



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

August 3, 2020

Applicant:

Mike Geragos
2155 Verdugo Boulevard #614
La Crescenta, CA 91020

**RE: ADMINISTRATIVE DESIGN REVIEW CASE NO. PDR 1912804
1339 CAPISTRANO AVENUE**

Dear Mr. Geragos:

The Director of Community Development will render a final decision on or after **August 13, 2020**, for the following project:

PROJECT DESCRIPTION: The applicant is proposing to add a total of 420 square feet (one-story) to an existing one-story, 2,055 square-foot single-family residence (originally constructed in 1925) on a 10,600 square-foot, corner lot located in the R1R (FAR District II) Zone. The proposal also includes demolition of the existing attached, one-car garage and construction of a new 617 square-foot, two-car garage attached to the front of the house.

ENVIRONMENTAL DETERMINATION: The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption, pursuant to Section 15301 (e)(1) of the State CEQA Guidelines, because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

For more information or to submit comments, please contact the case planner, Vista Ezzati, at vezzati@glendaleca.gov.

Comments must be received prior to August 13, 2020, in order to be considered by the Director.

DECISION: A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>.

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 101, Glendale, CA 91206

Sincerely,

Vista Ezzati
Planner



**CITY OF GLENDALE, CA
DESIGN REVIEW STAFF REPORT – HILLSIDE SINGLE FAMILY**

August 13, 2020 <i>Decision Date</i>	1339 Capistrano Avenue <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5614-031-012 <i>APN</i>
PDR 1912804 <i>Case Number</i>	Mike Geragos <i>Applicant</i>
Vista Ezzati, Planner <i>Case Planner</i>	Susan and Richard Thrall <i>Owner</i>

Project Summary

The applicant is proposing to add a total of 420 square feet (one-story) to an existing one-story, 2,055 square-foot single-family residence (originally constructed in 1925) on a 10,600 square-foot, corner lot located in the R1R (FAR District II) Zone. The proposal also includes demolition of the existing attached, one-car garage and construction of a new 617 square-foot, two-car garage attached to the front of the house.

The proposed work includes:

- A 204 square-foot addition located at the north-west portion of the house facing Capistrano Avenue.
- A 138 square-foot addition located at the north-east portion of the lot (rear) and a 78 square-foot addition located at the east elevation (side).
- A 617 square-foot, two-car garage attached at the front of the house and accessed from the existing driveway.
- A new covered front entry and new covered porches at the rear and side of the house.
- A new 477 square-foot, raised deck area located along the east side of the house. The new deck is 3'-10" above the grade.

Environmental Review

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption, pursuant to Section 15301 (e)(1) of the State CEQA Guidelines, because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area.

Existing Property/Background

Originally developed in 1925, the project site is a 10,600 square-foot, corner lot with frontage on Capistrano Avenue. The site is currently developed with an attached one-car garage located at the rear. Access to the existing garage is from a driveway located along

Capistrano Avenue. The subject property is located in the Verdugo Woodlands neighborhood on a relatively flat lot, though there is a gradual change in grade of approximately three feet from east to west. There is one oak tree located on the north side of the existing building and one off-site oak tree on the neighboring property to the north; these will be preserved and maintained as part of the project.

Staff Recommendation

Approve with Conditions

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RIR FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	11,406 sq. ft.	7,170 sq. ft. – 17,300 sq. ft.	10,600 sq. ft.
Setback	18.3 feet	5 feet – 30 feet	18.5 feet
House size	2,249 sq. ft.	946 sq. ft. – 4,140 sq. ft.	2,475 sq. ft.
Floor Area Ratio	0.20	0.08 – 0.34	0.23
Number of stories	12 homes are 1-story & 14 homes are 2-stories	1- to 2-stories	1- story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

Yards and Usable Open Space

yes **n/a** **no**

If “no” select from below and explain:

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

Garage Location and Driveway

yes **n/a** **no**

If “no” select from below and explain:

- Consistent with predominant pattern on street
- Compatible with primary structure
- Permeable paving material
- Decorative paving

The plans indicate that the existing asphalt driveway will remain. The design guidelines call for decorative driveway paving materials and permeable paving systems are strongly encouraged. Staff is recommending a condition of approval that the driveway be repaved with a decorative material consistent with the design with consideration given for a permeable paving material.

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design and surrounding site
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material

- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located
- Stormwater runoff minimized

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed additions modify the original building footprint in an appropriate manner with the house centrally sited on the lot.
- The surrounding neighborhood features attached and detached garages with no predominant pattern established. The project site currently features an attached one-car garage at the rear. Based on the surrounding neighborhood and existing conditions of the site, the proposed attached two-car garage located at the front of the house is appropriate. Access to the new garage will be taken from the existing driveway. A staff recommended condition of approval will require the driveway to be repaved with a decorative paving material with consideration given to a permeable paver.
- The existing landscaping is proposed to be maintained as part of the proposal. There is one oak-tree located on the north side of the house and one off-site oak tree on the neighboring property to the north. The City’s Urban Forestry Department has reviewed the application and did not cite any major concerns with the proposal. A staff recommended conditions of approval will require the applicant to comply with the Urban Forestry Department comments, dated July 21, 2019, which will require the applicant to obtain an Indigenous Tree Permit prior to construction.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If “no” select from below and explain:

Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If “no” select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If “no” select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall the mass, height, proportions and architectural concept of the proposal is consistent with the Spanish style of the residence.
- The project’s massing is broken up by changes in the façade planes, and varying roof heights.
- The immediate neighborhood features a combination of one- and two-story single-family residences. The single-family residence will remain one-story with an overall height of 20’-0”.
- The design will maintain the existing flat-roofed areas and also introduces hipped roof forms with a 4:12 roof pitch. The new roof forms are consistent with the architectural style.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If “no” select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors appropriate to hillside area

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible

Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition’s design and detailing will enhance the appearance of the house and its design and detailing are appropriate and consistent with the Spanish style through the use of materials, windows and colors.
- The design of the new entryway features a turret with beveled archways and a recessed entry door. While this new entryway is taller than the existing house, it is not monumental or out of scale with the residence. Additionally, this new design feature is compatible with the Spanish style, and complements the overall design.
- The new windows are fiberglass and an appropriate combination of casement and fixed windows. The new windows feature external grids, a bullnose recess, and a wood sill. Some of the new windows that are not visible from the public realm will be clear glass with no grids.
- The proposed materials also include a two-piece clay barrel tile roof, and a smooth stucco finish which is compatible with the style. The porches will feature wood posts and beams.

Recommendation / Draft Record of Decision

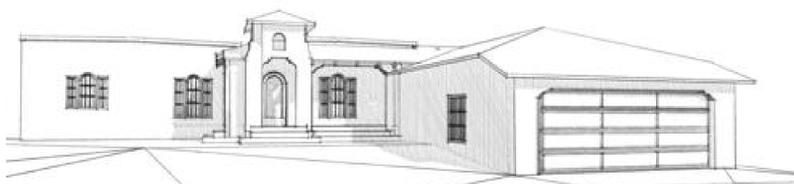
Based on the above analysis, staff recommends **Approval with Conditions**. This determination is based on the implementation of the following recommended conditions:

Conditions

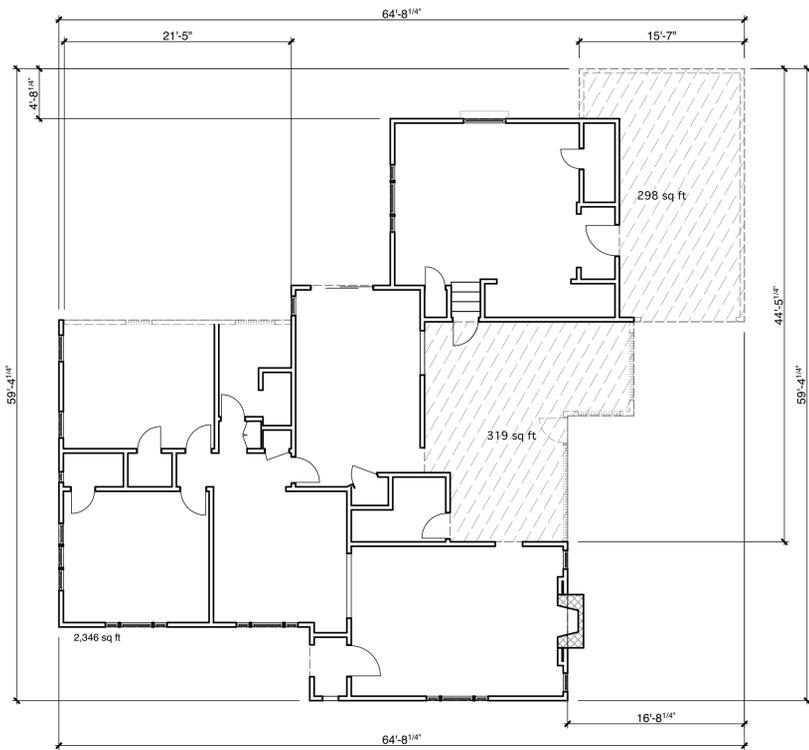
1. The driveway be repaved with a decorative material consistent with the design with consideration given for a permeable paving material.
 2. The applicant shall comply with all of the recommendations identified in the Urban Forestry Department Comments, dated July 21, 2019.
-

Attachments

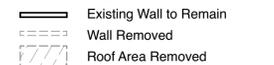
1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey
5. Urban Forestry Department Comments, dated July 21, 2019



Street View Rendering



Percentage of Remodel Calc



Wall Location	Area Existing	Area Removed	%
West	59.33 x 8.25 = 489.5	4.66 x 8.25 = 38.5	
North	64.66 x 8.25 = 533.5	(21.6 + 15.7) x 8.25 = 307.7	
East	59.33 x 8.25 = 489.5	44.5 x 8.25 = 367.2	
South	64.66 x 8.25 = 533.5	16.66 x 8.25 = 137.5	
Roof	2,346.0	298 + 318 = 616.0	
	4,392	1,466.9	33.4 %

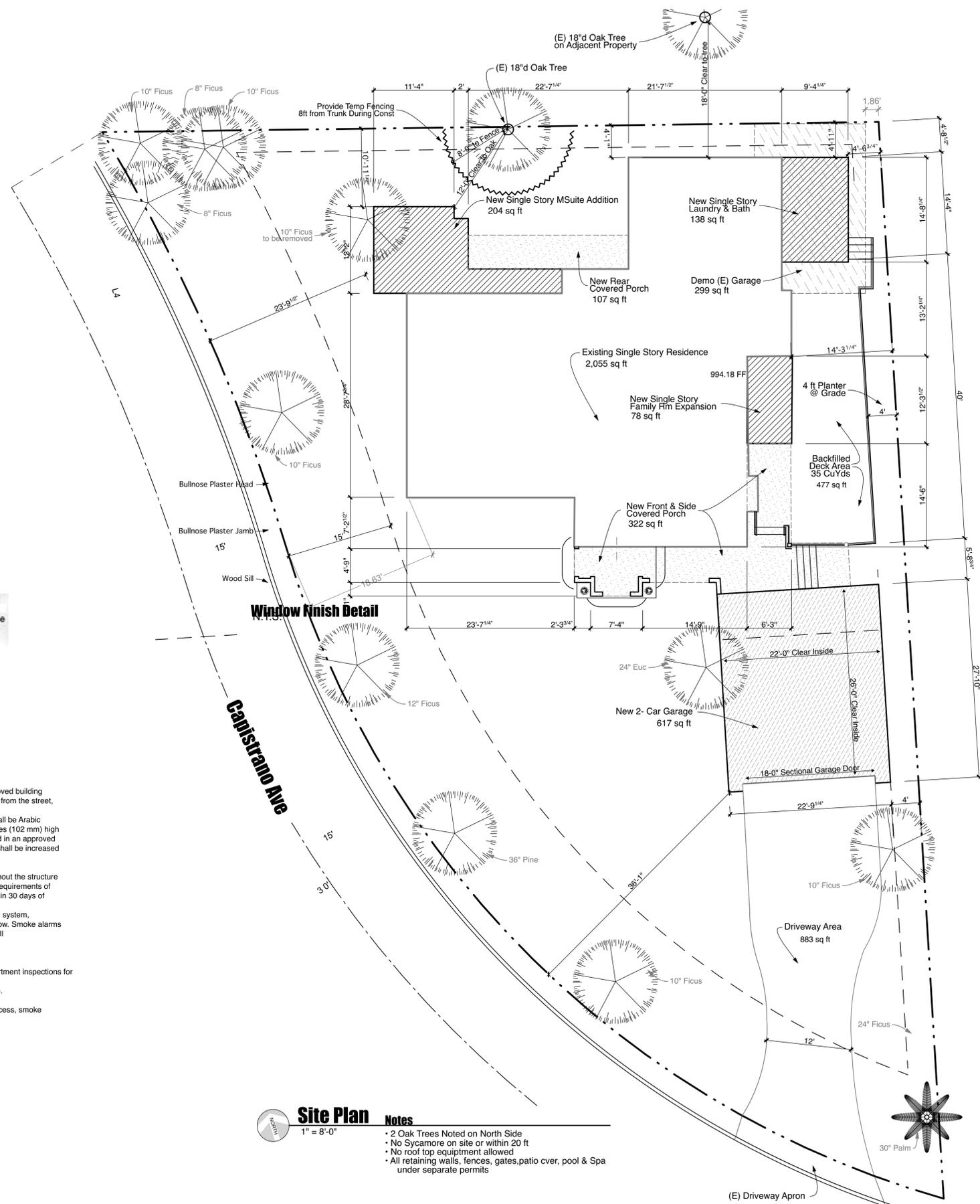
The plans indicate that the total demolition of outside wall and roof area combined is 33.4%. Should demolition exceed 50% of the total outside wall and roof area during construction, per GMC 30.60.040.B.2, the building loses its nonconforming status and must be brought into compliance with the current Zoning Code. This will include, but is not limited to, required setbacks, parking, and Design Review Board approval for new single-family construction.

INDIGENOUS TREE PROTECTION MEASURES

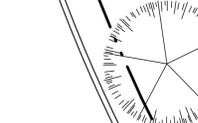
- All project plans, including grading, site improvements, utility locations, and landscaping shall indicate the exact trunk location of the native oak(s) and its protected zone. Construction is to be completed without negative direct impact(s) on native trees(s) of the subject site. Prior to any site disturbance, including grubbing, demolition and mobilization, obtain an Indigenous Tree Permit from the Public Works Building and Safety Division for any site that contains native Oak, Sycamore or Bay trees six inches (6") or larger in trunk diameter when such trees grow within twenty feet (20') outside the property line. Allow two (2) weeks from date of application to issuance.
- All site development plans, including grading, planting and irrigation and their installation are subject to approval by the Public Works Department.
- The approved Indigenous Tree Permit shall be maintained on the project site at all times and shall be presented upon request to any City official.
- In general, take such steps as necessary to protect roots, bark, trunk, branches and leaves from injury during construction.
- Prior to any site disturbance, including demolition or mobilization, install a six-foot (6') tall temporary chain-link fence, five feet (5') outside of the drip-line of each protected tree, or per a Protected Tree Fencing Plan approved by the Director of Public Works.
- Inspection of the temporary fencing installation is required prior to any site disturbance, including grubbing, demolition and mobilization. Contact the Arborist Technician at (818) 550-3402.
- The temporary fencing installation shall be maintained until written authorization is received for relocation or removal from the Director of Public Works.
- Monitor protected trees for drought stress throughout construction and irrigate as needed to maintain health.
- Gently spray tree canopy with water to remove construction dust build-up as needed throughout construction.
- Maintain three inches (3") of natural leaf litter beneath the dripline of each protected tree. Use approved organic mulch if leaf litter is not available.
- No herbicides shall be used within one hundred feet (100') of any protected tree unless approval is provided in writing by the Director of Public Works.
- No tools, equipment, materials, vehicles, debris, paint, concrete, mortar, cement, stucco, paint, solvent, excess soil or other foreign materials shall be placed within the protected zone of any protected tree at any time, except as authorized by the Director of Public Works.
- No changes in grade shall be made within the tree protection zone of any protected tree at any time, except as authorized by the Director of Public Works.
- All utility improvements with installation of hook-up boxes, including but not limited to water, sewer, electrical, cable and phone lines are to be located outside the indigenous tree protected zone (TPZ). Utility lines shall be routed outside of the protected zone of protected trees, unless otherwise approved by the Director of Public Works.
- Any approved excavation within the protected zone of any protected tree shall be performed with hand tools only under the direct observation of the designated project arborist at all times. Light construction equipment may be used with the written approval of the Director of Public Works.
- Forty-eight (48) hours notice shall be provided to the Arborist Technician at (818) 550-3402 prior to the start of any authorized work within the protected zone of any protected tree.
- Excavate and tunnel beneath roots one-inch (1") in diameter and greater where feasible. Roots to be removed shall be pruned with a sharp pruning tool at the edge of the excavation. Cover temporarily exposed roots with moist burlap until backfill occurs.
- All approved pruning or cutting of roots shall be performed under the supervision of an International Society of Arboriculture Certified Arborist in accordance with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
- Contact the Public Works Permit Services Center upon completion of work for Final Inspection and card sign-off.
- Failure to comply with these mitigation measures may result in work stoppage and will result in fee of \$1,000.00 per tree, per violation. Work shall resume only when the City of Glendale deems repairs satisfactory.
- Questions should be directed to the Arborist Technician at (818) 550-3402.

Glendale Fire Department Notes:

- Address Numbers: Approved address numbers, building numbers or approved building identification shall be placed in a position that is plainly legible and visible from the street, road, alley, and walkways giving access to and within the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of four (4) inches (102 mm) high with a minimum stroke width of 0.5 inch (12.7 mm) and shall be illuminated in an approved manner (if numbers are on the exterior). Number height and stroke width shall be increased as needed for legibility based on visibility distance. (For new structures and additions/remodels 50% valuation or greater.)
- Fire Sprinklers: Provide a complete automatic fire sprinkler system throughout the structure installed in accordance with the recommendations of NFPA 13D and the requirements of the Glendale Fire Department. Fire sprinkler plans shall be submitted within 30 days of issuance of the building permit.
- Smoke Detectors: Smoke detectors shall be wired to the building electrical system, be equipped with battery backup, and emit a signal when batteries are low. Smoke alarms shall be interconnected, so that the activation of one alarm will activate all other smoke detectors.
- Egress: All required exits are to be openable from the inside without key or special knowledge or effort.
- Required GFD Inspections: For inspections, call 818-548-4810. Fire Department inspections for this project are:
 - Fire sprinkler overhead/underground rough (before covering any piping).
 - Fire sprinkler final.
 - Fire Prevention Bureau Final (address signs, egress fire department access, smoke detectors, fuel modification, etc.).



Window Finish Detail



Site Plan Notes

- 2 Oak Trees Noted on North Side
- No Sycamore on site or within 20 ft
- No roof top equipment allowed
- All retaining walls, fences, gates, patio cover, pool & Spa under separate permits

Project Info

APN#: 5614-031-012
 Legal Descrip.: Selvas De Verdugo, Lot 12, Blk 12
 Zoning: R1R - II
 Const Type: VB Occupancy: R3/U Stories: 1
 Applicable Codes:
 2016 Calif Residential Code
 2017 Glendale Building Standards Code
 2016 California Building Code
 2016 California Mechanical Code 2013
 2016 California Plumbing Code
 2016 California Energy Code
 2016 Green Building Standards Code
 Structural Design conforms to the Calif Res Code

Lot Area =	10,600 sf
Existing Residence	= 2,055 sf
New Floor Area =	204 + 138 + 78 = 420 sf
Floor Area Total =	2,475 sf
FAR % =	2,475 / 10,600 = 23.3%
Existing Floor Area =	2,475 sf
New First Floor Area =	420 sf
Porch Areas =	107 + 322 = 429 sf
Garage =	617 sf
Proposed Lot Coverage =	3,941 sf
LC % =	3,941 / 10,600 = 37.2%
Lot Area =	10,600 sf
Lot Coverage =	3,941 sf
Paving Area =	410 sf
Landscape Area =	6,249 sf
Landscape % =	6,249 / 10,600 = 58.9%

Project Scope

- Demo Rear Garage
- Remodel Kitchen, Family Rm, 1 Bdrm, 1 Baths
- Add 420sf Single Story
- Add laundry Rm & Bathroom
- Expand MBdrm and relocate MBath
- Expand family y Rm
- Add Front, Back and Side Covered Porches
- Add 2- Car Garage
- New Backfilled Deck Area to East Side of House

Sheet Index

A-1	Site Plan
A-2	Floor Plan
A-3	Elevations
A-4	Sections / Details
A-5	City & Green Notes
A-6	Energy Calc
S1	General Notes
S2	Foundation Plan
S3	1st Fir Plan
S4	Sectional Views
SD1	Structural Details
SD2	Structural Details
SD3	Structural Details
SD4	Structural Details
SWP	Simpson StrongWall Details

Thrall Residence Addition

1339 Capistrano Ave
 Glendale 91208

7/24/20



Property Owner Signature _____ Date _____

Bldg Dept Notes:

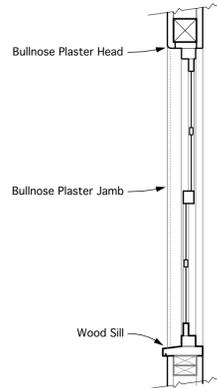
- Provide all new Smoke & CO2 Detectors. Hardwired with Battery Backup and Interconnected
- Electrical Devices per the following requirements:
 - Tamper resistant receptacles for all locations described in 210.52 (i.e., all receptacles dwelling).
 - Weather resistant type for receptacles installed in damp or wet locations (outside).
 - Arc-fault protection for all outlets (not just receptacles) located in rooms described in NEC 210.8(A): Family, living, bedrooms, dining, halls, etc.
 - GFCI protected outlets for locations described in NEC 210.8: Kitchens, garages, bathrooms, outdoors, within 6' of a sink, etc.
- A 20 ampere circuit shall be dedicated to each bathroom.
- The control valves in showers, bathtubs, and bidets must be pressure balanced or thermostatic mixing valves. CPC Sections 408, 409, 410.
- Tile shower & Tub stall to 72" min above floor. Shower door and enclosure to be tempered glass. Cement base for Tub & Shower Tile Areas
- Water conserving fixtures: New water closets shall use no more than 1.28 gallons of water per flush. Kitchen faucets may not exceed 1.8 GPM, lavatories are limited to 1.5 GPM, and Showerheads may not exceed 2.0 GPM of flow. CPC Section 403 and 408

Door Schedule

SYM	SIZE ft.-in. x ft.-in	CORE	JAMB	LOCKSET	REMARKS
1	3-0 x 6-8	Wood	Wood	Lockset Deadbolt	Relocated (E)
2	6-0 x 6-8	French	Vinyl	Lockset Deadbolt	
3	5-0 x 6-8	French	Vinyl	Lockset Deadbolt	3-0 x 6-8 Door w/ Sidelite
4	6-0 x 6-8	French	Vinyl	Lockset Deadbolt	
5	3-0 x 6-8	French	Vinyl	Fixed	---
6	2-10 x 6-8	French	Vinyl	Lockset Deadbolt	---
7	6-0 x 6-8	Paneled	Vinyl	Lockset Deadbolt	---
8	18-0 x 7-0	Insulated	---	---	Sectional w/Opener

- NOTES: 1. Exterior French Doors to be Dual Glazed.
2. Exterior Grids and Grids Between Glazing

***All Doors and Windows Shall meet City of Glendale Security Ordinance * See Sht A-4**

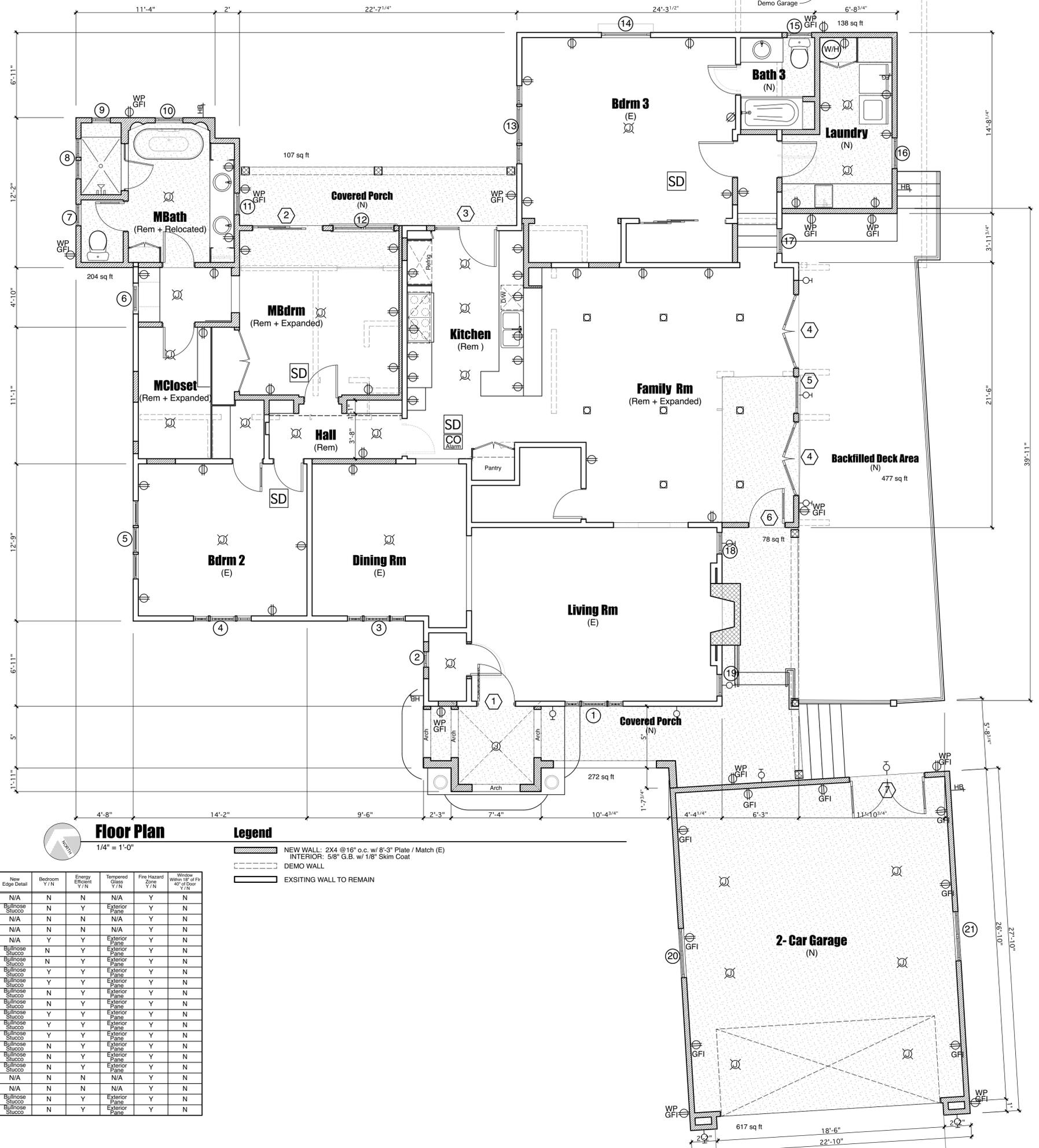


Window Finish Detail
N.T.S.

Window Schedule

Window #	Quantity	Existing Width x Hight	New Width x Hight	Existing Material	New Material	Visible From the Street	Existing Operation	New Operation	New Frame Type	External Grids Plus Between Frames	Keep Existing Sill & Frame	Build New Sill & Frame	Existing Edge Detail	New Edge Detail	Bedroom	Energy Efficient	Tempered Glass	Fire Hazard Zone	Window Within 18" of Edge of Floor
1	1	4-9 x 4-6	N/A	Wood	N/A	Y	Case	N/A	N/A	Y	Y	N	Wood	N/A	N	N	N/A	Y	N
2	1	N/A	1-3 x 2-6	N/A	Fiberglass	Y	N/A	Fixed	Block	Y	N/A	N	N/A	Bullnose Stucco	N	Y	Exterior Pane	Y	N
3	1	4-9 x 4-6	N/A	Wood	N/A	Y	Case	N/A	N/A	Y	Y	N	Wood	N/A	N	N	N/A	Y	N
4	1	4-9 x 4-6	N/A	Wood	N/A	Y	Case	N/A	N/A	Y	Y	N	Wood	N/A	N	N	N/A	Y	N
5	1	6-0 x 4-6	N/A	Vinyl	Fiberglass	Y	Case	N/A	Block	Y	Y	N/A	Vinyl	N/A	Y	Y	Exterior Pane	Y	N
6	1	N/A	2-6 x 3-6	N/A	Fiberglass	Y	N/A	Case	Block	Y	N/A	Y	N/A	Bullnose Stucco	N	Y	Exterior Pane	Y	N
7	1	N/A	1-9 x 3-0	N/A	Fiberglass	Y	N/A	Case	Block	Y	N	Y	N/A	Bullnose Stucco	N	Y	Exterior Pane	Y	N
8	1	N/A	3-0 x 2-0	N/A	Fiberglass	Y	N/A	Case	Block	Y	N	Y	Wood	Bullnose Stucco	Y	Y	Exterior Pane	Y	N
9	1	N/A	1-6 x 2-0	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	Wood	Bullnose Stucco	Y	Y	Exterior Pane	Y	N
10	1	N/A	2-3 x 3-6	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	Wood	Bullnose Stucco	N	Y	Exterior Pane	Y	N
11	1	N/A	1-9 x 3-0	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	Wood	Bullnose Stucco	N	Y	Exterior Pane	Y	N
12	1	N/A	5-0 x 5-0	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	Wood	Bullnose Stucco	Y	Y	Exterior Pane	Y	N
13	1	N/A	5-0 x 4-0	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	N/A	Bullnose Stucco	Y	Y	Exterior Pane	Y	N
14	1	N/A	4-0 x 3-4	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	N/A	Bullnose Stucco	Y	Y	Exterior Pane	Y	N
15	1	N/A	2-0 x 3-0	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	N/A	Bullnose Stucco	N	Y	Exterior Pane	Y	N
16	1	N/A	2-6 x 3-6	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	N/A	Bullnose Stucco	N	Y	Exterior Pane	Y	N
17	1	N/A	2-0 x 3-0	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	N/A	Bullnose Stucco	N	Y	Exterior Pane	Y	N
18	1	1-9 x 5-6	N/A	Wood	N/A	N	Case	N/A	N/A	Y	Y	N	Wood	N/A	N	N	N/A	Y	N
19	1	1-9 x 5-6	N/A	Wood	N/A	N	Case	N/A	N/A	Y	Y	N	Wood	N/A	N	N	N/A	Y	N
20	1	4-0 x 4-6	3-6 x 4-3	N/A	Fiberglass	Y	N/A	Case	Block	Y	N	Y	N/A	Bullnose Stucco	N	Y	Exterior Pane	Y	N
21	1	N/A	3-0 x 2-8	N/A	Fiberglass	N	N/A	Case	Block	Y	N	Y	Wood	Bullnose Stucco	N	Y	Exterior Pane	Y	N

- NOTES: 1. All Glazing to be Dual Pane. See schedule for Tempered Glass Configuration
2. Exterior Grids and Grids Between Glazing

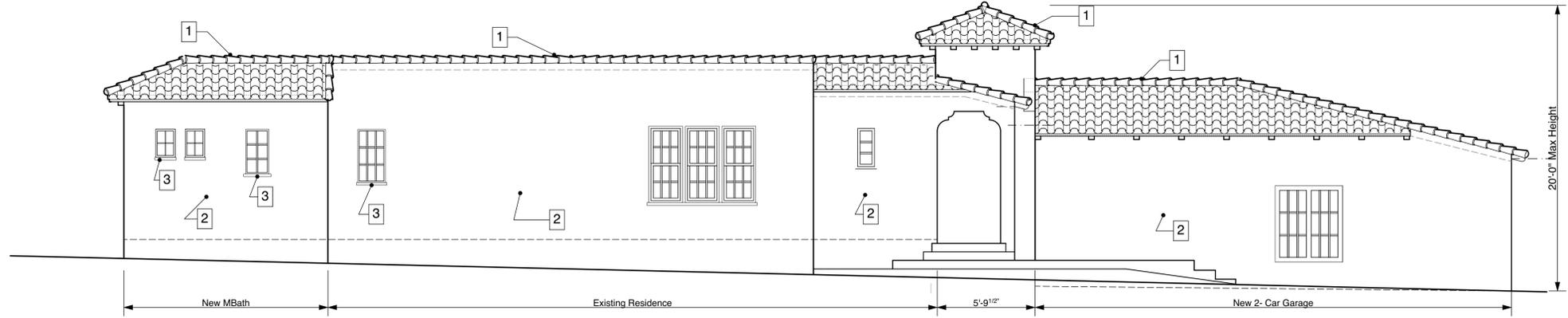


Floor Plan

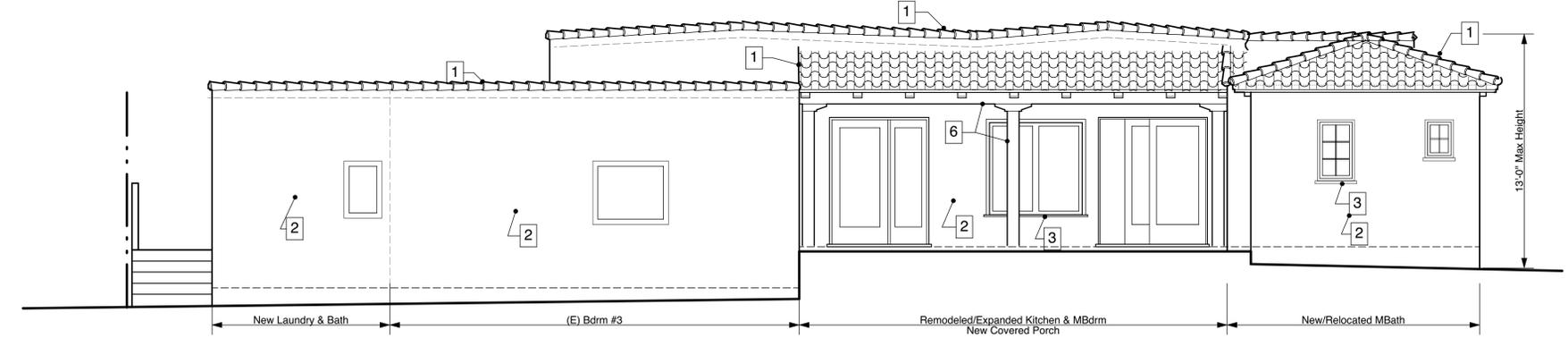
1/4" = 1'-0"

Legend

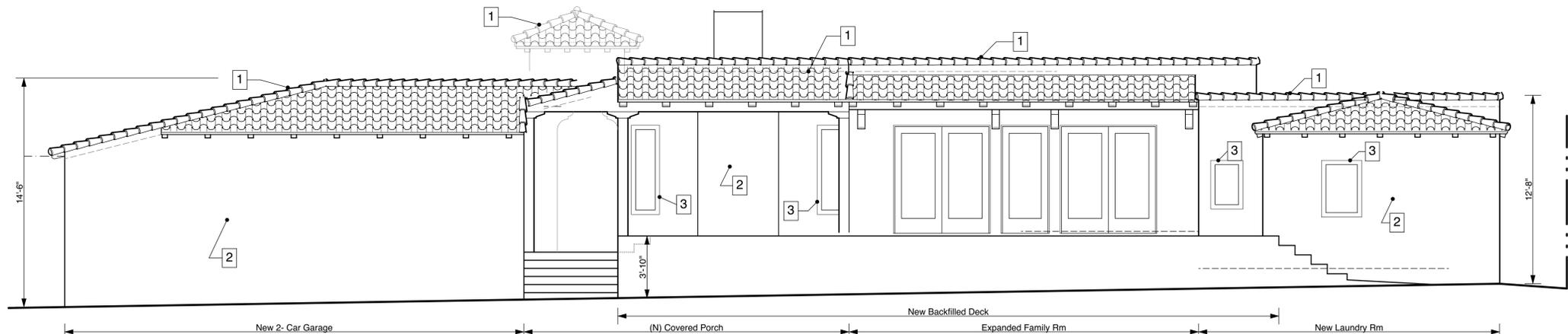
- NEW WALL: 2x4 @16" o.c. w/ 8'-3" Plate / Match (E)
INTERIOR: 5/8" G.B. w/ 1/8" Skim Coat
- DEMO WALL
- EXISTING WALL TO REMAIN



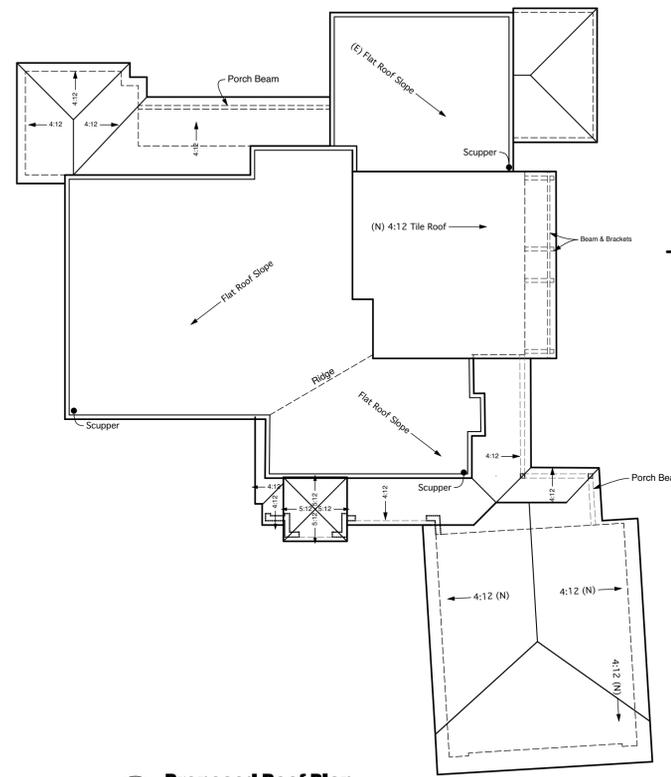
West Elev
1/4" = 1'-0"



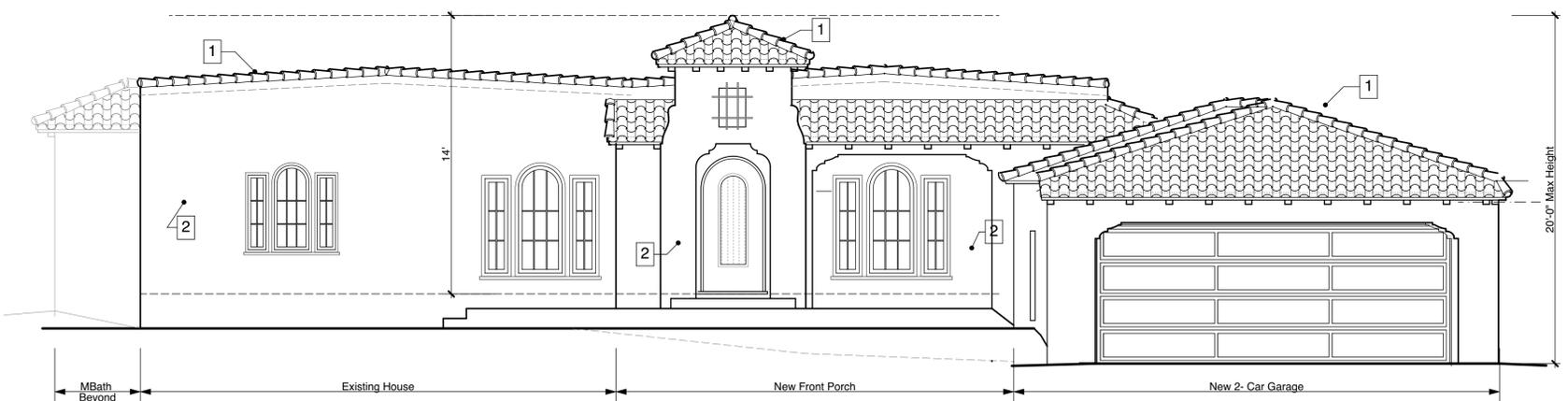
North Elev
1/4" = 1'-0"



East Elev
1/4" = 1'-0"

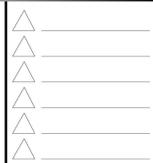


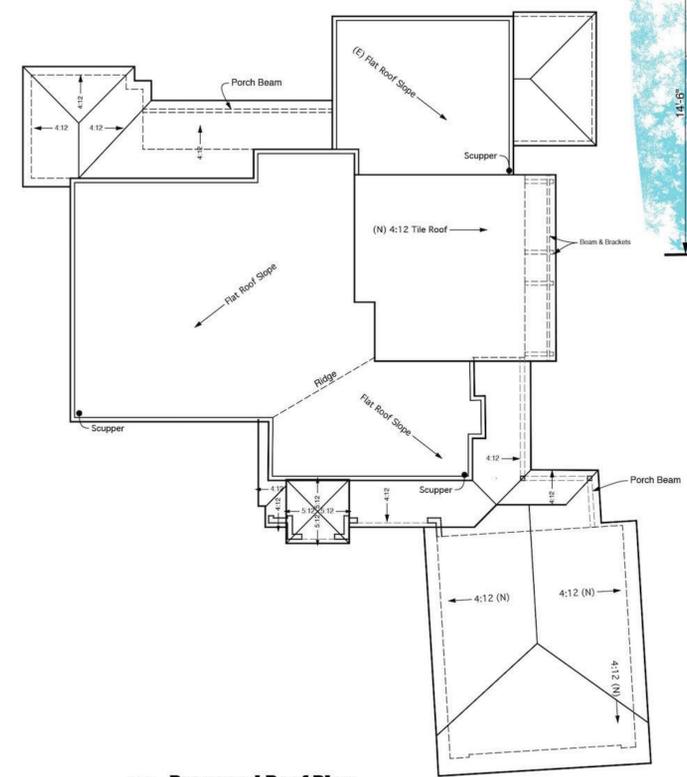
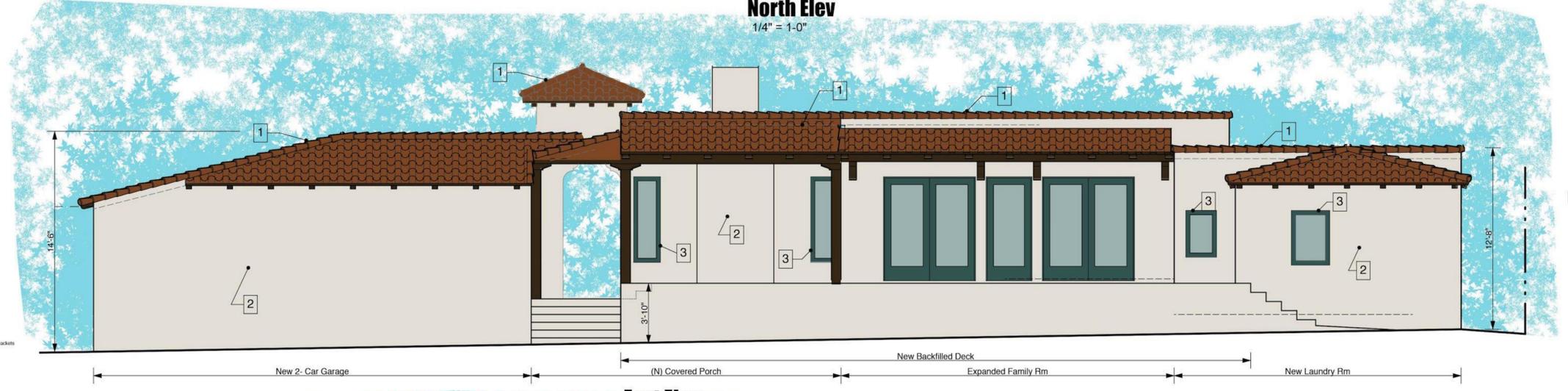
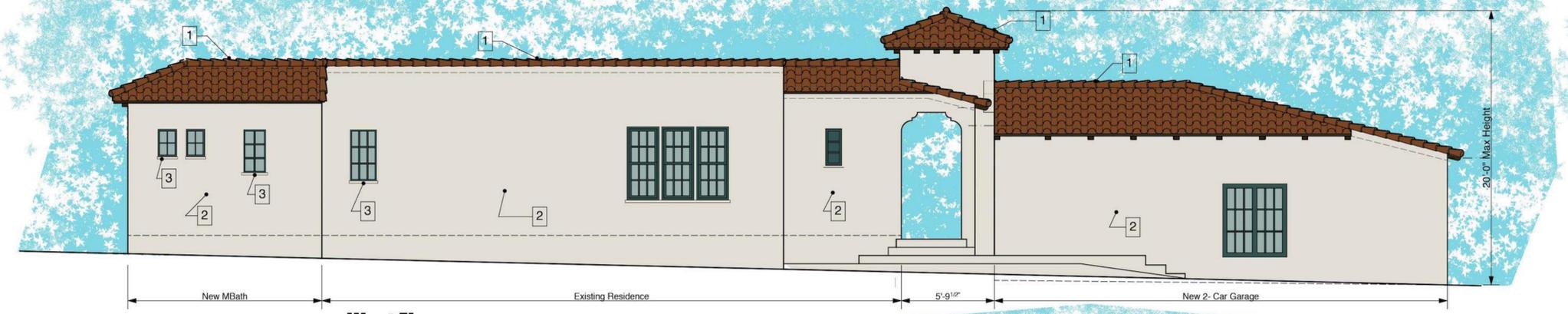
Proposed Roof Plan
1" = 8'-0"



South Elev
1/4" = 1'-0"

- Elevation Notes:**
1. Roofing & Parapet Cap - 2-pc Clay Barrel Tile "Red" / Class "A"
 2. Plaster - 7/8" Stucco w/ Elastomeric Paint - Dunn Edwards "Swiss Coffee"
 3. Windows - Fiberglass / Block Framed- Internal & exterior grids per elevation
 4. Ornamental Ironwork Railing 42" AFF / Pickets @ 4"oc min
 5. New Wood Porch Posts & Beams
 6. New Attic Vents



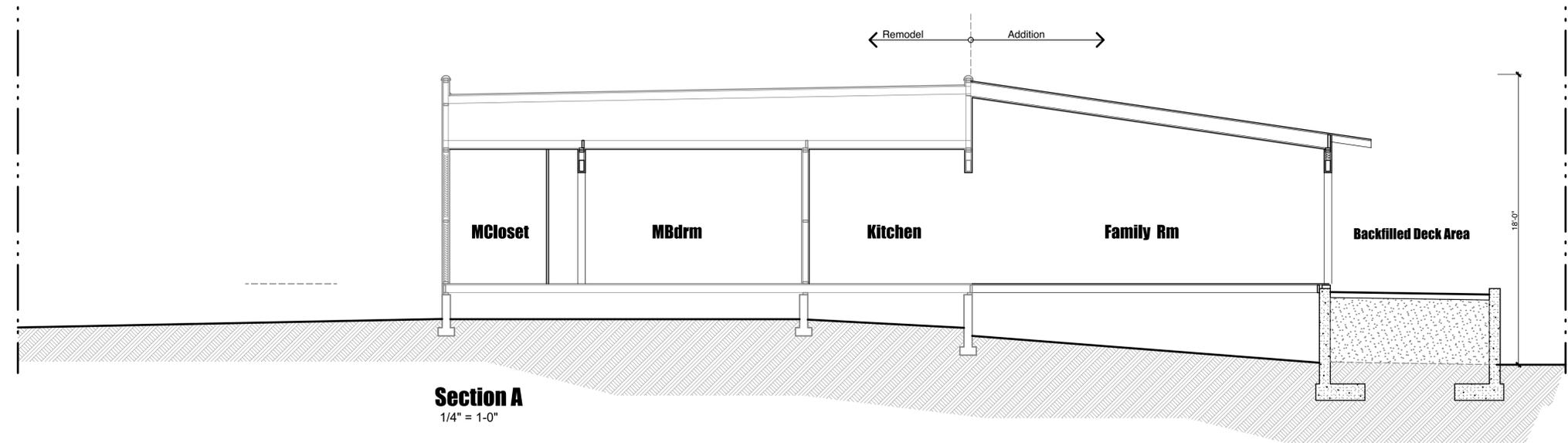


- Elevation Notes:**
1. Roofing & Parapet Cap - 2-pc Clay Barrel Tile "Red" / Class "A"
 2. Plaster- 7/8" Stucco w/ Elastomeric Paint Dunn Edwards "Swiss Coffee"
 3. Windows - Fiberglass / Block Framed- Internal & exterior grids per elevation
 4. Ornamental Ironwork Railing 42" AFF / Pickets @ 4"oc min
 5. New Wood Porch Posts & Beams
 6. New Attic Vents



Mike Geragos
2155 Verdugo Blvd #614
La Crescenta, CA 91020
818-406-5378
MikeGeragos@gmail.com

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____



Section A
1/4" = 1'-0"

Thrall Residence Addition
1339 Capistrano Ave
Glendale 91208

7/24/20



Street / West View



South / Front View



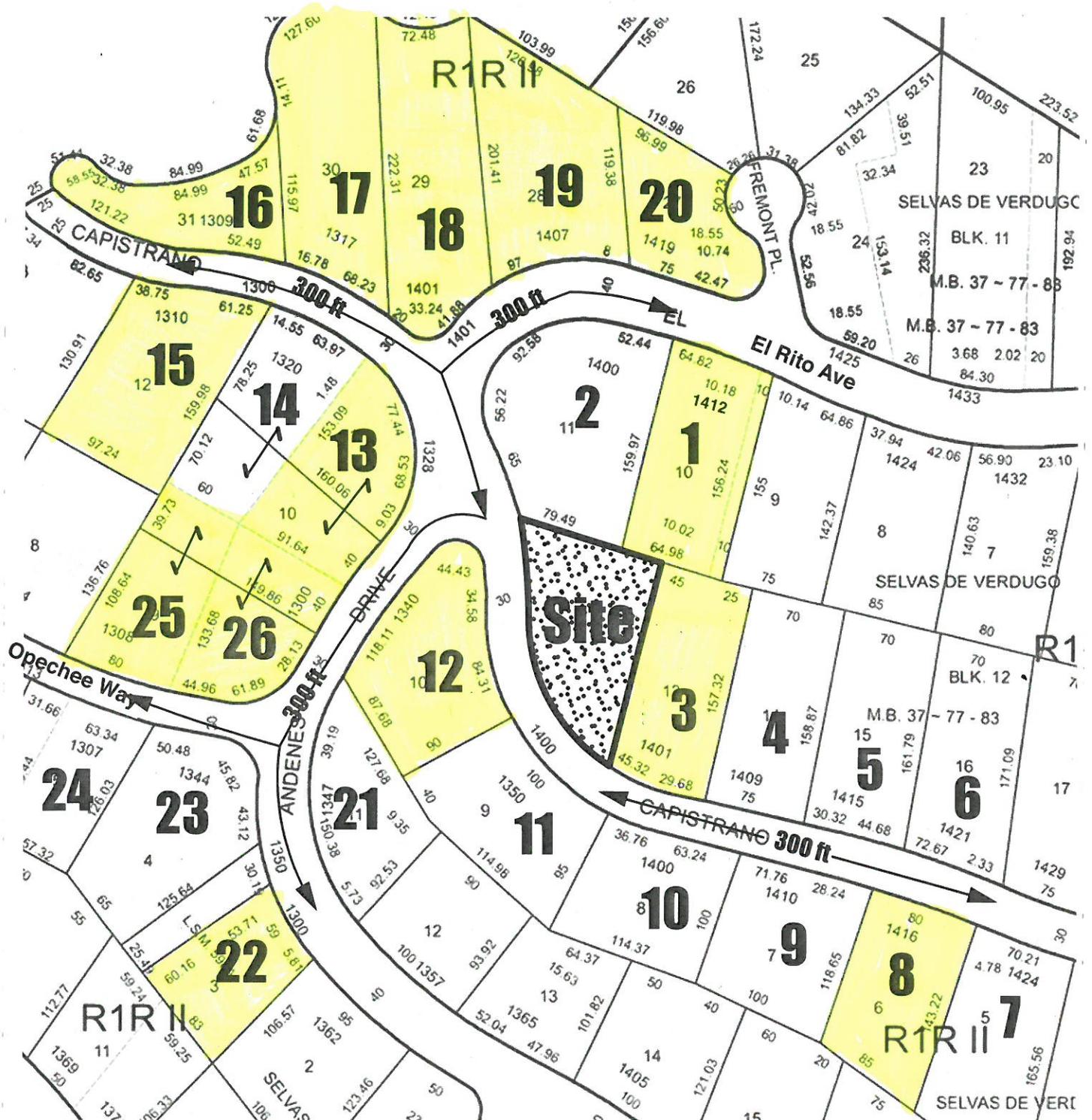
Rear / North View



East / Left View

Project Site Pics

Thrall Residence Addition • 1339 Capistrano Ave



Vicinity & Photo Survey Map

1339 Capistrano Ave



Subject Property



2-Story Residence

Survey List • 1339 Capistrano Ave

Key	Address	Sq. Ft. Lot	Sq. Ft. House			L/C%	F/A %	Stories	Set Back	Roof
			1 st Flr	2nd FLR	Garage					
Subject Property	1339 Capistrano Ave DRB#:	10,600	2,475	0	617	29.2%	23.35%	1	18.5	Flat / Tile
1	1412 El Rito Ave	12,354	4,140				33.5	2	30	Tile
2	1400 El Rito Ave	9,860	3,075				31.2	1	25	Comp
3	1401 Capistrano Ave	11,190	1,679				15.0	2	30	Comp
4	1409 Capistrano Ave	11,010	1,729				15.7	1	30	Comp
5	1415 Capistrano Ave	11,340	2,614				23.1	1	25	Tile
6	1421 Capistrano Ave	11,470	1,731				15.1	1	25	Comp
7	1424 Capistrano Ave	12,500	2,244				18.0	1	5	Comp
8	1416 Capistrano Ave	10,400	1,860				17.9	2	5	Comp
9	1410 Capistrano Ave	10,900	946				8.7	1	12	Comp
10	1400 Capistrano Ave	10,120	1,907				18.8	1	8	Flat
11	1350 Capistrano Ave	11,700	1,775				15.2	1	8	Comp
12	1340 Capistrano Ave	12,700	3,098				24.4	2	10	Tile
13	1328 Capistrano Ave	11,250	1,463				13.0	2	15	Comp
14	1320 Capistrano Ave	10,500	1,054				10.0	1	15	Comp
15	1310 Capistrano Ave	14,100	1,844				13.1	2	10	Comp
16	1309 Capistrano Ave	9,000	2,125				23.6	2	8	Tile
17	1317 Capistrano Ave	15,300	2,082				13.6	2	20	Comp
18	1401 El Rito Ave	15,400	3,712				24.1	2	20	Tile
19	1407 El Rito Ave	15,300	3,577				23.4	2	20	Tile
20	1419 El Rito Ave	8,900	2,772				31.1	2	20	Tile
21	1347 Andenes Dr	9,300	2,143				23.0	1	20	Comp
22	1350 Andenes Dr	8,000	2,788				34.9	2	25	Comp
23	1344 Andenes Dr	17,300	3,129				18.1	1	25	Comp
24	1307 Andenes Dr	7,170	2,160				30.1	1	25	Flat
25	1308 Opechee Way	9,800	1,366				13.9	2	20	Comp
26	1300 Opechee Way	9,700	1,464				15.1	2	20	Comp
Neighborhood Average		11,406	2,249				20.1	1.5	18.3	



1 - 1412 El Rito Ave



2 - 1400 El Rito Ave



3 - 1401 Capistrano Ave



4 - 1409 Capistrano Ave

Neighborhood Pics
Thrall Residence Addition • 1339 Capistrano Ave



5 - 1415 Capistrano Ave



6 - 1421 Capistrano Ave



7 - 1424 Capistrano Ave



8 - 1416 Capistrano Ave

Neighborhood Pics
Thrall Residence Addition • 1339 Capistrano Ave



9 - 1410 Capistrano Ave



10 - 1400 Capistrano Ave



11 - 1350 Capistrano Ave



12 - 1340 Capistrano Ave

Neighborhood Pics
Thrall Residence Addition • 1339 Capistrano Ave



13 - 1328 Capistrano Ave



14 - 1320 Capistrano Ave



15 - 1310 Capistrano Ave

Neighborhood Pics
Thrall Residence Addition • 1339 Capistrano Ave



16 - 1309 Capistrano Ave



17 - 1317 Capistrano Ave



18 - 1401 El Rito Ave



19 - 1407 El Rito Ave



20 - 1419 El Rito Ave

Neighborhood Pics
Thrall Residence Addition • 1339 Capistrano Ave



21 - 1347 Andenes Dr



22 - 1350 Andenes Dr



23 - 1344 Andenes Dr



24 - 1307 Andenes Dr

Neighborhood Pics
Thrall Residence Addition • 1339 Capistrano Ave



25 - 1308 Opechee Way



26 - 1300 Opechee Way

Neighborhood Pics
Thrall Residence Addition • 1339 Capistrano Ave

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project Address: 1339 Capistrano Avenue	Project Case No.: PDR 1912804
--	--

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

- This office **DOES NOT** have any comment.
- This office **HAS** the following comments/conditions. (See attached Dept. Master List)

Date: 7-21-19
Print Name: Katherine Williams
Title: Arborist Technician Dept. Forestry/Maintenance Services Tel.: x3402

a. ADDITIONAL COMMENTS:

- 1.
The project, as proposed, will minimally impact the protected trees on site and appears supportable by Forestry.

The subject property is located on a generally level lot in the Verdugo Woodlands area of Glendale. The collection of mature trees on and around the property includes two coast live oak trees on the north side of the residence. Forestry has inspected the site; reviewed the project site plan; and reviewed the project's tree protection plan.

Oak #1 is located adjacent to the proposed new addition on the north side of the existing structure, with a diameter at breast height (DBH) of 18". The tree protection plan provided to Forestry shows the location of the new construction to be 12' from the base of oak #1, with tree protection fencing installed around the oak tree at a distance of 8' from the base and a 4' access path separating the tree protection fencing from the site of the installation of the new addition.

Oak #2 is an OFF-SITE tree located on the neighboring property. It is located over 18' north of the proposed construction zone and is therefore sufficiently distant from the activity to receive minimal to no impact.

Forestry will support the design as proposed with the following conditions:

1. Forestry will issue an Indigenous Tree Protection Guideline sheet as part of our approval of the project. The guidelines on this sheet will be adhered throughout construction, including the demolition phase.
2. An indigenous tree permit is required for the proposed development.