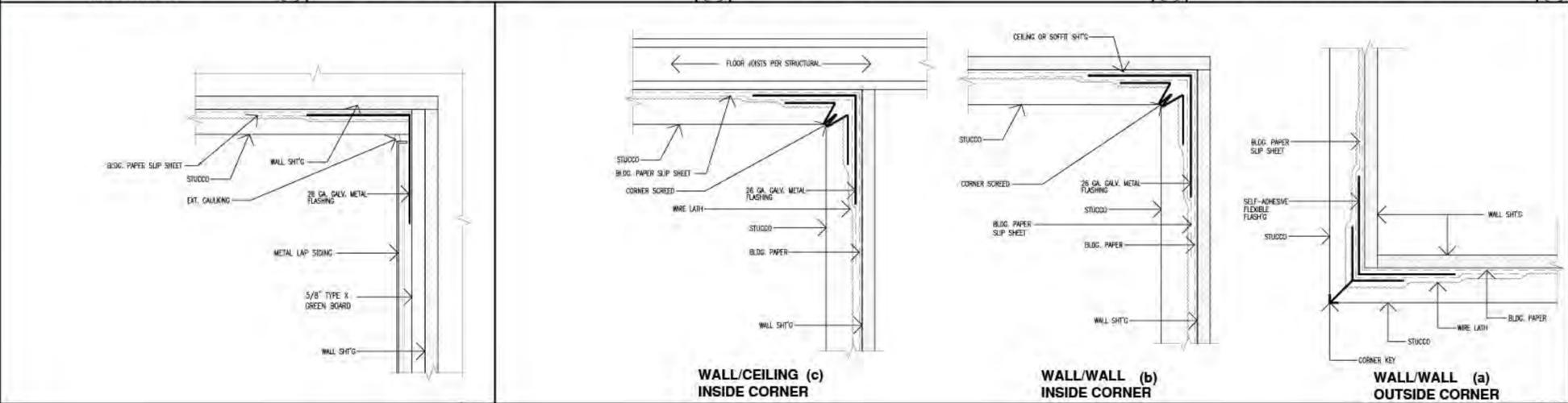


22GA / 24GA PVDF COLORS

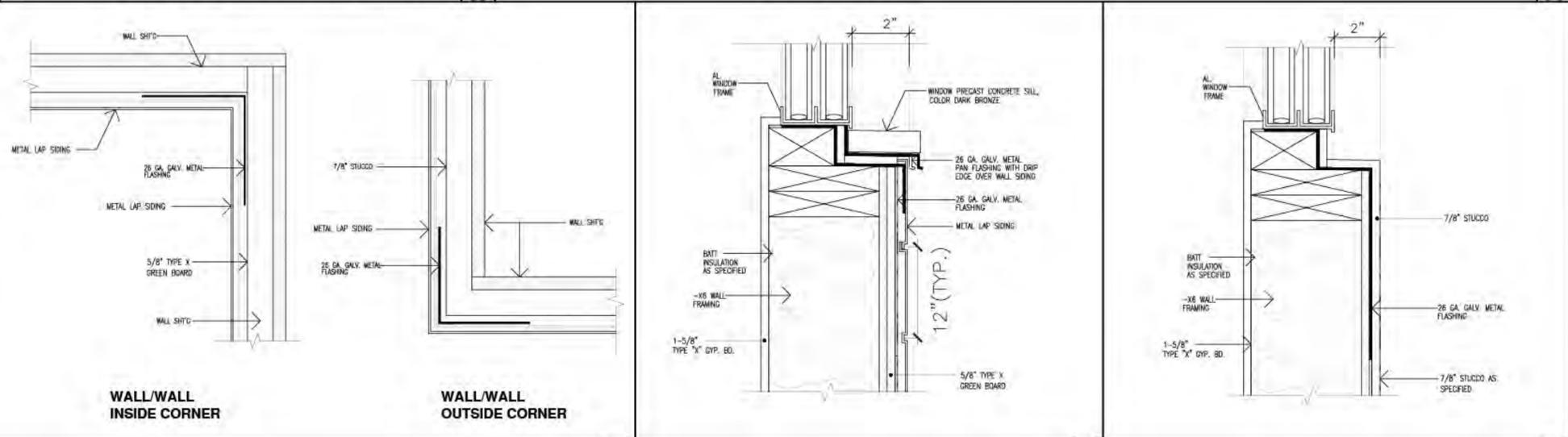
REGAL WHITE TSR 09.6 E. 83 SRI 84	PARCHMENT TSR 50.7 E. 85 SRI 58	SIERRA TAN TSR 52 E. 85 SRI 59	MOCHA TSR 34.4 E. 83 SRI 35
OLD ZINC GRAY TSR 37.1 E. 87 SRI 40	SLATE GRAY TSR 29.7 E. 86 SRI 30	BRONZE TSR 29.7 E. 86 SRI 30	DARK BRONZE TSR 28.7 E. 85 SRI 28
OLD TOWN GRAY TSR 39.2 E. 84 SRI 42	WEATHERED COPPER TSR 32.8 E. 9 SRI 36	COLONIAL RED TSR 32.7 E. 87 SRI 34	RETRO RED TSR 38.6 E. 85 SRI 41
HARTFORD GREEN TSR 27.5 E. 86 SRI 27	HEMLOCK GREEN TSR 34 E. 85 SRI 36	FOREST GREEN TSR 30 E. 85 SRI 30	TERRA COTTA TSR 39.5 E. 84 SRI 42
TWILIGHT BLUE TSR 31.7 E. 86 SRI 32	REGAL BLUE TSR 26.2 E. 85 SRI 25	MATTE BLACK TSR 277 E. 86 SRI 27	GALVALUME



LAP/FLUSH SIDING AT STUCCO CORNER (IF APPLICABLE) 4 LAP SIDING WEEP SCREED 3 STUCCO WEEP SCREED 2 FLUSH METAL DOOR AT LAP SIDING 1



BRIDGERSTEEL COLOR CHART 11 VERTICAL METAL SIDING RETURN TO STUCCO 6 STUCCO AT CORNERS 5



VERTICAL METAL SIDING TRANSITION TO STUCCO 10 LAP/FLUSH SIDING AT CORNERS 9 WALL/CEILING INSIDE CORNER 8 WALL/WALL INSIDE CORNER 7

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			ASSESSOR'S ID. NUMBER 5641-007-016		JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204	SCALE: 1/8"=1'-0"	SHEET TITLE: DETAILS OMIT INTERIOR GYB BRD. FOR 1-HR CONSTRUCTION		

CORNELL
Innovative door solutions

877.640.8825

EXTREME 300 SERIES MICROCOIL GRILLE...A PARKING GAME-CHANGER

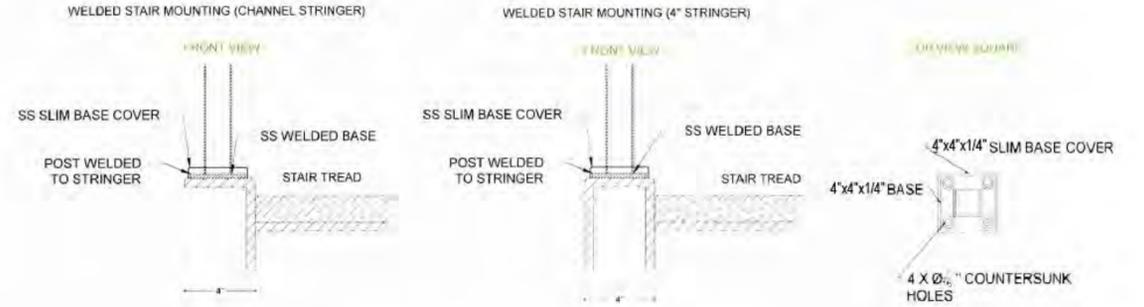
The Extreme 300 Series MicroCoil Grille is the parking security grille with the smallest headroom available today! It allows you to maximize your clear opening by reducing the security grille's coil size, through patented vertical links. A typically sized standard overhead rolling grille requires 24" of headroom - the same size MicroCoil Security Grille only requires 13". That's nearly a 50% saving on parking garage headroom space! This game-changing design helps parking garages to comply with ADA requirements because it allows taller ADA vans to enter or exit. Building owners can rarely utilize standard rolling safety grilles and can achieve this compliance.

The Extreme 300 Series MicroCoil Security Grille quietly operates at speeds of up to 24 inches per second. The curved vertical links were engineered to reduce vibration - making this a whisper quiet roll down grille perfect for parking garages that also house residents. This roll down security gate can also be configured to withstand up to 40 PSF static design pressure. It comes ready to withstand 20 PSF static design pressure as standard.

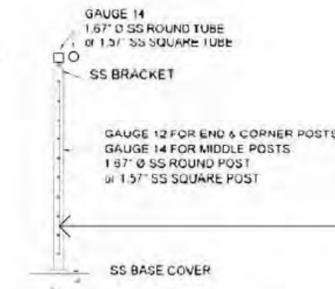
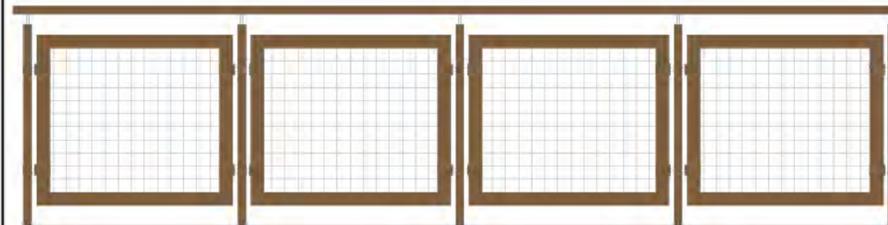
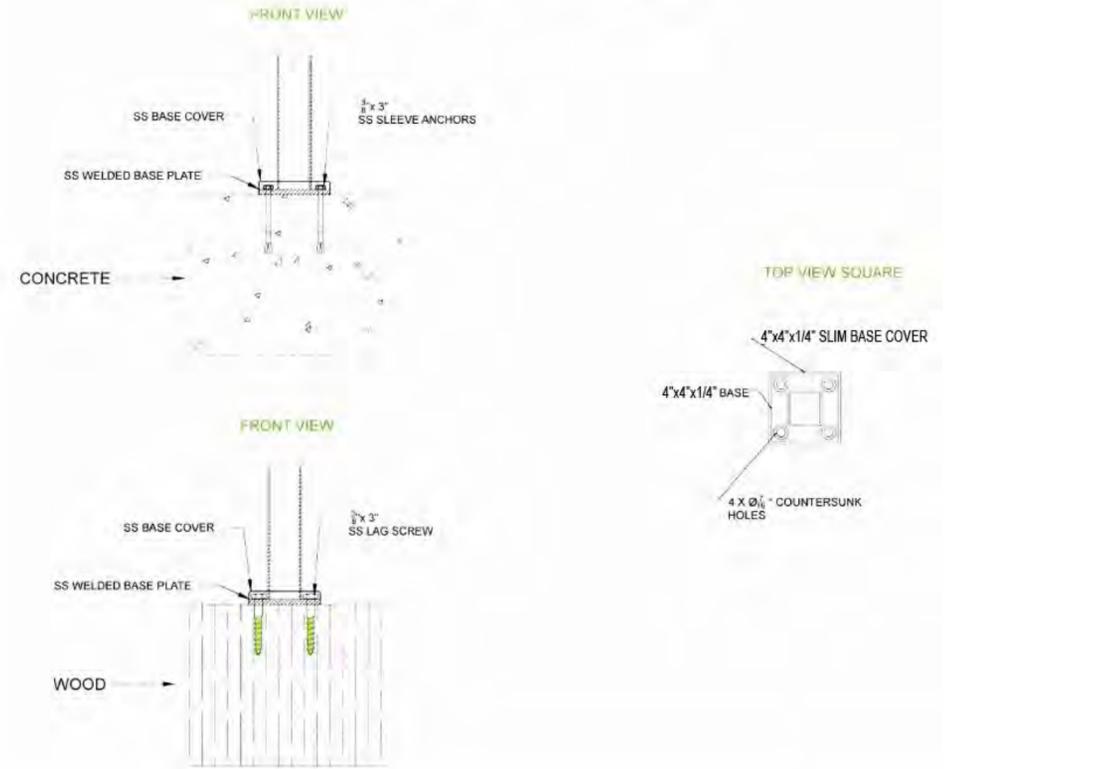
To ensure maximum uptime, the Extreme 300 Series MicroCoil Security Grille has a springless design which requires no maintenance, other than routine checks, and no replacement parts for 300K cycles. It accepts virtually all parking gate system activation control devices and features a 2-year operator warranty and a 2-year/300,000 cycle component warranty. This steel gate is operated by our Apex SmartController which features plug and play connections to the operator and standard sensors to reduce installation time. Its LCD screen provides step-by-step instructions for door commissioning, electronic limit setting and status/ error messaging. It is also set-up to easily accept virtually all parking lot gate activation and safety devices.

Security grille curtain finish options include: aluminum mill finish, aluminum clear anodized finish and 300 Series stainless steel with #4 finish

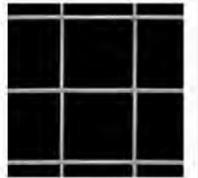
Standard size options include: Aluminum 26'W x 14'H or Stainless Steel 26'W x 10'H



FLOOR MOUNT ANCHORING INTO CONCRETE AND WOOD

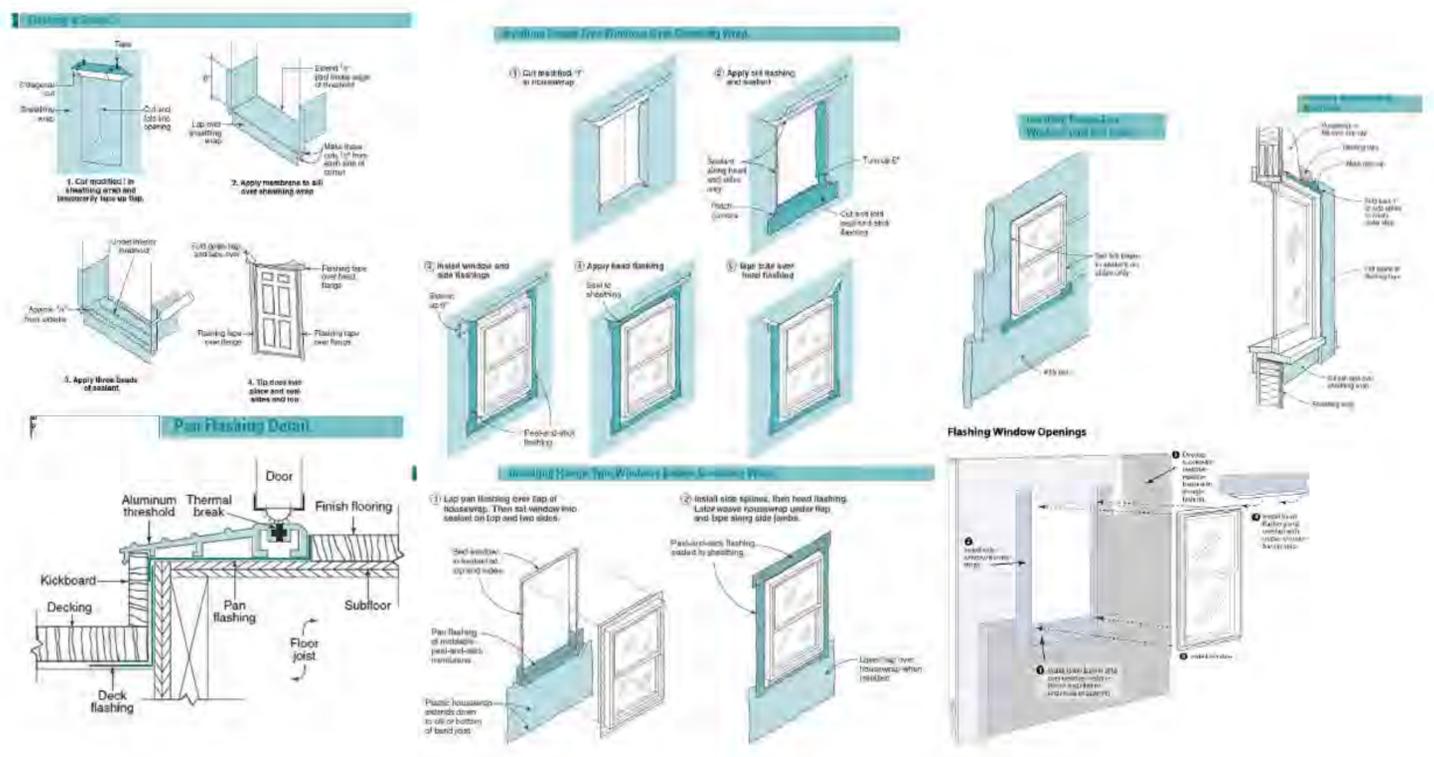


McNICHOLS



McNICHOLS® Wire Mesh
Square, Stainless Steel, Type 304, Welded
- 1.67mm x 1.67mm (1/16\"/>

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DOOR SCHEDULE

ALL GLAZED DOORS TO BE TEMPERED GLASS.

SYMBOLS/ No.	SEE APPLICABLE NOTES	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	REMARKS
1	2, 3'-0" x 7'-0"	1 3/4"	G	60	7	9	m												W/COORDINATOR, ASTRAGAL & SELF-LATCHING AND SMOKE ACTIVATION W/10 SEC. DELAY
2	2, 2'-6" x 7'-0"	1 3/4"	G	60	7	9	m												W/COORDINATOR, ASTRAGAL & SELF-LATCHING AND SMOKE ACTIVATION W/10 SEC. DELAY
3	11'-0" x 8'-2"		C	7	2														ROLL-UP OPAQUE GATE TO BE EQUIPPED WITH KNOX OVERRIDE KEY FOR FD ACCESS.
4	3'-0" x 8'-0"	1 3/4"	A	45	4	9	e												
5	3'-0" x 8'-0"	1 3/4"	B	4	9	e													
6	3'-0" x 6'-0"	1 3/4"	D	7	2	m													* EQUIPPED WITH SINGLE MOTION HARDWARE
7	3'-0" x 8'-0"		H	1	1	m													
8	2'-8" x 7'-0"	1 3/8"	E	2	3	b													
9	2'-0" x 7'-0"	1 3/8"	E	2	3	a													
10	2, 2'-6" x 7'-0"	1 3/8"	K	2	3	j													
11	2'-8" x 7'-0"	1 3/8"	E	2	3	a													
12	2, 3'-0" x *		F	1	1														* FULL HT. W/MIRROR SLIDER (TEMPERED)
13	2, 2'-3" x *		F	1	1														* FULL HT. W/MIRROR SLIDER (TEMPERED)
14	2, 2'-6" x 7'-0"		J	1	1	k													
15	1'-6" x 7'-0"	1 3/8"	E	2	3	a													
16	3'-6" x 8'-0"		L	1	1	m													
17	3'-6" x 7'-0"		E	4	3	a													
18	3'-0" x 7'-0"		E	4	3	m													* EQUIPPED WITH SINGLE MOTION HARDWARE

INTERIOR FINISH SCHEDULE

PER CHAPTER 8

NO.	ROOM NAME	FLOOR		BASE	WALL	CEILING	REMARKS
		TILE	MIN. CLASS II SEC. 804.3				
1	LIVING ROOM	WOOD FLOORING	●	6" WOOD	●	●	
2	DINING ROOM	●	●	●	●	●	
3	BEDROOMS	●	●	●	●	●	
4	LAUNDRY CLOSET	●	●	●	●	●	
5	KITCHEN	●	●	●	●	●	
6	BATHROOM	●	●	●	●	●	* A 70" HIGH NON-ABSORBENT WALL FINISH ADJACENT TO SHOWER OR TUBS ARE REQ'D. 6"x6" CERAMIC TILE OR EQUAL.
7	INTERIOR EXIT HALLWAYS	●	●	●	●	●	
8	STAIRCASE	●	●	●	●	●	
9							

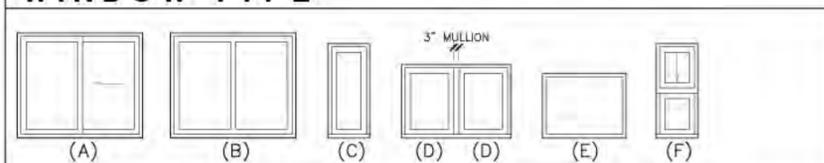
ALL DROP-CEILING/SOFFIT FINISHES SHOULD BE 5/8" TYPE "X" DRYWALL PAINTED.

WINDOW SCHEDULE

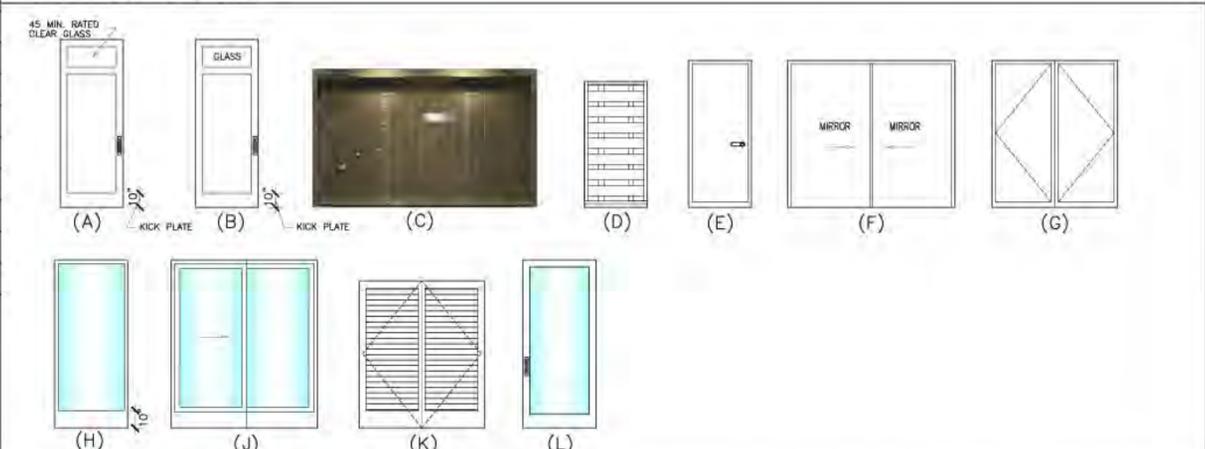
ALL GLAZING TO BE TEMPERED GLASS.

SYMBOLS/ No.	SIZE	AREA (SQ. FT.)	1	2	3	4	5	6	7	8	9	10	11	12	13	REMARKS
1	6'-0" x 5'-0"	30.0	A			1	●	●								
2	2'-0" x 3'-6"	7.0	F			1	●									
3	6'-0" x 5'-0"	30.0	A			1	●	●								
4	3'-0" x 3'-6"	8.75	D			1	●									
5	6'-0" x 6'-0"	36.0	A			1	●	●								
6	3'-0" x 4'-0"	12.0	C			1	●	●								
7	2'-0" x 4'-6"	9.0	C			1	●	●								
8	5'-0" x 5'-0"	25.0	A			1	●	●								
9	3'-0" x 5'-0"	15.0	C			1	●	●								
10	4'-0" x 3'-0"	12.0	E			1	●									

WINDOW TYPE



DOOR TYPE

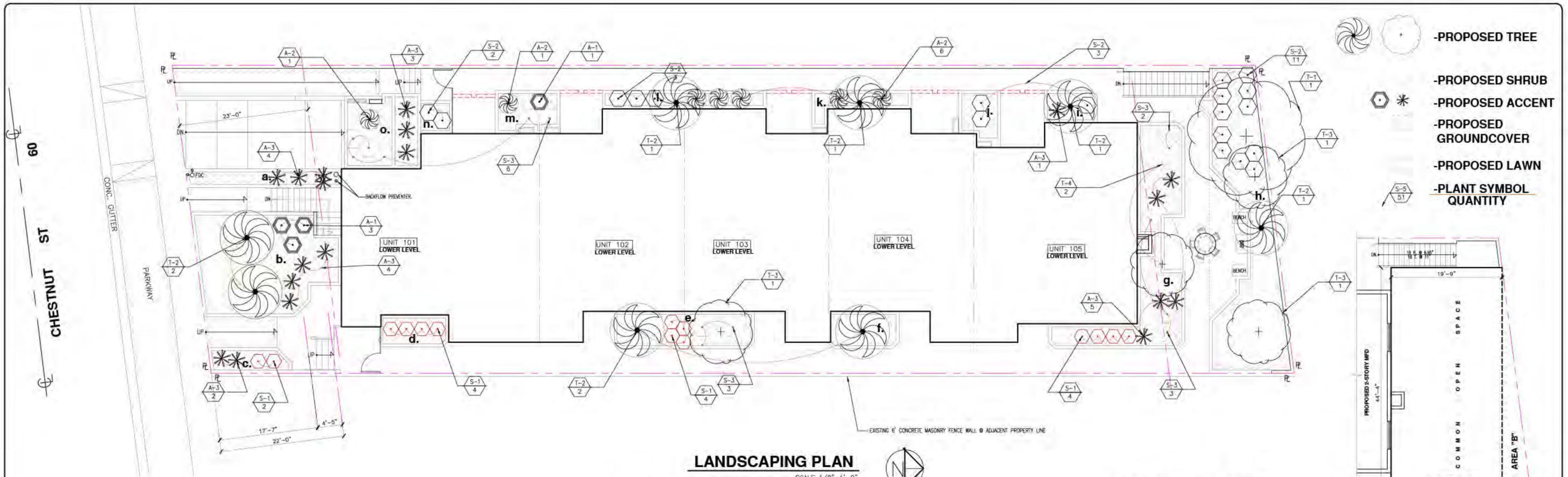


DOOR MATERIAL	FRAME MATERIAL	HARDWARE GROUP	WINDOW/SLIDER MATERIAL
1 - AL = ALUMINUM 2 - HC = HOLLOW CORE 3 - HM = HOLLOW METAL 4 - SC = SOLID CORE 5 - STL = STEEL 6 - VNL = VINYL 7 - MET = METAL 8 - WD = WOOD 9 - TS = TUBULAR SECTION 10 - MSC = METAL SOLID CORE	11 - NM = NON METAL (VINYL, WOOD OR FIBER GLASS) 1 - AL = ALUMINUM 2 - MET = METAL - GALV. 3 - WD = WOOD 4 - BRP = WOOD (PRE HUNG) 5 - STL = STEEL 6 - VNL = VINYL 7 - TS = TUBULAR SECTION (VINYL, WOOD OR FIBER GLASS) 9 - TWELVY FRAME	0 - PASSAGE HARDWARE 1 - PRIVACY LOCK 2 - KEY REQUIRED FROM OUTSIDE 3 - KEY REQUIRED FROM BOTH SIDES 4 - INTEGRATED DBL. LOCK 5 - KEY REQUIRED FROM STAIRSHAFT 6 - PASSAGE HARDWARE FROM OUTSIDE 7 - DOOR STOP 8 - DOOR POOL 9 - PUSH/PULL KNOB 10 - SECURITY LOCK 11 - PASSAGE HARDWARE FROM INSIDE 12 - KEY REQ'D FROM OUTSIDE 13 - PASSAGE HARDWARE FROM INSIDE 14 - INTEGRATED DBL. LOCK 15 - SECURITY LOCK FROM INSIDE	1 - AL = ALUMINUM 2 - STL = STEEL 3 - VNL = VINYL 4 - MET = METAL 5 - WD = WOOD 6 - NM = NON-METAL (VINYL, WOOD OR FIBER GLASS)

GENERAL NOTES

- ALL DOORS SHALL HAVE LEVER HANDLES UNLESS NOTED OTHERWISE.
- 20-MINUTE RATED CORRIDOR DOORS SHALL BE PROVIDED WITH APPROVED GASKETING MATERIAL INSTALLED TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES & THE TOP.
- ALL DOORS INDICATED AS FIRE RATED ASSEMBLIES SHALL HAVE CLOSURES AND BE POSITIVE LATCHING.
- MAXIMUM UNDERCUT ON ALL FIRE DOORS IS 1/2".
- MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE FOR ALL RATED DOORS.
- EXIT DOOR LOCKING HARDWARE:
 - CORRIDOR/ UNIT DOOR DEAD BOLT AND LATCH SHALL RETRACT SIMULTANEOUSLY BY LEVER OPERATION.
 - EXTERIOR EXIT DOORS & GATES SHALL HAVE FREE OPERATION INSIDE & KEY OPERATION OUTSIDE. THEY SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. (1003.3.1.8)
- CORRIDOR/ UNIT DOORS SHALL HAVE AN STC RATING OF 26.
- ALL EXTERIOR DOORS SHALL HAVE WEATHER STRIPPING ALL SIDES.
- WHEN VIEW PORTS ARE PROVIDED THEY SHALL BE 5'-0" AFF. AT HANDICAPPED ACCESSIBLE ROOMS THEY SHALL BE AT 3'-10" AFF. DOORS, WHEN FULLY OPENED, SHALL NOT REDUCE THE REQUIRED CORRIDOR WIDTH BY MORE THAN 7" DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN HALF.
- ALL FIRE RATED GLAZING IN DOORS SHALL BE LABELED.
- SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE LABELED.
- FIRE DOORS, FRAMES & WINDOW FRAMES SHALL BE LABELED.
- ALL DOORS & GATES EQUIPPED WITH A DELAYED LOCKING DEVICE SHALL MEET THE REQUIREMENTS OF CBC. A SIGN SHALL BE PROVIDED @ ALL SUCH DOORS COMPLYING WITH CBC.
- ALL WINDOWS ROUGH OPENINGS (R.O.) SHALL BE BASED UPON MANUFACTURERS SPECIFICATION.
- ALL OPERABLE WINDOWS SHALL BE EQUIPPED W/SECURITY DEVICES.
- WATER HEATER COMPARTMENT DOOR REQUIRES 50 SQ. INCH VENT OPENING ONE AT TOP & ONE AT BOTTOM WITHIN 6" OF DCG AND PLATFORM SURFACE.
- REMOTE CONTROLLED DBL. SLIDING GATE WITH SAFETY STOP.
- NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN CAN BE INSTALLED. PROVIDED SUCH DEVICES ARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR TOOL OR SPECIAL KNOWLEDGE OR EFFORT AND MOUNTED AT A HEIGHT NOT TO EXCEED 48 INCHES ABOVE 20- MAX FORCE TO OPERATE DOORS IS LIMITED TO 15-LB.

REVISION	DATE	BY	LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123. Assessor's Id. Number 5641-007-018	PROJECT NAME: PROJECT TITLE: JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204	DRAWN BY: M.S. CHECKED BY: V.S. DATE: MARCH 2020 SCALE: 1/8"=1'-0"	OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM	SHEET TITLE: DOOR, WINDOW & INTERIOR FINISH SCHEDULE	LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL: (818) 402-5284 E-MAIL: LANDMARKDESIGNLLC@GMAIL.COM	PDR No: SHEET No: DW-1 OF SHEETS
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LANDSCAPING PLAN

SCALE 1/8"=1'-0"

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SPACING	P.F. WUCOLS	POINTS
T-1	JACARANDA MIMOSIFOLIA	JACARANDA	48"BX.	1	-	0.5	2
T-2	LAGERSTROEMIA INDICA	CRAPE MYRTLE/RED	24"BX.	8	-	0.5	10
T-3	MELALEUCA LEUCADENDRON	CAJEPUT/MULTI-TRUNK	24"BX.	3	-	0.4	6
T-4	HETEROMELES ARBUTIFOLIA	TOYON	24"BX.	2	-	0.4	4
S-1	PHOTINIA FRASERI	FRASER PHOTINIA	5"GAL.	14	5'-0"o.c.	0.5	28
S-2	CEANOTHUS HORIZONTALIS	CARMEL CREEPER	5"GAL.	19	3'-0"o.c.	0.4	40
S-3	RAPHIOLEPIS 'SPRING TIME'	INDIA HAWTHORN	5"GAL.	14	4'-0"o.c.	0.4	28
A-1	PHORMIUM TENAX 'BRONZE'	BRONZE NEW ZEALAND FLAX	5"GAL.	4	RANDOM	0.4	8
A-2	DIETES IRIDIODES	FORTNIGHT LILY	1"GAL.	7	RANDOM	0.4	16
A-3	PENNISETUM SETACEUM	FOUNTAIN GRASS	1"GAL.	19	RANDOM	0.4	38
LAWN	FESTUCA ARUNDINACEA	TALL FESCUE MARATHON	SOD	-	-	-	-
GROUNDCOVER (ALL P.A.'S)	HEDERA HELIX 'HAHNI'	HAHN'S ENGLISH IVY	FLATS	AS NEEDED	12"O.C.	0.4	3
TOTAL							183

LANDSCAPED AREA TABULATION

AREA	SQ. FT.	P.F.	PTS.
a.	90.0	0.4	36
b.	400.0	0.45	180
c.	55.0	0.45	25
d.	68.0	0.5	34
e.	163.0	0.45	73
f.	80.0	0.5	40
g.	362.5	0.45	163
h.	469.5	0.5	235
i.	53.0	0.5	27
j.	64.0	0.5	32
k.	67.0	0.4	27
l.	96.0	0.5	48
m.	80.0	0.4	32
n.	32.0	0.5	16
o.	178.0	0.45	80
TOTAL	2258.00		1048.00

REAR SETBACK/REQ'D OPEN SPACE TABULATION

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
 ET₀ = 43.7 INCH/YEAR FOR GLENDALE
 LA = 8,686 SQ FT
 SLA = 0
 MAWA = (ET₀) (0.62) [(0.7 x LA) + (0.3 x SLA)]
 MAWA = 43.7 x 0.62 x [(0.7 x 2,258) + (0.3 x 0)] =
 MAWA = 42,825 GAL/YEAR
 ESTIMATED TOTAL WATER USE (ETWU)
 ETWU = (ET₀) (0.62) [(PF x HA) + SLA]
 [(PF x HA) = 1,048 SQ FT
 IE = 0.71
 ETWU = 43.7 x 0.62 [(1,048/0.71) + 0] = 39,992 GAL/YEAR

OUTDOOR BENCH

COMMON OPEN SPACE TABULATION @ REAR SET BACK

1000.96 SQ.FT. > MIN. 1000 SQ.FT. (OK)

PROPOSED COMMON OPEN SPACE SIZE/MEASUREMENT

AREA "A" : 19'-9"x44'-4" = 875.51 SQ.FT.
 AREA "B" : 5'-8"x44'-4" = 250.90 - 2 = 125.45 SQ.FT.
 TOTAL : 875.51 + 125.45 = 1000.96

PRIVATE OPEN SPACE TABULATION

- 101. 6'-4"x6'-10" = 43.23 SQ.FT. > MIN. 40 SQ.FT. (OK)
- 102. 6'-10"x7'-0" = 47.81 SQ.FT. > MIN. 40 SQ.FT. (OK)
- 103. 7'-0"x7'-5" = 51.87 SQ.FT. > MIN. 40 SQ.FT. (OK)
- 104. 7'-0"x7'-9" = 54.25 SQ.FT. > MIN. 40 SQ.FT. (OK)
- 105. 7'-2"x9'-3" = 66.23 SQ.FT. > MIN. 40 SQ.FT. (OK)

WATER MANAGEMENT POINTS SYSTEM

TOTAL SQ. FOOTAGE OF SITE = 8686.0 SQ.FT.
 TOTAL NO. OF POINTS REQUIRED = 200 PTS.
 AUTOMATIC CONTROLLER = 5 PTS.
 PERMEABLE PAVING = 5 PTS.
 LAWN AREA 0% TO 15% OF LANDSCAPE AREA = 10 PTS.
 WATER CONSERVING PLANTS = 183 PTS.
 TOTAL = 203 PTS.

MWELO COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LANDSCAPE POINTS SYSTEM

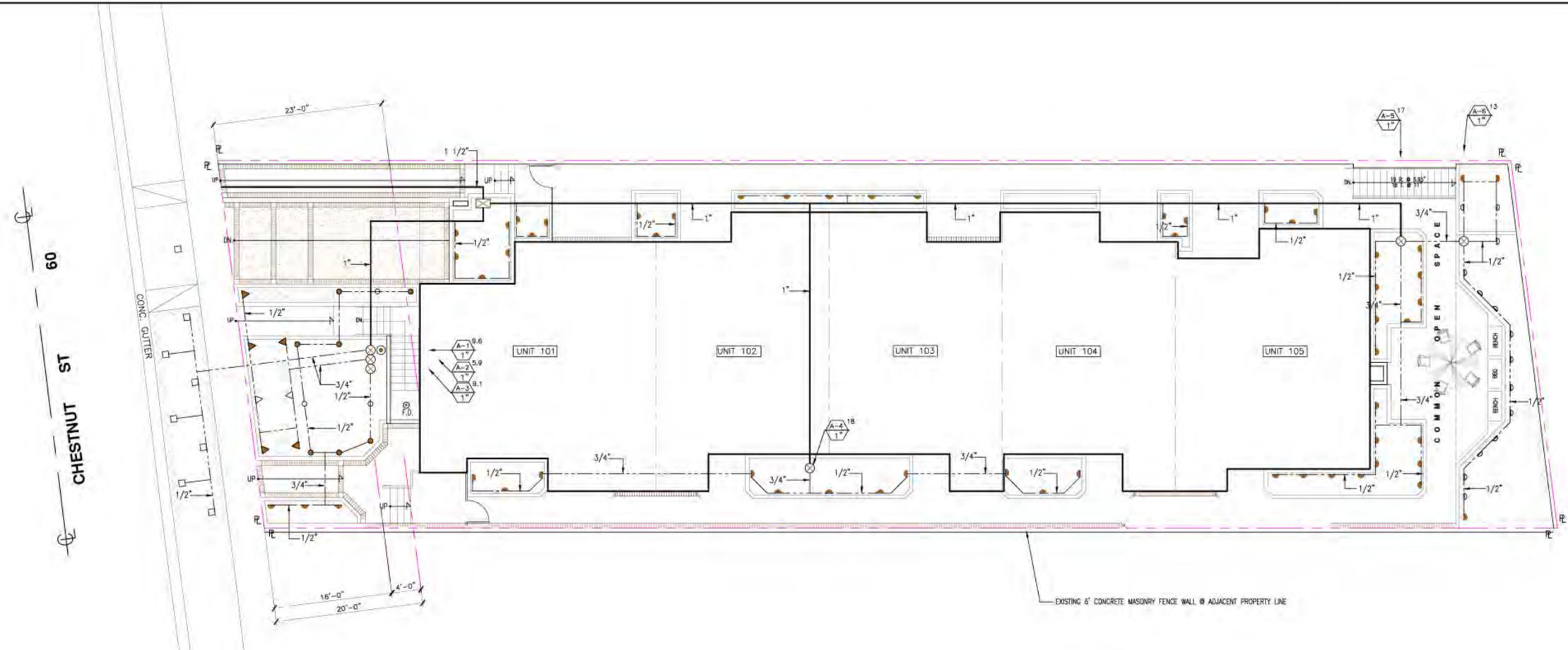
TOTAL SQ. FOOTAGE OF SITE = 8686.0 SQ.FT.
 TOTAL NO. OF POINTS REQUIRED = 15 PTS.
 TREE SHADING ON EAST SIDE OF BLDG. = 5 PTS.
 PLANT TAXON NOT WITHIN 1000' PATH = 5 PTS.
 PERMEABLE PAVING = 5 PTS.
 TOTAL = 15 PTS.



Z:\02 GLENDALE PROJECTS\00 117 W CHESTNUT ST\BENCH01.jpg

NOTE:
 FOR HARDSCAPED AREA PROPOSED FINISH MATERIALS SEE DWG. # A-7

REVISION	DATE	EY	THE ABOVE DIMENSIONS & SPECIFICATIONS AND DESIGN AND ARRANGEMENTS REPRESENTED THEREBY ARE A SMALL PART OF THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DIMS. AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.	LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK, W 50 FT MEASURED ON N AND S LINES OF LOT 123	PROJECT NAME: PROJECT TITLE: JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204	DRAWN BY: M.S. CHECKED BY: V.S. DATE: MARCH 2020 SCALE: 1/8"=1'-0"	OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 DAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM	LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROIAN, ARCHITECT 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL (818) 402-5264 E-MAIL LANDMARKDESIGNLLC@GMAIL.COM	FDR No: SHEET No: L-1 OF SHEETS
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IRRIGATION PLAN

SCALE 1/8"=1'-0"



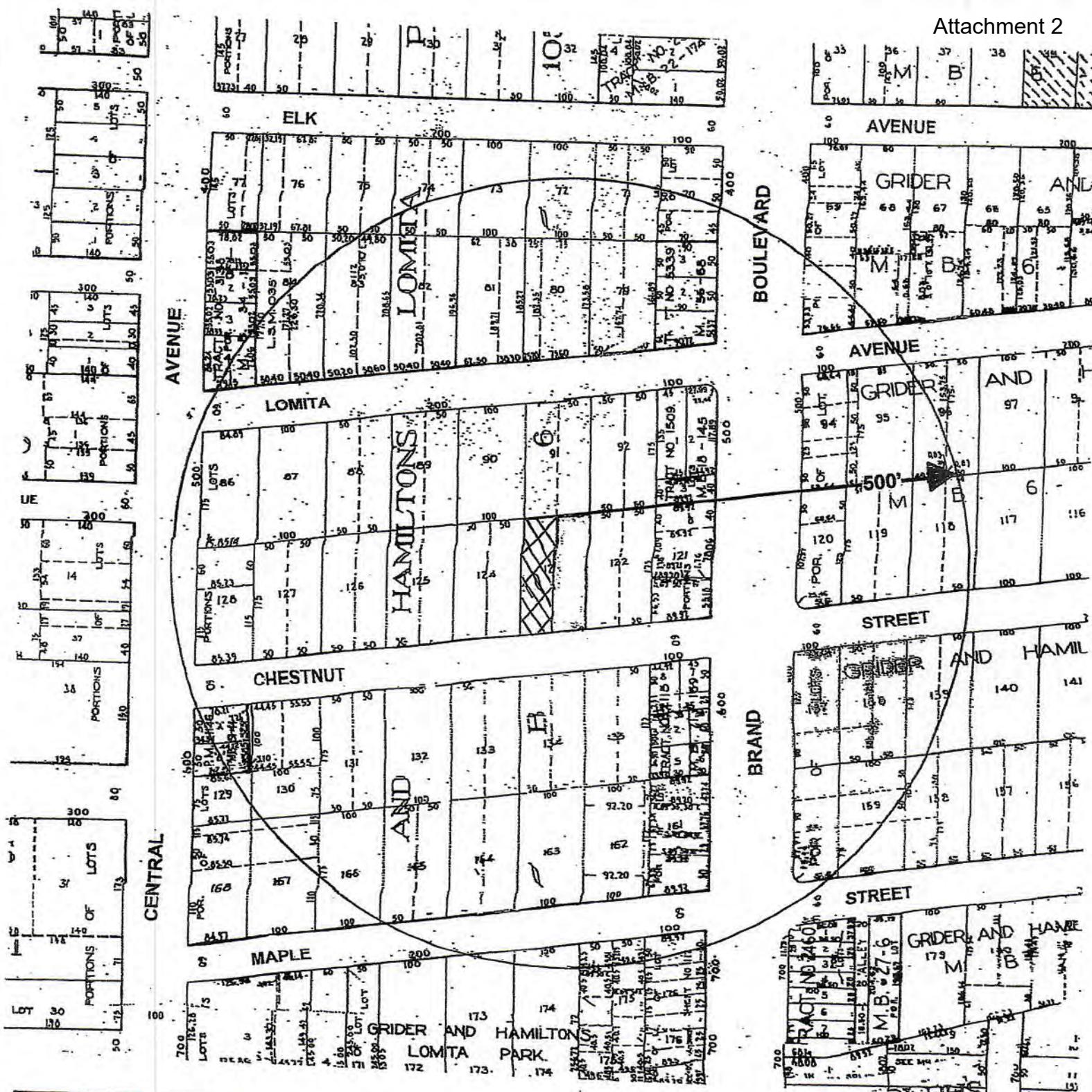
LEGEND

- WEATHER BASED CONTROLLER/RAINBIRD ESP LXME 12 STD.
- R.S.** RAIN SENSOR / RAINBIRD 'RAIN - CHECK'
- B.P.A.** BACKFLOW PREVENTER (FEBCO - 825 - Y - 1 1/2")
- Q.C.** QUICK COUPLER / RAINBIRD 44 - LRC
- VALVE / RAINBIRD 'P.E.B.' SERIES
- VALVE NO. / GPM
VALVE SIZE
- M.L.** MAIN LINE / SCHD. 40 PVC
- LATERAL LINE / SCHD. 40 PVC

SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO.	GPM	RADIUS	PSI
	RAINBIRD 'POP-UP' /QTR.	1812-12Q. MPR.	.65	12"	30
	RAINBIRD 'POP-UP' /HALF.	1812-12H. MPR.	1.30	12"	30
	RAINBIRD 'POP-UP' /QTR.	1812-5Q. MPR.	.10	5"	30
	RAINBIRD 'POP-UP' /HALF.	1812-5H. MPR.	.20	5"	30
	RAINBIRD 'POP-UP' /QTR.	1812-SQ.Q.	7.4GPH	2 1/2"	30
	RAINBIRD 'POP-UP' /HALF.	1812-SQ.H.	12.2GPH	2 1/2"	30
	RAINBIRD 'POP-UP' /QTR.	1812-15 EST.	.61	4"X15"	30
	RAINBIRD 'POP-UP' /HALF.	1812-15 SST.	1.21	4"X30"	30

<p>REVISION</p>	<p>DATE</p>	<p>BY</p>	<p>THE ABOVE DRAWINGS & SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE & SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DIMS. AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.</p> <p>THESE PLANS COMPLY WITH THE MOST COST EFFECTIVE MINIMUM REQUIREMENTS NECESSARY TO OBTAIN A BUILDING PERMIT FROM THE LOCAL AUTHORITIES IN WHICH JURISDICTION IT WILL BE BUILT. OWNER/CONTRACTOR SHALL HAVE THEIR OWN CONSULTANTS FOR ANY ADDITIONAL SPECIFICATIONS, WHICH MAY BE ADDED OR ATTACHED TO PLANS, AT THEIR REQUEST, AND ARE NOT THE RESPONSIBILITY OF ARCHITECT AND /OR CONSULTING OFFICE.</p>	<p>LEGAL DESCRIPTION: GRIDER AND HAMILTONS LOMITA PARK W 50 FT MEASURED ON N AND S LINES OF LOT 123</p> <p>Assessor's Id. Number 5641-007-016</p>		<p>PROJECT NAME: PROJECT TITLE: JOB ADDRESS: 119 W CHESTNUT ST GLENDALE, CA 91204</p>	<p>DRAWN BY: M.S. CHECKED BY: V.S. DATE: MARCH 2020 SCALE: 1/8"=1'-0"</p>	<p>OWNER: LIPARIT GHARIBYAN A. MEDOYAN 3411 OAKMONT VIEW DR. GLENDALE, CA 91208 TEL: (818) 720-5353 E-MAIL: LIPARITGHARIBYAN@YAHOO.COM E-MAIL: AMEDOYAN@YAHOO.COM</p>	<p>LANDMARK DESIGN & CONSTRUCTION, LLC V. SAROIAN, ARCHITECT AZ CA MD NY UT WI CA LIC # C13781 128 SOUTH KENWOOD ST. GLENDALE, CA 91205 CELL: (818) 402-5264 E-MAIL: LANDMARKDESIGNLLC@GMAIL.COM</p> <p>TEL: (818) 247-4173 (818) 244-6405 FAX: (818) 247-4610</p>	<p>PDR No: SHEET No: L-2 OF SHEETS</p>
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500' RADIUS MAP

**SITE: 119 W CHESTNUT STREET
GLENDALE CA 91204**

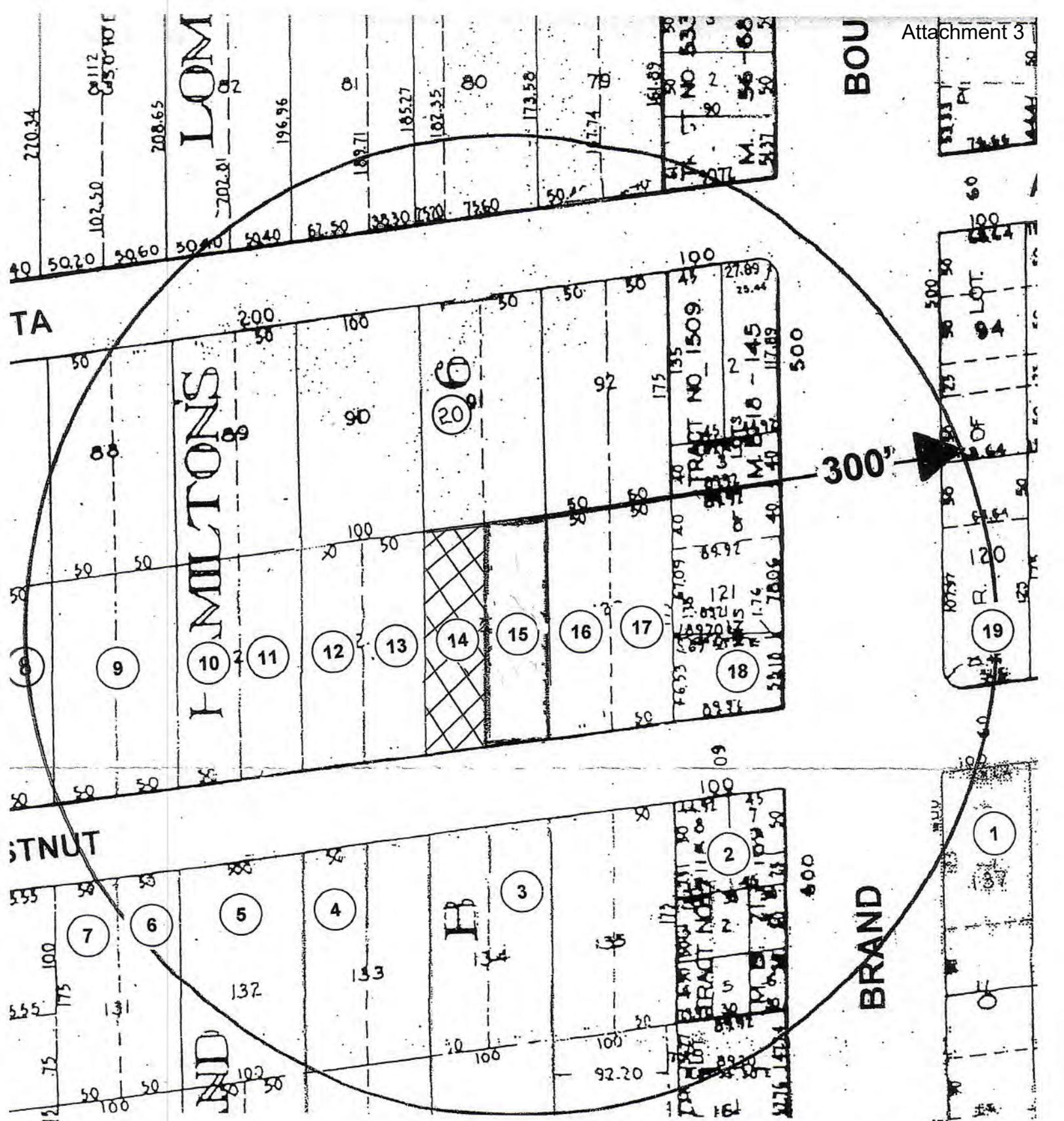
**OWNER: MARIA CHARIBYAN
8122 BROADLEAF AVENUE
PANORAMA CITY, CA 91402**

**CASE NO:
SCALE: 1" = 200'**



LOCATION MAP

**KHAN CONSULTING INC
1111 N BRAND BLVD STE 403
GLENDALE CA 91202
(818) 507-1605**



**SITE: 119 W CHESTNUT STREET
 GLENDALE CA 91204**

**OWNER: MARIA GHARIBYAN
 8122 BROADLEAF AVENUE
 PANORAMA CITY, CA 91402**

**CASE NO:
 SCALE: 1" = 100'**



**PHOTOGRAPHIC
 SURVEY MAP**



26 of 26

Birds Eye View
Subject Property
119 W. Chestnut Street



14

**South (Front) Elevation
Subject Property
119 W. Chestnut Street**



14

**West Elevation
Subject Property
119 W. Chestnut Street**



14

**East Elevation
Subject Property
119 W. Chestnut Street**



①

600 S. Brand Blvd.



②

603 S. Brand Blvd.



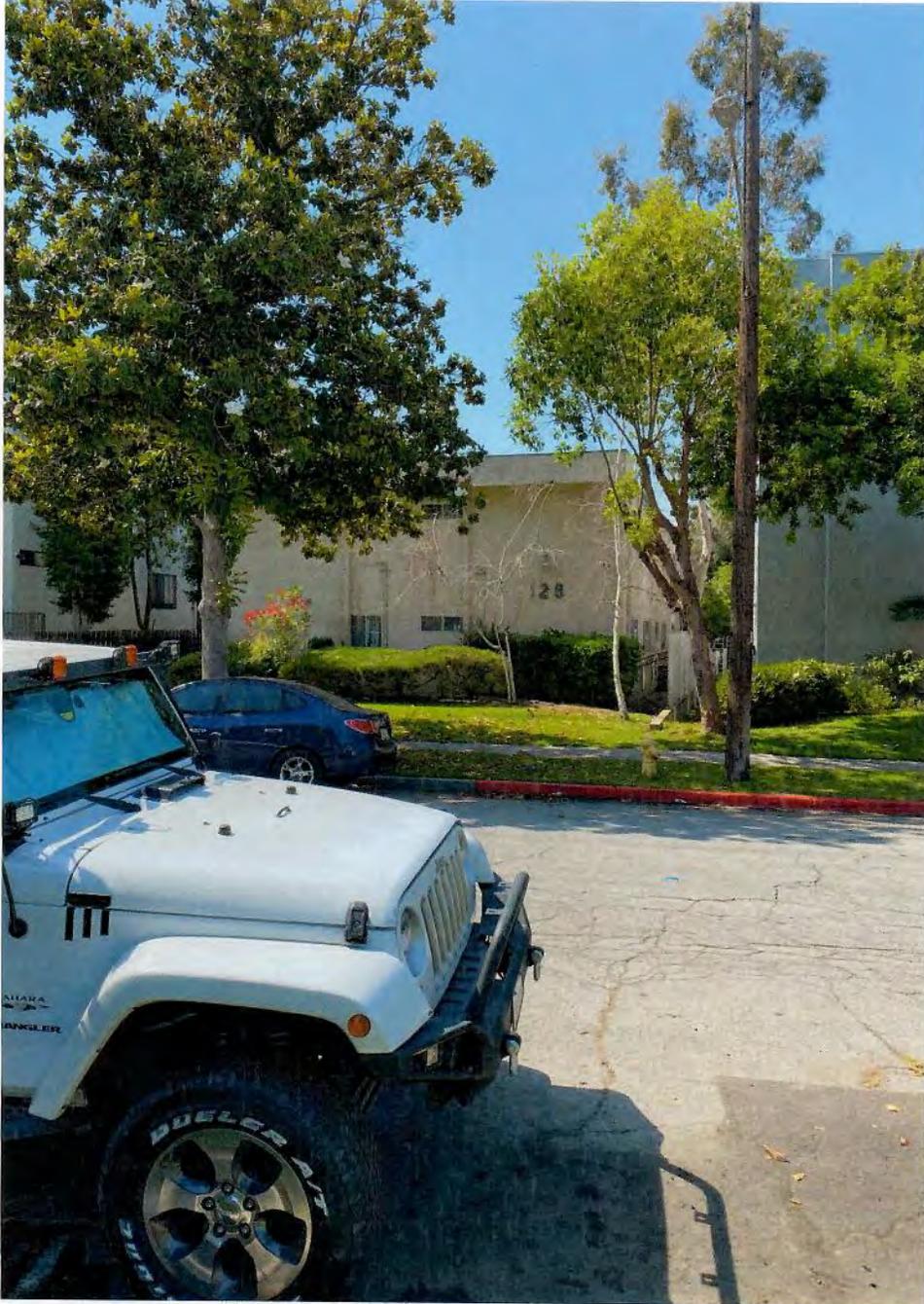
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603 S. Brand Blvd.



3

120 W. Chestnut Street



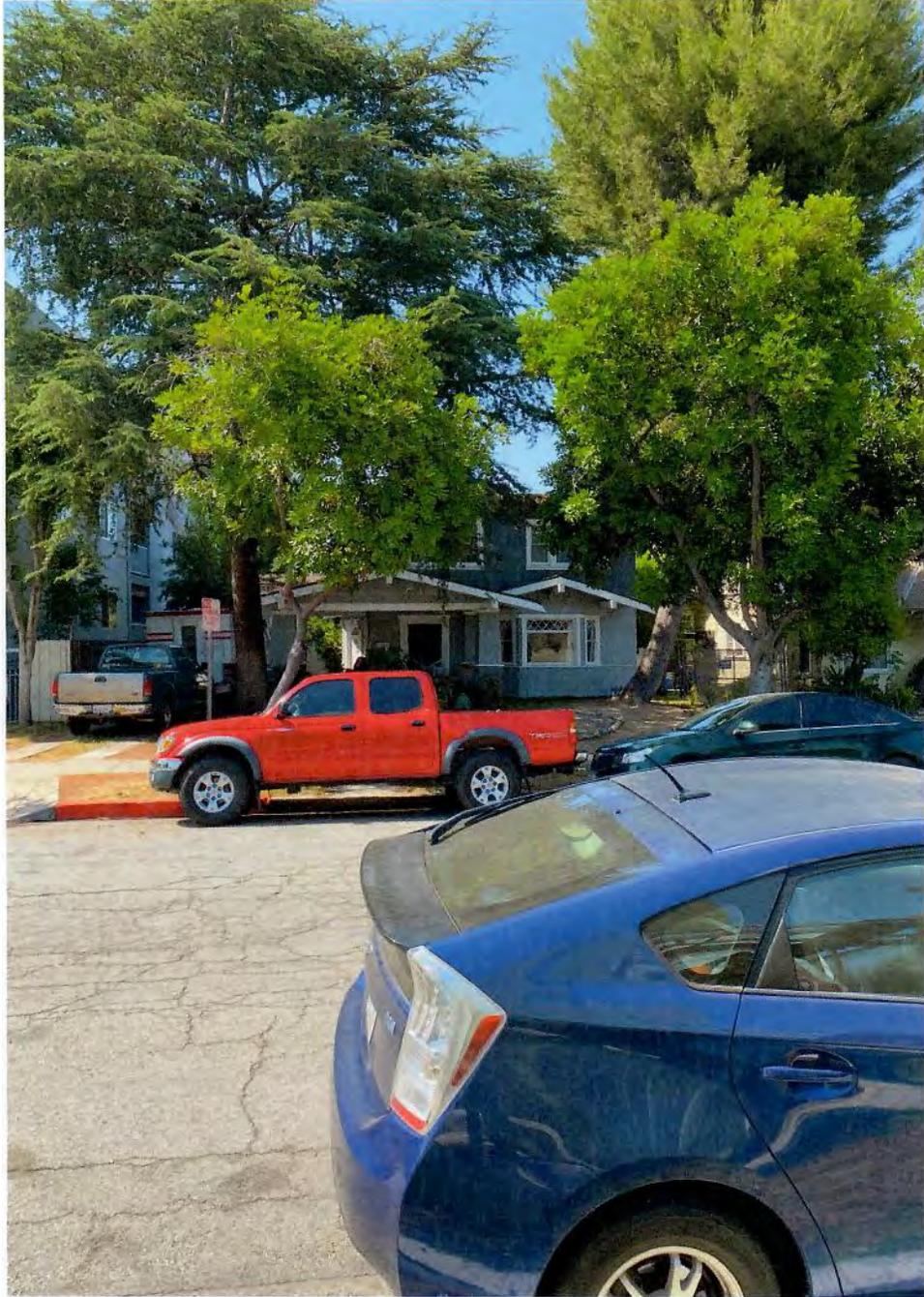
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128 W. Chestnut Street



5

200 W. Chestnut Street



6

214 W. Chestnut Street



7

218 W. Chestnut Street



8

500 S. Central Avenue



9

211 W. Chestnut Street



10

207 W. Chestnut Street



11

203 W. Chestnut Street



12

127 W. Chestnut Street



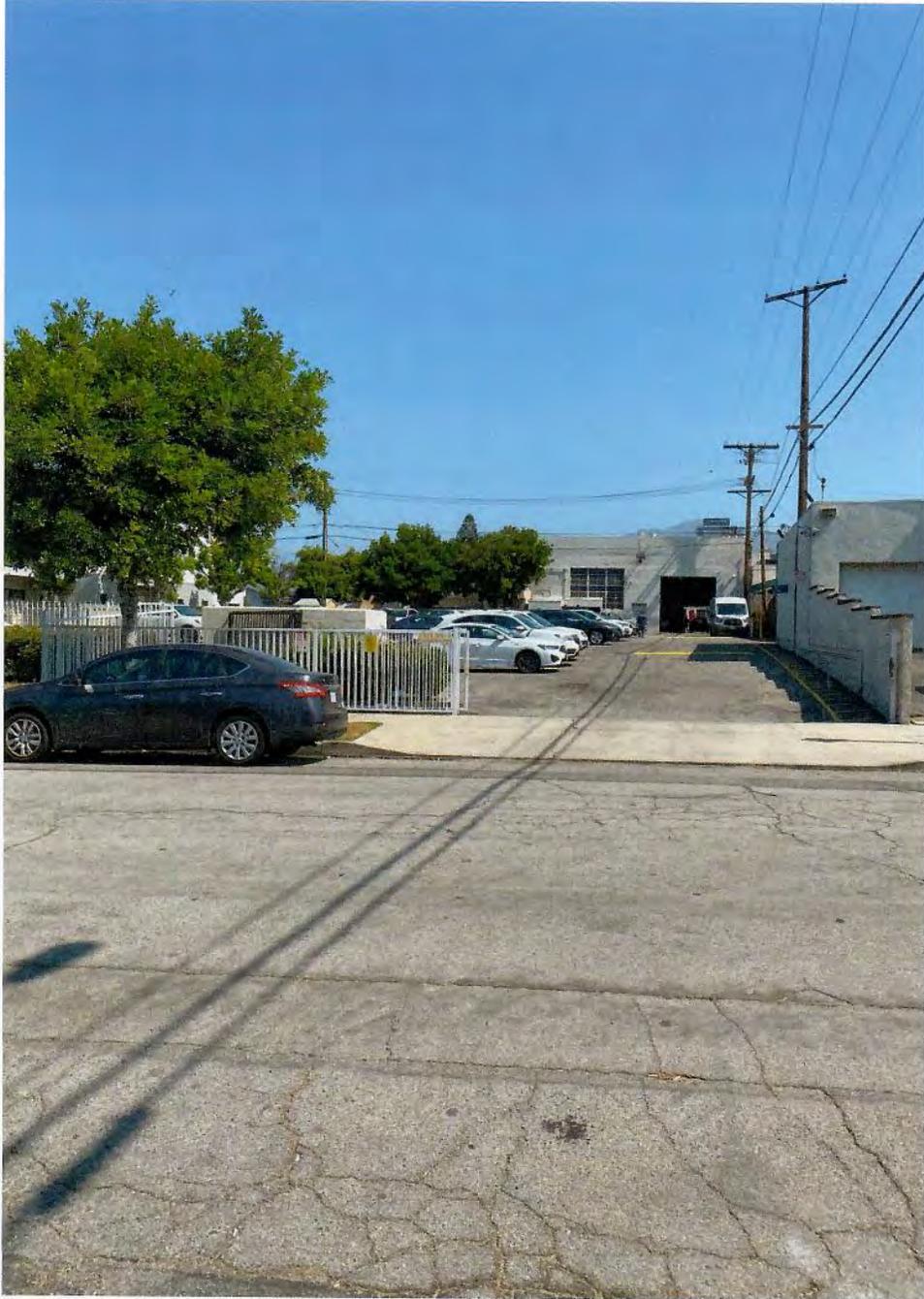
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125 W. Chestnut Street



15

117 W. Chestnut Street



16

115 W. Chestnut Street



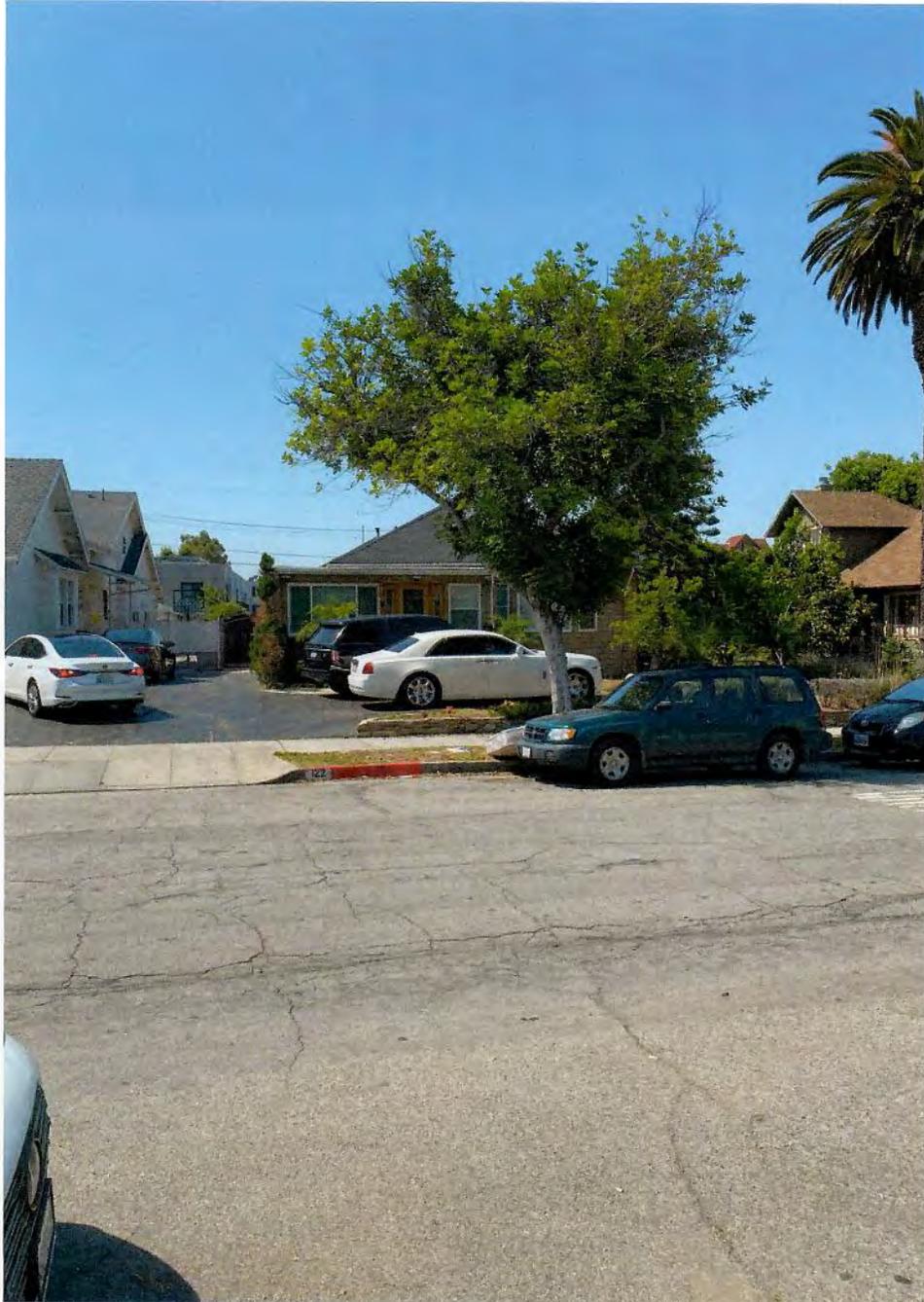
①⑦ and ①⑧

527 S. Brand Blvd.



19

520 S. Brand Blvd.



20

122 W. Lomita Avenue