



**CITY OF GLENDALE, CA
REPORT TO THE DESIGN REVIEW BOARD**

DESIGN REVIEW STAFF REPORT – SINGLE FAMILY

June 29, 2020 <i>Decision Date</i>	2828 Sycamore Avenue <i>Address</i>
Administrative Design Review (ADR) <i>Review Type</i>	5617-002-021 <i>APN</i>
PDR 2003970 <i>Case Number</i>	Santiago Suarez <i>Applicant</i>
Danny Manasserian <i>Case Planner</i>	Terry Terrazone <i>Owner</i>

Project Summary

The applicant is proposing to add 305 SF to the side of the existing 1,422 SF, one-story, single family house on a 10,897 SF lot zoned R1 (District II). The addition will match the existing house in terms of architectural style and materials.

Environmental Review

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square feet of floor area.

Existing Property/Background

The project site is a 10,897 SF interior lot with 74’ frontage on Sycamore Avenue. The site is developed with a 1,422 SF one-story, Ranch style, single-family home with an attached two-car garage, constructed in 1961. The existing lot is relatively flat and has a rectangular shape similar to other properties in the neighborhood.

Staff Recommendation

Approve

Last Date Reviewed / Decision

First time submittal for final review.

Zone: RI FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None.

Site Slope and Grading

None proposed.

Neighborhood Survey

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	8,520 SF	4,264 – 15,175 SF	10,897 SF
Setback	32'	10' – 68'	10'
House size	1637 SF	776 – 3,391 SF	1,727 SF
Floor Area Ratio	.201	.099 - .331	.158
Number of stories	1-2	1-2	1

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes **n/a** **no**

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes **n/a** **no**

If "no" select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes **n/a** **no**

If “no” select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The site planning will remain in a similar configuration as existing, with the new addition located at the front/west side of the property, and will be compatible with other properties in the neighborhood.
- The placement of the addition will not affect the existing non-conforming front setback and should have no adverse impact on neighboring properties.
- No new landscaping is proposed at the front. The amount of existing landscaping at the front is sufficient in terms of code standards and will complement the building design.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes **n/a** **no**

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes **n/a** **no**

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes **n/a** **no**

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes **n/a** **no**

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes **n/a** **no**

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The mass and scale of the addition will be compatible with the existing structure and surrounding houses, which are primarily one-story.
- The addition is set back from the front façade of the building and is well integrated into the existing structure and appropriately proportioned.
- The massing of the addition is deferential to the existing house due to its lower height and setback from the front façade.
- The addition low overall height, hipped roof form, and recessed porch prevent it from being overbearing to either the existing house or the adjoining neighbor.
- The new roof forms will reinforce the overall building design by having the same pitch of 4:12 as the existing. The orientation of the existing gabled roof form and new hipped roof form provides visual interest and scale and proportion to the structure. The new roof form will match the existing garage, which also has a gable-on hip roof.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes **n/a** **no**

If "no" select from below and explain:

- Consistent architectural concept
- Proportions appropriate to project and surrounding neighborhood
- Appropriate solid/void relationships

Entryway

yes **n/a** **no**

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes **n/a** **no**

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes **n/a** **no**

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes **n/a** **no**

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately

Paving Materials

yes **n/a** **no**

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Lighting, Equipment, Trash, and Drainage

yes **n/a** **no**

If “no” select from below and explain:

- Light fixtures appropriately located/avoid spillover and over-lit facades
- Light fixture design appropriate to project
- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes **n/a** **no**

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed addition will be consistent with the existing building and its overall architectural idea.
- The new entryway is properly scaled and well integrated into the overall building design. It is recessed, providing a sense of arrival to the structure.
- The new windows on the addition will be consistent with those at the existing house and appropriate to the overall design.
- The addition will be clad with smooth stucco, reinforcing the overall building design by keeping consistency with the existing house. A brown asphalt shingle roof will be installed to match the existing roof.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **Approval**. This determination is based on the implementation of the following recommended conditions:

Conditions

1. None.
-

Attachments

1. Reduced Plans
2. Photos of Existing Property
3. Location Map
4. Neighborhood Survey



Sheet Index (18)

ARCHITECTURAL (17):

A0.00 COVER SHEET
 A0.10 GENERAL NOTES
 A0.11 GENERAL ENERGY NOTES
 A0.12 CITY SITE PHOTOGRAPHS
 A0.13 CITY OF GLENDALE NOTES

A1.11 EXISTING SITE PLAN
 A1.12 PROPOSED SITE PLAN
 A1.13 NEIGHBORING SITE PLAN

A2.11 FIRST FLOOR DEMOLITION PLAN
 A2.12 ROOF DEMOLITION PLAN
 A2.13 FIRST FLOOR PROPOSED PLAN
 A2.14 ROOF PROPOSED PLAN

A3.11 NORTH + WEST EXISTING EXTERIOR ELEVATIONS
 A3.12 SOUTH EXISTING EXTERIOR ELEVATIONS

A4.11 SECTIONS

A5.11 ARCHITECTURAL DETAILS

A6.10 WINDOW SCHEDULE

CIVIL (01):

C.1 ARCHITECTURAL SURVEY

SYCAMORE RESIDENCE

[vicinity map]



[consultants]

DESIGNERS:
 CHELSEA DESIGN + CONSTRUCTION
 4529 ANGELES CREST HIGHWAY, SUITE 103
 LA CANADA, CA 91011
 (818) 949-4595
 WWW.CHELSEADDC.COM

STRUCTURAL ENGINEER:
 TAYLOR & SYFAN
 GARRETT MILLS, S.E.
 1276 E COLORADO BOULEVARD, UNIT 201
 PASADENA, CA 91106
 (626) 793-7438
 WWW.TAYLORSYFAN.COM

CONTRACTORS:
 CHELSEA DESIGN + CONSTRUCTION
 4529 ANGELES CREST HIGHWAY, SUITE 103
 LA CANADA, CA 91011
 (818) 949-4595
 WWW.CHELSEADDC.COM

TITLE 24:
 TITLE 24 DATA CORP
 633 MONTEREY TRAIL
 FRAZIER PARK, CA 93225
 (800) 237-8824
 WWW.TITLE24DATA.COM

[abbreviations]

ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
D	DRYER
DN.	DOWN
D.S.	DOWN SPOUT
(E)	EXISTING
EL.	ELEVATION
E.T.R.	EXISTING TO REMAIN
F.F.E.	FINISH FLOOR ELEVATION
F.G.	FINISH GRADE
F.P.	FIREPLACE
MAX.	MAXIMUM
MIN.	MINIMUM
MIN. CLR.	MINIMUM CLEARANCE
(N)	NEW
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
REQ'D.	REQUIRED
R/A	RETURN AIR
S.D.	SMOKE DETECTOR
T.B.D.	TO BE DETERMINED
T.O.C.	TOP OF CURB
T.O.F.	TOP OF FLOOR
T.O.P.	TOP OF PLATE
T.S.	TOP OF SLAB
U.O.N.	UNLESS OTHERWISE NOTED
U/S	UNDER SIDE
V.I.F.	VERIFY IN FIELD
W	WASHER
W/	WITH
WH	WATER HEATER

[project summary]

SCOPE OF WORK:
 ONE BEDROOM AND BATHROOM, 305 SQ. FT. TOTAL ADDITION TO AN EXISTING ONE-STORY, THREE BEDROOM SINGLE FAMILY RESIDENCE.

APPLICABLE CODES: 2016 CRC, CBC, CMC, CPC, CEC, CGBC, 2016 TITLE 24 ENERGY STANDARDS WITH STATE AND LOCAL AMENDMENTS

PROPERTY:

PROPERTY ADDRESS: 2828 SYCAMORE AVENUE GLENDALE, CA 91214

LEGAL DESCRIPTION: TRACT # 2192 LOT 49

ASSESSOR ID NUMBER: 5617-002-021

OWNER(S): ELIN AND TERRY TERRAZONE 2828 SYCAMORE AVENUE GLENDALE, CA 91214

ZONING:

ZONE: R-11

OCCUPANCY: R-3 - SINGLE FAMILY RESIDENTIAL

CONSTRUCTION TYPE: TYPE V-B (NON-RATED)
 U-PRIVATE ATTACHED GARAGE

LOT AREA: 10,878 SQ. FT.

MAX. LOT COVERAGE AREA: 40% x 10,878 SQ. FT = 4,351 SQ. FT.

MIN. LANDSCAPED AREA: 40% x 10,000 SQ. FT + 10% x 878 SQ. FT. = 4,087.8 SQ. FT.
(E) LANDSCAPED AREA: 5,804 SQ. FT. > 4,087.8 SQ. FT (ALL (E) LANDSCAPE TO REMAIN. NO (N) PROPOSED LANDSCAPE)

MAXIMUM FLOOR AREA: 40% x 10,878 SQ. FT = 4,351 SQ. FT. (GARAGE NOT INCLUDED < 500 SQ. FT.)

MAXIMUM BUILDING HEIGHT: 35 FEET

SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT	25'-0"	11'-9 1/2"	(EXISTING)
INTERIOR	4'-0"	14'-3 1/2"	5'-6 1/2"

BUILDING AREA ANALYSIS:

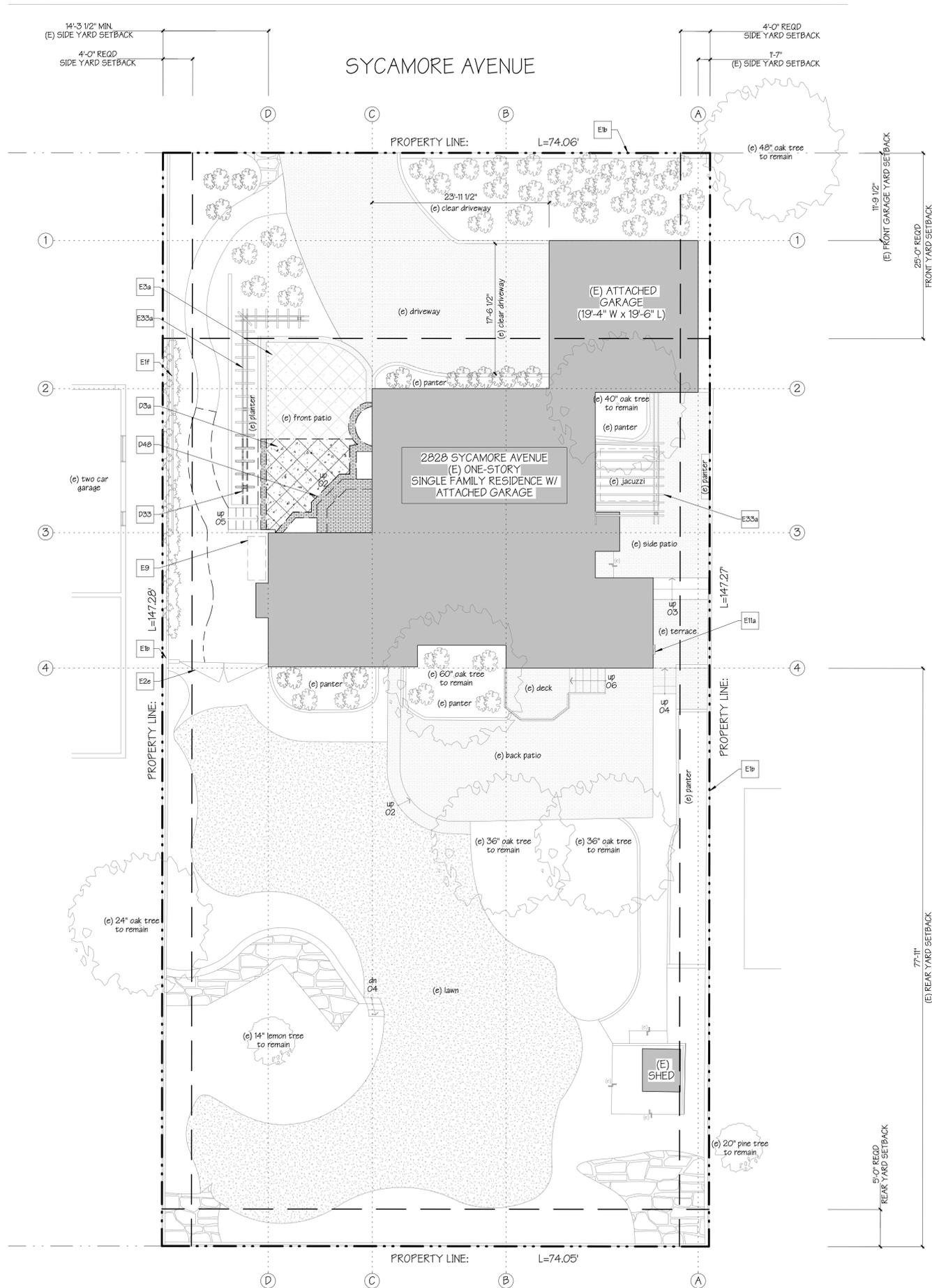
	EXISTING (SQ. FT.)	DEMO (SQ. FT.)	ADDITION (SQ. FT.)	TOTAL (SQ. FT.)
FIRST FLOOR	1,422	-0	+305	1,727
TOTAL LIVING	1,422	-0	+305	1,727
GARAGE	412	-0	+0	412
TOTAL FLOOR AREA	1,834	-0	+0	2,139
LOT COVERAGE (x/10,878)	16.86%			19.66%



SYCAMORE RESIDENCE
2828 SYCAMORE AVENUE GLENDALE CA 91214

COVER SHEET

PL.02
 2020 MAR 02
A0.00



Legend

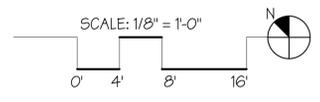
- AREA OF (E) FIRST FLOOR
- ELEVATION SYMBOL
- DETAIL SYMBOL
- DETAIL SYMBOL
- SECTION SYMBOL
- (E) SITE DRAINAGE TO REMAIN
- OBJECTS TO ALIGN
- DIMENSION LINE
- CENTER LINE
- PROPERTY LINE
- SETBACK LINE
- KEYNOTE
- LANDSCAPE TO REMAIN

NO TREES TO BE REMOVED

OAK TREES LOCATED IN THE BACKYARD ARE INACCESSIBLE TO CONSTRUCTION ACTIVITY AND WILL RECEIVE NO IMPACT

Keynotes

E1b	(E) WALL, MASONRY BLOCK TO REMAIN
E1f	(E) FENCE, WOOD TO REMAIN
E2e	(E) GATE, WOOD PEDESTRIAN TO REMAIN
E3a	(E) HARDSCAPE TO REMAIN
E9	(E) TRASH LOCATION TO BE RELOCATED
E11a	(E) ELECTRICAL PANEL + METER TO REMAIN
E33a	(E) PORTION OF TRELLIS TO REMAIN
D3a	(E) HARDSCAPE TO BE DEMOLISHED
D33	(E) PORTION OF TRELLIS TO BE DEMOLISHED
D4B	(E) STAIR/STEP TO BE DEMOLISHED

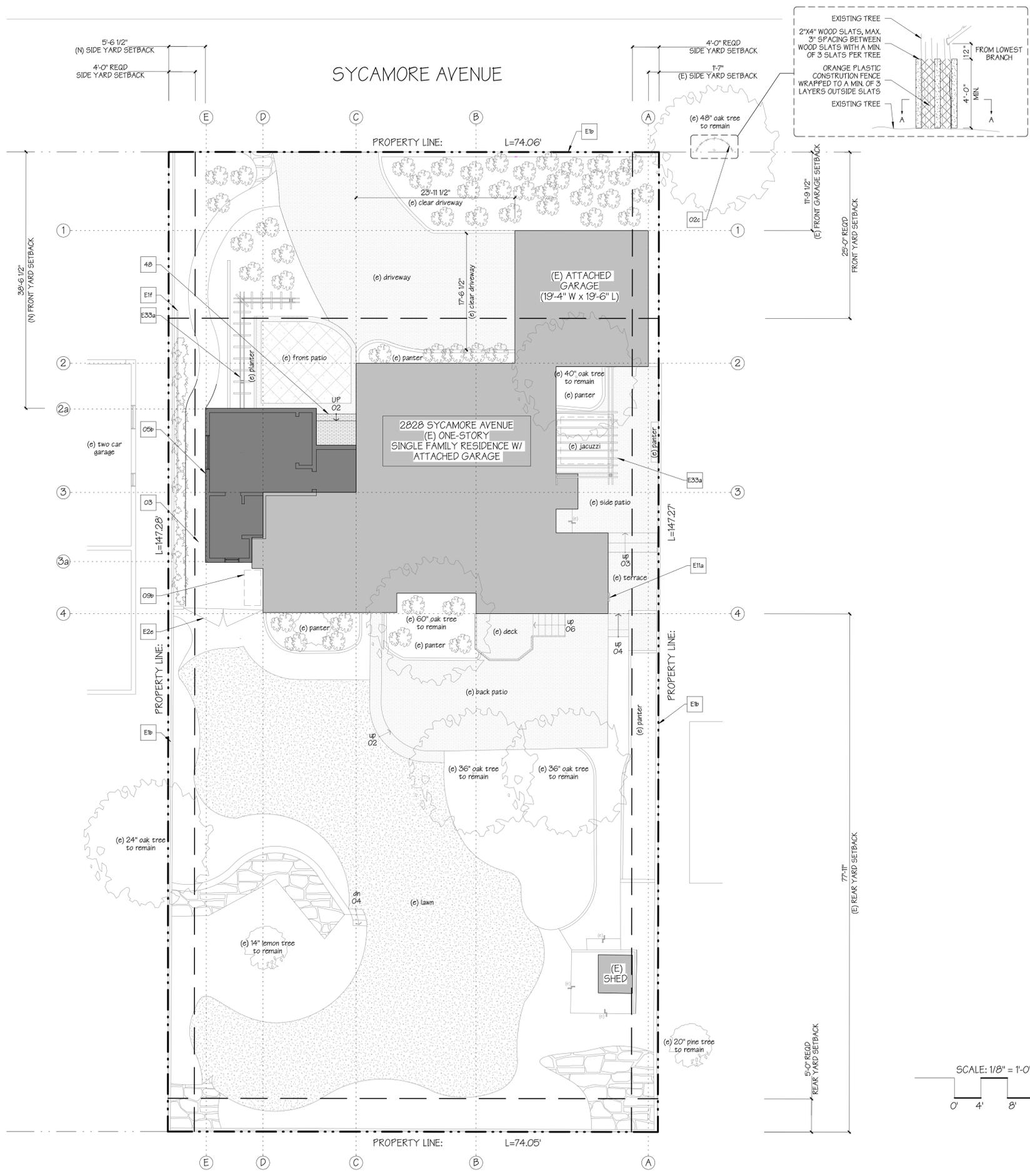


EXISTING SITE PLAN

SYCAMORE RESIDENCE

2828 SYCAMORE AVENUE GLENDALE CA 91214

THESE DRAWINGS, SPECIFICATIONS, IDEAS, AND ARRANGEMENTS PRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CHELSEA DESIGN AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA DESIGN AND CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



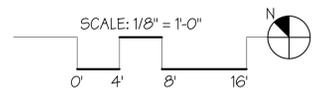
- Legend**
- AREA OF (E) FIRST FLOOR
 - AREA OF FIRST FLOOR ADDITION
 - ELEVATION SYMBOL
 - DETAIL SYMBOL
 - DETAIL SYMBOL
 - SECTION SYMBOL
 - (E) SITE DRAINAGE TO REMAIN
 - OBJECTS TO ALIGN
 - DIMENSION LINE
 - CENTER LINE
 - PROPERTY LINE
 - SETBACK LINE
 - KEYNOTE
 - LANDSCAPE TO REMAIN

NO TREES TO BE REMOVED

OAK TREES LOCATED IN THE BACKYARD ARE INACCESSIBLE TO CONSTRUCTION ACTIVITY AND WILL RECEIVE NO IMPACT

TREE PROTECTION SIGN REQUIRED. SEE AO.13

- Keynotes**
- E1b (E) WALL, MASONRY BLOCK TO REMAIN
 - E1f (E) FENCE, WOOD TO REMAIN
 - E2c (E) GATE, WOOD PEDESTRIAN TO REMAIN
 - E11a (E) ELECTRICAL PANEL + METER TO REMAIN
 - E33a (E) PORTION OF TRELLIS TO REMAIN
 - O2c TEMPORARY PROTECTIVE TREE FENCING DURING DURATION OF CONSTRUCTION
 - O3 (N) HARDSCAPE
 - O5b (N) AREA OF ADDITION
 - O9b (N) TRASH LOCATION
 - 4B (N) STAIR/STEP

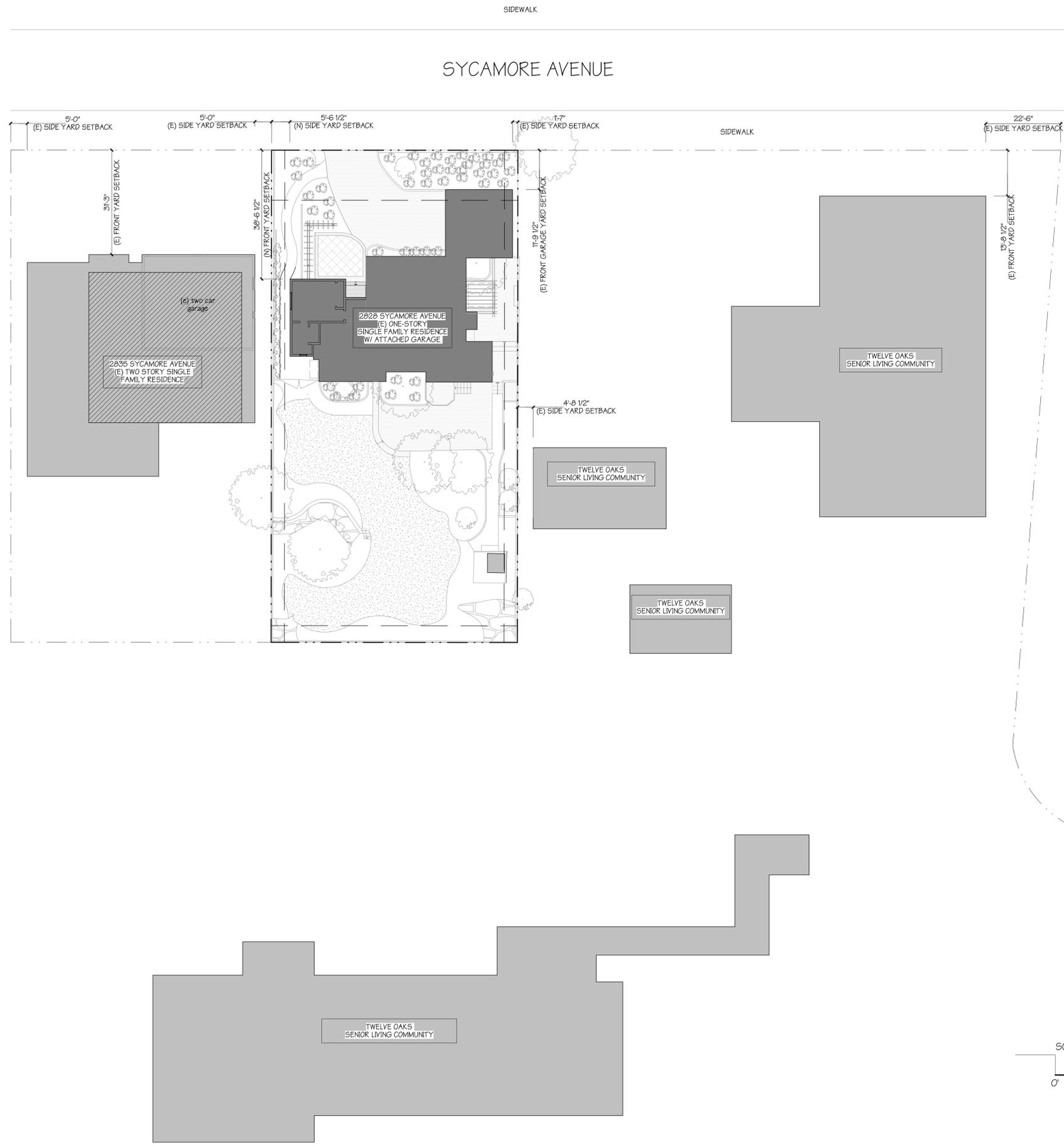


PROPOSED SITE PLAN

SYCAMORE RESIDENCE

2828 SYCAMORE AVENUE GLENDALE CA 91214

THESE DRAWINGS, SPECIFICATIONS, IDEAS, AND ARRANGEMENTS PRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CHELSEA DESIGN AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA DESIGN AND CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



Legend

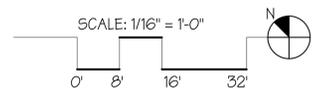
- NEIGHBORING FIRST FLOOR FOOTPRINT
- NEIGHBORING SECOND FLOOR FOOTPRINT
- PROPOSED PROJECT FOOTPRINT
- 3'-0" DIMENSION LINE
- PROPERTY LINE
- SETBACK LINE
- LANDSCAPE TO REMAIN

NO TREES TO BE REMOVED

OAK TREES LOCATED IN THE BACKYARD ARE INACCESSIBLE TO CONSTRUCTION ACTIVITY AND WILL RECEIVE NO IMPACT

TREE PROTECTION SIGN REQUIRED. SEE AO.13

Keynotes



NEIGHBORING SITE

SYCAMORE RESIDENCE

PLAN

2828 SYCAMORE AVENUE GLENDALE CA 91214

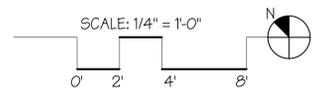
THESE DRAWINGS, SPECIFICATIONS, IDEAS, AND ARRANGEMENTS PRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CHELSEA DESIGN AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA DESIGN AND CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**FIRST FLOOR
PROPOSED PLAN**

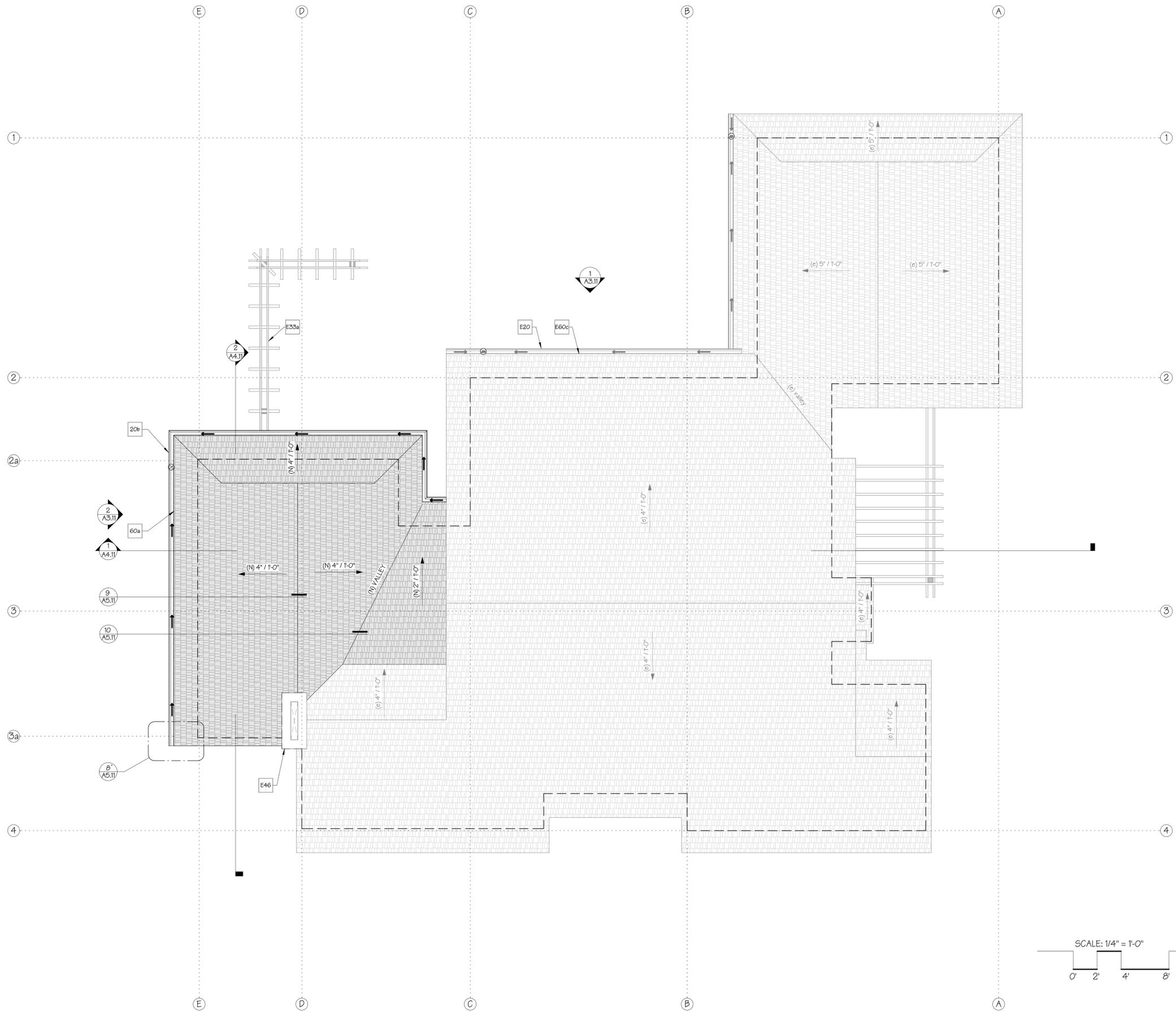
**SYCAMORE RESIDENCE
2828 SYCAMORE AVENUE GLENDALE CA 91214**

[legend]	
(e) bath	EXISTING ROOM NAME
ENTRY A7.113	(N) ROOM NAME / INTERIOR ELEVATION SHEET NUMBER
[Grey Box]	AREA OF PROPOSED WORK
[Grey Line]	(E) WALL TO REMAIN
[Black Line]	(N) WALL
[Dashed Line]	(E) DROPPED HEADER TO REMAIN
[Dashed Line]	(N) DROPPED HEADER
[Circle with X]	(N) WINDOW SYMBOL
[Circle with 100]	(N) DOOR SYMBOL
[Circle with X/XXX]	ELEVATION SYMBOL
[Circle with X/XXX]	SECTION SYMBOL
[Bracket]	OBJECTS TO ALIGN
[Box with 01]	KEYNOTE
[Circle with SD/CO]	SMOKE DETECTION & CARBON MONOXIDE DETECTION SYSTEMS
(V) [Hatched Box]	(N) CRAWL SPACE WALL VENT
[Square]	EXHAUST FAN <small>FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL</small>

[keynotes]	
E21	(E) DOWNSPOT TO REMAIN
E33a	(E) PORTION OF TRELLIS TO REMAIN
21b	(N) DOWNSPOT TO MATCH (E)
38d	(N) LOCATION OF (E) DOOR
48	(N) STAIR/STEP

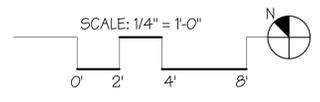


THESE DRAWINGS, SPECIFICATIONS, IDEAS, AND ARRANGEMENTS PRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CHELSEA DESIGN AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA DESIGN AND CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



- [legend]**
- FIRST FLOOR BUILDING LINE
 - ▨ AREA OF PROPOSED WORK
 - ⊙ EXISTING DOWN SPOUT
 - ⊙ NEW DOWN SPOUT
 - (e) 3"/12" DIRECTION & SLOPE OF (E) ROOF
 - (N) 3"/12" DIRECTION & SLOPE OF (N) ROOF
 - DIRECTION OF GUTTER SLOPE
 - X/AXXX ELEVATION SYMBOL
 - Y/AXXX SECTION SYMBOL
 - [] OBJECTS TO ALIGN
 - 01 KEYNOTE

- [keynotes]**
- E20 (E) GUTTER TO REMAIN
 - E33a (E) PORTION OF TRELLIS TO REMAIN
 - E46 (E) CHIMNEY WITH SPARK ARRESTOR TO REMAIN
 - E60c (E) ROOF TO REMAIN
 - 20b (N) GUTTER TO MATCH (E)
 - 60a (N) CLASS A FIRE-RETARDANT ROOF TO MATCH (E)



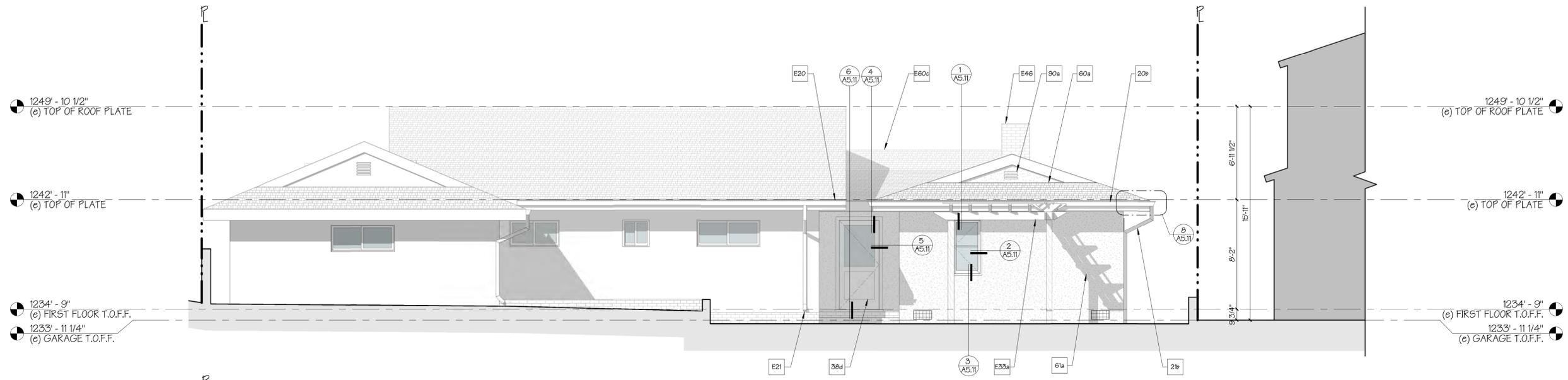
ROOF PROPOSED
SYCAMORE RESIDENCE
PLAN
2828 SYCAMORE AVENUE GLENDALE CA 91214

PL 02
 2020 MAR 02
A2.14

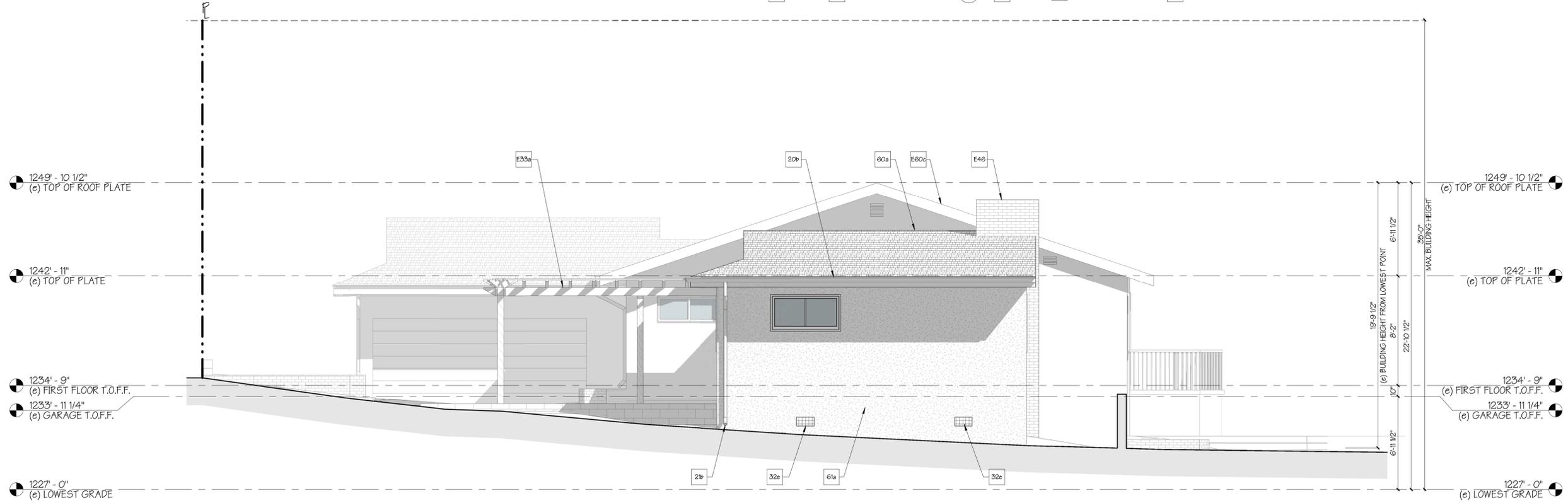
THESE DRAWINGS, SPECIFICATIONS, IDEAS, AND ARRANGEMENTS PRESENTED, THEREBY USE AND SHALL REMAIN THE PROPERTY OF CHELSEA ARCHITECTURE AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA ARCHITECTURE AND CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**NORTH + WEST EXISTING
EXTERIOR ELEVATIONS**
SYCAMORE RESIDENCE
2828 SYCAMORE AVENUE GLENDALE CA 91214

THESE DRAWINGS, SPECIFICATIONS, IDEAS, AND ARRANGEMENTS PRESENTED, THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CHELSEA DESIGN AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA DESIGN AND CONSTRUCTION. USUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



1 [north exterior elevation]



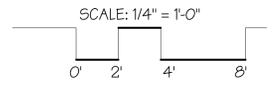
2 [west exterior elevation]

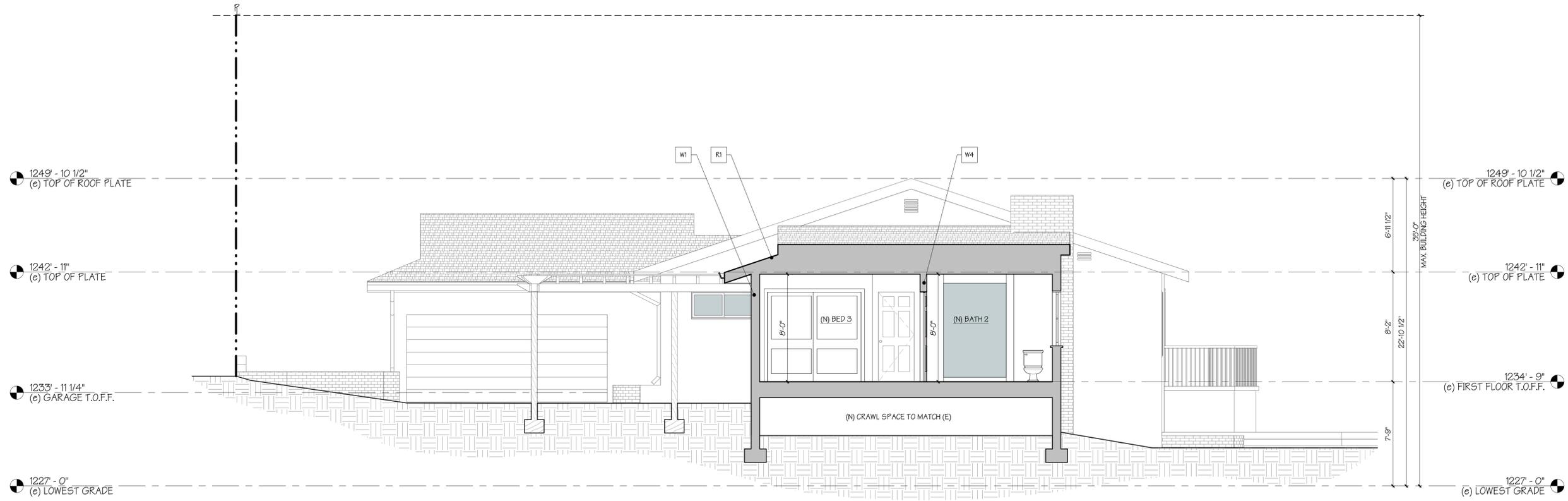
Legend

	DETAIL SYMBOL
	DETAIL SYMBOL
	KEYNOTE
	PROPERTY LINE
	OBJECTS TO ALIGN
	DIMENSION LINE
	INSULATION
	EXISTING STRUCTURE TO REMAIN

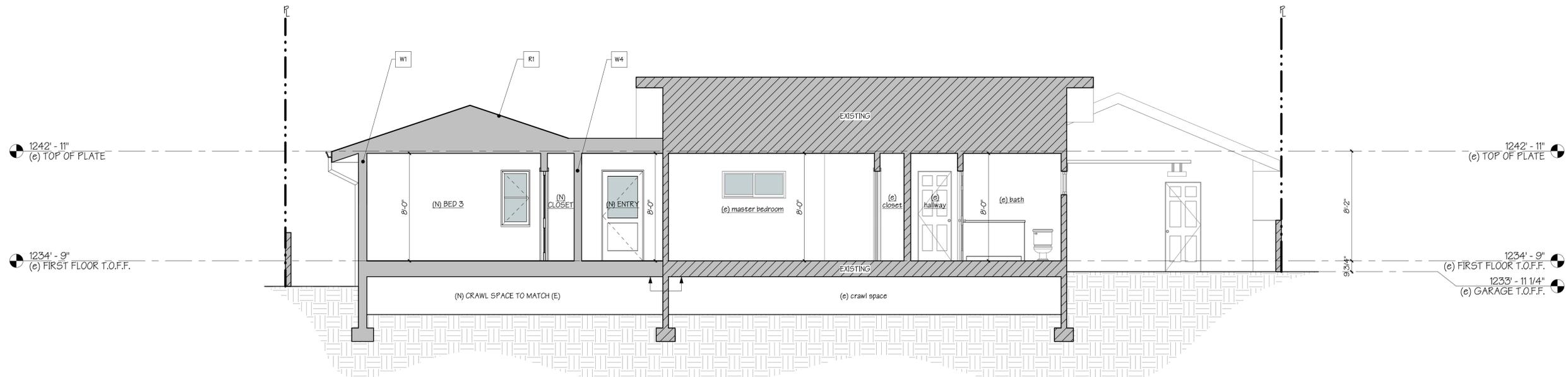
keynotes

E20	(E) GUTTER TO REMAIN	90a	(N) VENTILATION, ATTIC
E21	(E) DOWNSPOT TO REMAIN		
E33a	(E) PORTION OF TRELLIS TO REMAIN		
E46	(E) CHIMNEY WITH SPARK ARRESTOR TO REMAIN		
E60c	(E) ROOF TO REMAIN		
20b	(N) GUTTER TO MATCH (E)		
21b	(N) DOWNSPOUT TO MATCH (E)		
32e	(N) CRAWL SPACE WALL VENT (16" X 8" MIN)		
38d	(N) LOCATION OF (E) DOOR		
60a	(N) CLASS A FIRE-RETARDANT ROOF TO MATCH (E)		
61a	(N) SMOOTH STUCCO TO MATCH (E)		





2 [longitudinal section]



1 [latitudinal section]

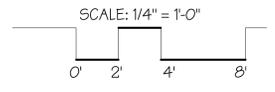
Legend

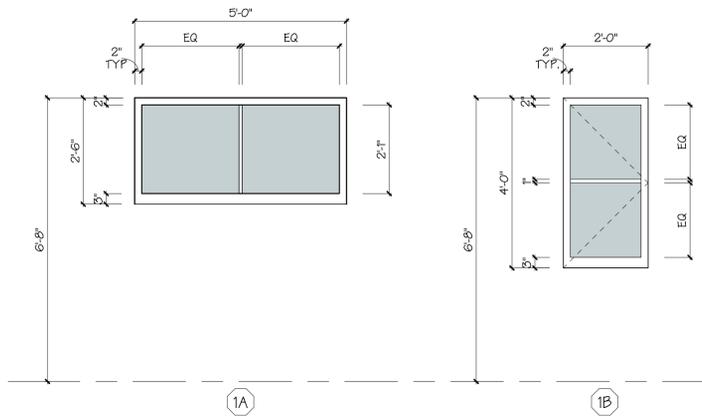
	DETAIL SYMBOL
	DETAIL SYMBOL
	KEYNOTE
	PROPERTY LINE
	OBJECTS TO ALIGN
	DIMENSION LINE
	INSULATION
	EXISTING STRUCTURE TO REMAIN

keynotes

R1	SLOPED ROOF ASSEMBLY (TYP): (N)-Class "A" Fire-Retardant Roof To Match (e) (N)-2 Layers Of 30# (Min.) Roofing Paper (N)-Plywood Per Structural Drawings (N)-Wood Rafters Per Structural Drawings (N)-R-30 Insulation Per Title 24 Cert. Of Compliance (N)-Ceiling Joists Per Structural Drawings (N)-5/8" Drywall Ceiling (N)-Ceiling Finish Per Interior Finish Schedule
W1	EXTERIOR WALL ASSEMBLY (TYP): (N)-Stucco To Match (e) (N)-House Wrap (N)-Plywood Per Structural Drawings (N)-Wood Studs Per Structural Drawings (N)-R-19 Insulation Per Title 24 Cert. Of Compliance (N)-5/8" Drywall (N)-Interior Finish Per Interior Finish Schedule

W4	INTERIOR WALL ASSEMBLY (TYP): (N)-Interior Finish Per Interior Finish Schedule (N)-5/8" Drywall (N)-Plywood Per Structural Drawings (N)-Wood Studs As Shown On Arch. Plans (Per Structural Drawings If Bearing) (N)-Interior Finish Per Interior Finish Schedule (N) Walls Above Bathtubs and Showers To Be Finished With Non-Absorbent Surface To A Height Of 6ft. Above Floor, No Green Board
----	---





general notes

1. ALL GLASS TO BE ENERGY EFFICIENT W/ DOUBLE GLAZING & LOW EMISSIVITY COATING (LOW-E) & SIMULATED-DIVIDED
2. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED:
 - A. ALL INGRESS AND EGRESS DOORS
 - B. PANELS IN SLIDING OR SWINGING DOORS
 - C. WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR
 - D. WITHIN 5' OF STANDING SURFACE
 - E. IN WALL ENCLOSING STAIRWAY LANDING
3. REFER TO FLOOR PLANS FOR CORRECT SWING.
4. ALL WINDOWS TO BE ANDERSON OR APP. EQ.
5. SUBMIT HARDWARE ORDER TO DESIGNER FOR REVIEW PRIOR TO PLACING ORDER.
6. CONTRACTOR TO VERIFY JAMB SIZES ON SITE.
7. WEATHER STRIP W/ PEMKO Q-LON TENSION SEAL OR EQUIVALENT. CONFIRM COLOR W/ DESIGNER.

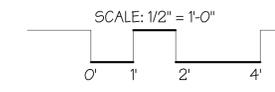
door notes

8. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" AND 3" IN WIDTH.
9. PANEL DESIGN: ALL DOORS PER DOOR SCHEDULE'S PANEL DESIGN
 - A. INTERIOR WOOD DOORS TO BE TRUSTILE 15000 FLAT PANEL WITH BEVEL STICKING, OR APP. EQ.
 - B. EXTERIOR WOOD DOORS TO BE CUSTOM, ALL WOOD, T.M. COBB OR APP. EQ.
10. DOORSTOPS ON WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE PIECE CONSTRUCTION OR JOINED BY A RABBIT.
11. THRESHOLDS ON ALL EXTERIOR DOORS:
 - A. TO MATCH AND EXTEND INTERIOR WOOD FLOOR AND BE A MIN. OF 1-3/4" THICK.
 - B. TO BE STONE WHEN INTERIOR FLOOR IS TILE. CONFIRM COLOR WITH DESIGNER.
12. HARDWARE: DOOR HARDWARE AS PER SPECIFICATIONS OR HARDWARE SCHEDULE. HINGES TO HAVE SQUARE CORNERS WITH BALL-TIP AND FLAT HEAD SLOTTED SCREWS. FINISH TO BE DETERMINED.
13. KEY ALL DOOR LOCKS TO HOUSE KEY.

window notes

14. OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.
15. ALL WINDOW SILLS TO EXTEND PAST CASING 1", TYP. UNLESS OTHERWISE DETAILED. CONTRACTOR TO PROVIDE MOCK-UP
16. HARDWARE: WINDOW HARDWARE AS PER SPECIFICATIONS OR HARDWARE SCHEDULE. HINGES TO HAVE SQUARE CORNERS WITH BALL-TIP AND FLAT HEAD SLOTTED SCREWS. FINISH PER WINDOW HARDWARE SCHEDULE. ALL CASEMENT & AWNING WINDOWS TO HAVE LATCHES (NO CRANKS)
17. PROVIDE SCREENS ON SELECT VINYLE WINDOWS - CHARCOAL SCREENS MICRO MESH, PER ANDERSON. CONFIRM FRAME COLOR, LOCATION, AND TYPE WITH DESIGNER PRIOR TO ORDER.
18. ALL DOUBLE HUNG WINDOWS TO HAVE ACME BALANCES.

WINDOW SCHEDULE										
TYPE	LOCATION	QUANTITY	DIMENSIONS		HEAD HEIGHT	OPERATION	FRAME MATERIAL	HARDWARE	NOTES	
			W	H						
(e) FIRST FLOOR T.O.F.F.										
1A	(N) BED 3	1	5' - 0"	2' - 6"	6' - 8"	FIXED	VINYL	T.B.D.	TEMPERED GLASS, FRAME COLOR TO MATCH (E)	
1B	(N) BATH 2	1	2' - 0"	4' - 0"	6' - 8"	OUTSWING CASEMENT	VINYL	T.B.D.	TEMPERED GLASS, FRAME COLOR TO MATCH (E)	
1B	(N) BED 3	1	2' - 0"	4' - 0"	6' - 8"	OUTSWING CASEMENT	VINYL	T.B.D.	TEMPERED GLASS, EGRESS 32" SILL, FRAME COLOR TO MATCH (E)	



SYCAMORE RESIDENCE
2828 SYCAMORE AVENUE GLENDALE CA 91214

WINDOW SCHEDULE

THESE DRAWINGS, SPECIFICATIONS, DEAS, AND ARRANGEMENTS PRESENTED, THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CHELSEA DESIGN AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA DESIGN AND CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



3



2



1



6



5

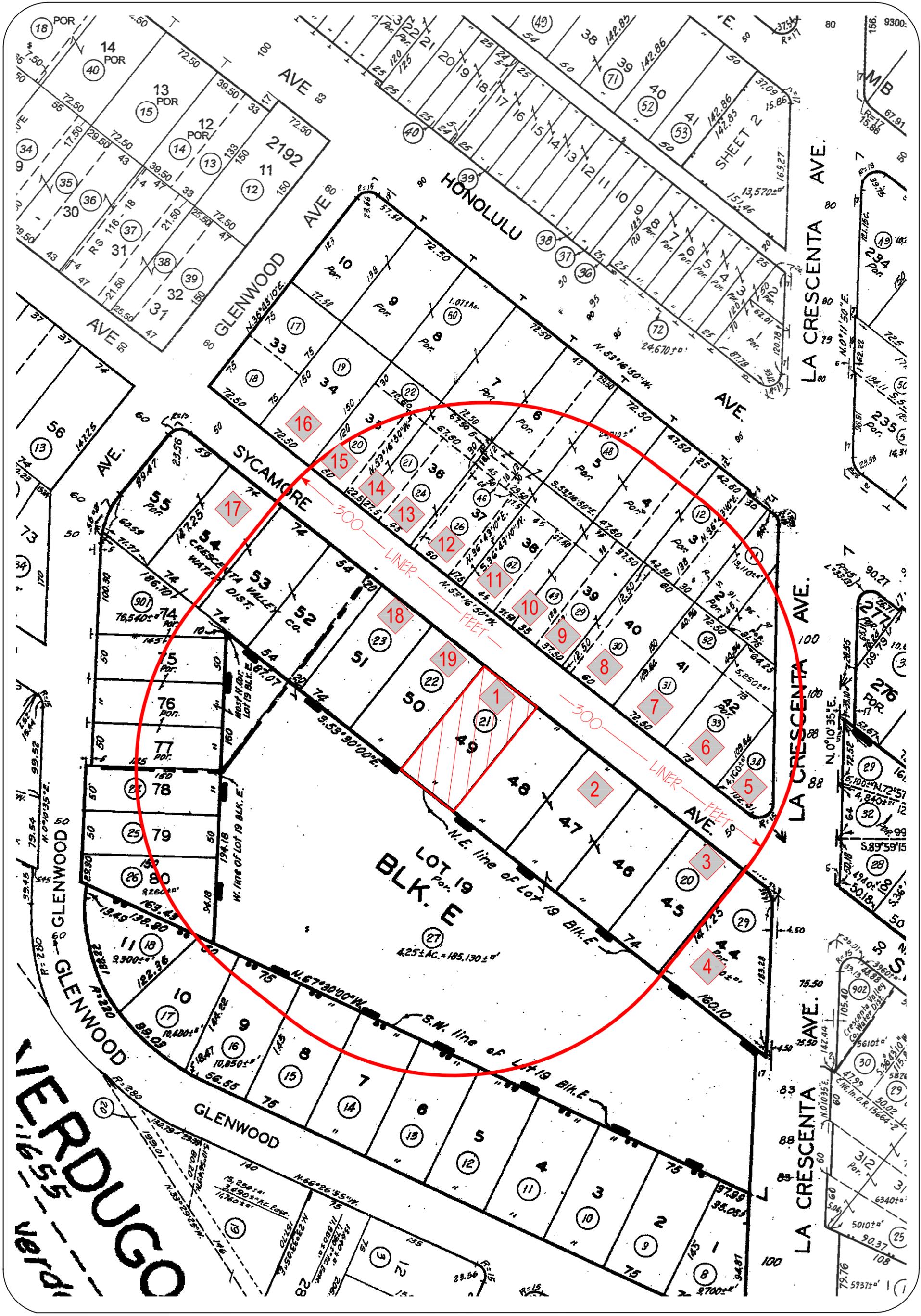


4



SCALE: 3/64" = 1'-0"

THESE DRAWINGS, SPECIFICATIONS, IDEAS, AND ARRANGEMENTS PRESENTED, THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CHELSEA DESIGN AND CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CHELSEA DESIGN AND CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



More Services

SUE MORENO
(626) 350-5944

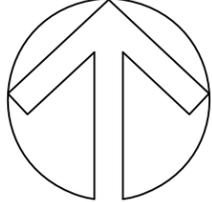
OWNERSHIP / OCCUPANTS LIST
RADIUS MAPS - LAND USE - PLANS
MUNICIPAL COMPLIANCE CONSULTING

12106 LAMBERT AVE. EL MONTE, CA 91732 - FAX (626) 350-1532

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.
20-039

LOCATION / SURVEY MAP



SCALE 1" = 100'

PROJECT INFORMATION

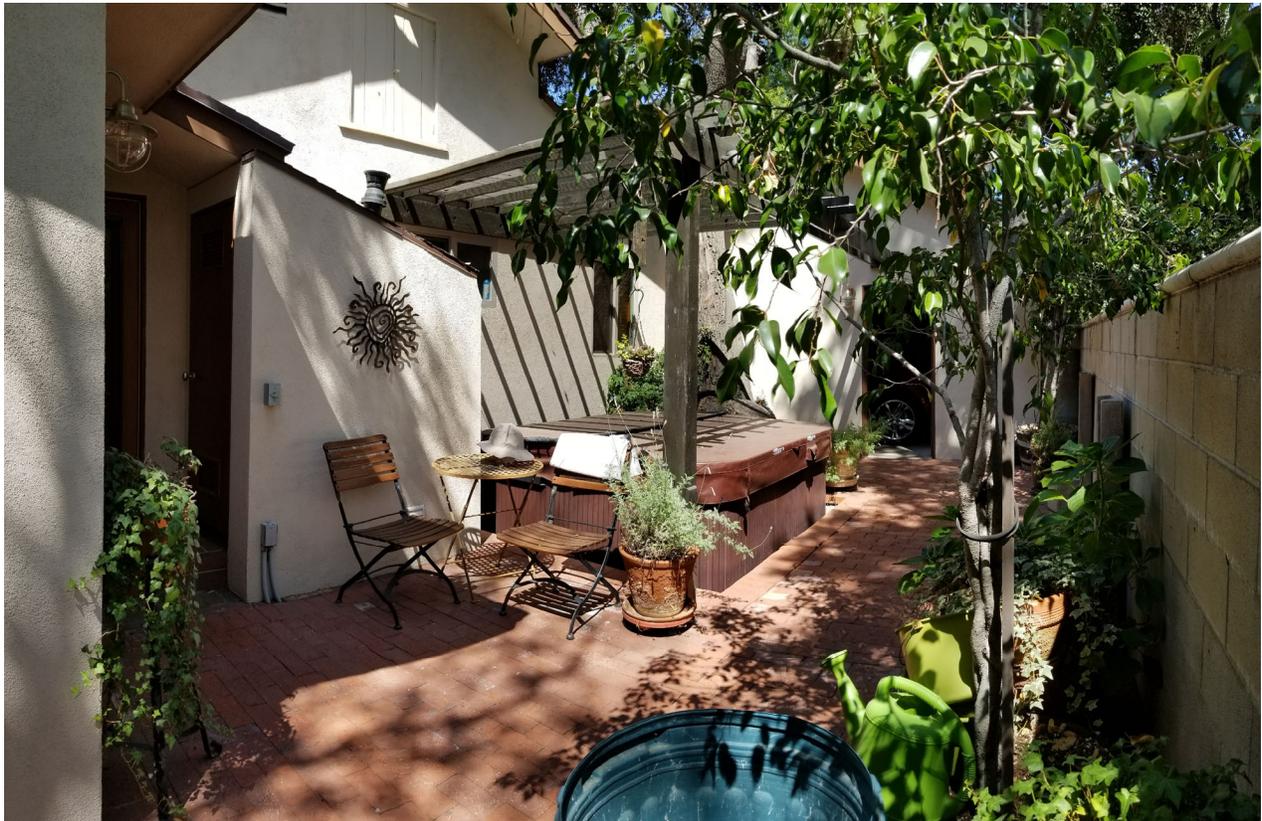
2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 1 OF 12



1

SUBJECT PROPERTY: 2828 SYCAMORE AVE
NORTH ELEVATION



1

SUBJECT PROPERTY: 2828 SYCAMORE AVE
EAST ELEVATION

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 2 OF 12



1

SUBJECT PROPERTY: 2828 SYCAMORE AVE
SOUTH ELEVATION



1

SUBJECT PROPERTY: 2828 SYCAMORE AVE
WEST ELEVATION

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 3 OF 12



2

2820 SYCAMORE AVE



2

2820 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 4 OF 12



3

2806 SYCAMORE AVE



4

2800 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 5 OF 12



5

2809 SYCAMORE AVE



6

2815 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 6 OF 12



7

2819- 21 SYCAMORE AVE



8

2825-27 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 7 OF 12



9

2831 SYCAMORE AVE



10

2835 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 8 OF 12



11

2839 SYCAMORE AVE



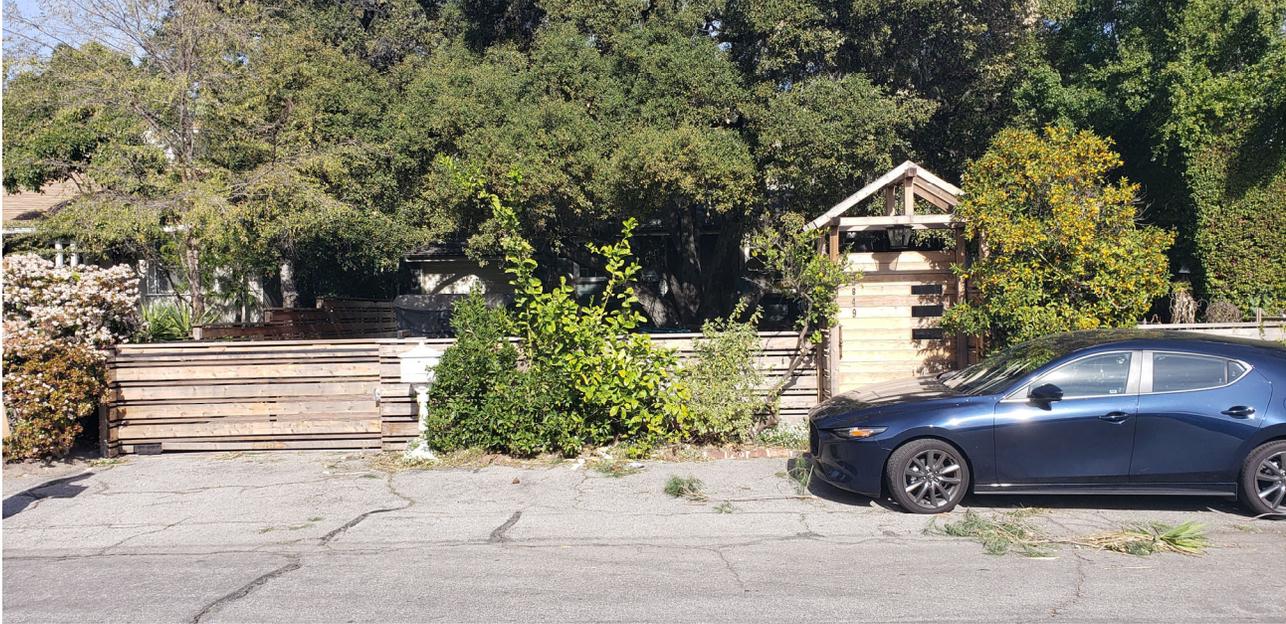
12

2843 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 9 OF 12



13

2849 SYCAMORE AVE



14

2853 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 10 OF 12



15

2857 SYCAMORE AVE



16

2861 SYCAMORE AVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 11 OF 12



17

3730 GLENWOOD AVE
(VIEW FROM SYCAMORE AVE)



2820 SYCAMORE AVE
(3751 LA CRESCENTA AVE) ACCESS DRIVE

PROJECT INFORMATION

2828 SYCAMORE AVE
GLENDALE, CA.

SHEET 12 OF 12



18

2842 SYCAMORE AVE



19

2838 SYCAMORE AVE