

**City of Glendale
Community Development Department
Design Review Staff Report – Multi-Family**

Meeting/Decision Date: June 8, 2020	Address: 737 South Adams Street
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5675-019-003
Case Number: PDR1924574	Applicant: Jesus Valdiviezo
Prepared By: Danny Manasserian, Planning Associate	Owner: Jesus Valdiviezo

Project Summary

The applicant is proposing to construct a new 1,101 SF, two-story, residential unit with an attached 440 SF two-car garage at the rear of a 7,500 SF lot. The existing property contains a 1,644 SF house with an attached three-car garage. The property is located in the R-2250 (Medium Density Residential) zone.

The proposed work includes:

- Constructing a new 1,101 SF, two-story, residential unit with an attached 440 SF two-car garage at the rear of the property. The new unit proposes 297 square feet on the first floor and 804 square feet on the second floor with an attached 440 square-foot, two-car garage.

Existing Property/Background

The site is currently developed with a two-story 1,644 square-foot single-family house and an attached 625 square-foot three-car garage. There is an existing driveway along the south side of the property, which provides access to the existing three-car garage.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R2250 - Medium Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

- The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because .
- The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines because this project involves the addition of a second dwelling unit.

- The project is exempt from CEQA review as a Class 32 "Infill Development" exemption pursuant to Section 15332 of the State CEQA Guidelines because .
- Other:

Site Slope and Grading

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

- yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

Yards and Usable Open Space

- yes n/a no

If "no" select from below and explain:

- Outdoor space integrated into site design and acknowledges adjacent development
- Common space easily accessible from all units
- Appropriate separation/screening from residential units
- Discrete seating and amenity areas allow for multiple users

Garage Location and Driveway

- yes n/a no

If "no" select from below and explain:

- Garage fully integrated into overall structure
- Driveway and curb-cut widths minimized
- Grade-level garages and parking, if allowed, are appropriately screened from the street
- Decorative paving complements building design
- Stairs and lifts to subterranean garages incorporated into the design of the project

Landscape Design

- yes n/a no

If "no" select from below and explain:

- Complementary to building design
- Maintain existing trees when possible
- Provide landscaping adjacent to driveways and garages
- 20% of planting at above-grade common spaces is within 9 inches of finish floor
- Above-grade tree wells are at least 6 inches higher than box size of tree

Applicant shall submit a detailed landscape plan showing perimeter drought tolerant plants, trees, and permeable pavers in development of the landscape area around the new second unit prior to final approval.

Walls and Fences

yes n/a no

If "no" select from below and explain:

- Appropriate style/color/material for building design
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Equipment, Trash, and Drainage

yes n/a no

If "no" select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- All screening integrated with overall building and/or landscape design
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Lighting

yes n/a no

If "no" select from below and explain:

- Light fixtures are appropriate to the building and/or landscape design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

Overall the lighting plan is acceptable however one light fixture should be removed at the second floor balcony to avoid over-lighting. Also, the flood light fixture shall be replaced with a shielded fixture or the fixture used throughout the project.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The new two-story residential dwelling unit at the rear of the property will have an attached two-car garage on the ground floor. This garage will serve the new residential unit and the existing three-car garage will serve the front house. No changes are proposed to the building footprint for the existing front unit. The new unit will be integrated with the existing site conditions and relate to the existing front dwelling and surrounding properties in the neighborhood.
- The new residential unit is designed with a somewhat rectangular building footprint, which is appropriately setback from all property lines to reflect existing neighborhood setbacks.
- The new unit will have a Juliet balcony on the second floor above the garage. The balcony is over 30 feet away from the front unit. The balcony respects the privacy of the existing front unit and adjacent properties and is appropriately setback from the side property lines.
- Access to both garages for the front and rear unit will be from the existing driveway located on the north side of the property, which is consistent with the existing site conditions and other properties in the neighborhood.
- Overall, the placement of the new building at the rear of the site is appropriate because it respects the front house and adjoining properties through setbacks as recommended by the Comprehensive Guidelines. Also, areas not occupied by buildings will be landscaped with the exception of the driveway and walkways.

- A condition of approval is the elimination of one light fixture at the second floor balcony and replacement of the flood lighting fixture with a shielded fixture or use of the general lighting fixture being used. Location and final fixture selection is to be approved by staff.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes n/a no

If "no" select from below and explain:

- Relates to predominant pattern through appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The roof design, building mass and proportions are consistent with the style of the building, the existing front unit and the neighborhood context.

- The new unit at the rear will provide appropriate setbacks to avoid being overbearing towards adjacent properties.
- The building's two-story mass and overall height of 22'-2" fits well with the existing front house and the surrounding one and two-story buildings in the neighborhood.
- The new unit is located behind the existing front unit, which is appropriately setback from the street. Having this generous setback appropriately pushes the taller new mass toward the rear of the site and will respect the unit at the front and adjoining properties.
- The facades of the new unit minimize a boxy profile through the use of varying forms and offsets. A mix of materials, stucco and horizontal siding, in complementary colors with white trim integrate well with the existing front house and the neighborhood context.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

If "no" select from below and explain:

- Design is compatible with neighborhood context
- Design is stylistically consistent
- Employs consistent vocabulary of forms and materials while expressing architectural variety
- Cladding materials and

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design
- Overall window pattern appropriate to style
- Window operation appropriate to style
- Recessed/flush window appropriate to style and/or location
- Openings are well detailed

Privacy

yes n/a no

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/roof decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If "no" select from below and explain:

- Textures and colors reinforce design

- High-quality materials, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

Paving Materials

yes n/a no

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Permeable pavers shall be used in new development and a sample provided for staff approval.

Ancillary Structures

yes n/a no

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates, fences, and/or walls complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The traditional design of the new unit is appropriate to the neighborhood.
- The proposed siding will match the existing front house (front house to be painted to match siding and window trim of new unit) and complement the white accent color depicted on the windows and fascia. Overall, the proposed color palette for the new unit integrates well with other buildings in the neighborhood, which are painted with neutral colors.
- All windows will be vinyl, recessed with a wood sill and frame, and have a wood trim painted white to match the existing windows of the front house. As proposed, the windows are appropriate to the design and the neighborhood in terms of their operation and overall appearance.
- The roof material includes brown composition shingle, matching the front house.
- The roof of the new unit is designed with various hipped forms, which are appropriate for the traditional style proposed.
- Staff is requiring the use of permeable pavers in the new landscaped areas and a sample provided for staff review and approval.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

Conditions

1. Applicant shall submit a detailed landscape plan, showing perimeter drought tolerant plants and trees. Permeable pavers shall be used at paved areas in development of the landscape area around the new second unit for staff review and applicant shall submit a sample for approval.
2. Overall the lighting plan is acceptable however one light fixture should be removed at the second floor balcony to avoid over-lighting. Also, the flood light fixture shall be replaced with a shielded fixture or the fixture used throughout the project.

Attachments

1. Plans

2. Photos of Existing Property and Surrounding Properties/Vicinity Survey
3. Location Map



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 RESIDENCE
 JESUS & ELIZABETH
 VALDIVIEZO

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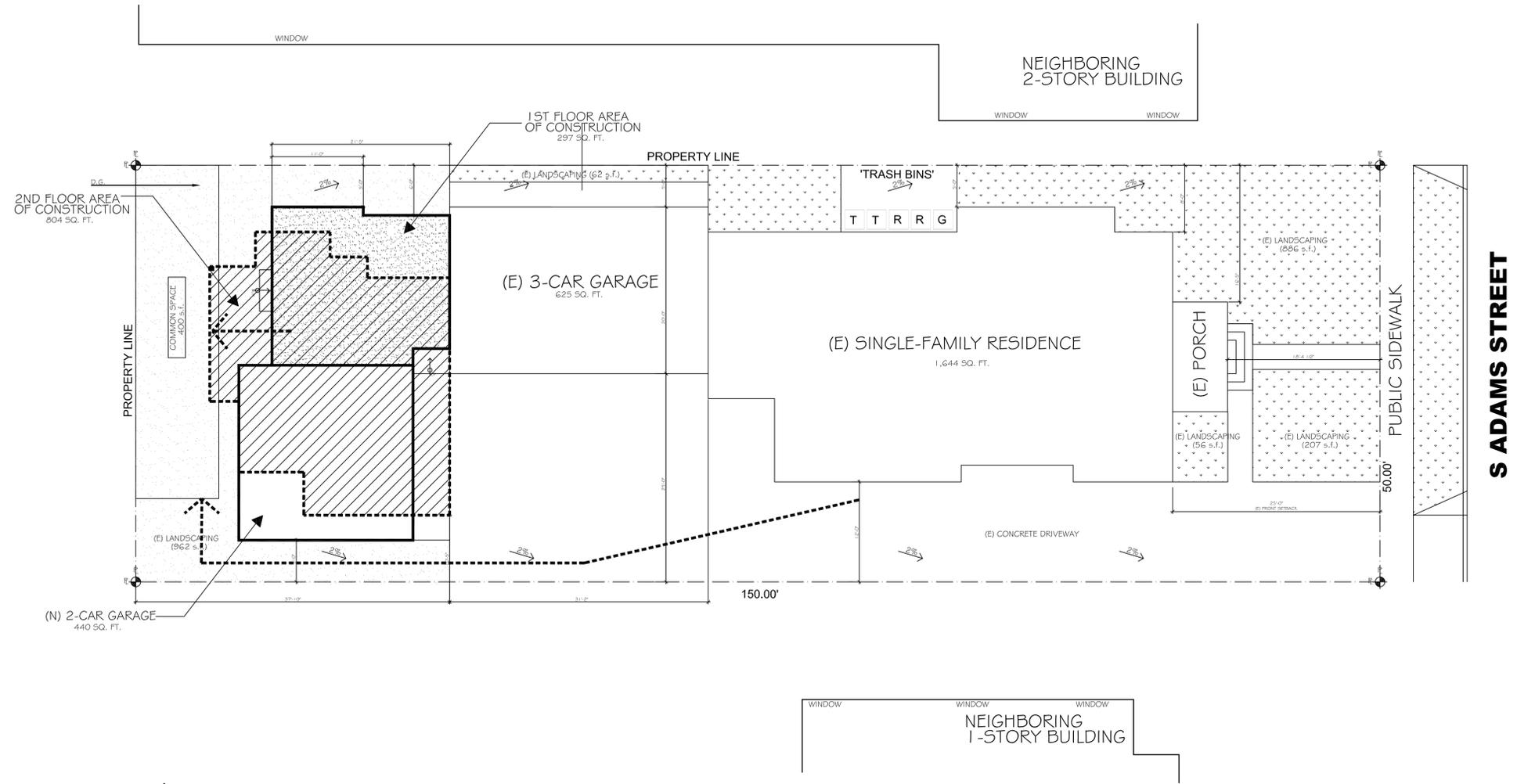
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SITE PLAN

Revision Number	Date

Project Number:
 Approved:
 Drawn By:
 Scale: AS NOTED
 Date: **12.05.19**
 Sheet

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SITE PLAN - (N) 2-STORY SFD

SCALE: 1/8" = 1'-0"

LEGEND

	1ST FLOOR (MAIN DWELLING + GARAGE)
	2ND FLOOR
	LANDSCAPING
	REQUIRED COMMON SPACE (400 S.F.)
	AREA OF ADDITION @ 1ST FLOOR
	AREA OF ADDITION @ 2ND FLOOR
	DRAINAGE SLOPE, MIN. 2% SHEET FLOW AWAY FROM FOOTINGS
	28"x28" TRASH
	28"x28" RECYCLE
	28"x28" GREEN

SITE NOTES:

- CONTRACTOR TO VERIFY EXISTING GAS AND WATER METER LOCATIONS, COORDINATE WITH THE APPROPRIATE AGENCIES FOR SHUTOFF AND RELOCATION PER PLANS AND CAPACITIES. CONTRACTOR TO DETERMINE NEAREST SHUT-OFF OF ELECTRICAL SERVICE TO METER LOCATION (R.L.A.D.), ST. STANDARDS AND PROVIDE TEMPORARY POWER PRIOR TO CONSTRUCTION.
- CONTRACTOR TO PRESERVE TAGGED TREES ON SITE THROUGHOUT THE CONSTRUCTION PROCESS AND MITIGATE FOR WATER AND NUTRIENT RISK.
- BUILDING ON SITE OVER 2,000 SQ. FT. OF COMBUSTIBLE BRICKED: LANDSCAPE AREA SHALL HAVE SENSATION CONTROLLED THAT ARE EITHER HEATER-ON-SOL-BASES. SEE THE CONTROLLER LOCATION ON THE DESIGN PLAN.
- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE DISTRIBUTION FORM (SLS) SHALL BE COMPLETED PRIOR TO FINAL INTERSECTION APPROVAL.
- LOTS SHALL BE GRABED TO DETERMINE HOW WATER AWAY FROM FOUNDATION SHALL BE INSTALLED AT A MINIMUM OF 12" FROM THE FIRST FLOOR (IF ANY).
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION 905.4.
- BUILDINGS SHALL HAVE APPROVED ADDRESS MARKERS, INCLUDING MARKERS OR APPROVED MARKING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONT OF THE PROPERTY. (SLS).
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE LOCATIONS SPECIFIED PER SECTION 905.4 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVELY TREATED TO RESIST DECAY WITHIN THE LIFE OF THE PROJECT. PRESERVATIVE AND USE LIFE, PRESERVATIVES SHALL BE LISTED IN SECTION 905.4 (SLS).

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 EDITION OF THE CBC, CRC, CMC, CPG, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.
 - SEPARATE PERMITS MAY BE REQUIRED FOR THE MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION.
 - ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
 - A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING.
 - WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
 - TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE.
 - THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO A POINT 10 FEET FROM THE BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MIN. 2%.
 - THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%.

SCOPE OF WORK:

- NO WORK TO BE DONE AT FRONT (E) SFD OR (E) 3-CAR GARAGE.
- CONSTRUCTION OF A (N) 2-STORY SFD.
- 297 SQ. FT. FIRST FLOOR CONSTRUCTION.
- 440 SQ. FT. ATTACHED 2-CAR GARAGE CONSTRUCTION.
- 804 SQ. FT. 2ND FLOOR CONSTRUCTION.



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Drawing Title:

PROPOSED

2ND FLOOR

PLAN

Revision Number

Date

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Project Number:

Approved:

Drawn By:

Scale: AS NOTED

Date: 12.05.19

Sheet:

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FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE TAKEN TO FACE OF FINISH MATERIAL, UNLESS OTHERWISE NOTED.
- ALL NEW EXTERIOR WALLS, U.O.N., ARE 2 X 6 STUDS @ 16" O.C. W/ R-13 BATT INSULATION AND EXTERIOR THREE-COAT PLASTER.
- ALL INTERIOR WALLS, U.O.N., ARE 2 X 6 STUDS @ 16" O.C. AND 5/8" GYPSUM BOARD ON EACH SIDE EXCEPT PLUMBING WALLS.
- WHERE APPLICABLE, LOCATE POSTHOLE/DRAIN 1/2" FROM ENDS OF SLAB OR JOIST FRAMING LOCATION TO ELIMINATE JOING OF PLYWOOD & BRIDGING OF WEATHER RESISTIVE BARRIER AT EXTERIOR CONDITIONS. PROVIDE BY FILLER IN-BETWEEN PLYWOOD & POST AND STAGGER 1/4" @ 12" O.C. ONTO POST. VERIFY NAILING AND OTHER STRUCTURAL RELATED CONDITION W/ STRUCTURAL DRAWINGS.
- COORDINATE W/ MILLWORK, HARDWARE, AND OTHER BUILDING COMPONENTS FOR REQUIREMENT OF 2X BLOCKING. PROVIDE 2X8 BLKG AT ALL BASE CONDITIONS.
- PROVIDE 2X (FULL-DEPTH) FIRE BLOCKS AND DRAFT STOPS AT MID-HEIGHT OF ALL WALLS PER LACBC SECTION 706.
- WALL COVERING OF SHOWERS OR TUBS WITHIN SHOWERS SHALL BE OF CEMENT PLASTER, TILE, OR APPROVED EQUAL, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY II AND SHALL SWING OUTWARD. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.024 SQ. IN. OF FLOOR AREA AND ENCOMPASS 30 INCH DIAMETER CIRCLE. (LACBC SECTIONS 907.1.3, 2405.4, 2407. UBC STD. 24-2, T-24-C AND PLUMBING CODE 4.12.7)
- PROVIDE SLIP SHEET OR EQUAL TO MINIMIZE TRANSFER OF POTENTIAL CRACKING AS BEST AS POSSIBLE FROM SLAB TO STONE FLOORING. GROUT COLOR TO MATCH STONE FINISH. STONE FLOORING SHALL BE INSTALLED WITH GROUT, SEALER, AND SETTING BED SO THAT ALL MATERIALS ARE COMPATIBLE AND THAT BLEEDING AND STAINING DOES NOT OCCUR.
- PROVIDE CLEARANCES AT ENDS OF WOOD AND STONE FLOORING SO THAT EXPANSION AND CONTRACTION OF MATERIALS WILL NOT CAUSE BUCKLING AT ENDS. PROVIDE ISOLATION STRIP WHERE NECESSARY.
- LOCATE FLOORING TRANSITION BELOW CENTER LINE OF INTERIOR DOORS, TYP. U.O.N.
- SEE ELECTRICAL & LIGHTING PLANS FOR LOCATION OF SMOKE DETECTORS.
- WHERE DUCTS PENETRATE THROUGH ONE OR MORE STORES, PROVIDE 80% TYPE "X" THROUGHOUT OR EQUAL TO ACHIEVE A ONE-HOUR WALL RATING.
- NA.
- ALL BATHROOMS, POWDER ROOMS, & UTILITY SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY IN TO OCCUPIED PORTIONS OF THE BUILDING. BATHROOMS THAT CONTAIN ONLY A WATER CLOSET, LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS MAY BE VENTILATED WITH AN APPROVED MECHANICAL RECIRCULATING FAN OR SIMILAR DEVICE DESIGNED TO REMOVE DOORS FROM THE AIR. (PER LACBC SECTION 1203.3)
- FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS TO COMPLY W/ TITLE 24, 715.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDELS OVER AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
- WATER CLOSET COMPARTMENTS SHALL HAVE A MINIMUM FINISH CLEARANCE OF 30" WIDTH AND 24" MINIMUM IN FRONT OF THE WATER CLOSET. (LACBC SECTION 2904)
- PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET TO ANY-SIDE WALL.
- DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
- WHERE PLANTERS AND SITE WALLS ARE INSTALLED ADJACENT TO WOOD FRAMED WALLS, A 2-INCH WIDE (51MM) AIR SPACE SHALL BE PROVIDED BETWEEN THE PLANTERWALL AND THE WALL. FLASHING SHALL BE INSTALLED WHEN THE AIR SPACE IS LESS THAN 6 INCHES IN WIDTH.
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW.
- PLANS COMPLY WITH THE 2002 BURBANK BUILDING AND SAFETY CODE, BASED UPON THE 2001 CBC, AND THE 1997 UBC.

- INSTALL SMOKE DETECTORS IN ALL BEDROOMS, HALLWAYS AND AT THE TOP OF STAIRS. SMOKE DETECTORS SHALL BE 120 VOLT STATE FIRE MARSHAL APPROVED. SMOKE DETECTORS TO BE HARDWIRED WITH BATTERY BACK-UPS AND INTERCONNECTIONS. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ALL EXISTING BEDROOMS, HALLWAYS & STAIRS SHALL BE EQUIPPED WITH BATTERY POWERED SMOKE DETECTORS.
- FIRE SPRINKLER SYSTEM REQUIRED & THIS SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 13D AND THE REQUIREMENTS OF BURBANK FIRE DEPT. PREVENTION SECTION "FIRE SPRINKLERS PER SEPARATE PERMIT"

A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13D AND THE REQUIREMENTS OF THE GLENDALE FIRE DEPARTMENT. FIRE SPRINKLER PLANS SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT. THE RISER MAY BE OUTSIDE IN A HIDDEN LOCATION, INSTALLED HORIZONTALLY AT 2'-0" WITH THE PIPE ENTERING THE WALL AT THAT HEIGHT. [2002 CBC VOLUME VI 156-9]

26. A STORAGE COMPARTMENT A MINIMUM OF 4'-6" ABOVE THE FINISH FLOOR & NOT RESTRICTING PARKING. DEPTH OF COMPARTMENT MUST BE APPROVED BY PUBLIC WORKS/TRAFFIC DIV. MECH. VENTILATION DUCTING MUST BE A MIN. OF 7'-0" ABOVE THE GARAGE FLOOR, OR A MIN. OF 8'-2" AT DISABLED PARKING STALLS OR AN ACCESSIBLE ROUTE. DUCTING ALONG A WALL, EXCEPT AT DISABLED PARKING STALLS MAY BE A MIN. OF 4'-6" ABOVE THE GARAGE FLOOR AND EXTEND A MAX. OF 3'-0" FROM THE FACE OF THE WALL, FOR ACCESSIBLE SPACES A MIN. OF 8'-2" CLEAR MUST BE MAINTAINED.

27. THE FIXTURE TYPE AND MODEL TO BE USED AND THE MANUFACTURER'S SPECIFICATIONS WHICH SUPPORTS THE REGULATIONS NOW IN EFFECT.

NEW FIREPLACE AND WOOD BURNING STOVE REGULATIONS:

THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT ADOPTED RULE #45 ON MARCH 7, 2008, TO REDUCE FINE PARTICULATE POLLUTION FROM FIREPLACES AND WOOD STOVES.

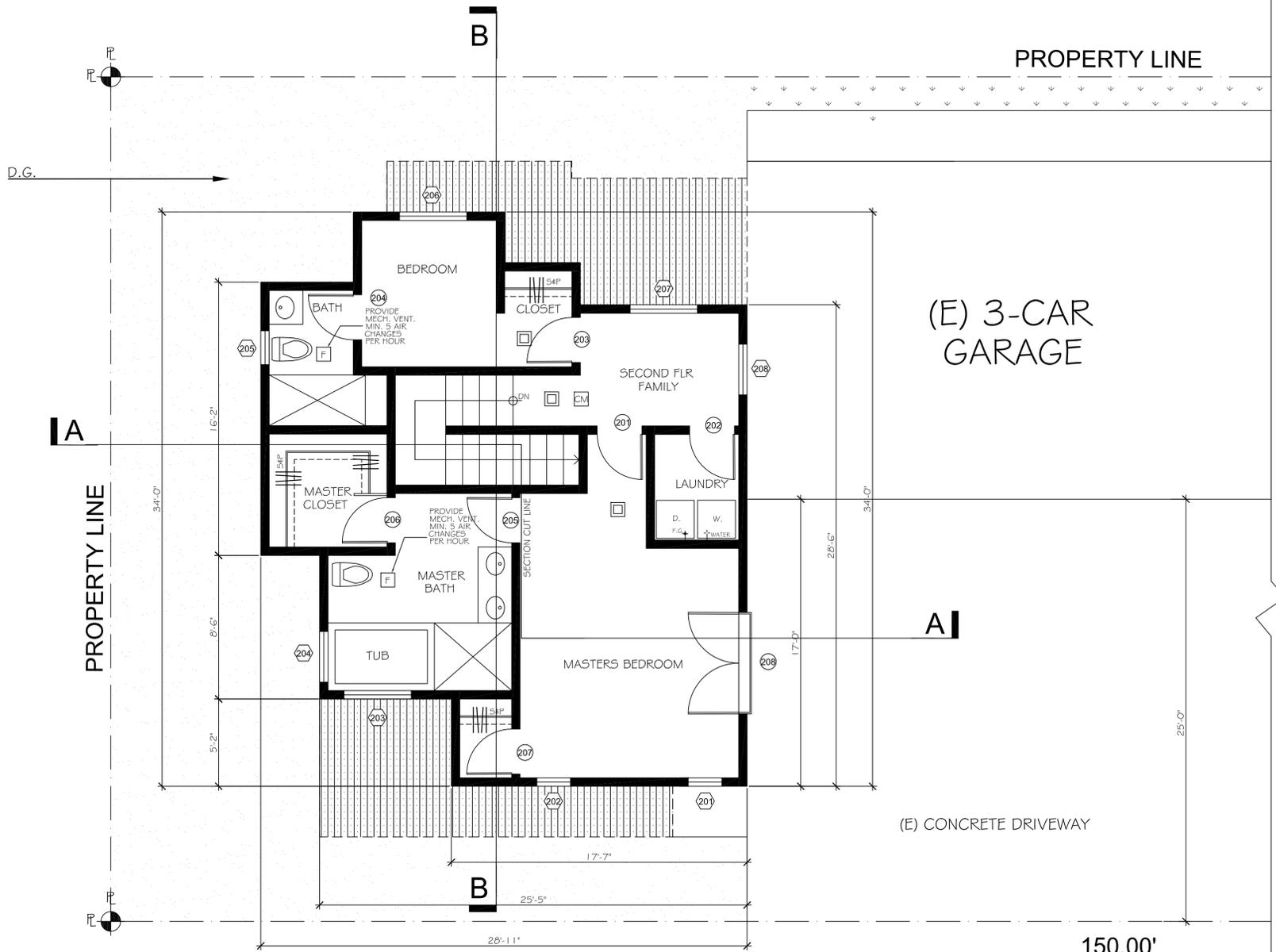
EFFECTIVE SEPTEMBER 8, 2009:
 NO PERSON SHALL SELL, OFFER FOR SALE, SUPPLY OR INSTALL A NEW OR USED PERMANENTLY INSTALLED INDOOR OR OUTDOOR WOOD BURNING DEVICE OR GASEOUS-FUELED DEVICE UNLESS IT IS ONE OF THE FOLLOWING:

- AN EPA PHASE II-CERTIFIED WOOD BURNING HEATER.
- A TELLER-FUELED WOOD BURNING HEATER.
- A MASONRY HEATER.
- A WOOD BURNING DEVICE OR FIREPLACE DETERMINED TO MEET THE EPA PARTICULATE MATTER EMISSION STANDARD ESTABLISHED BY TITLE 40 CODE OF FEDERAL REGULATIONS.
- A DEDICATED GASEOUS-FUELED FIREPLACE.

EFFECTIVE MARCH 9, 2009:
 ONLY FIREPLACES FUELED BY GAS (SUCH AS GAS LOGS) MAY BE INSTALLED IN A NEW RESIDENTIAL OR COMMERCIAL BUILDING, PERMANENTLY INSTALLED INDOOR OR OUTDOOR. WOOD-BURNING FIREPLACES OR STOVES ARE NOT PERMITTED IN NEW CONSTRUCTION.

- The Sprinkler System shall be approved by Plumbing Div. prior to installation.
- An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that activation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back-up and low battery signal. (R314)
- An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delay and/or additional expenses.
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Provide 70 inch high non-absorbent wall adjacent to shower and approved slat/resistant materials for shower enclosure. (R308)
- Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings on sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2)



(N) SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- SMOKE DETECTORS
- CARBON MONOXIDE ALARM
- EXHAUST FAN
- NEW WALL
- LANDSCAPING



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 m: 737 SOUTH ADAMS STREET
 GLENDALE, CA 91205

Project Address:
APN 5634 - 019 - 010

Client:
VALDIVIEZO RESIDENCE
JESUS & ELIZABETH VALDIVIEZO

APN 5634 - 019 - 010

Drawing Title:

PROPOSED BUILDING SECTIONS

Revision Number	Date

Project Number:

Approved:

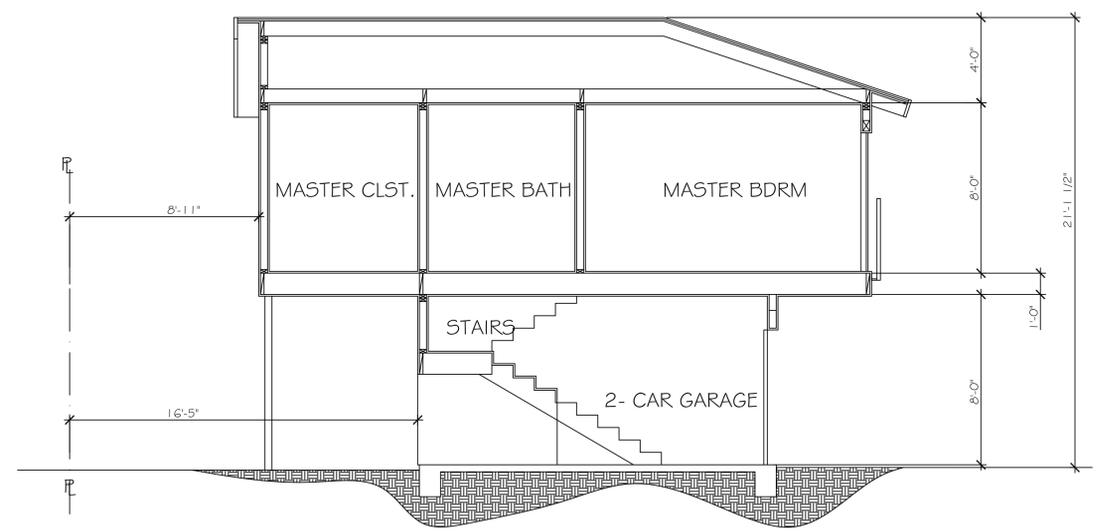
Drawn By:

Scale: AS NOTED

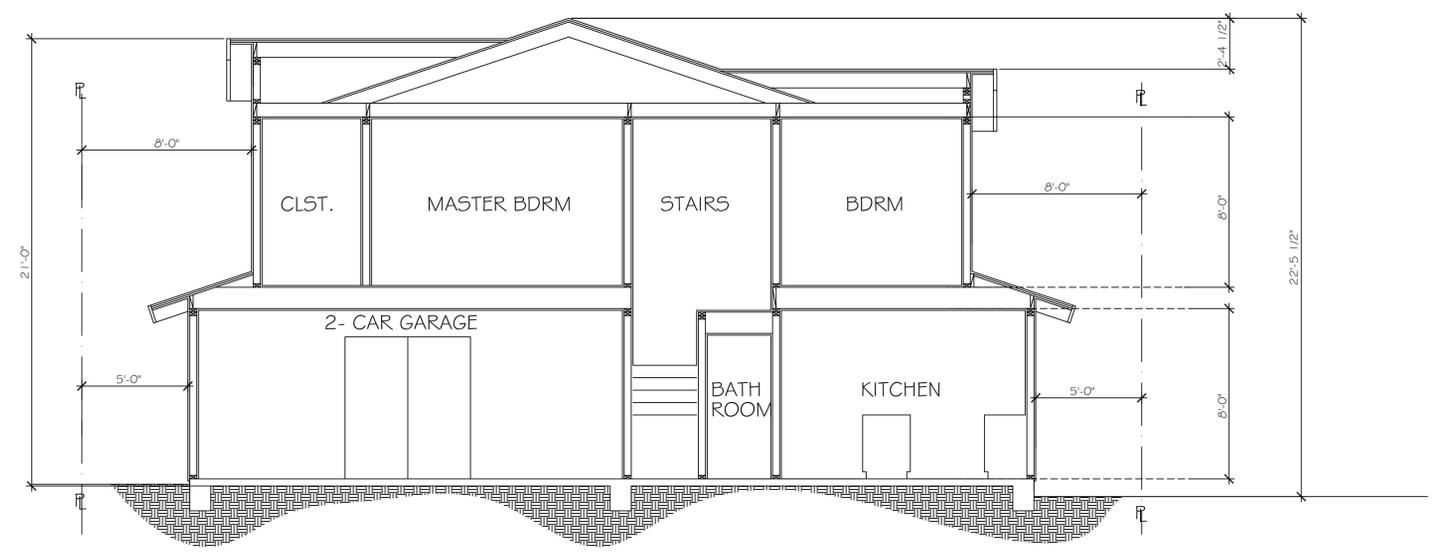
Date: 12.05.19

Sheet:

A5.0



SECTION - A
 SCALE: 3/16" = 1'-0"



SECTION - B
 SCALE: 3/16" = 1'-0"

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V VALDIVIEZO
 RESIDENCE
 JESUS & ELIZABETH
 VALDIVIEZO

APN
 5634 - 019 - 010

Drawing Title:
**PROPOSED
 ROOF PLAN**

Revision Number Date

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Project Number:

Approved:

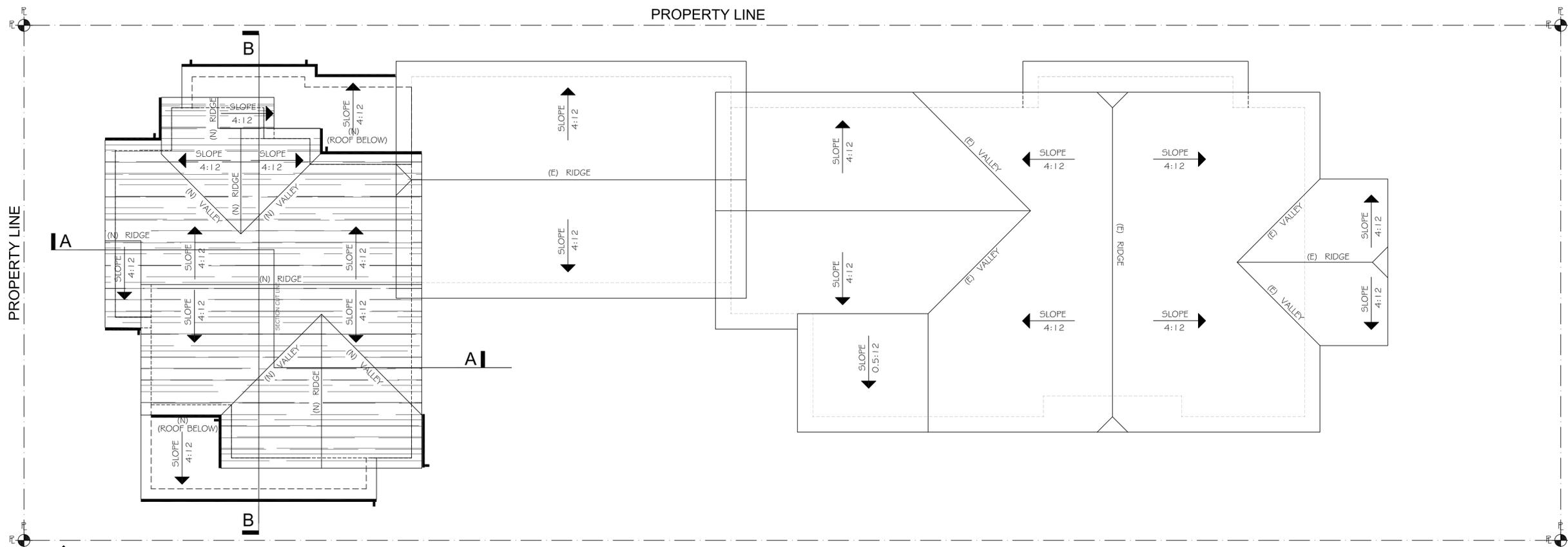
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Date: 12.05.19

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A6.0



ROOF PLAN
 SCALE: 1/8" = 1'-0"

LEGEND

CLASS "A" MIN.

--- BUILDING WALLS BELOW

ROOF PLAN NOTES: CLASS "A" MINIMUM GAF TIMBERLINE-COOL SERIES®, PRODUCT ID # 0676-0043 TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

CONTRACTOR TO COORDINATE ON THE SITE, TO ASSURE THE SOLAR ZONE IS FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS AND EQUIPMENT.

PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.

ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS IN THE GUTTER.

ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS.

CRRC PROD. ID	MANUFACTURER	BRAND AND MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTANCE	THERMAL EMITTANCE	SRI	MORE INFO
0676-0043a	GAF	Timberline® Cool Series® Cool Antique Slate	Asphalt Shi	Grey	0.28	0.26	0.92	0.91 30 27 +
					INITIAL 3 YEAR	INITIAL 3 YEAR	INITIAL 3 YEAR	



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 5634 - 019 - 010

Client:

VALDIVIEZO
 RESIDENCE
 JESUS & ELIZABETH
 VALDIVIEZO

APN
 5634 - 019 - 010

Drawing Title:
DOOR/WINDOW SCHEDULE

Revision Number Date

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Project Number:

Approved:

Drawn By:

Scale: AS NOTED

Date: 12.05.19

Sheet: **A7.0**

WINDOW NOTES

- VERIFY ALL SIZES NOTED PER FIELD AND DETAIL CONDITIONS BEFORE FABRICATION AND/OR EXECUTION OF WORK.
- EXCEPT WHERE NOTED IN THIS SHEET, ALL DOOR AND WINDOW GLAZING ARE DOUBLE-INSULATED WITH TINT AS NOTED IN THE TITLE 24 ENERGY REPORT. TINTED SIDE OF DOUBLE GLAZING TO OCCUR ON EXTERIOR SIDE AND CLEAR GLAZING ON INTERIOR SIDE.
- ALL EXTERIOR DOOR TYPES ARE 1 3/4" THICK, SOLID CORE.
- INTERIOR DOORS, PROVIDE 1/2" UNDERCUT AT BOTTOM OF DOOR.
- PROVIDE CONTINUOUS WEATHERSTRIPPING THROUGHOUT ALL EXTERIOR DOORS AND WINDOWS.
- ALL TEMPERED GLAZING SHALL COMPLY WITH LACIRC SECTION 2406.2.
- ALL GLAZING SHALL COMPLY WITH LACIRC CHAPTER 24. SEE EXTERIOR ELEVATION TO COORDINATE AND VERIFY DOORS AND WINDOWS WITH REQUIRED TEMPERED GLAZING.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE PROVIDED WITH DRIP HEAD FLASHING. PROVIDE DUPONT STRAIGHT FLASH OR BETTER AROUND ALL OPENINGS. INSTALL PER MANUFACTURER'S SPECIFICATION AND REQUIREMENTS. COORDINATE AND INSTALL DUPONT MATERIAL OR EQUAL SINGLE-STYLE SUCH THAT A LAP OCCURS AND POSITIVE WATER FLOW OCCURS AWAY AND ELIMINATE ANY WATER MIGRATION INTO THE INTERIOR BUILDING CAVITY.
- ALL WINDOW SILLS SHALL HAVE A KEF CUT OR SIMILAR PROFILE TO ELIMINATE WATER CAPILLARY BACK INTO THE BUILDING FACE.
- WINDOW MUNTINS SHALL BE TRUE DIVIDED LIGHTS.
- PROVIDE FLASHING UNDERNEATH ALL EXTERIOR DOOR SILLS TO PREVENT ANY WATER MIGRATION INTO THE BUILDING CAVITY. FLASHING SHALL RETURN UP A MINIMUM OF 8" ABOVE SLAB OR FLYWOOD LEVEL ON EACH SIDE OF JAMB. FLASHING SHALL BE SOLDERED AND/OR LAPPING IS SUCH THAT A POSITIVE WATER FLOW IS TOWARDS THE EXTERIOR.
- PROVIDE CONTINUOUS EXTERIOR RATED SEALANT ON ALL DOORS AND WINDOW SURROUNDS. HOWEVER, VERIFICATION SHALL BE PERFORMED THAT NO WATER (THROUGH CONDENSATION OR THROUGH AN EXTRA LAYER OF PROTECTION) WILL BE TRAPPED IN WHICH CASE EITHER PROVIDE WEEPS OR ELIMINATE SEALANT AT THESE CONDITIONS.
- VERIFY WINDOW SIZES AS SHOWN WITH STANDARD SIZES AVAILABLE FOR THE CHOSEN WINDOW MANUFACTURER. WINDOW SILL HEIGHTS AND OPENABLE DIMENSION SHALL COMPLY WITH LACIRC SECTION 310.4 FOR EGRESS. OVERALL SIZE OF OPENING SHALL COMPLY WITH THE LIGHT AND VENTILATION REQUIREMENT PER LACIRC SECTION 1203.3.
- PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. (81.1 SQ. IN.). MIN. NET WINDOW OPENING HEIGHT DIMENSION: 24" CLEAR. MINIMUM NET OPENING WIDTH DIMENSION: 20" CLEAR. FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR PER COUNTY OF LOS ANGELES BUILDING CODE 310.4.
- GLAZING AREAS SHALL HAVE A U-FACTOR OF **0.55** AND A SHGC OF **0.62** TO MATCH THE VALUES USED IN THE CALCULATION.

DOOR & WINDOW NOTES

- VERIFY ALL SIZES NOTED PER FIELD AND DETAIL CONDITIONS BEFORE FABRICATION AND/OR EXECUTION OF WORK.
- EXCEPT WHERE NOTED IN THIS SHEET, ALL DOOR AND WINDOW GLAZING ARE DOUBLE-INSULATED WITH TINT AS NOTED IN THE TITLE 24 ENERGY REPORT. TINTED SIDE OF DOUBLE GLAZING TO OCCUR ON EXTERIOR SIDE AND CLEAR GLAZING ON INTERIOR SIDE.
- ALL EXTERIOR DOOR TYPES ARE 1 3/4" THICK, SOLID CORE.
- INTERIOR DOORS, PROVIDE 1/2" UNDERCUT AT BOTTOM OF DOOR.
- PROVIDE CONTINUOUS WEATHERSTRIPPING THROUGHOUT ALL EXTERIOR DOORS AND WINDOWS.
- ALL TEMPERED GLAZING SHALL COMPLY WITH LACIRC SECTION 2406.2.
- ALL GLAZING SHALL COMPLY WITH LACIRC CHAPTER 24. SEE EXTERIOR ELEVATION TO COORDINATE AND VERIFY DOORS AND WINDOWS WITH REQUIRED TEMPERED GLAZING.
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- ALL WINDOW SILLS SHALL HAVE A KEF CUT OR SIMILAR PROFILE TO ELIMINATE WATER CAPILLARY BACK INTO THE BUILDING FACE.
- WINDOW MUNTINS SHALL BE TRUE DIVIDED LIGHTS.
- PROVIDE FLASHING UNDERNEATH ALL EXTERIOR DOOR SILLS TO PREVENT ANY WATER MIGRATION INTO THE BUILDING CAVITY. FLASHING SHALL RETURN UP A MINIMUM OF 8" ABOVE SLAB OR FLYWOOD LEVEL ON EACH SIDE OF JAMB. FLASHING SHALL BE SOLDERED AND/OR LAPPING IS SUCH THAT A POSITIVE WATER FLOW IS TOWARDS THE EXTERIOR.
- PROVIDE CONTINUOUS EXTERIOR RATED SEALANT ON ALL DOORS AND WINDOW SURROUNDS. HOWEVER, VERIFICATION SHALL BE PERFORMED THAT NO WATER (THROUGH CONDENSATION OR THROUGH AN EXTRA LAYER OF PROTECTION) WILL BE TRAPPED IN WHICH CASE EITHER PROVIDE WEEPS OR ELIMINATE SEALANT AT THESE CONDITIONS.
- VERIFY WINDOW SIZES AS SHOWN WITH STANDARD SIZES AVAILABLE FOR THE CHOSEN WINDOW MANUFACTURER. WINDOW SILL HEIGHTS AND OPENABLE DIMENSION SHALL COMPLY WITH LACIRC SECTION 310.4 FOR EGRESS. OVERALL SIZE OF OPENING SHALL COMPLY WITH THE LIGHT AND VENTILATION REQUIREMENT PER LACIRC SECTION 1203.3.
- PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. (81.1 SQ. IN.). MIN. NET WINDOW OPENING HEIGHT DIMENSION: 24" CLEAR. MINIMUM NET OPENING WIDTH DIMENSION: 20" CLEAR. FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR PER COUNTY OF LOS ANGELES BUILDING CODE 310.4.
- GLAZING AREAS SHALL HAVE A U-FACTOR OF **0.55** AND A SHGC OF **0.62** TO MATCH THE VALUES USED IN THE CALCULATION.

DOOR SCHEDULE

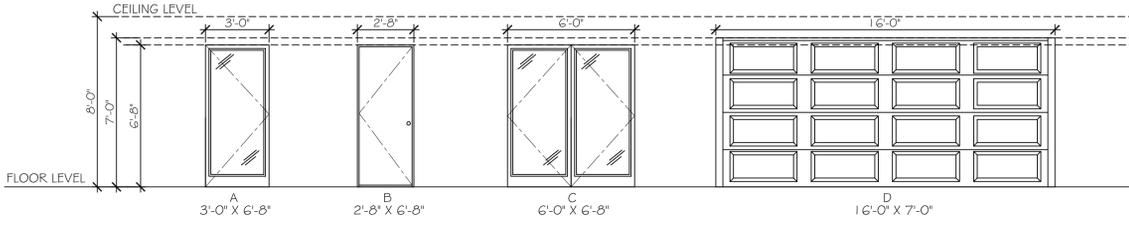
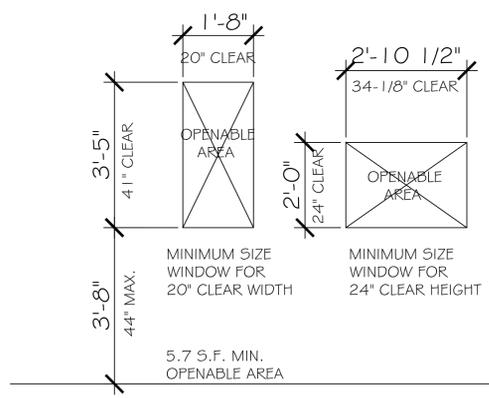
DOOR NUMBER	DOOR SIZE (WIDTH X HEIGHT)	TEMP.	DOOR TYP.	DOOR TYPE	REMARKS	FRAMING	MANUFACTURE & MODEL NO.	COMMENTS
FIRST FLOOR								
101	3'-0" x 6'-8"	TEMP.	1 1/2"	A	ENTRY DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	PROVIDE THRESHOLD & WEATHER SEAL
102	3'-0" x 6'-8"	---	1 1/2"	A	PROPOSED INTERIOR PANEL DOOR FROM GARAGE	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
103	2'-8" x 6'-8"	---	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR - BATHROOM	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
104	3'-0" x 6'-8"	---	1 1/2"	A	PROPOSED EXTERIOR DOOR TO BACKYARD	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
105	6'-0" x 6'-8"	---	1 1/2"	C	PROPOSED EXTERIOR DOOR GARAGE TO BACKYARD	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
106	16'-0" x 7'-0"	---	1 1/2"	D	GARAGE DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
SECOND FLOOR								
201	2'-8" x 6'-8"	TEMP.	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	PROVIDE THRESHOLD & WEATHER SEAL
202	2'-8" x 6'-8"	---	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
203	2'-8" x 6'-8"	---	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
204	2'-8" x 6'-8"	---	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
205	2'-8" x 6'-8"	---	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
206	2'-8" x 6'-8"	---	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
207	2'-8" x 6'-8"	---	1 1/2"	B	PROPOSED INTERIOR PANEL DOOR	3x4 WALL + 1/2" SWEAR	T.M. COBB	---
208	6'-0" x 6'-8"	---	1 1/2"	C	PROPOSED EXTERIOR DOOR TO ROMED, JALUET BALCONY	3x4 WALL + 1/2" SWEAR	T.M. COBB	---

WINDOW SCHEDULE

WINDOW NUMBER	WINDOW SIZE (WIDTH X HEIGHT)	TEMP.	WINDOW TYPE	REMARKS	MANUFACTURE/ MODEL NO.	REMARKS	U-FACTOR	SHGC
COMBINATION CASEMENT FIXED								
FIRST FLOOR								
101	4'-0" x 4'-0"	---	A	SLIDER	MILGARD - VINYL		0.32	0.25
102	3'-0" x 3'-0"	---	B	SLIDER	MILGARD - VINYL		0.32	0.25
103	4'-0" x 3'-0"	---	C	SLIDER	MILGARD - VINYL		0.32	0.25
SECOND FLOOR								
201	2'-0" x 3'-0"	---	D	FIXED	MILGARD - VINYL		0.32	0.25
202	2'-0" x 3'-0"	---	D	FIXED	MILGARD - VINYL		0.32	0.25
203	4'-0" x 3'-0"	---	C	SLIDER	MILGARD - VINYL		0.32	0.25
204	3'-0" x 3'-0"	---	E	FIXED	MILGARD - VINYL		0.32	0.25
205	2'-0" x 3'-0"	---	F	DBL HNG.	MILGARD - VINYL		0.32	0.25
206	4'-0" x 3'-0"	---	C	SLIDER	MILGARD - VINYL		0.32	0.25
207	4'-0" x 3'-0"	---	C	SLIDER	MILGARD - VINYL		0.32	0.25
208	3'-0" x 4'-0"	---	G	DBL HNG.	MILGARD - VINYL		0.32	0.25

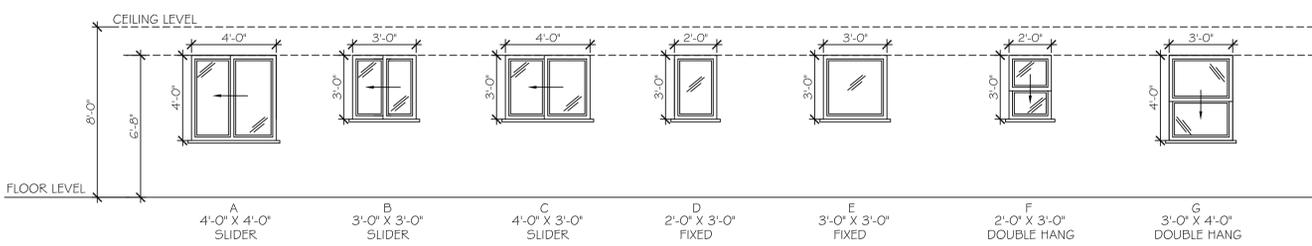
NOTE:
 THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
 HVAC:
 R-6 DUCT INSULATION REQUIRED.
 SPACE HEATING: MIN. ARIE SIZE
 CENTRAL AIR CONDITIONING: MIN. 14 SEER.
 DUCT SEALING
 HERE: VERIFICATION:
 FIRM OR INDIVIDUAL RESPONSIBLE FOR THE VERIFICATION:
 NAME:
 LICENSE NO.:

- #### DOOR & WINDOW NOTES:
- ALL NEW WINDOWS TO MATCH EXISTING VINYL WINDOWS. CONTRACTOR TO COORDINATE WITH OWNERS AND FIELD VERIFY SIZES AND CONDITIONS BEFORE ORDERING.
 - ALL NEW EXTERIOR SLIDING GLASS DOORS TO MATCH EXISTING VINYL SLIDING DOORS. CONTRACTOR TO COORDINATE WITH OWNERS AND FIELD VERIFY SIZES AND CONDITIONS BEFORE ORDERING.
 - GENERAL CONTRACTOR TO VERIFY SASH OPENING SIZES AS SHOWN THROUGHOUT THE SCHEDULE WITH ACTUAL WINDOW MANUFACTURER'S STANDARD SIZES. ADJUST TO THE NEAREST WINDOW MANUFACTURER'S SIZE AND ADJUST ROUGH OPENING SIZES ACCORDINGLY.
 - REFER TO EXTERIOR ELEVATIONS FOR DETAILED DIVIDED LITE LAYOUT. VERIFY WITH MANUFACTURER'S STANDARD SIZES. UNLESS OTHERWISE NOTED, ALL WINDOWS ARE WHITE SASHES WITH DUAL INSULATED GLASS PER TITLE 24. COLOR TO MATCH EXISTING WINDOWS OR PER OWNERS REQUEST.
 - EXTERIOR GLAZED OPENING (INCLUDING SLIGHTS) OF HABITABLE ROOMS MUST BE MINIMUM 1/10 OF THE ROOM FLOOR AREA WITH A MINIMUM OF 10 SQUARE FEET.
 - OPERABLE VENTILATION AREA OF HABITABLE ROOMS MUST BE 1/20 OF THE ROOM FLOOR AREA WITH A MINIMUM OF 5.5 SQUARE FEET.
 - GLAZING AREAS SHALL HAVE A U-FACTOR OF **0.55** AND A SHGC OF **0.62** TO MATCH THE VALUES USED IN THE CALCULATION.
 - DOORS SEPARATING THE GARAGE AND THE DWELLING UNIT SHALL BE SOLID WOOD OR SOLID FIBERGLASS CORE STEEL AND NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE RATED. UNLESS THE DWELLING UNIT AND THE GARAGE ARE PROTECTED BY AN AUTOMATIC FIRE SUPPRESSION SYSTEM, DOOR SHALL BE SELF-CLOSING AND SELF-LATCHING.
 - EXITING DOORS SHALL BE INSPECTED BY G.C. TO MEET THE ABOVE CRITERIA & REPLACED IF NEEDED.
 - ALL WINDOWS AND EXTERIOR DOORS TO BE ANDERSEN WOOD DOORS & WINDOWS WITH DIVIDED LIGHTS WITH ALUMINUM CLADDING.



DOOR TYPES

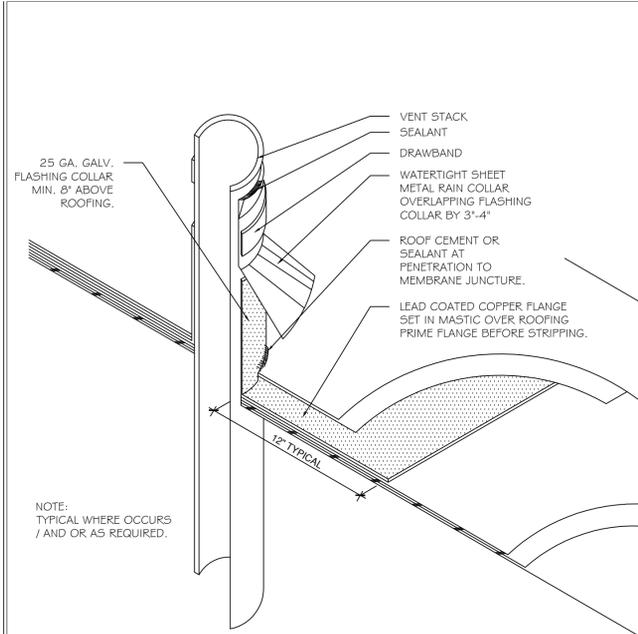
SCALE: 1/4" = 1'-0"



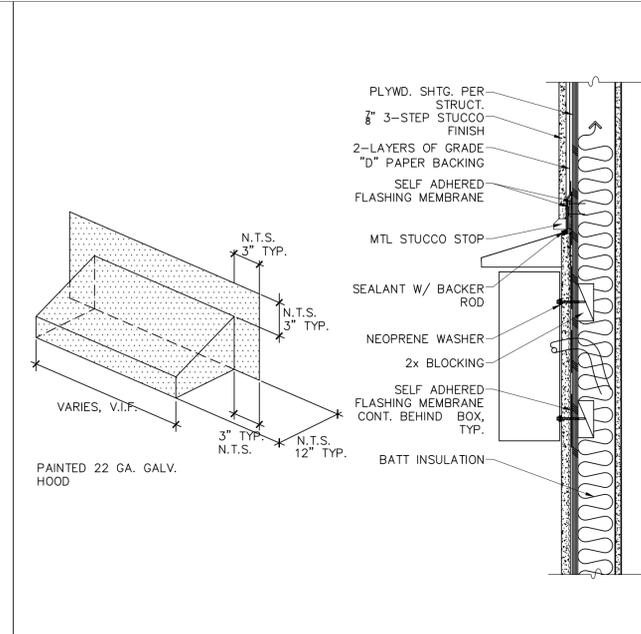
WINDOW TYPES

SCALE: 1/4" = 1'-0"

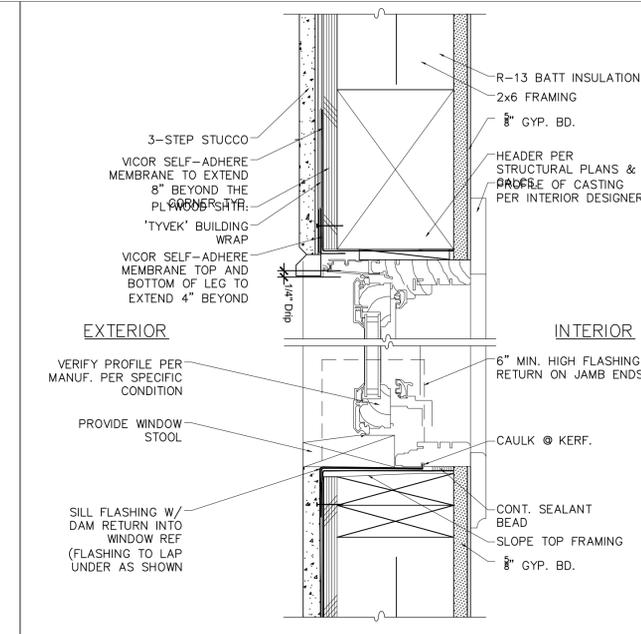
EMERGENCY ESCAPE AND WINDOW EXIT



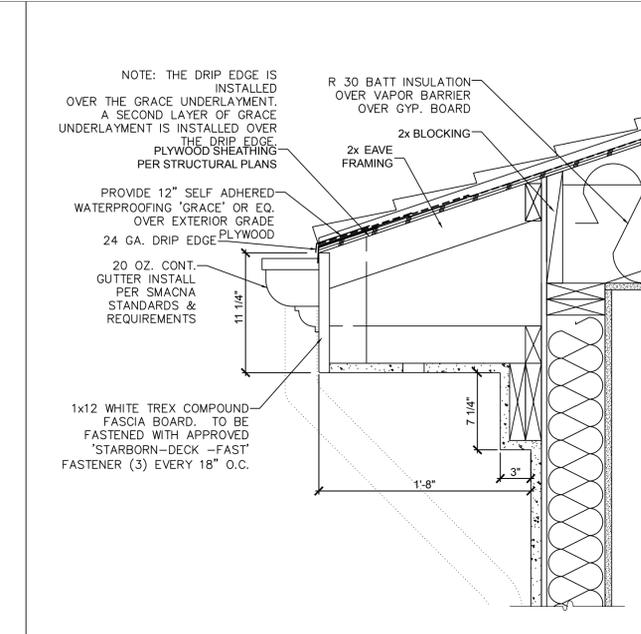
ROOF PENETRATION FLASHING 3" = 1'-0" 10



VENT FLASHING DETAIL 3" = 1'-0" 7



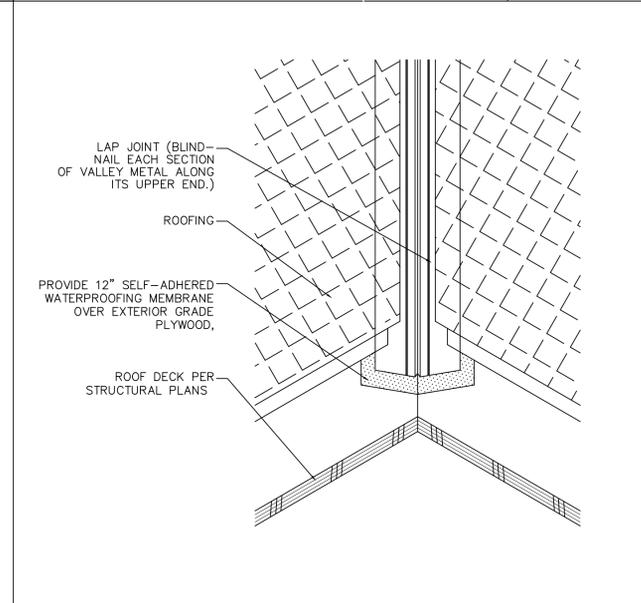
TYPICAL DOOR FRAME DETAIL 3" = 1'-0" 4



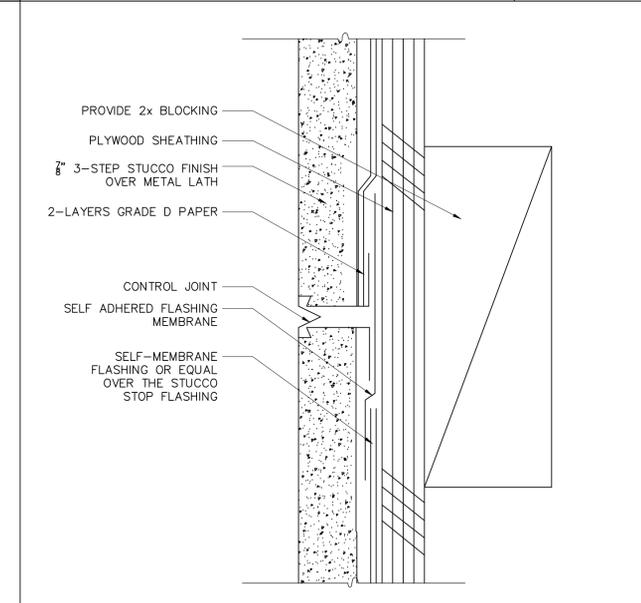
TYPICAL ROOF OVERHANG 1'-2" = 1'-0" 1



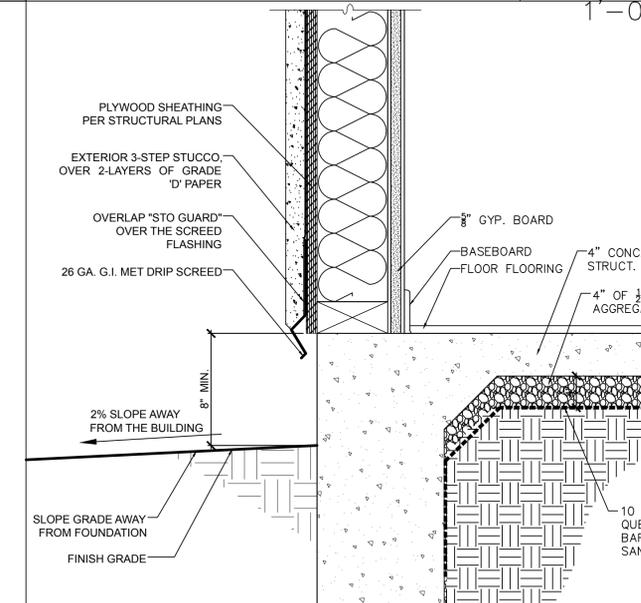
NOT USED 3" = 1'-0" 11



STUCCO CONTROL JOINT DETAIL 3" = 1'-0" 5



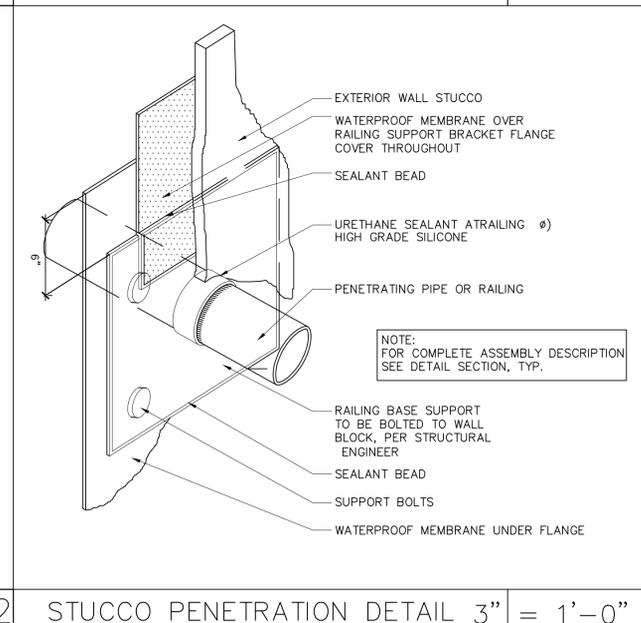
FOUNDATION DETAIL 1'-2" = 1'-0" 2



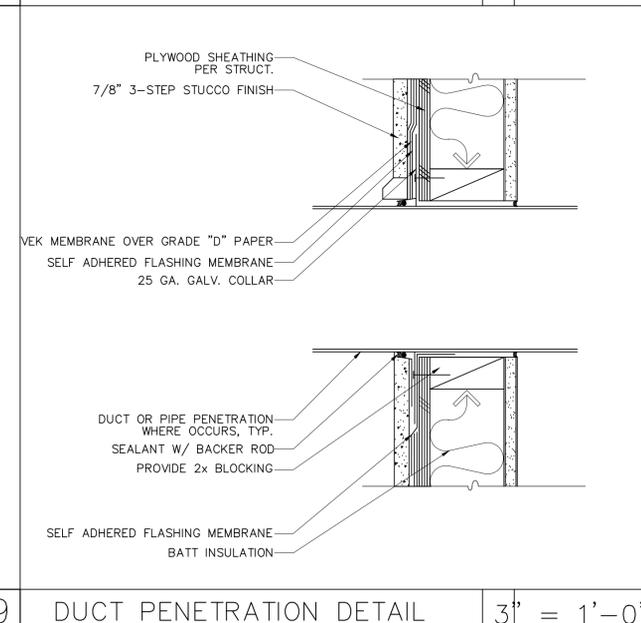
STUCCO PENETRATION DETAIL 3" = 1'-0" 9



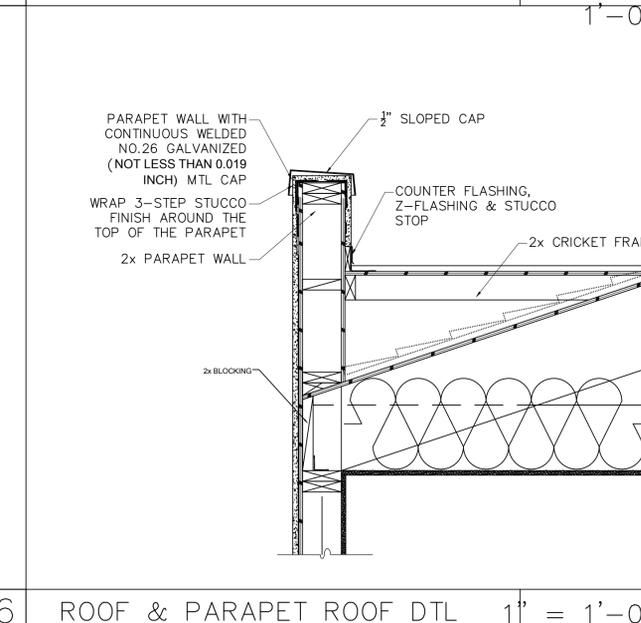
NOT USED 3" = 1'-0" 12



DUCT PENETRATION DETAIL 3" = 1'-0" 6



ROOF & PARAPET ROOF DTL 1" = 1'-0" 3



NOT USED 1" = 1'-0" 3

arpa
design + build

906 S San Fernando Blvd.
Burbank, CA 91105
armeni@arpadesign.com
818.551.1319
818.484.2626

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Consultant:

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818.484.2626

STRUCTURAL ENGINEER

Project Address:
737 S. ADAMS ST.
GLENDALE, CA 91205

Client:
ADAMS
RESIDENCE
JESUS & ELIZABETH
VALDIVIEZO
737 S. ADAMS ST.
GLENDALE, CA 91205

Drawing Title:
ARCH'L
DETAILS

Revision Number Date

Approved: _____
Drawn By: _____
Scale: AS NOTED
Date: _____
Sheet:

A9.0

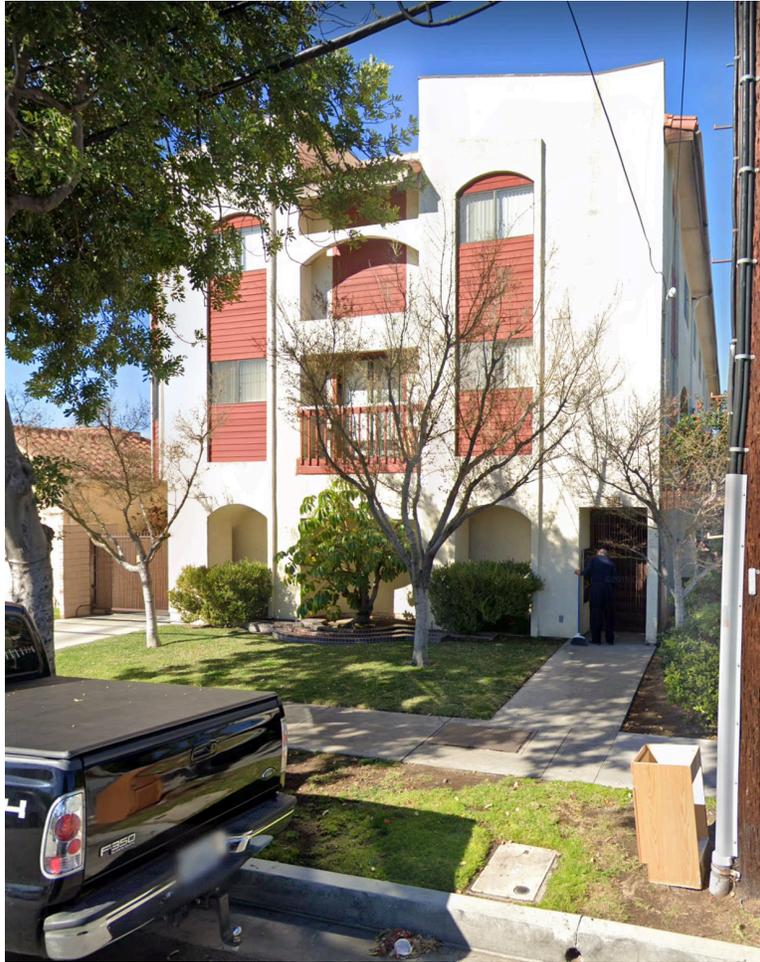
VICINITY MAP



**Subject Property: 737 S. Adams St., Glendale, CA
300' each side of property**



1. 809 S. Adams Street



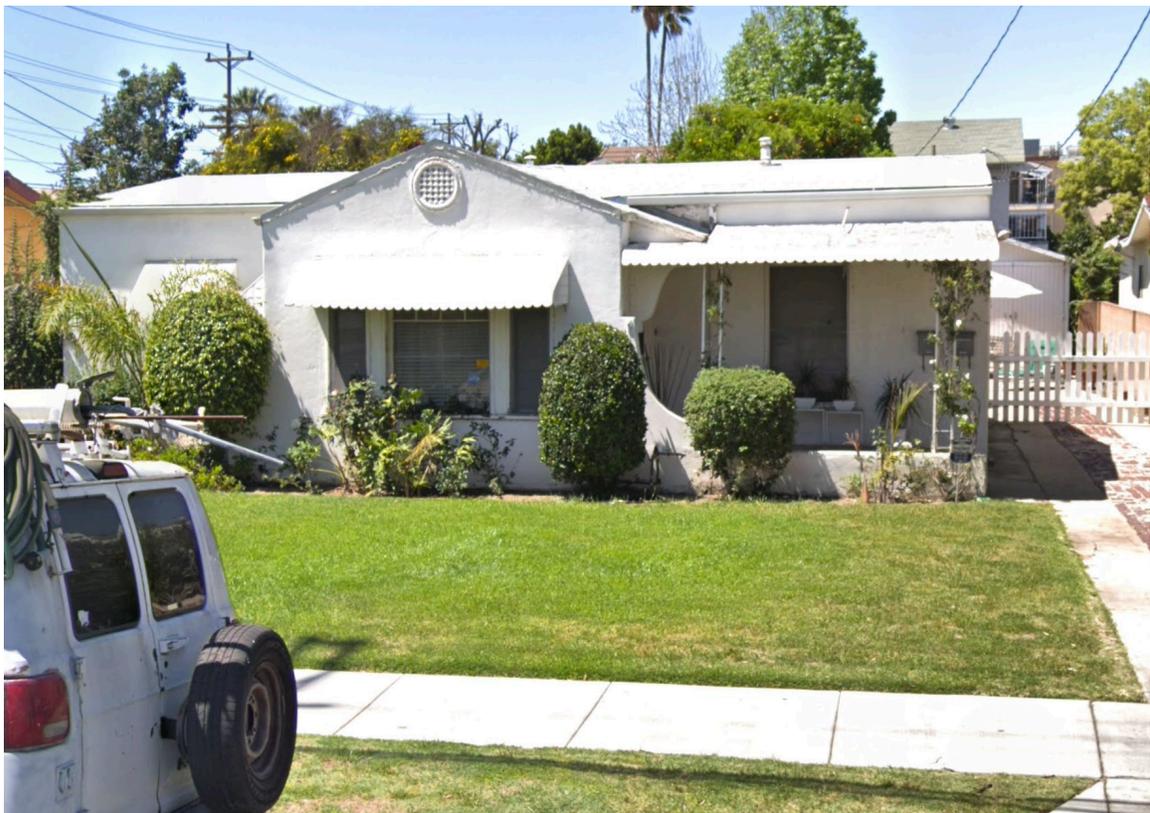
2. 1022 E. Windsor Street



3. 749 S. Adams Street



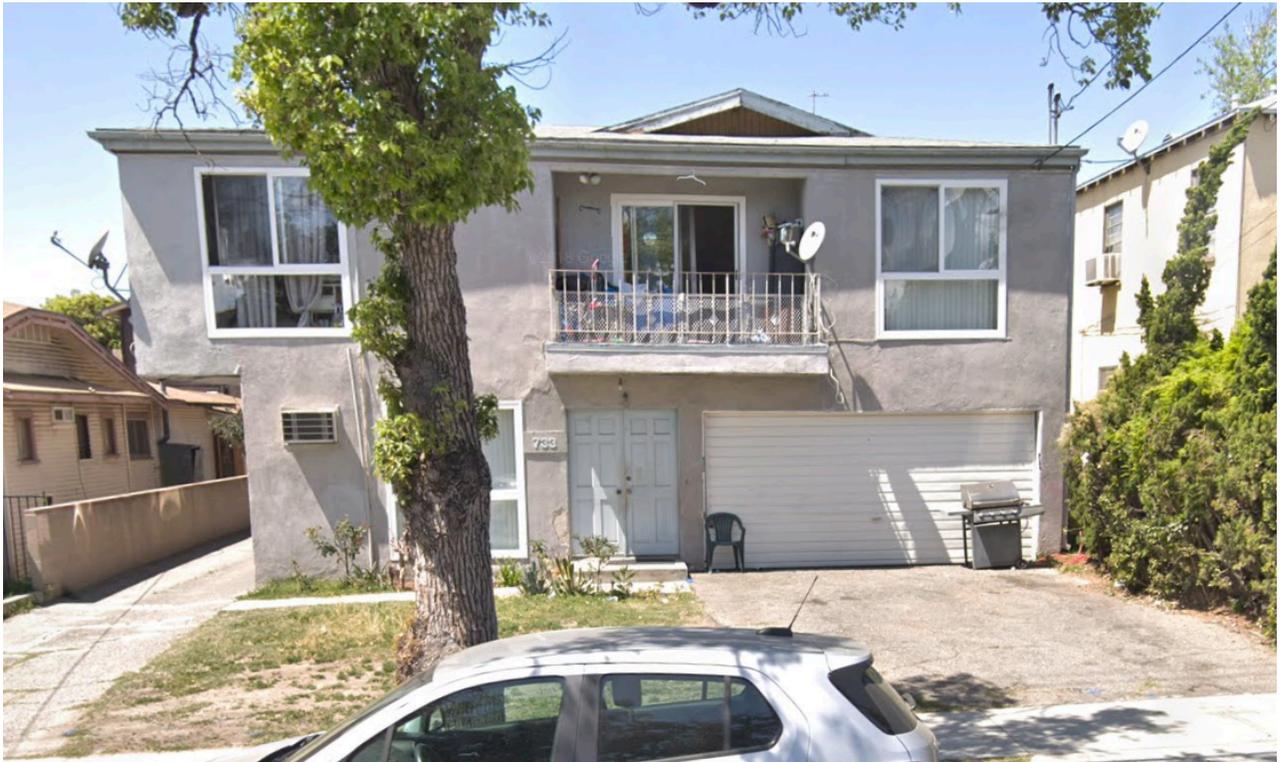
4. 745 S. Adams Street



5. 741 S. Adams Street



6. 733 N. Adams Street



7. 731 S. Adams Street



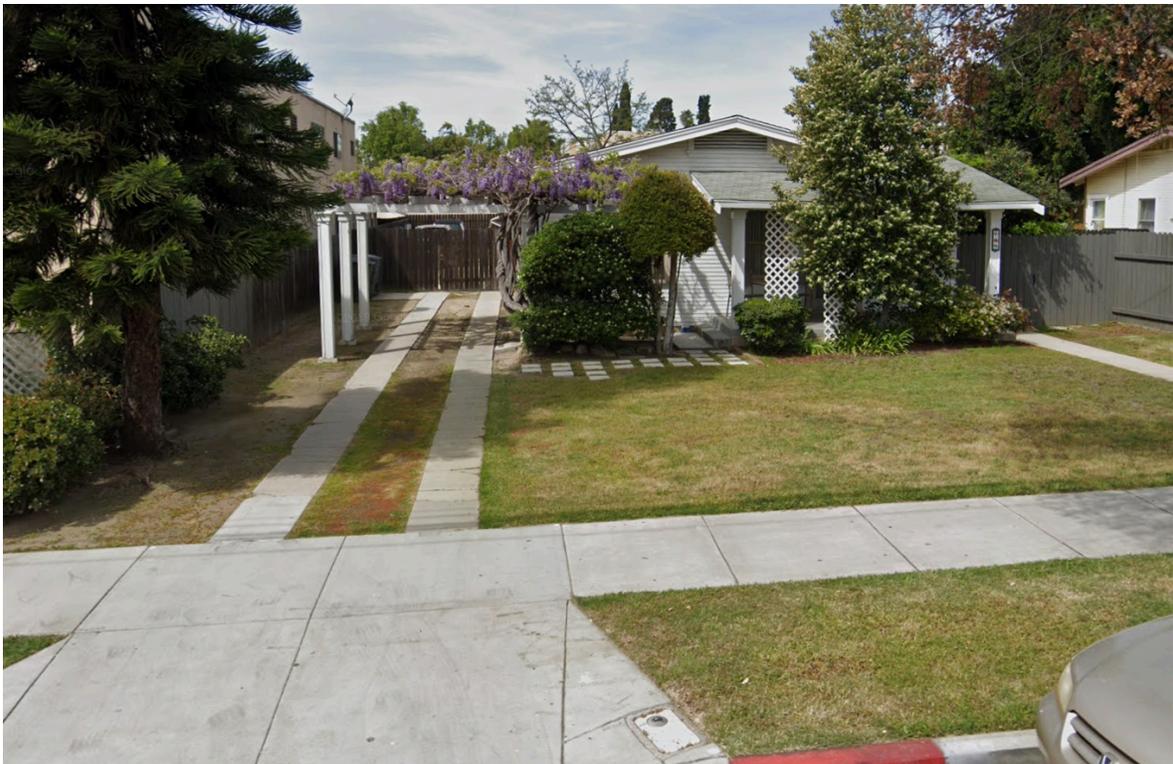
8. 719 S. Adams Street



9. 715 S. Adams Street



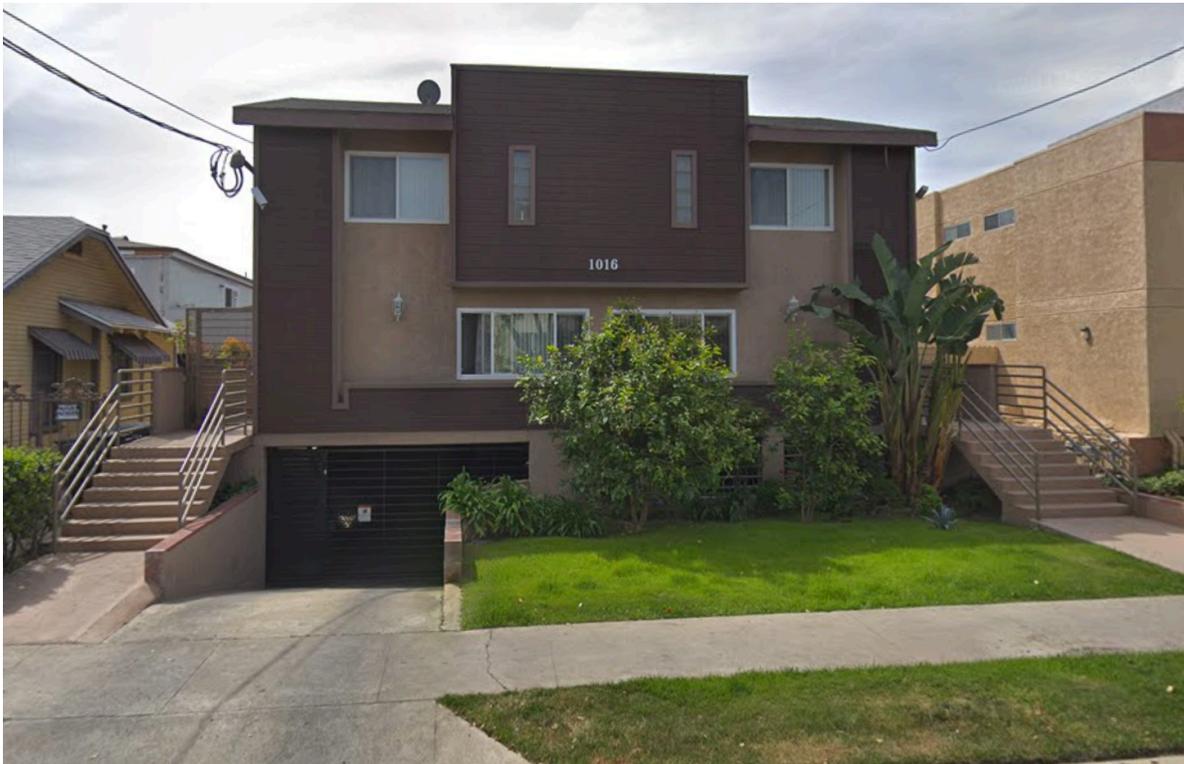
10. 709 S. Adams Street



11. 705 S. Adams Street



12. 1016 Raleigh Street



13. 1015 E Windsor Road



14/15. 700 S. Adams Street



16. 710 S. Adams Street



17. 716 S. Adams Street



18. 720 S. Adams Street



19. 1108 Raleigh Street



20. 734 S. Adams Street



21. 736 S. Adams Street



22. 740 S. Adams Street



23. 744 S. Adams Street

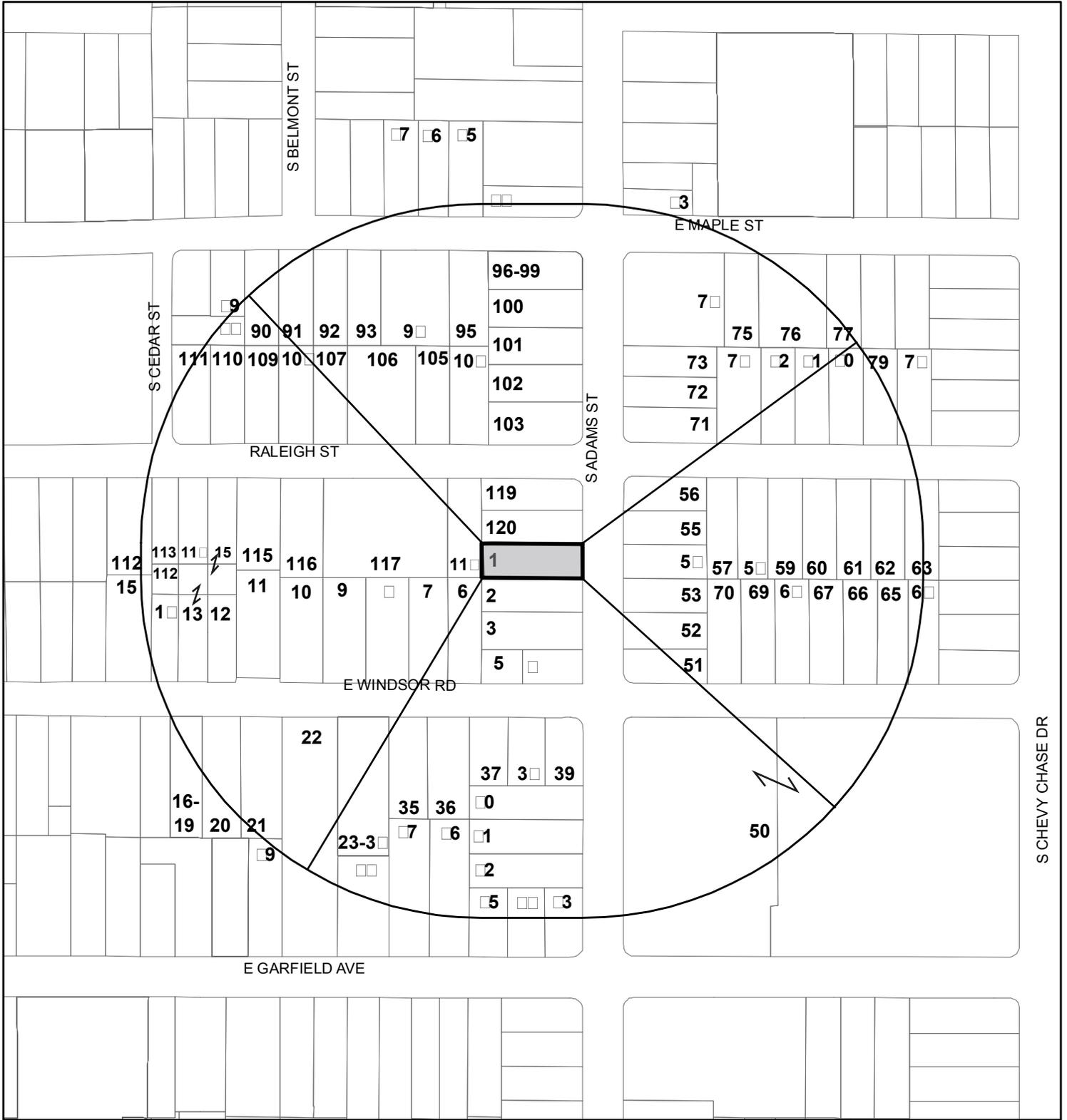


24. 750 S. Adams Street



25. 801 S. Chevy Chase Dr Parking Lot





SCALE: 1" = 200'

RADIUS MAP
 737 S ADAMS ST
 GLENDALE, CA 91205
 APN: 5675-019-009
 500' RADIUS
 DATE: 12-03-2019