

**City of Glendale
Community Development Department
Design Review Staff Report – Single Family**

Meeting/Decision Date: April 16, 2020	Address: 1835 Deermont Road
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5648-031-006
Case Number: PDRNRAF2003821	Applicant: Alen Malekian
Prepared By: Cassandra Pruet	Owner: Edward Vartanian and Fiona Sahakian

Project Summary

The applicant is proposing to construct a one story, 347 square foot addition at the front façade and a one story, 736 square foot addition at the rear façade, adding a total of 1,184 square-feet, to the existing one-story, 2,633 SF single-family dwelling. The house was built in 1962 and is located on an approximately 14,040 SF interior lot in the R1R-II (Restricted Residential, FAR District II) zone. The new design will maintain the simple stucco-clad volumes of the existing house, while the front addition will provide a merger of traditional and contemporary design concepts. The project also includes two cantilevered rear deck expansions and expanding the attached two-car garage into a three-car garage.

Existing Property/Background

The project site is an approximately 14,040 SF interior lot located on the west side of Deermont Road, between Rimcrest Drive and Cielito Drive. The lot is essentially trapezoidal in shape, with a flat building pad extending westerly, then descending steeply. The site is developed with a one-story, 2,633 SF single-family home with an attached two-car garage. The site contains a rear deck, pool, and detached pool equipment structure. The property does not appear to meet any of the criteria for listing in the Glendale Register of Historic Resources and is therefore not considered a historic resource under CEQA.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R1R FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition will not result in an increase of more than 50% of the floor area of the structures before the addition, or 2,500 square feet, whichever is less.
 The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines because .
 Other:

Site Slope and Grading

None proposed

- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

Comparison of Neighborhood Survey:

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	21,076SF	11,200 - 38,380 SF	14,040 SF
Setback	19'	6.5' - 34'	6' garage, 31' house
House size	3,357 SF	2,369 SF - 4,820 SF	3,704 SF
Floor Area Ratio	.18	0.08 - .027	.26
Number of stories	1.08 stories (12 one-story, 1 two-story)	1 to 2 stories	1 story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes n/a no

If "no" select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes n/a no

If "no" select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes n/a no

If "no" select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition takes place on the existing building pad, at the front and rear of the house and filling in the area between the garage and house, thereby minimizing land alteration. This building configuration is consistent with others in the neighborhood.
- The front setback to the house is approximately 31 feet, consistent with others in the neighborhood.
- The existing six-foot setback to the attached garage at the front (approved by Variance in 1962) is maintained.
- Two decks are added at the rear, extending from the existing pool deck and cantilevering out approximately 10 feet for the north deck and five feet for the south deck. Because they are cantilevered, no land alteration is required. The north deck extends over an existing pool equipment enclosure and therefore does not change the relationship between the building and the topography. Because the south deck extends just five feet from grade, it is visually unobtrusive. Both decks are located over 35 feet away from the rear property line. The north deck is located eight feet from the interior property line and the south deck seven feet.
- Part of the driveway will be converted to landscaping, ensuring a code-compliant driveway that is consistent with neighboring houses.
- Low-water use landscaping consistent with the architectural style is proposed.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes n/a no

If "no" select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The massing change of the building as visible from the street is minor. The front façade addition takes place primarily within the area that is currently a deeply-recessed covered porch, and within an existing covered area between the house and garage.
- The overall height of the roof will stay the same. The existing hipped roof on the front porch is being replaced by a flat roof, which will increase the roof edge height by approximately 3-1/2 feet, however, the height is still lower than the primary roof ridge.
- The overall height of the building is increasing by approximately six inches (from 14'-9" to 15'-3"), with the added height taking place at the ground level of the northeast front façade addition, which is located on a downslope. Because the height increase occurs at ground level and not at the top of the house, the visual change is minor.
- The overall massing is well-proportioned and visually minimized by varying roof lines and façade planes. A window has been added at the front garage façade to help break up the wall massing.
- The new flat roofs are integrated well with the existing hipped roofs, creating roof massing appropriate to the blending of the original and proposed building volumes.
- Alteration of land form is minimized by the new rear decks cantilevering from the existing deck.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design

- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes n/a no

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors used in hillside areas

Paving Materials

yes n/a no

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Equipment, Trash, and Drainage

yes n/a no

If “no” select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes n/a no

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design and detailing are appropriate to the property and the neighborhood, with the new design effectively merging traditional and contemporary design concepts.

- Materials include standing seam metal roof cladding (at the existing hipped roof), limestone moldings, smooth plaster wall finish, bronze-colored aluminum windows and doors that emulate multi-light steel sash and doors, and a steel garage door.
- Windows are recessed with traditional window operations (casement/fixed) and external grids, and are appropriately placed in relation to adjacent homes in order to preserve privacy.
- Decorative paving is proposed in the driveway.
- Trash bin location is out of public view.

Recommendation / Draft Record of Decision

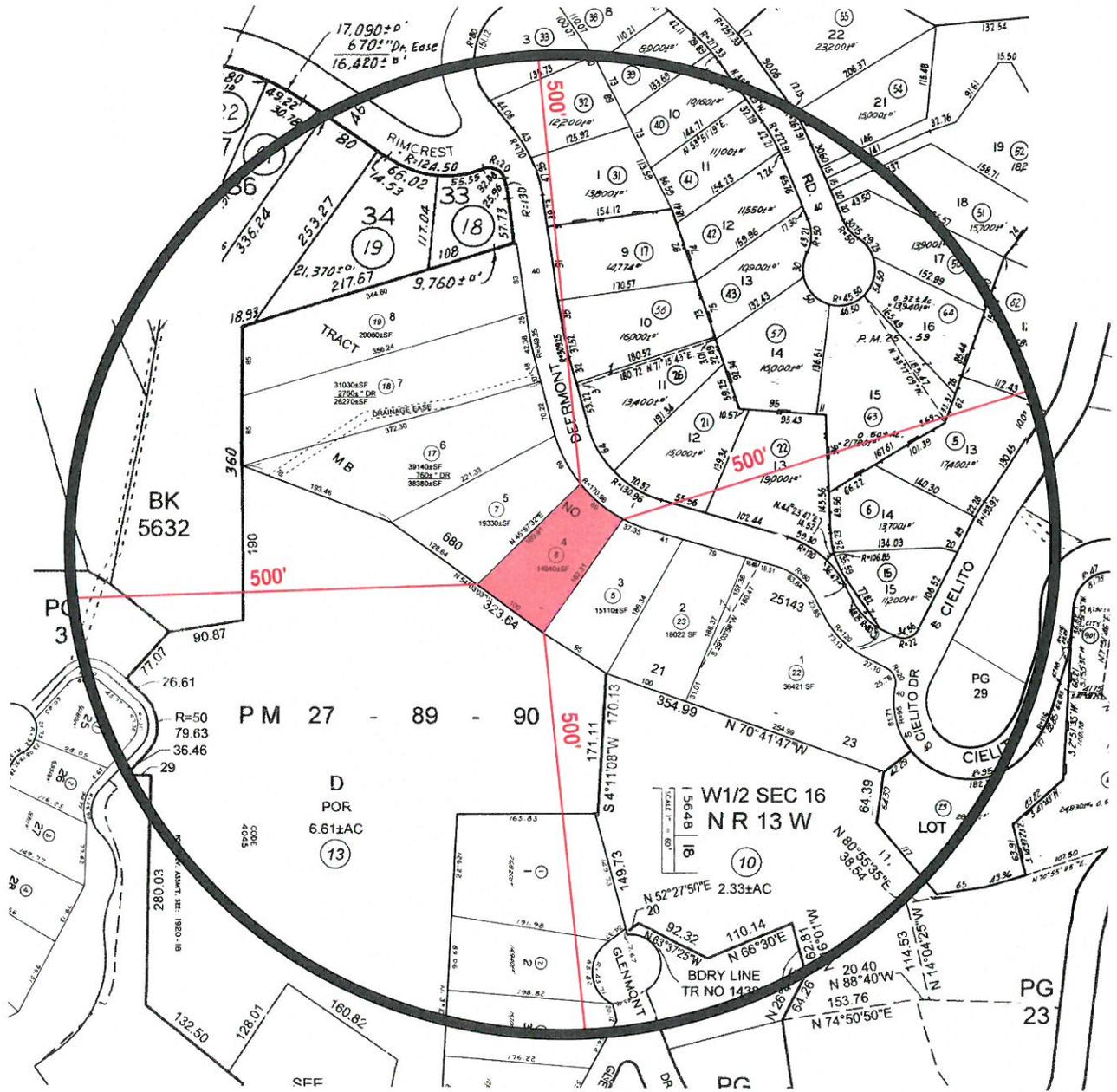
Based on the above analysis, staff recommends **approval** of the project.

Attachments

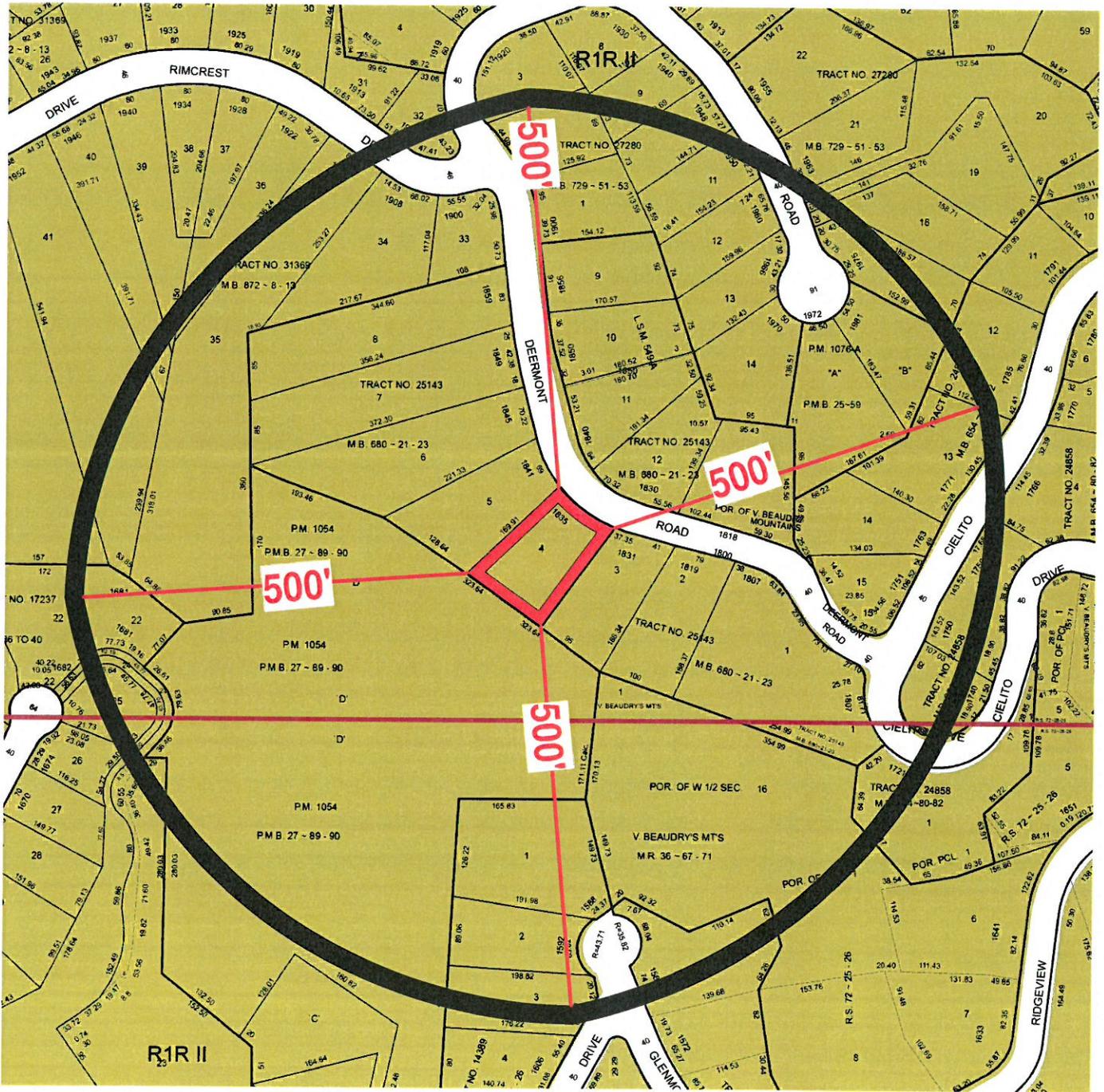
1. Location Map
2. Neighborhood Survey
3. Photos of Existing Property
4. Reduced Plans

PROJECT SITE: 1835 DEERMONT RD.

SCALE: 1" = 200'



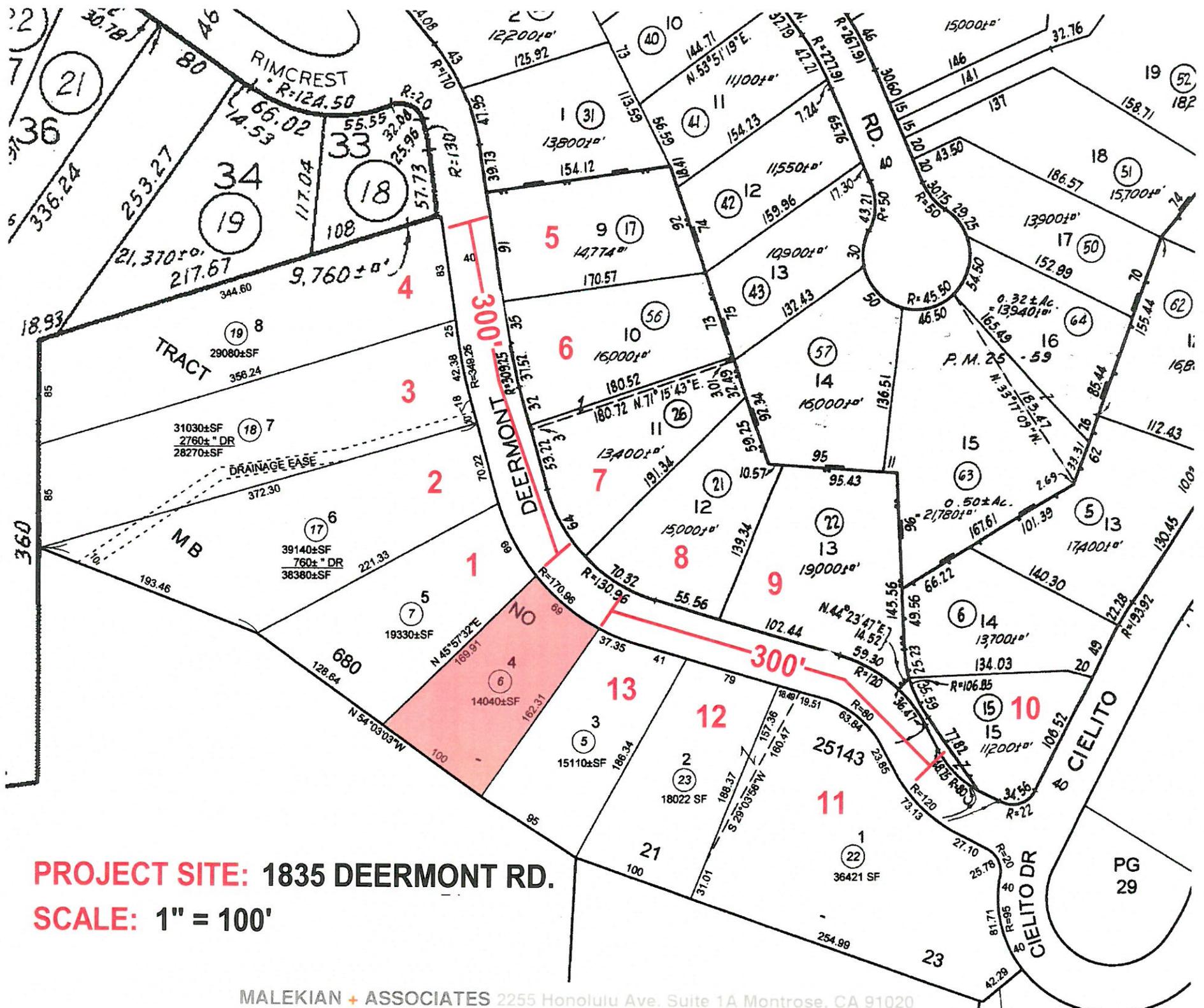
PROJECT: 1835 DEERMONT RD.



1

ZONING MAP

1" = 200'-0"



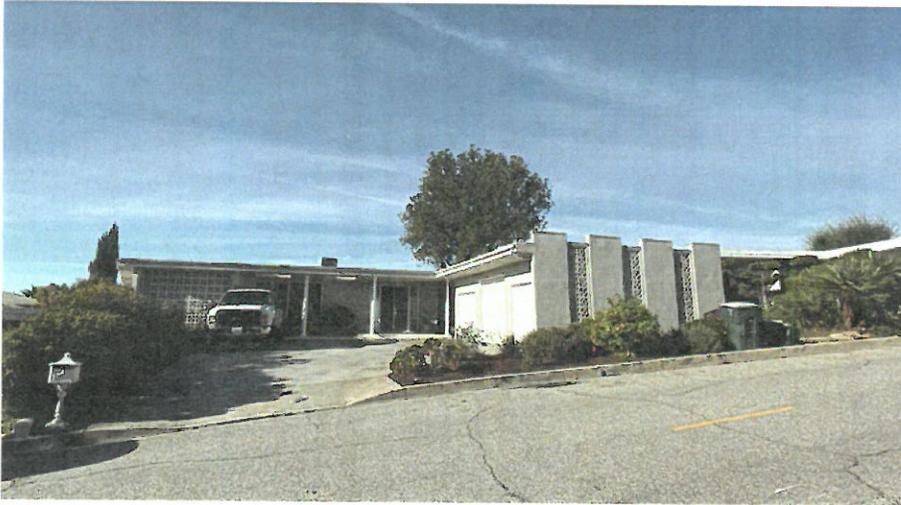
PROJECT SITE: 1835 DEERMONT RD.
SCALE: 1" = 100'

SURVEY LIST

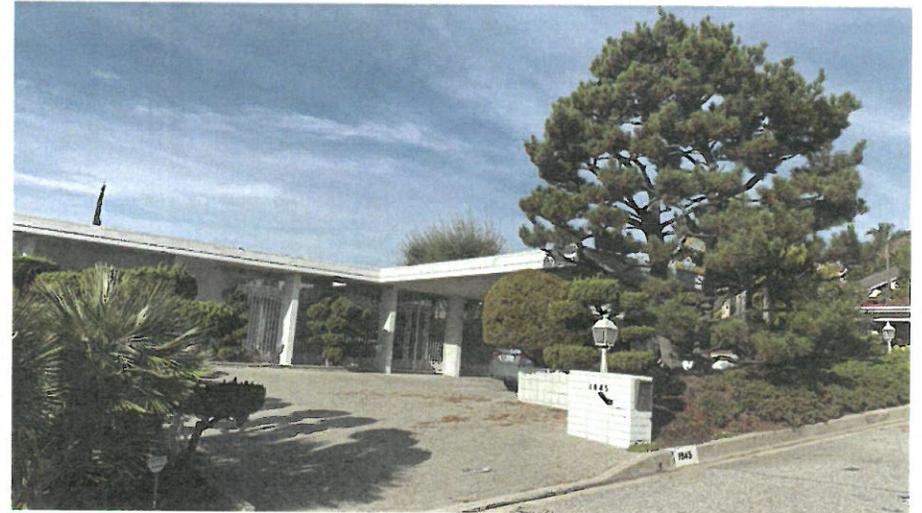
Key	Address	Sq. Ft. Lot	Sq. Ft. Building	F/A %	Stories	Front Setback (ft.)	Roof Material
Subject Pro. Existing	1835 Deermont Rd.	14,040	2,633	18.75%	1	6.5	Ballasted roofing
Subject Pro. Proposed	1835 Deermont Rd.	14,040	3,704	26.38%	1	6.5	Metal roofing
1	1841 Deermont Rd.	19,330	4,066	21.0%	1	10	Ballasted roofing
2	1845 Deermont Rd.	38,380	3,604	9.4%	1	11	Built-up roofing
3	1849 Deermont Rd.	28,270	3,549	12.6%	1	13	Built-up roofing
4	1859 Deermont Rd.	29,080	4,105	14.1%	1	22	Ballasted roofing
5	1856 Deermont Rd.	14,774	2,369	16.0%	1	20	Asphalt Shingles
6	1850 Deermont Rd.	16,000	2,645	16.5%	1	20	Ballasted roofing
7	1840 Deermont Rd.	13,400	3,505	26.2%	1	25	Ballasted roofing
8	1830 Deermont Rd.	15,000	2,838	18.9%	1	29	Asphalt Shingles
9	1818 Deermont Rd.	19,000	3,099	16.3%	1	24	Ballasted roofing
10	1751 Cielito Dr.	11,200	2,972	26.5%	1	11	Unknown
11	1807 Deermont Rd.	36,421	2,823	7.8%	1	8	Asphalt Shingles
12	1819 Deermont Rd.	18,022	4,820	26.7%	2	34	Unknown
13	1831 Deermont Rd	15,110	3,251	21.5%	1	20	Ballasted roofing
Neighborhood Average		21,076	3,357	15.93%	1	18 19	Ballasted roofing

18%

PROJECT SITE: 1835 DEERMONT RD.



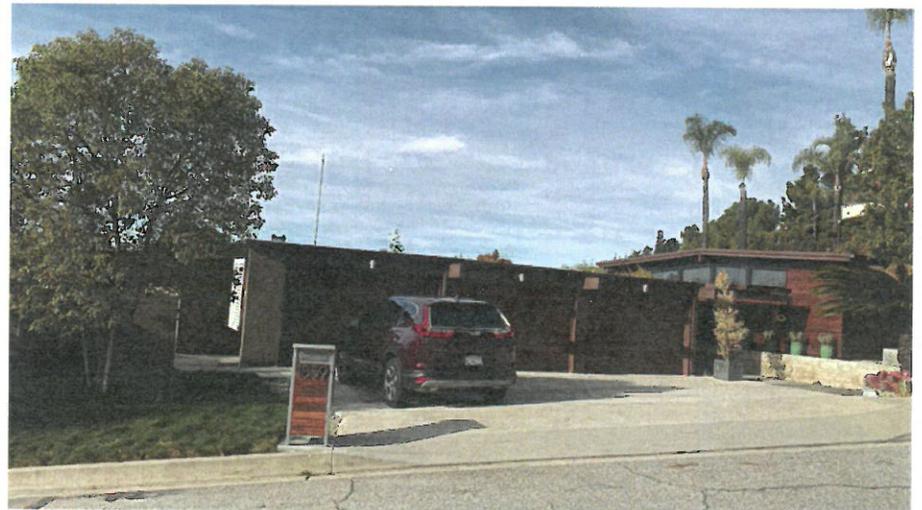
1. 1841 DEERMONT RD.



2. 1845 DEERMONT RD.



3. 1849 DEERMONT RD.



4. 1859 DEERMONT RD.

PROJECT SITE: 1835 DEERMONT RD.



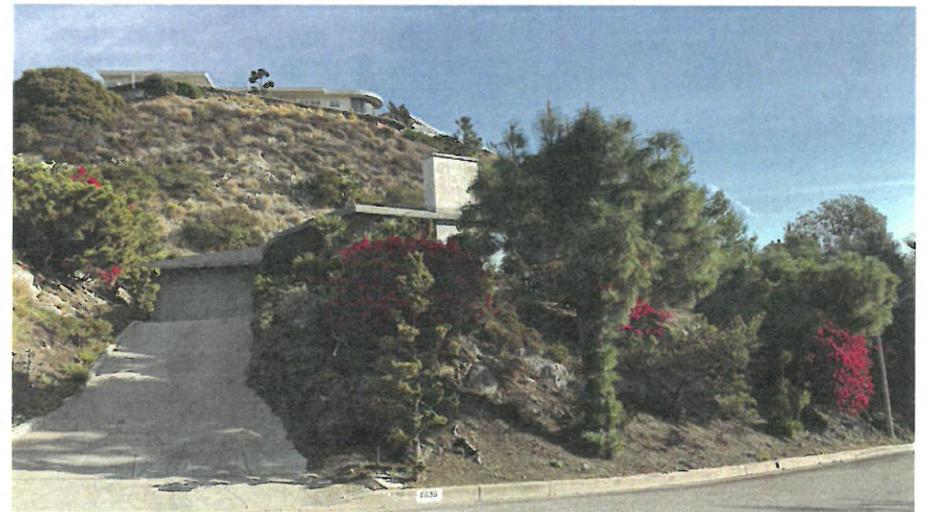
5. 1856 DEERMONT RD.



6. 1850 DEERMONT RD.

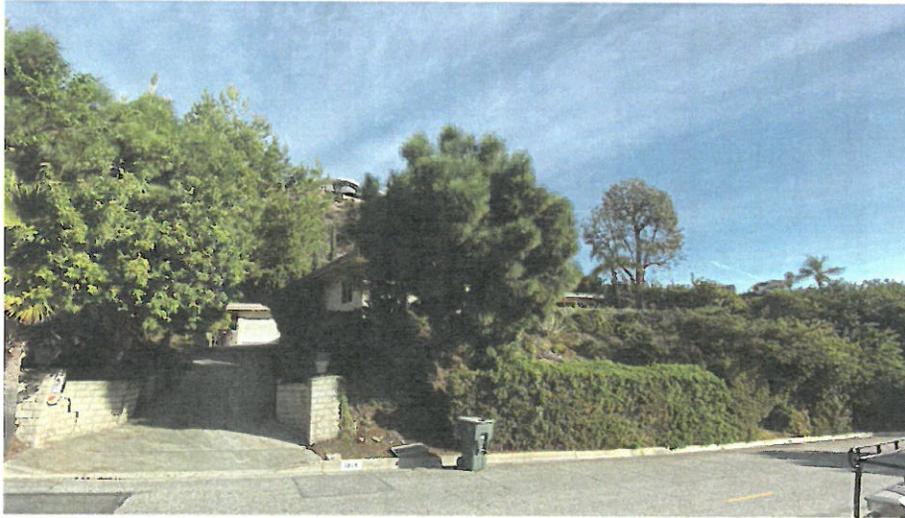


7. 1840 DEERMONT RD.

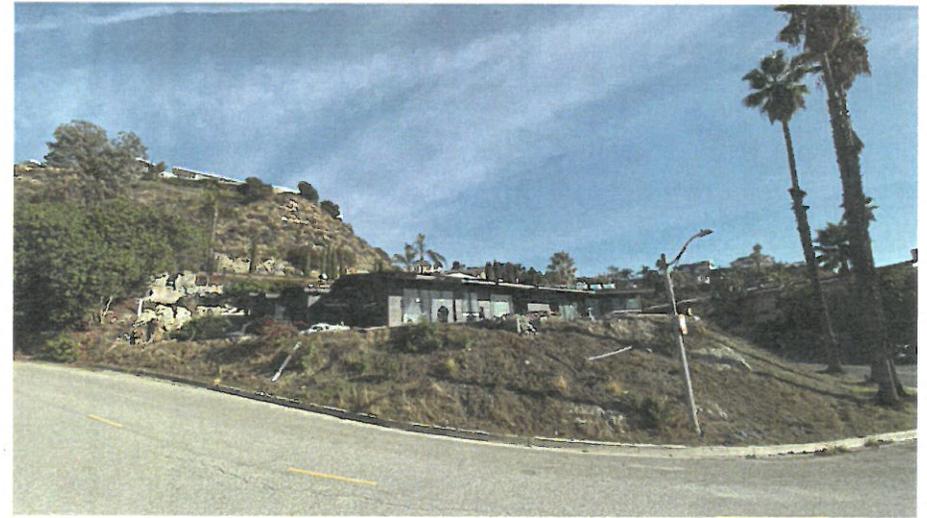


8. 1830 DEERMONT RD.

PROJECT SITE: 1835 DEERMONT RD.



9. 1818 DEERMONT RD.



10. 1751 DEERMONT RD.



11. 1807 DEERMONT RD.



12. 1819 DEERMONT RD.

PROJECT SITE: 1835 DEERMONT RD.



13. 1831 DEERMONT RD.

PROJECT SITE: 1835 DEERMONT RD.



MAIN ENTRANCE (EAST VIEW)



EAST VIEW DETAILS



NORTH VIEW



SOUTH VIEW

PROJECT SITE: 1835 DEERMONT RD.



BACK PATIO (NORTHWEST CORNER)

BACK PATIO (SOUTHWEST CORNER)



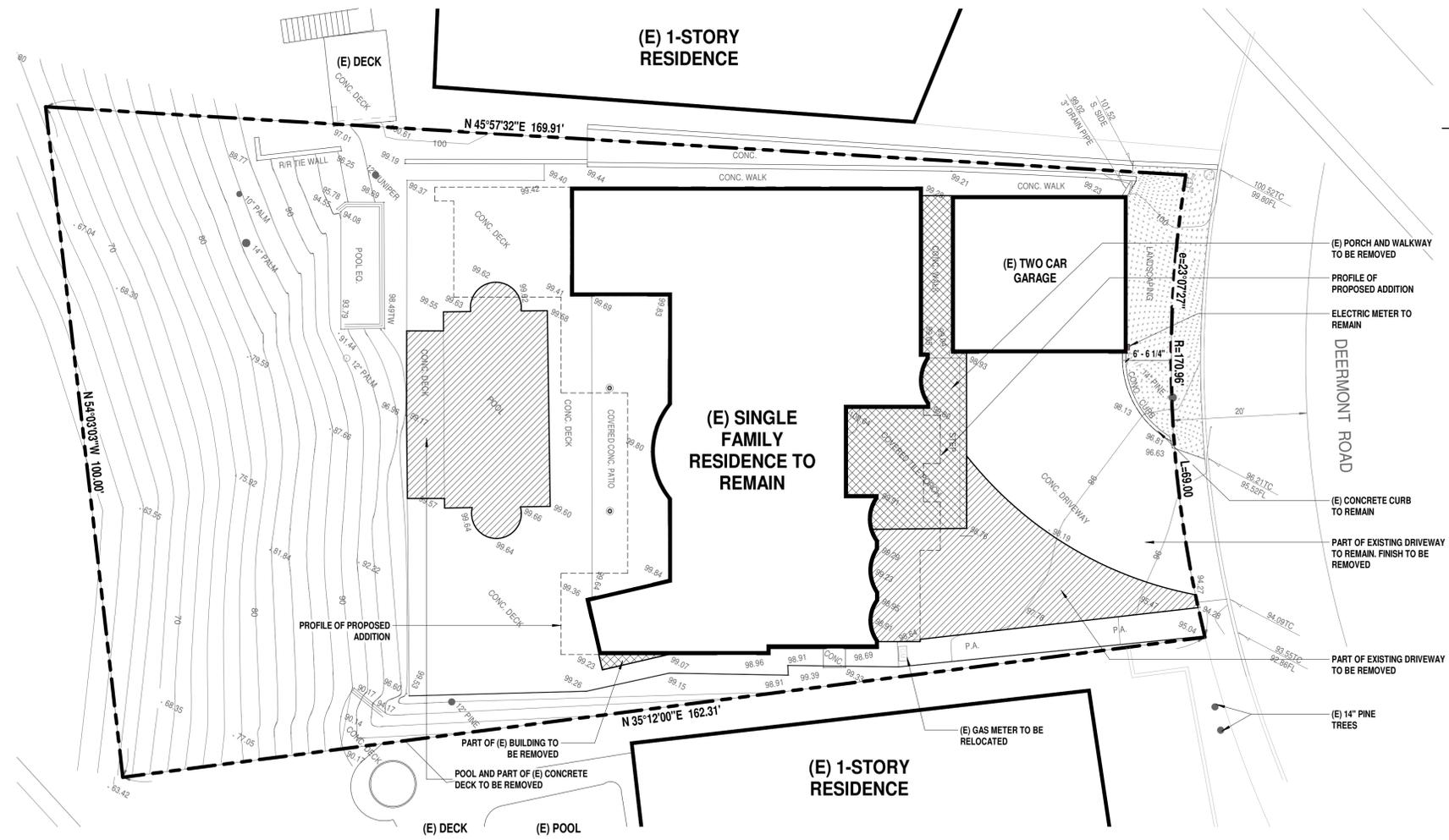
REMODEL OF A SINGLE FAMILY RESIDENCE

1835 DEERMONT RD, GLENDALE CA

Edward Vartanian & Fiona Sahakian

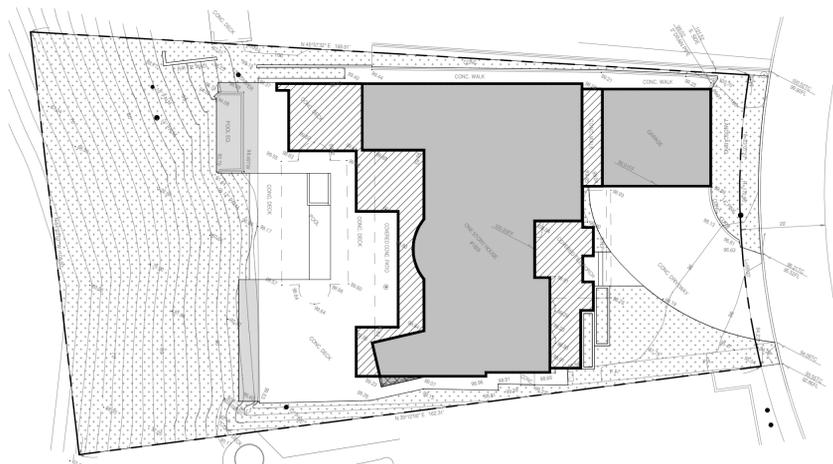
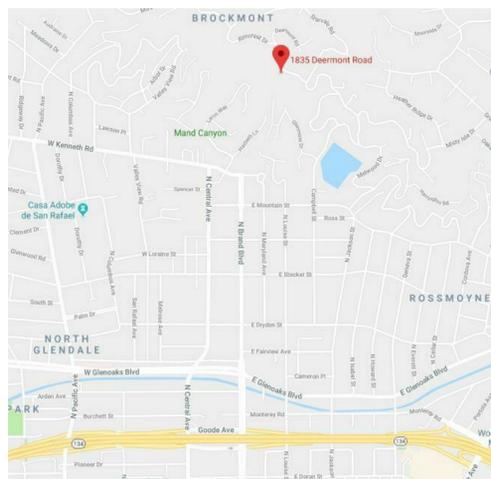
PROJECT DATA

PROJECT ADDRESS	1835 DEERMONT RD. GLENDALE CA 91207	
APN	5648031006	
PROPERTY DESCRIPTION	TRACT NO 25143 LOT 4	
ZONE	RIR - DISTRICT II	
LOT SIZE	14,040 SF	
AVERAGE SLOPE	29.1 % PER SURVEY	
(E) BUILDING AREA	RESIDENCE 2,633 SF (PER ASSESSOR)	
	GARAGE 560 SF (NOT COUNTED)	
MAX. FAR ALLOWED	10,000 SF X 0.40 = 4,000 SF 4,040 SF X 0.10 = 404 SF = 4,404 SF	
PROPOSED FAR	(E) BUILDING	2,633 SF (PER ASSESSOR)
	PROPOSED HOUSE ADDITION	1,083 SF
	PROPOSED HOUSE DEMO	3,716 SF
	(E) GARAGE	560 SF
	(N) GARAGE ADDITION	113 SF
		673 SF (NOT COUNTED TOWARDS FAR)
MAXIMUM COVERAGE ALLOWED	14,040 SF X 0.40 = 5,616 SF	
PROPOSED COVERAGE	5,049 SF (35.96%) REFER TO SHEET D-A1.3	
MINIMUM LANDSCAPED AREA REQ'D	14,040 SF X 0.40 = 5,616 SF	
PROPOSED LANDSCAPED AREA	5,635.67 SF (LIVE PLANTING)	6,098 SF (43.43%) REFER TO SHEET D-A1.3
	462 SF (POOL)	
MAX. HEIGHT ALLOWED	32 FEET + 3 FEET (WITH 3:12 ROOF PITCH) 20 FEET MAX. FOR 4 FOOT SIDEYARDS	
(E) MAX. HEIGHT	14' - 8 3/4" @ 98.69' LOWEST PT.	
PROPOSED MAXIMUM HEIGHT	15' - 2 1/2" @ 98.21' LOWEST PT.	
SCOPE OF WORK	SCOPE OF WORK	
	• 1,071 SF ADDITION TO AN (E) 2,633 SF 1 STORY RESIDENCE BUILT IN 1962	
	• NEW POOL TO REPLACE EXISTING POOL	
	• NEW DECK EXTENSION	
• REPLACEMENT OF ALL EXISTING WINDOWS		



3 EXISTING AND DEMO SITE PLAN
3/32" = 1'-0"

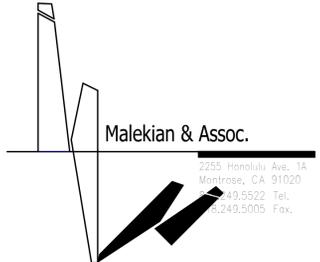
VICINITY MAP



1 CUT AND FILL DIAGRAM
1" = 20'-0"

CUT & FILL LEGEND

- CUT: 0 CUBIC YARDS
- FILL: 0 CUBIC YARDS



REMODEL OF A SINGLE FAMILY RESIDENCE

1835 DEERMONT RD
GLENDALE CA 91207

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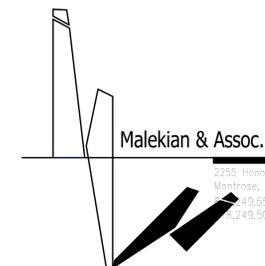
COVER SHEET & DEMO SITE PLAN

Project Status

03/19/2020

Project Number

D- T-1.0



REMODEL OF A SINGLE FAMILY RESIDENCE

1835 DEERMONT RD
GLENDALE CA 91207

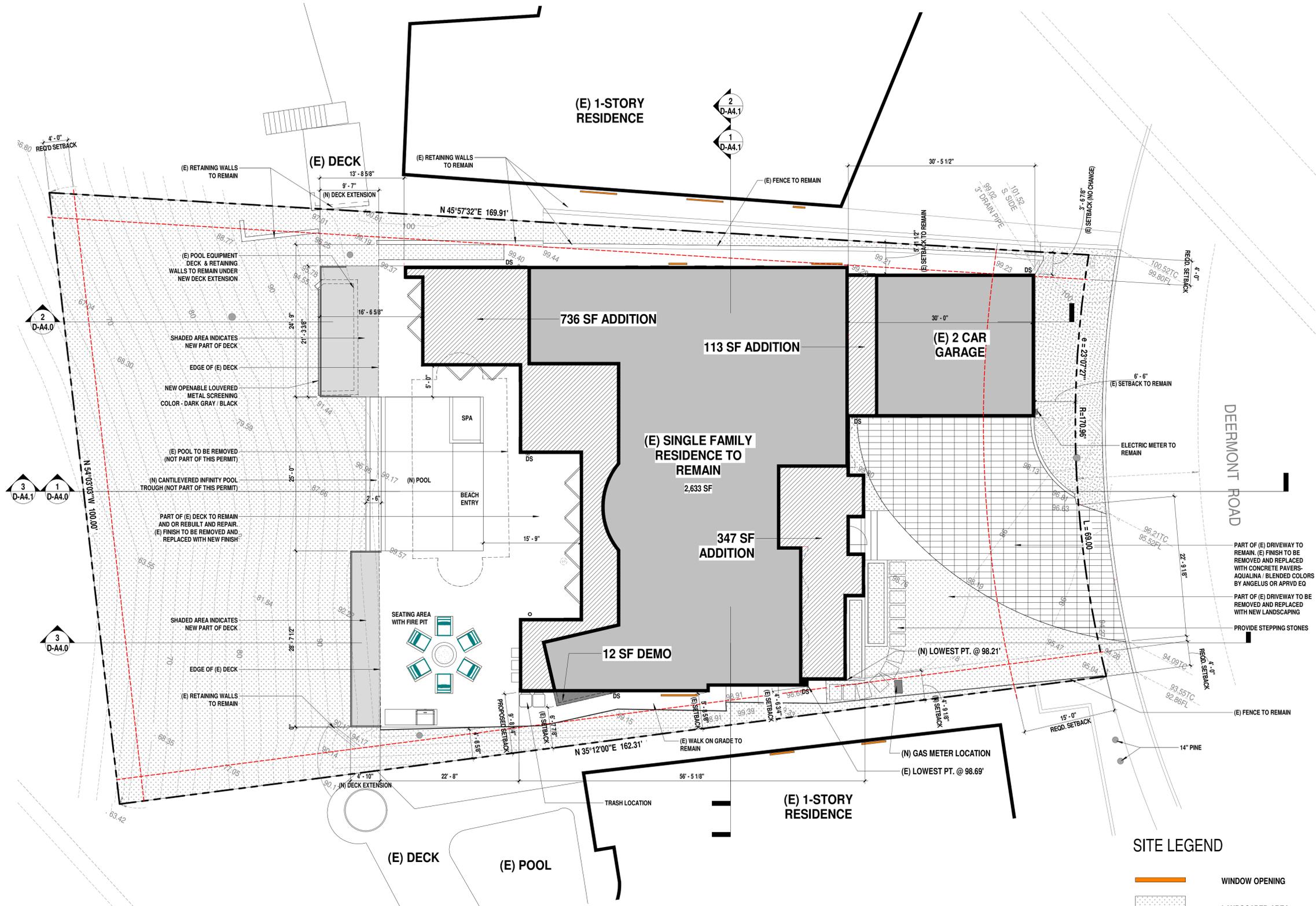
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SITE PLAN

Project Status

02/26/2020

Project Number



SITE NOTES

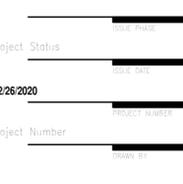
1. THERE ARE NO OAK, BAY OR SYCAMORE TREES LOCATED ON THE LOT OR WITHIN 20 FEET OF THE LOT

1 PROPOSED SITE PLAN
1/8" = 1'-0"



SITE LEGEND

- WINDOW OPENING
- LANDSCAPED AREA
- (E) BUILDING
- PROPOSED DECK ADDITION
- PROPOSED BUILDING ADDITION
- CONCRETE PAVERS



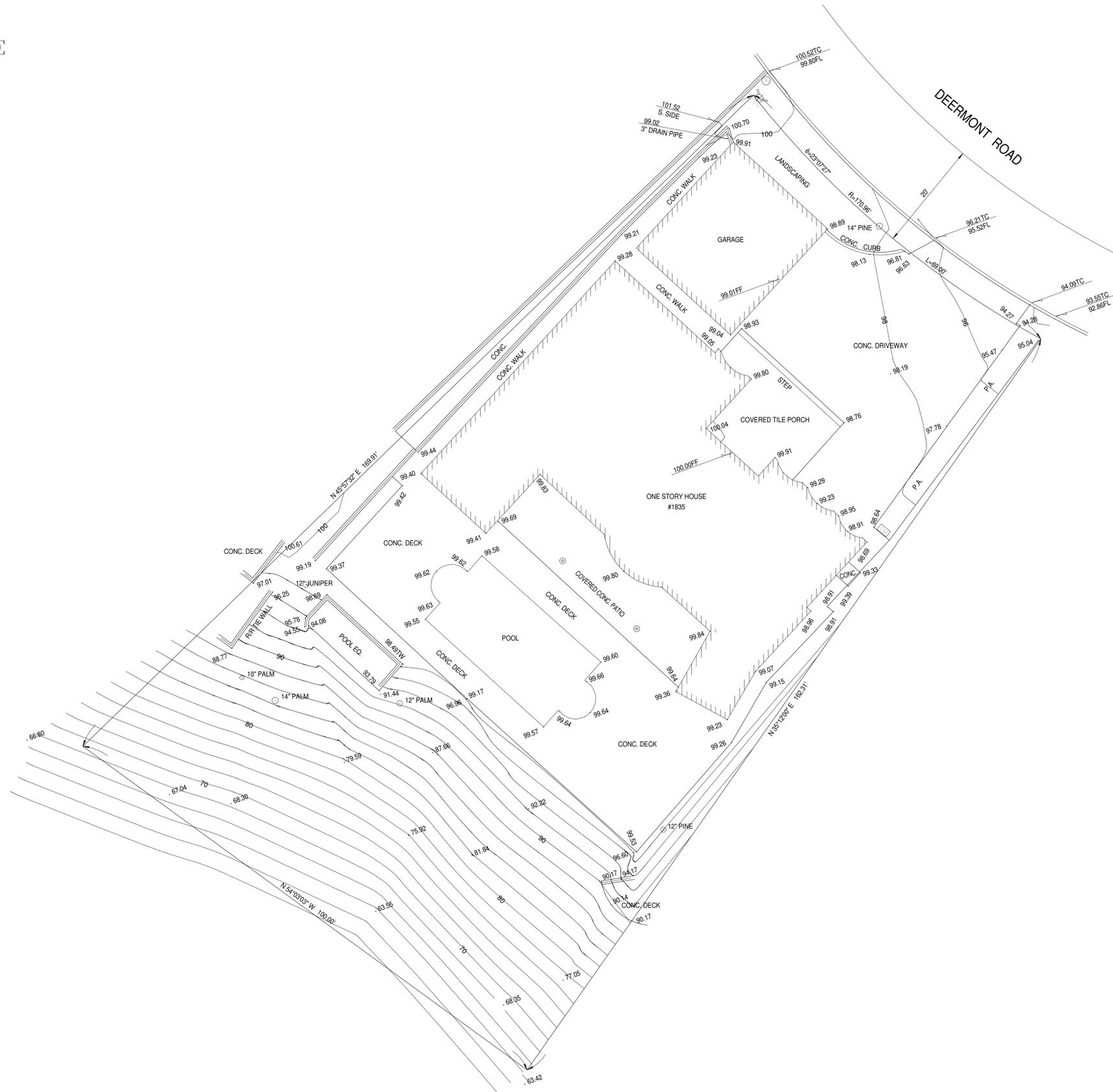
CALIFORNIA SURVEYING SERVICE

LOT 4 OF TRACT NO. 25143, M.B. 680, PGS. 21-23

R.J. Smith - L.S. 5189
 Phone: (818) 957-3345
 Email: randall2741@att.net
 Date: February 1, 2018
 Job No. 2550

AVERAGE SLOPE

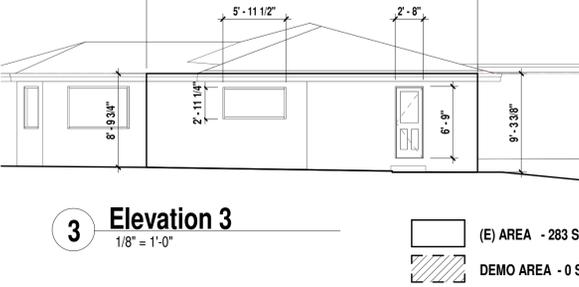
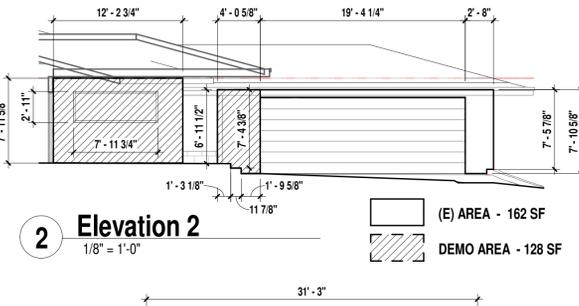
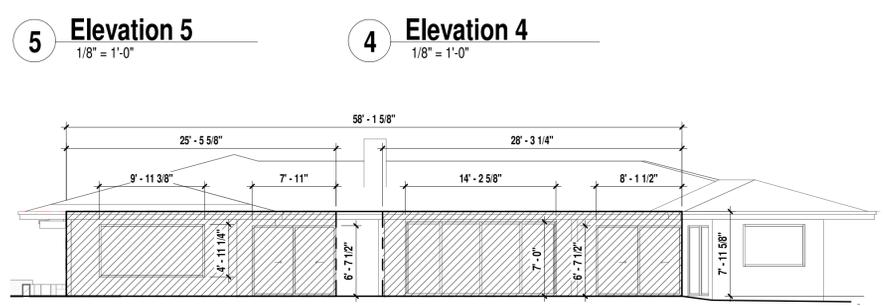
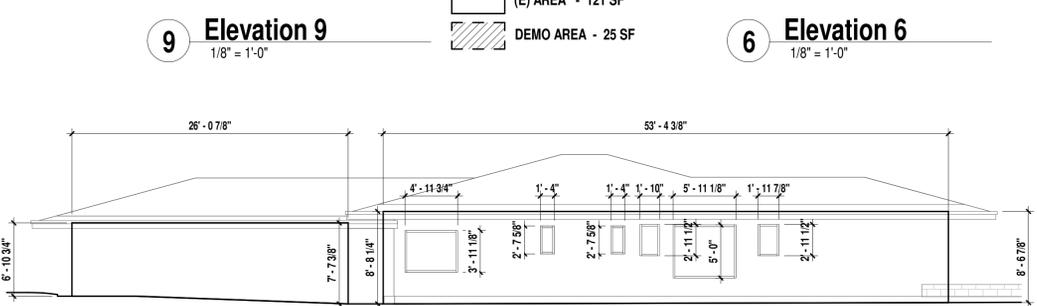
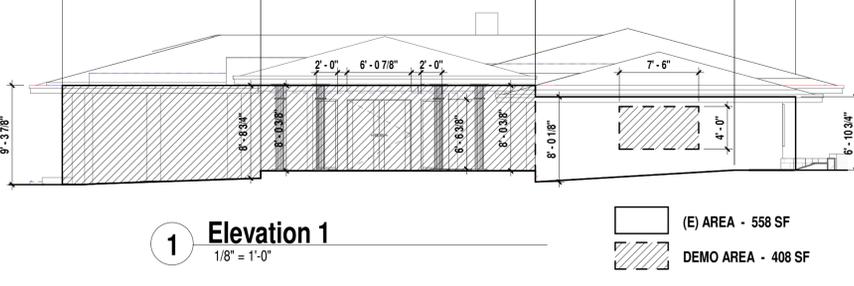
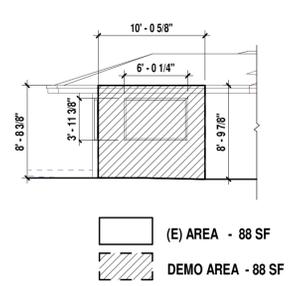
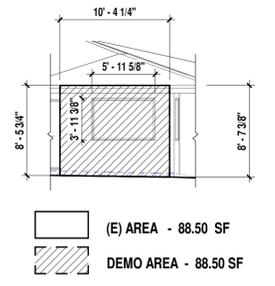
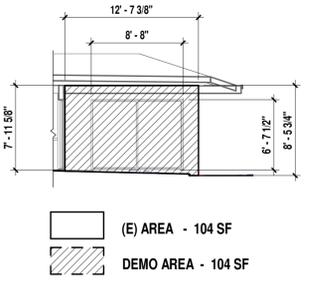
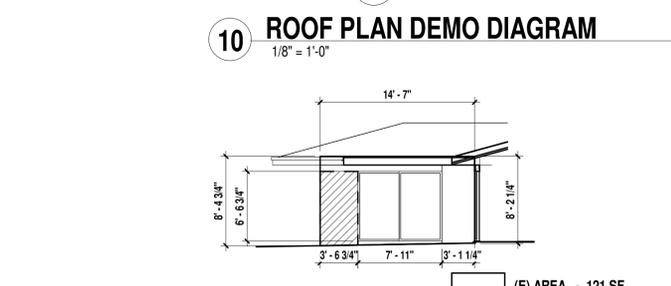
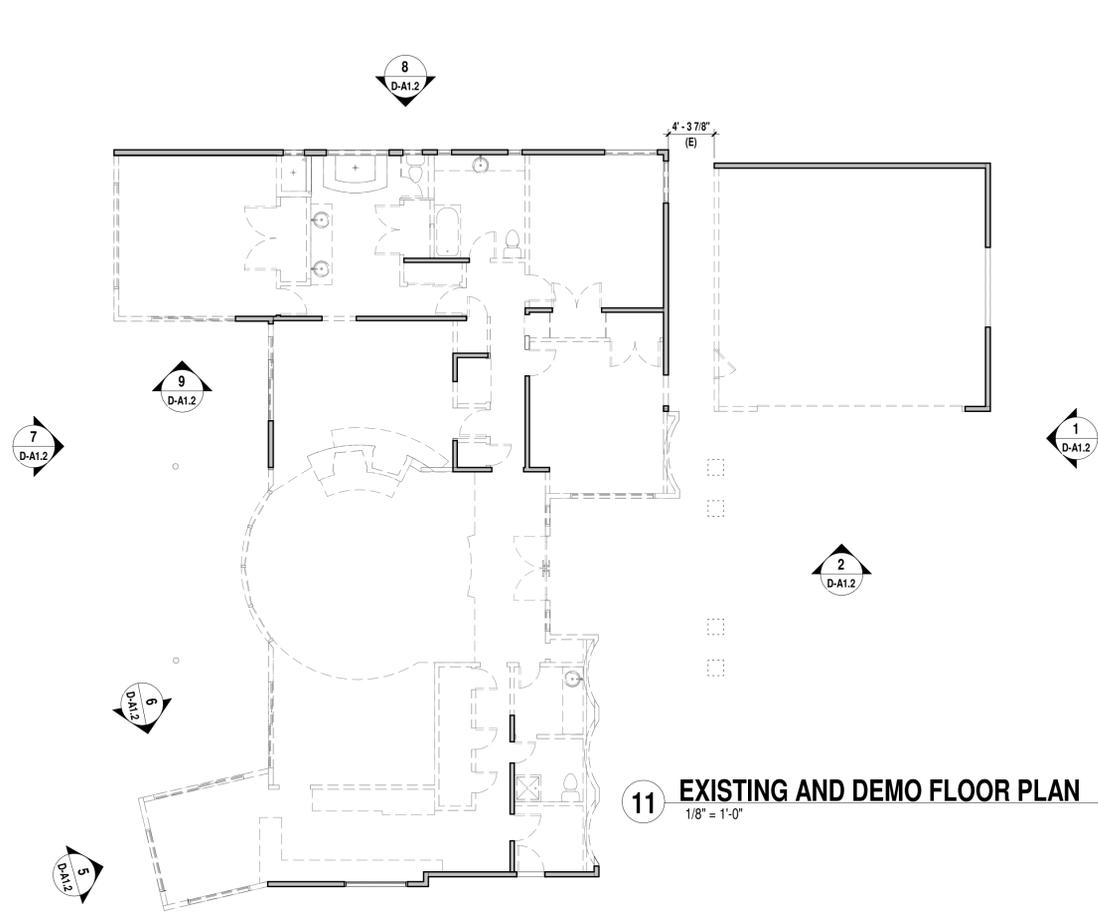
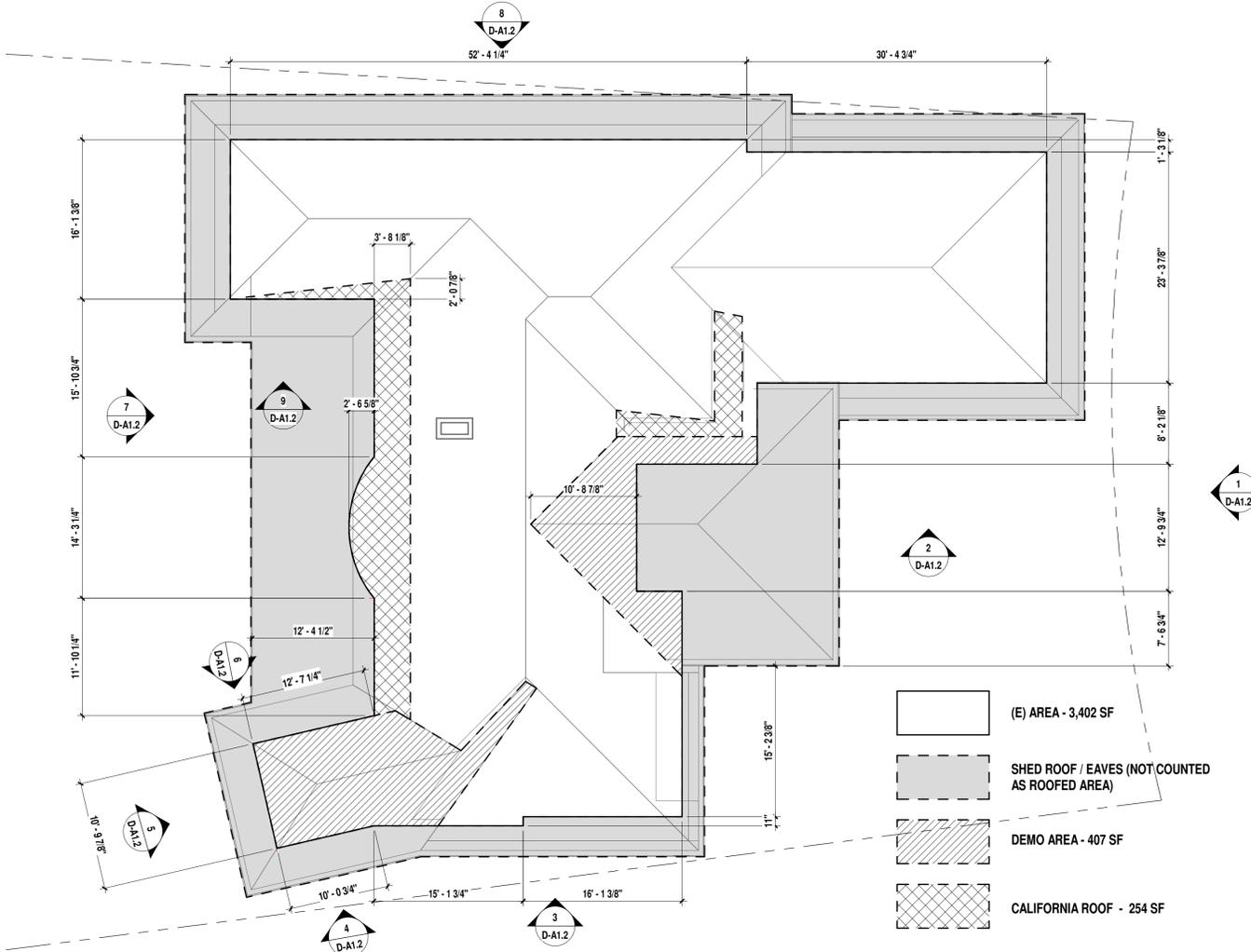
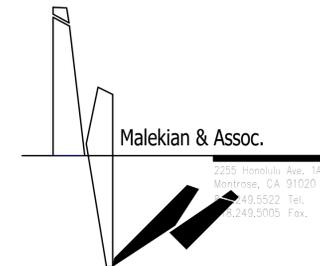
$$S = \frac{.002296 \times 2 \times 2078}{0.32 \text{ AC.}} = 29.8\%$$



LEGEND:

- | | |
|-------|----------------------------|
| CONC. | CONCRETE |
| E | EAST |
| FF | FINISHED FLOOR |
| FL | FLOWLINE |
| N | NORTH |
| S | SOUTH |
| TC | TOP OF CURB |
| TW | TOP OF WALL |
| W | WEST |
| | BUILDING LINE |
| | CABLE TV BOX |
| | CENTERLINE |
| | FENCE, WROUGHT IRON |
| | FIRE HYDRANT |
| | GAS METER |
| | PROPERTY LINE |
| | SPOT ELEVATIONS |
| | SUPPORT POST, 3" DIA. WALL |

03/19/2020



TOTAL (E) WALL AREA = 558 + 162 + 283 + 88 + 88.5 + 104 + 463 + 647 + 121 = 2,514.50 SF
 TOTAL (E) ROOF AREA = 3,402 SF

TOTAL AREA OF (E) WALL TO BE DEMOLISHED = 408 + 128 + 0 + 88 + 88.50 + 104 + 428 + 0 + 25 = 1,269.50 SF (32.63%)
 TOTAL AREA OF (E) ROOF TO BE DEMOLISHED = DEMO + CALIFORNIA ROOF = 407 + 254 SF = 661 SF

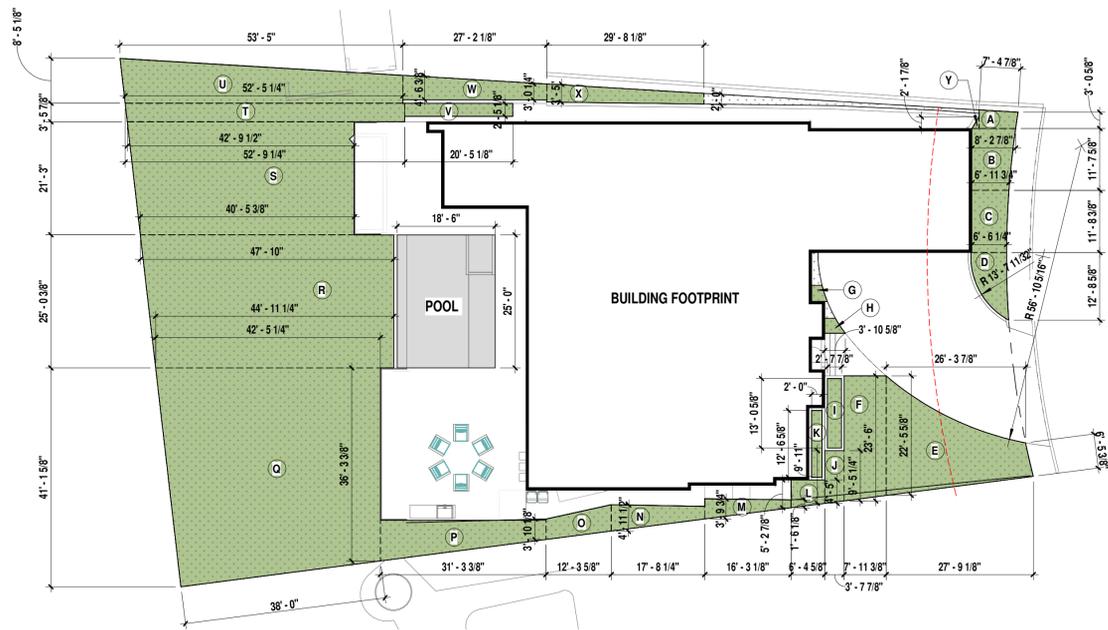
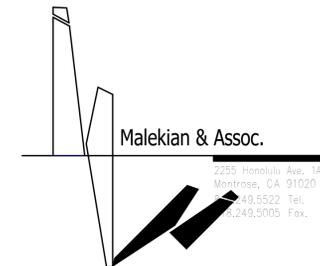
REMODEL OF A SINGLE FAMILY RESIDENCE

1835 DEERMONT RD
 GLENDALE CA 91207

DEMO DIAGRAM

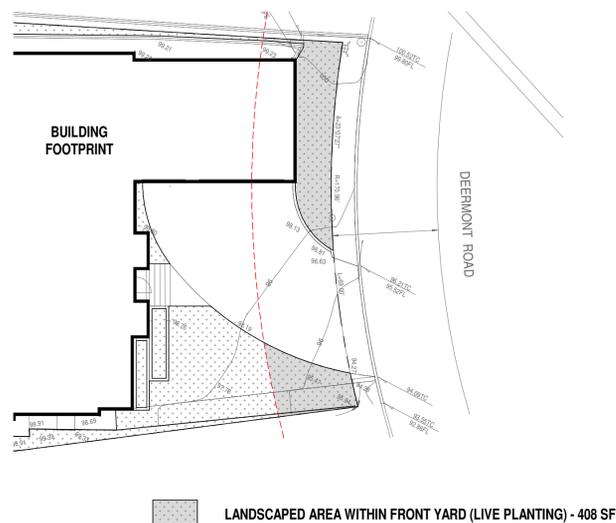
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Project Status	ISSUE TRACK
03/19/2020	ISSUE TRACK
Project Number	ISSUE TRACK



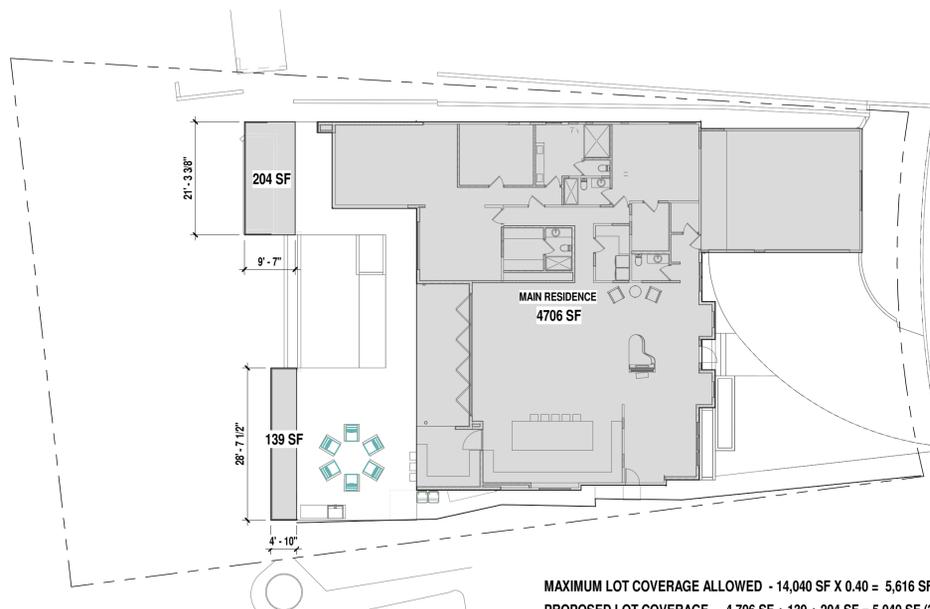
MINIMUM PERMANENTLY LANDSCAPED AREA REQUIRED - 14,040 SF X 0.40 = 5,616 SF
 PROPOSED PERMANENTLY LANDSCAPED AREA
 TOTAL LIVE PLANTING = 5,712 SF BUT ONLY 5,635.67 SF COUNTED (AREAS 2 FT WIDE OR MORE) - 100.35% OF REQ'D LANDSCAPED AREA
 6,098 SF (43.43%)
 POOL AREA - 462 SF

3 LANDSCAPE DIAGRAM
 1/16" = 1'-0"



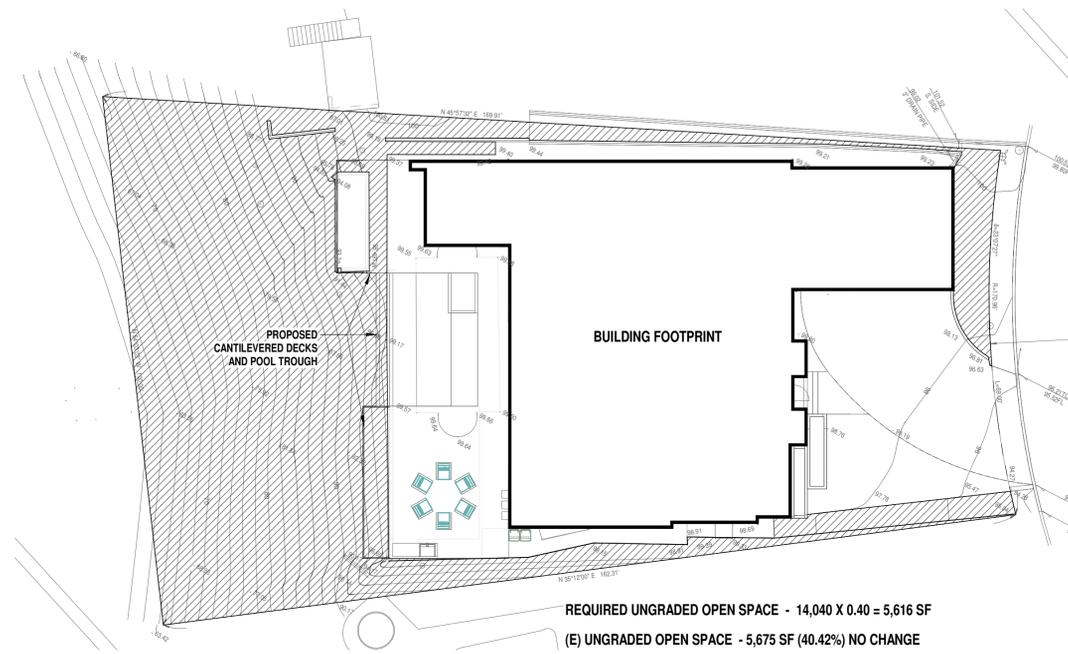
4 FRONT YARD LANDSCAPE DIAGRAM
 1/16" = 1'-0"

AREAS	SF
A	23.46
B	87.77
C	78.17
D	62.76
E	348.71
F	182.69
G	7.42
H	8.22
I	34.69
J	35.39
K	25.10
L	30.82
M	42.82
N	64.76
O	54.15
P	176.41
Q	1556.56
R	1161.39
S	877.99
T	183.33
U	358.05
V	50.02
W	103.15
X	80.39
Y	1.45
TOTAL	5,635.67



MAXIMUM LOT COVERAGE ALLOWED - 14,040 SF X 0.40 = 5,616 SF
 PROPOSED LOT COVERAGE - 4,706 SF + 139 + 204 SF = 5,049 SF (35.96%)

1 COVERAGE DIAGRAM
 1/16" = 1'-0"



2 (E) UNGRADED AREA DIAGRAM
 1/16" = 1'-0"

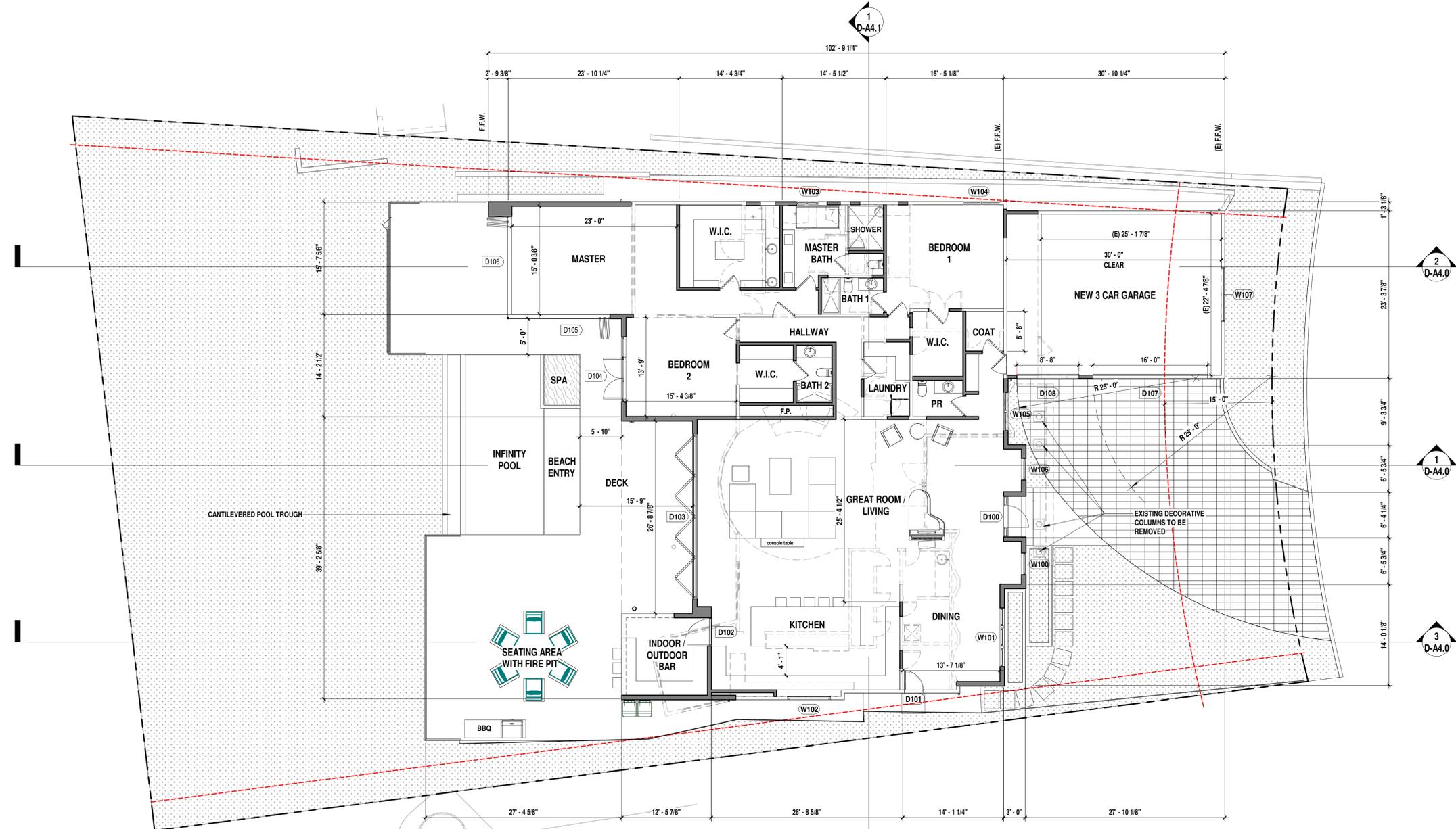
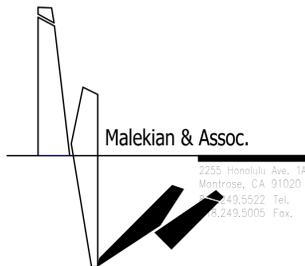
REMODEL OF A SINGLE FAMILY RESIDENCE

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ZONING DIAGRAMS

Project Status
 03/19/2020
 Project Number



1 D-A4.0
2 D-A4.0
1 D-A4.0
3 D-A4.0

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PROPOSED AND DEMO FLOOR PLAN

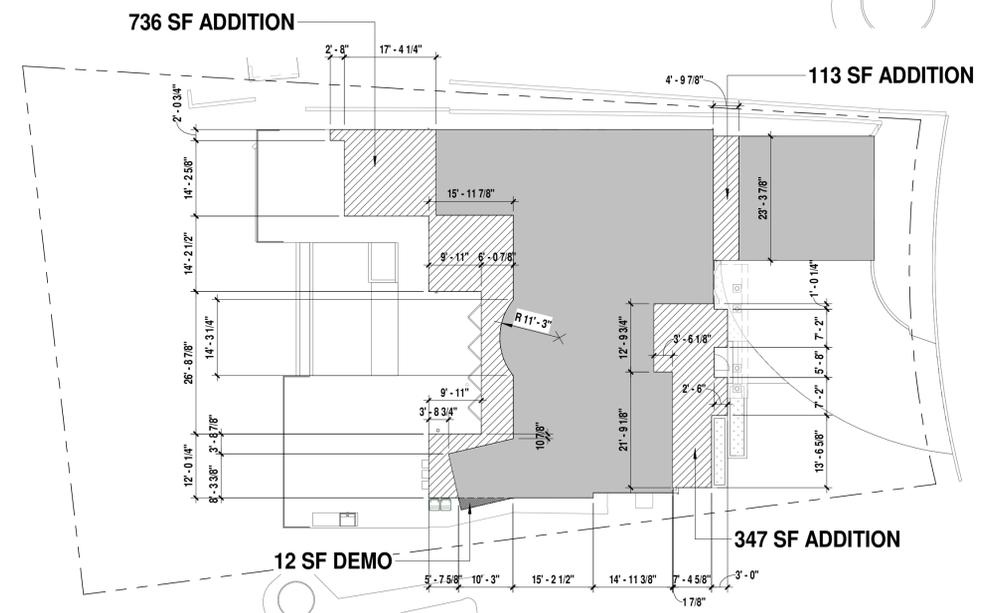
Project Status	ISSUE TRACK
03/19/2020	ISSUE TRACK
Project Number	ISSUE TRACK

1 PROPOSED AND DEMO FLOOR PLAN
1/8" = 1'-0"

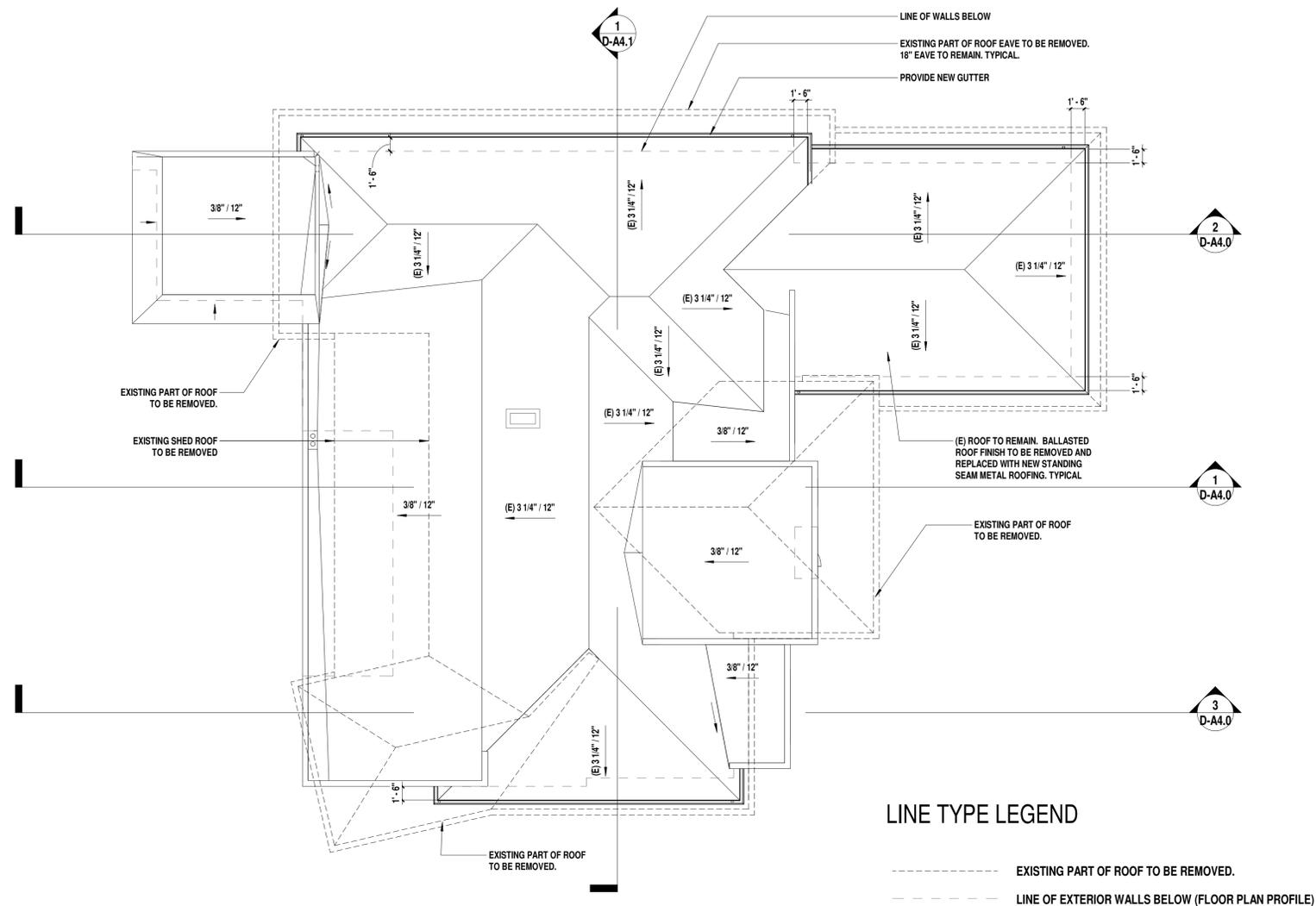
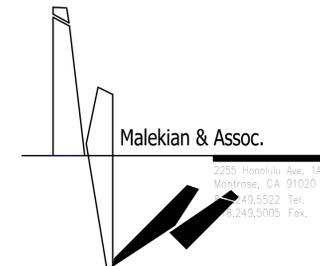


WALL LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW WALLS



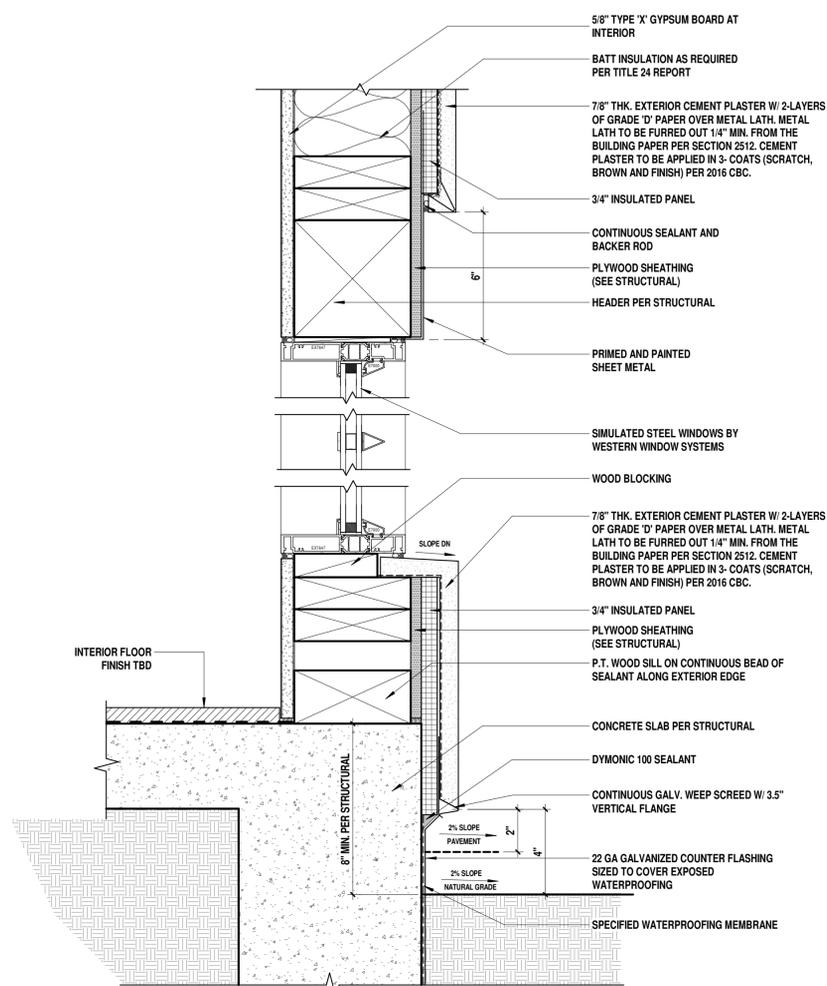
2 FLOOR AREA DIAGRAM
1/16" = 1'-0"



1 PROPOSED AND DEMO ROOF PLAN
1/8" = 1'-0"

LINE TYPE LEGEND

- EXISTING PART OF ROOF TO BE REMOVED.
- - - LINE OF EXTERIOR WALLS BELOW (FLOOR PLAN PROFILE)



2 TYPICAL WINDOW HEAD AND SILL DETAIL
3" = 1'-0"

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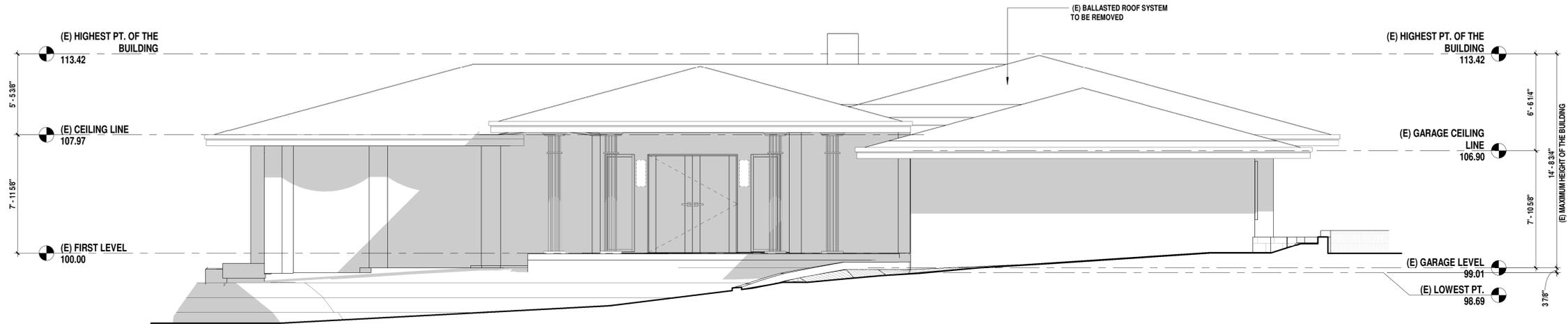
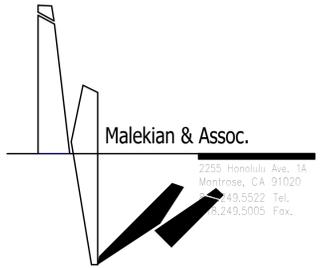
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PROPOSED AND DEMO ROOF PLAN / WINDOW DETAIL

Project Status

03/19/2020

Project Number



1 (E) NORTHEAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTHEAST ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

(A) NEW STANDING SEAM BOX-BATTEN METAL ROOF COLOR - SLATE GRAY OR APP'V'D. EQ.	(E) LIMESTONE ENTRY MOULDING COLOR: SEA SALT OR APP'V'D. EQ.	(I) NEW SIMULATED STEEL BI-FOLDING DOOR BY WESTERN WITH METAL LINTEL FRAME COLOR: BRONZE ANODIZED	(M) POOL TROUGH FINISHED WITH LIMESTONES COLOR: SEA SALT OR APP'V'D. EQ.
(B) SMOOTH TROWELL PLASTER FINISH COLOR - DEW383 OR APP'V'D. EQ.	(F) (E) PLASTERED WALL TO BE REPAINTED COLOR - DEW383 OR APP'V'D. EQ.	(J) (E) CHIMNEY TO BE REFINISHED WITH LIMESTONE COLOR: SEA SALT OR APP'V'D. EQ.	(N) GLASS RAILING
(C) LIMESTONE CORNICE COLOR - SEA SALT OR APP'V'D. EQ.	(G) OIL RUBBED BRONZE OUTDOOR SCNCE OR APP'V'D. EQ.	(K) NEW SIMULATED STEEL HINGED DOOR BY WESTERN FRAME COLOR: BRONZE ANODIZED	(O) NEW OPENABLE LOUVERED METAL SCREENING COLOR: DARK GRAY / BLACK
(D) NEW SIMULATED STEEL WINDOWS BY WESTERN WITH METAL LINTEL FRAME COLOR - BRONZE ANODIZED	(H) NEW PAINTED ROOF FASCIA, GUTTER AND DOWNSPOUTS COLOR: DE6357 (TO MATCH WINDOW FRAMES) OR APP'V'D. EQ.	(L) NEW STEEL GARAGE DOOR BY CLOPAY COLOR: CHARCOAL OR APP'V'D. EQ.	

REMODEL OF A SINGLE FAMILY RESIDENCE

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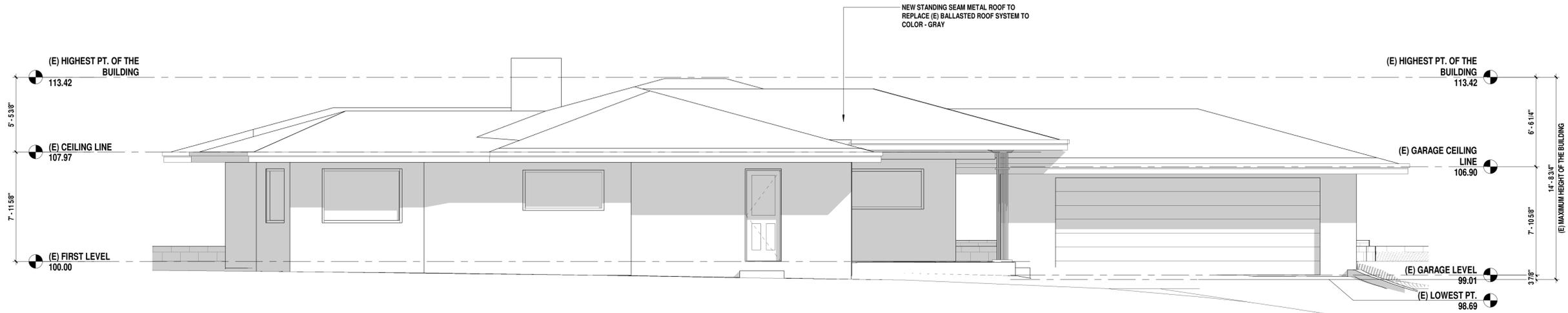
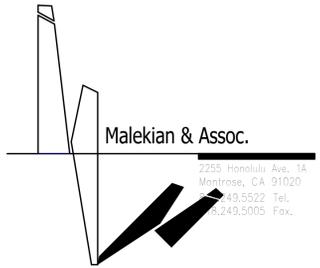
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ELEVATIONS

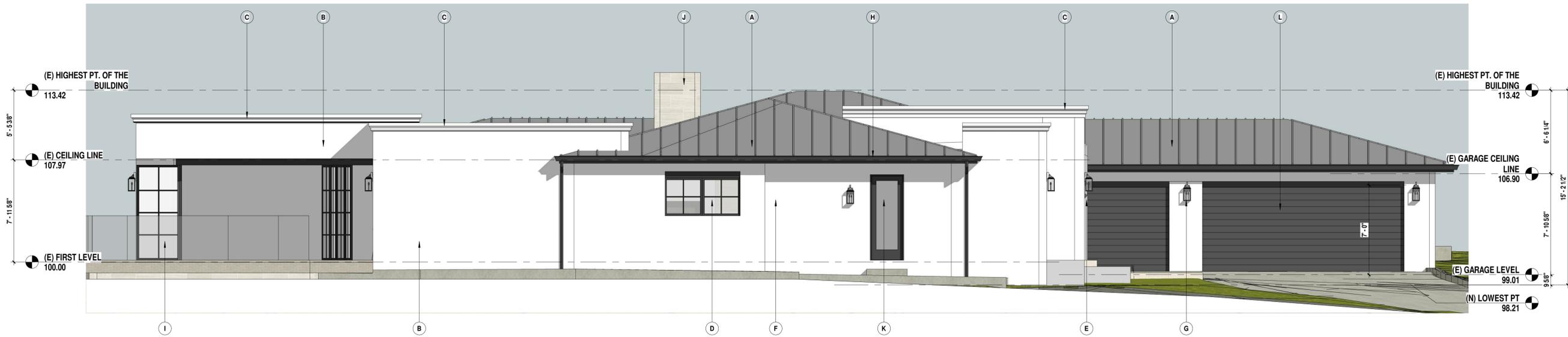
Project Status

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Project Number



1 (E) SOUTHEAST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTHEAST ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

(A) NEW STANDING SEAM BOX-BATTEN METAL ROOF COLOR - SLATE GRAY OR APP'VD. EQ.	(E) LIMESTONE ENTRY MOULDING COLOR: SEA SALT OR APP'VD. EQ.	(I) NEW SIMULATED STEEL BI-FOLDING DOOR BY WESTERN WITH METAL LINTEL FRAME COLOR: BRONZE ANODIZED	(M) POOL TROUGH FINISHED WITH LIMESTONES COLOR: SEA SALT OR APP'VD. EQ.
(B) SMOOTH TROWELL PLASTER FINISH COLOR - DEW383 OR APP'VD. EQ.	(F) (E) PLASTERED WALL TO BE REPAINTED COLOR - DEW383 OR APP'VD. EQ.	(J) (E) CHIMNEY TO BE REFINISHED WITH LIMESTONE COLOR: SEA SALT OR APP'VD. EQ.	(N) GLASS RAILING
(C) LIMESTONE CORNICE COLOR - SEA SALT OR APP'VD. EQ.	(G) OIL RUBBED BRONZE OUTDOOR SCONCE OR APP'VD. EQ.	(K) NEW SIMULATED STEEL HINGED DOOR BY WESTERN FRAME COLOR: BRONZE ANODIZED	(O) NEW OPENABLE LOUVERED METAL SCREENING COLOR: DARK GRAY / BLACK
(D) NEW SIMULATED STEEL WINDOWS BY WESTERN WITH METAL LINTEL FRAME COLOR - BRONZE ANODIZED	(H) NEW PAINTED ROOF FASCIA, GUTTER AND DOWNSPOUTS COLOR: DE6357 (TO MATCH WINDOW FRAMES) OR APP'VD. EQ.	(L) NEW STEEL GARAGE DOOR BY CLOPAY COLOR: CHARCOAL OR APP'VD. EQ.	

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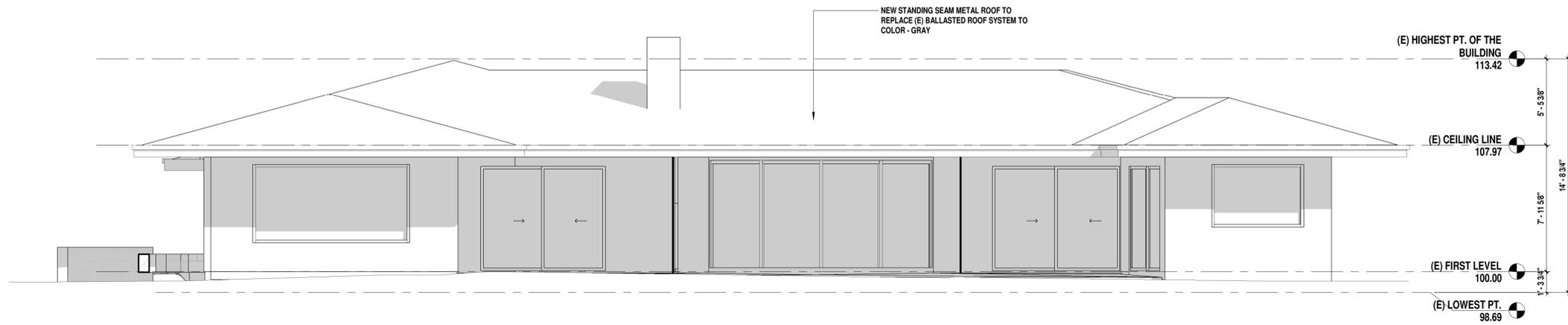
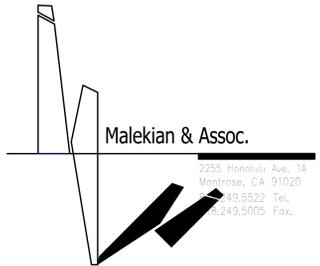
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ELEVATIONS

Project Status

03/19/2020

Project Number



2 (E) SOUTHWEST ELEVATION
1/4" = 1'-0"



1 PROPOSED SOUTHWEST ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

A	NEW STANDING SEAM BOX-BATTEN METAL ROOF COLOR - SLATE GRAY OR APPVD. EQ.	E	LIMESTONE ENTRY MOULDING COLOR: SEA SALT OR APPVD. EQ.	I	NEW SIMULATED STEEL BI-FOLDING DOOR BY WESTERN WITH METAL LINTEL FRAME COLOR: BRONZE ANODIZED	M	POOL TROUGH FINISHED WITH LIMESTONES COLOR: SEA SALT OR APPVD. EQ.
B	SMOOTH TROWELL PLASTER FINISH COLOR - DEW383 OR APPVD. EQ.	F	(E) PLASTERED WALL TO BE REPAINTED COLOR - DEW383 OR APPVD. EQ.	J	(E) CHIMNEY TO BE REFINISHED WITH LIMESTONE COLOR: SEA SALT OR APPVD. EQ.	N	GLASS RAILING
C	LIMESTONE CORNICE COLOR - SEA SALT OR APPVD. EQ.	G	OIL RUBBED BRONZE OUTDOOR SCNCE OR APPVD. EQ.	K	NEW SIMULATED STEEL HINGED DOOR BY WESTERN FRAME COLOR: BRONZE ANODIZED	O	NEW OPENABLE LOUVERED METAL SCREENING COLOR: DARK GRAY / BLACK
D	NEW SIMULATED STEEL WINDOWS BY WESTERN WITH METAL LINTEL FRAME COLOR - BRONZE ANODIZED	H	NEW PAINTED ROOF FASCIA, GUTTER AND DOWNSPOUTS COLOR: DE6357 (TO MATCH WINDOW FRAMES) OR APPVD. EQ.	L	NEW STEEL GARAGE DOOR BY CLOPAY COLOR: CHARCOAL OR APPVD. EQ.		

REMODEL OF A SINGLE FAMILY RESIDENCE

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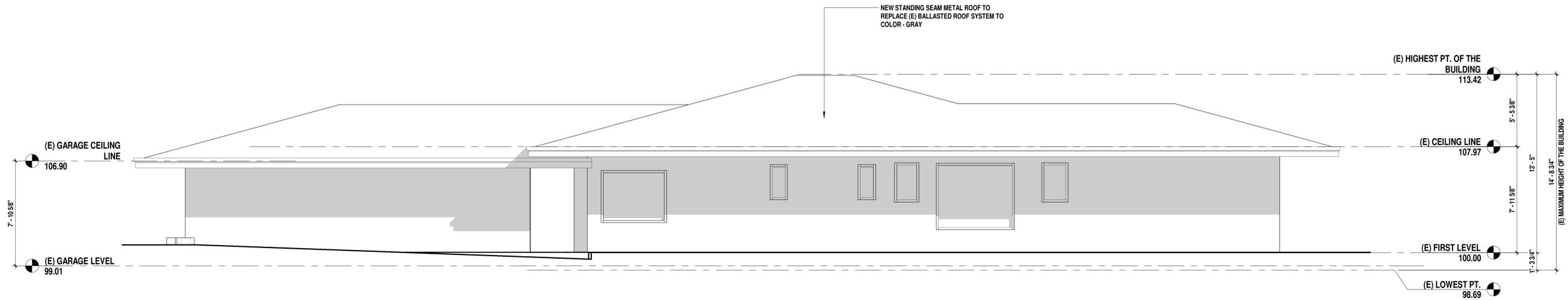
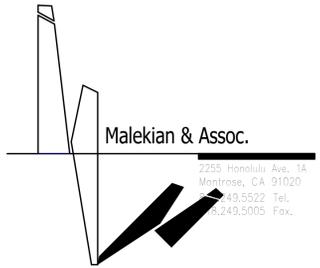
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ELEVATIONS

Project Status

03/19/2020

Project Number



2 (E) NORTHWEST ELEVATION
1/4" = 1'-0"



1 PROPOSED NORTHWEST ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES			
A	NEW STANDING SEAM BOX-BATTEN METAL ROOF COLOR - SLATE GRAY OR APPVD. EQ.	E	LIMESTONE ENTRY MOULDING COLOR: SEA SALT OR APPVD. EQ.
B	SMOOTH TROWELL PLASTER FINISH COLOR - DEW383 OR APPVD. EQ.	F	(E) PLASTERED WALL TO BE REPAINTED COLOR - DEW383 OR APPVD. EQ.
C	LIMESTONE CORNICE COLOR - SEA SALT OR APPVD. EQ.	G	OIL RUBBED BRONZE OUTDOOR SCONCE OR APPVD. EQ.
D	NEW SIMULATED STEEL WINDOWS BY WESTERN WITH METAL LINTEL FRAME COLOR - BRONZE ANODIZED	H	NEW PAINTED ROOF FASCIA, GUTTER AND DOWNSPOUTS COLOR: DE6357 (TO MATCH WINDOW FRAMES) OR APPVD. EQ.
		I	NEW SIMULATED STEEL BI-FOLDING DOOR BY WESTERN WITH METAL LINTEL FRAME COLOR: BRONZE ANODIZED
		J	(E) CHIMNEY TO BE REFINISHED WITH LIMESTONE COLOR: SEA SALT OR APPVD. EQ.
		K	NEW SIMULATED STEEL HINGED DOOR BY WESTERN FRAME COLOR: BRONZE ANODIZED
		L	NEW STEEL GARAGE DOOR BY CLOPAY COLOR: CHARCOAL OR APPVD. EQ.
		M	POOL TROUGH FINISHED WITH LIMESTONES COLOR: SEA SALT OR APPVD. EQ.
		N	GLASS RAILING
		O	NEW OPENABLE LOUVERED METAL SCREENING COLOR: DARK GRAY / BLACK

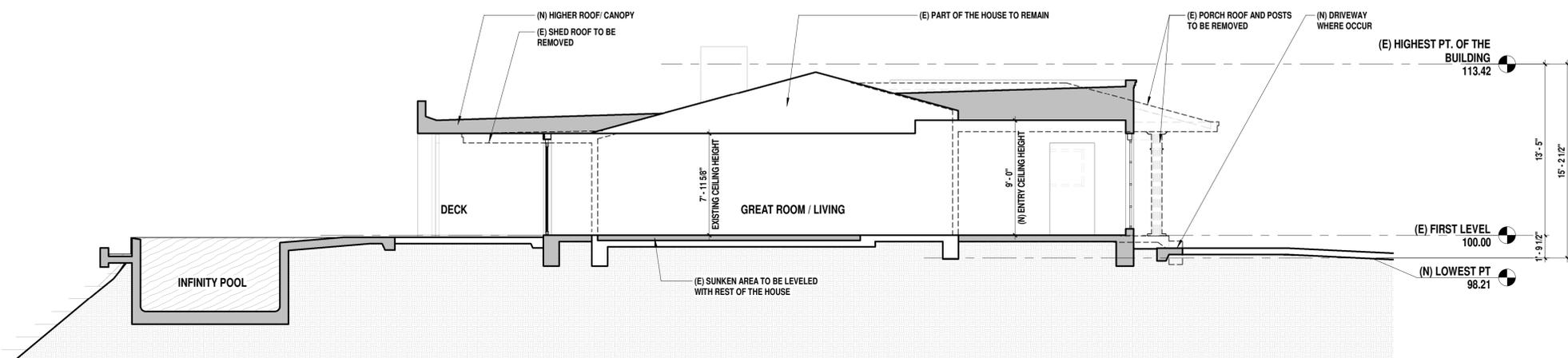
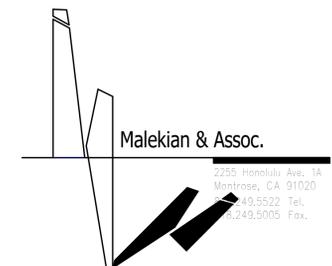
REMODEL OF A SINGLE FAMILY RESIDENCE

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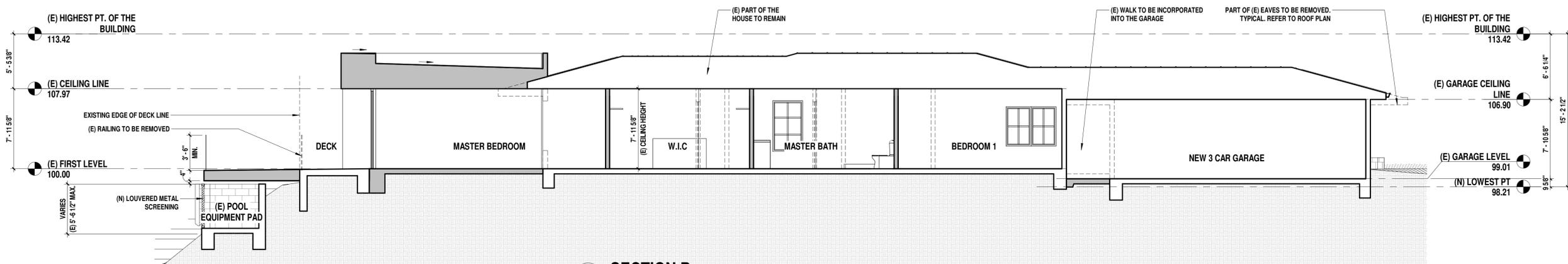
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ELEVATIONS

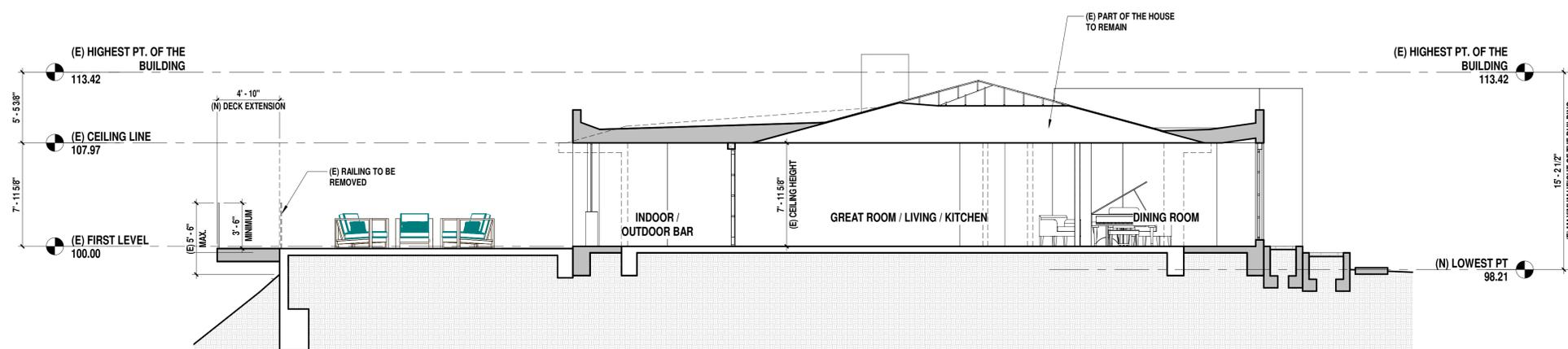
Project Status
03/19/2020
Project Number



1 SECTION A
3/16" = 1'-0"



2 SECTION B
3/16" = 1'-0"



3 SECTION C
3/16" = 1'-0"

SECTION LEGEND

- EXISTING WALLS, ROOFS & FLOORS TO BE REMOVED
- EXISTING WALLS, ROOFS & FLOORS TO REMAIN
- NEW WALLS, ROOFS & FLOORS

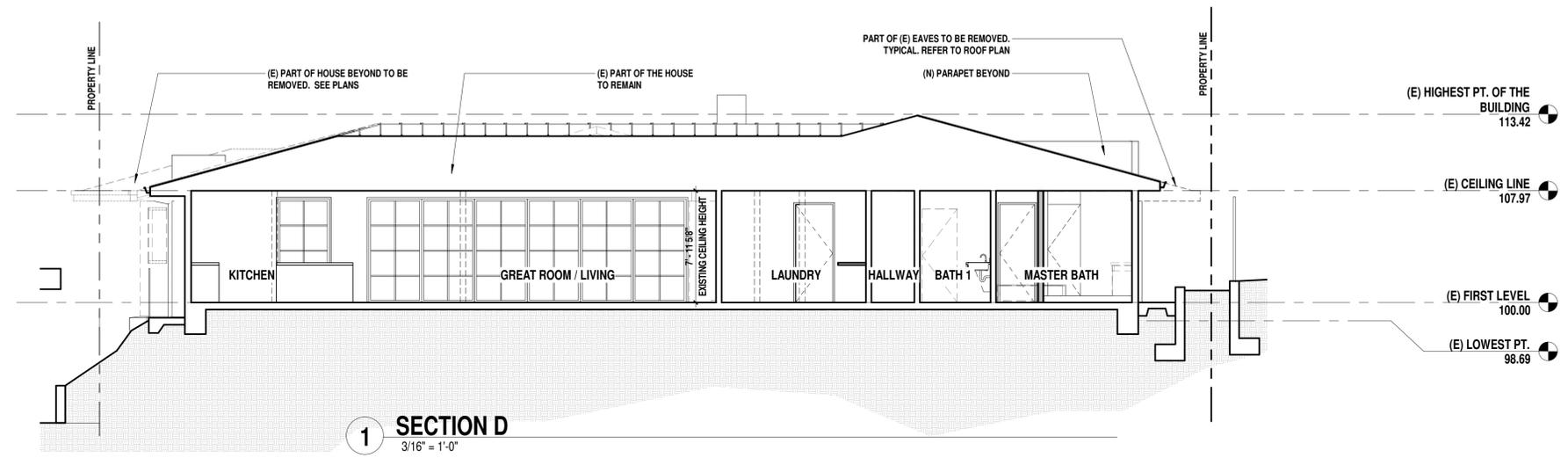
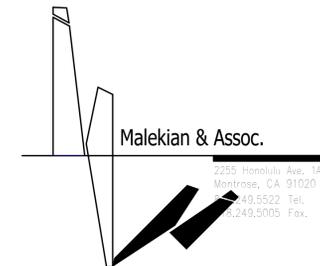
REMODEL OF A SINGLE FAMILY RESIDENCE

1835 DEERMONT RD
GLENDALE CA 91207

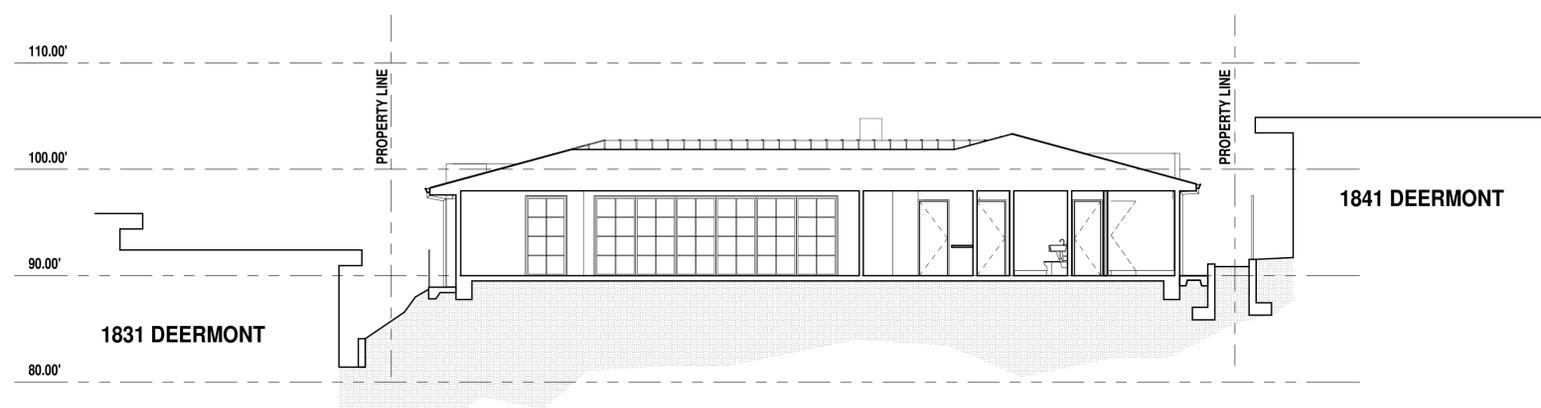
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SECTIONS

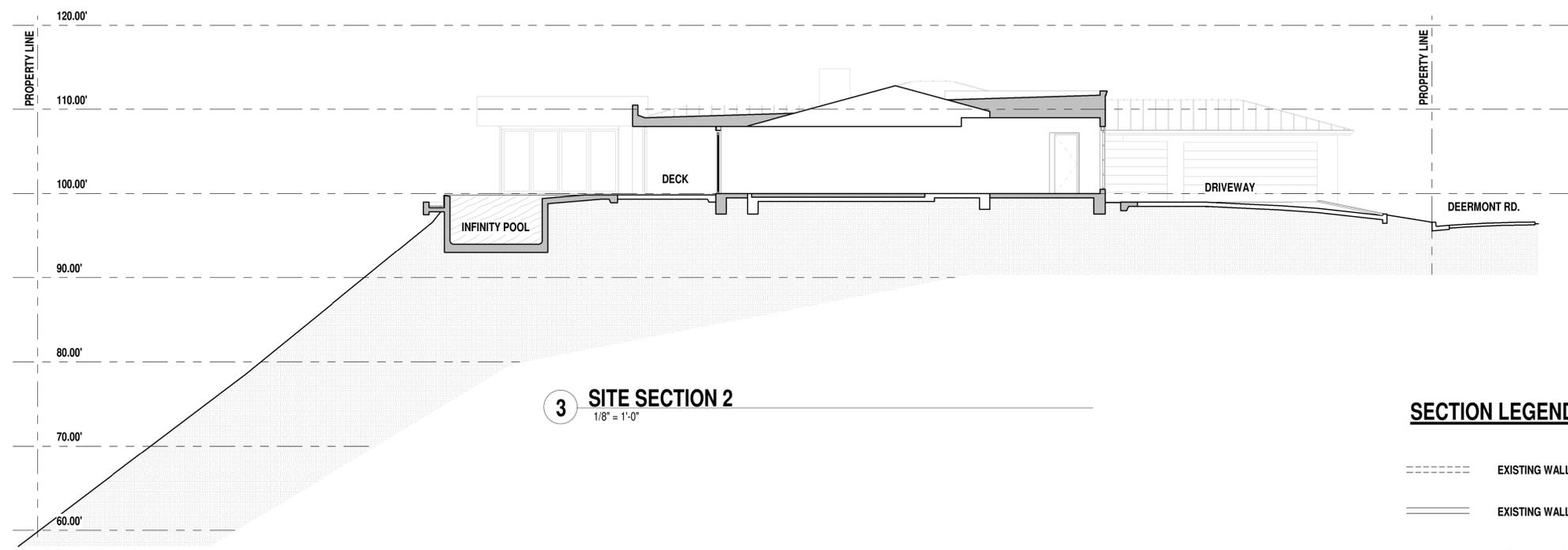
Project Status
03/19/2020
Project Number



1 SECTION D
3/16" = 1'-0"



2 SITE SECTION 1
1/8" = 1'-0"



3 SITE SECTION 2
1/8" = 1'-0"

SECTION LEGEND

	EXISTING WALLS, ROOFS & FLOORS TO BE REMOVED
	EXISTING WALLS, ROOFS & FLOORS TO REMAIN
	NEW WALLS, ROOFS & FLOORS

REMODEL OF A SINGLE FAMILY RESIDENCE

1835 DEERMONT RD
GLENDALE CA 91207

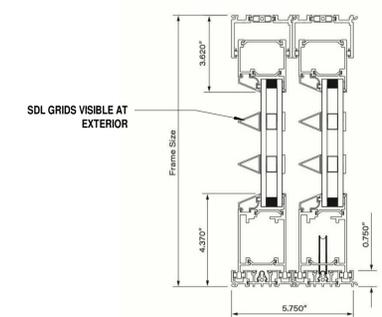
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CROSS SECTION / SITE SECTIONS

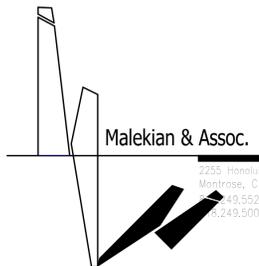
Project Status	ISSUE PHASE
01/08/20	ISSUE PHASE
Project Number	ISSUE PHASE

EXTERIOR WINDOW SCHEDULE

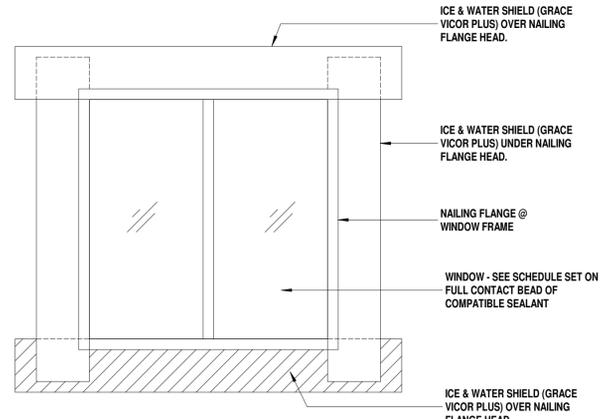
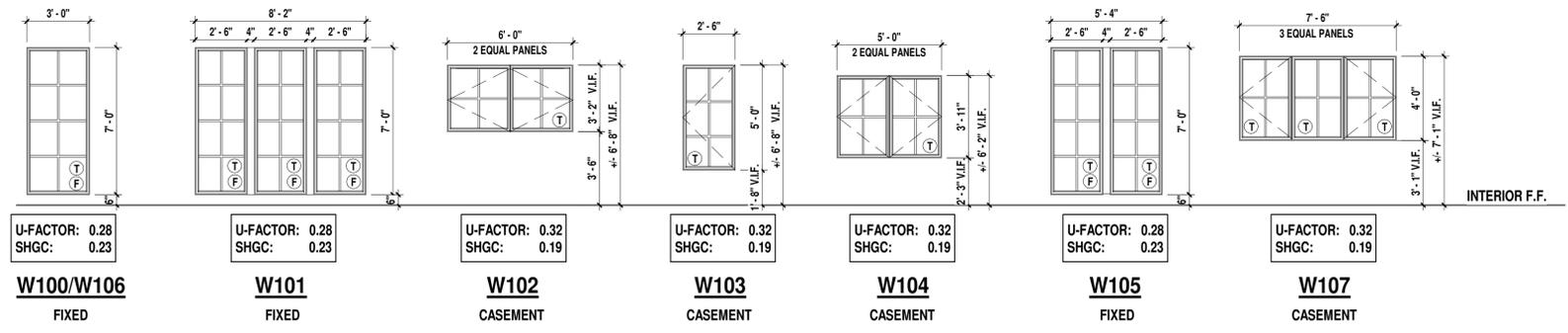
WINDOW NUMBER	QTY.	(E) W X H	(N) W X H	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM STREET? Y/N	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID (SDL) Y/N	BUILD NEW SILL AND FRAME Y/N	NEW EDGE DETAIL	BEDROOM? Y/N	ENERGY EFFICIENT? Y/N	TEMPERED GLASS? Y/N	FIRE HAZARD ZONE? Y/N	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR? Y/N	MANUFACTURER
W100	1	N/A	3'-0" X 7'-0"	N/A	SIMULATED STEEL	YES	N/A	FIXED	BLOCK FRAME	YES	YES	STUCCO	NO	YES	YES	YES	NO	WESTERN WINDOW SYSTEM
W101	1	N/A	8'-2" X 7'-0"	N/A	SIMULATED STEEL	YES	N/A	FIXED	BLOCK FRAME	YES	YES	STUCCO	NO	YES	YES	YES	NO	WESTERN WINDOW SYSTEM
W102	1	5'-11 1/2" X 2'-11 1/4"	6'-0" X 3'-2"	ALUMINUM	SIMULATED STEEL	NO	FIXED/SLIDER	CASEMENT	BLOCK FRAME	YES	YES	STUCCO	NO	YES	YES	YES	NO	WESTERN WINDOW SYSTEM
W103	1	5'-11 1/8" X 5'-0"	3'-0" X 5'-0"	ALUMINUM	SIMULATED STEEL	NO	SINGLE HUNG	CASEMENT	BLOCK FRAME	YES	YES	STUCCO	NO	YES	YES	YES	NO	WESTERN WINDOW SYSTEM
W104	1	4'-11 3/4" X 3'-11 1/8"	5'-0" X 3'-11"	ALUMINUM	SIMULATED STEEL	NO	N/A	CASEMENT	BLOCK FRAME	YES	YES	STUCCO	YES	YES	YES	YES	NO	WESTERN WINDOW SYSTEM
W105	1	N/A	2'-6" X 5'-0"	N/A	SIMULATED STEEL	YES	N/A	FIXED	BLOCK FRAME	YES	YES	STUCCO	NO	YES	YES	YES	NO	WESTERN WINDOW SYSTEM
W106	1	N/A	3'-0" X 7'-0"	N/A	SIMULATED STEEL	YES	N/A	FIXED	BLOCK FRAME	YES	YES	STUCCO	NO	YES	YES	YES	YES	WESTERN WINDOW SYSTEM
W107	1	N/A	7'-6" X 4'-0"	ALUMINUM	SIMULATED STEEL	YES	N/A	CASEMENT	BLOCK FRAME	YES	YES	STUCCO	NO	YES	YES	YES	NO	WESTERN WINDOW SYSTEM



TYPICAL SIMULATED STEEL WINDOW SECTION



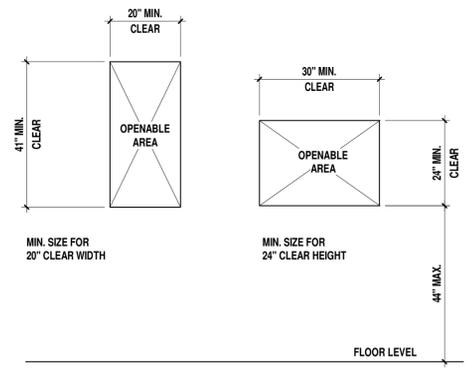
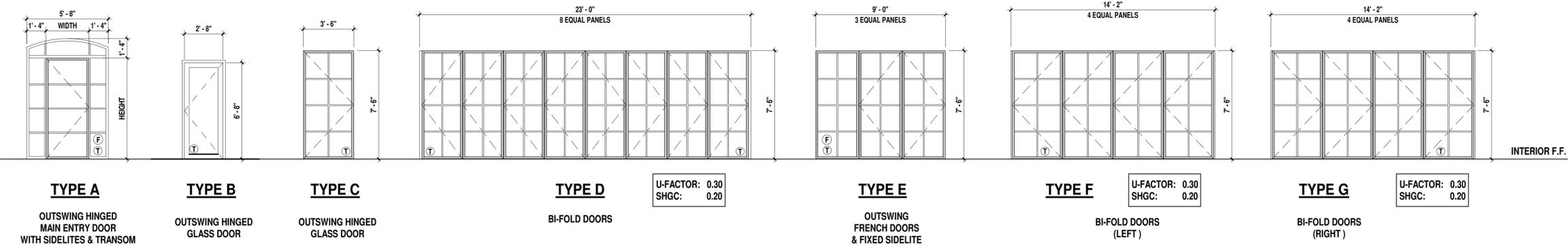
SEE TYPICAL SIMULATED STEEL WINDOW DETAIL FOR GRID DETAIL



TYPICAL WINDOW WATERPROOFING

EXTERIOR DOOR SCHEDULE

DOOR NUMBER	TYPE MARK	QTY.	WIDTH	HEIGHT	DOOR MATERIAL	FINISH	FRAME MATERIAL	FRAME FINISH	MANUFACTURER
D100	A	1	3'-0"	7'-0"	SIMULATED STEEL / GLASS	BRONZE ANODIZED	SIMULATED STEEL	BRONZE ANODIZED	WESTERN WINDOWS SYSTEM
D101	B	1	2'-8"	6'-8"	SIMULATED STEEL / GLASS	BRONZE ANODIZED	SIMULATED STEEL	BRONZE ANODIZED	WESTERN WINDOWS SYSTEM
D102	C	1	3'-6"	7'-6"	SIMULATED STEEL / GLASS	BRONZE ANODIZED	SIMULATED STEEL	BRONZE ANODIZED	WESTERN WINDOWS SYSTEM
D103	D	1	23'-0"	7'-6"	SIMULATED STEEL / GLASS	BRONZE ANODIZED	SIMULATED STEEL	BRONZE ANODIZED	WESTERN WINDOWS SYSTEM SERIES 7950s BI-FOLD DOOR
D104	E	1	9'-0"	7'-6"	SIMULATED STEEL / GLASS	BRONZE ANODIZED	SIMULATED STEEL	BRONZE ANODIZED	WESTERN WINDOWS SYSTEM SERIES 7950s BI-FOLD DOOR
D105	F	1	14'-2"	7'-6"	SIMULATED STEEL / GLASS	BRONZE ANODIZED	SIMULATED STEEL	BRONZE ANODIZED	WESTERN WINDOWS SYSTEM SERIES 7950s BI-FOLD DOOR
D106	G	1	14'-2"	7'-6"	SIMULATED STEEL / GLASS	BRONZE ANODIZED	SIMULATED STEEL	BRONZE ANODIZED	WESTERN WINDOWS SYSTEM SERIES 7950s BI-FOLD DOOR
D107	H	1	16'-0"	7'-1"	STEEL	CHARCOAL	STEEL	CHARCOAL	CLOPAY - MODERN STEEL COLLECTION (GROOVED PANEL)
D108	H	1	8'-8"	7'-1"	STEEL	CHARCOAL	STEEL	CHARCOAL	CLOPAY - MODERN STEEL COLLECTION (GROOVED PANEL)



- 20" MINIMUM CLEAR WIDTH.
 - 24" MIN. CLEAR HEIGHT.
 - 5.7 SF MINIMUM OPENABLE AREA
- NOTE: REFER TO PLANS AND ELEVATIONS FOR EGRESS WINDOW LOCATIONS

REMODEL OF A SINGLE FAMILY RESIDENCE

1835 DEERMONT RD
GLENDALE CA 91207

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WINDOW & DOOR SCHEDULE

Project Status: **ISSUE PHASE**
03/19/2020
Project Number: **ROOM #1**



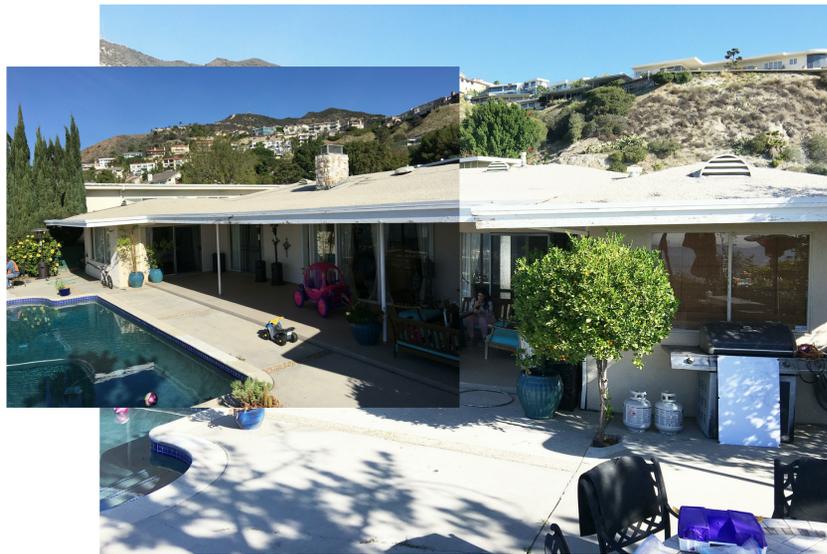
EXISTING VIEW ALONG DEERMONT RD.



PROPOSED REMODEL 3D VIEWS

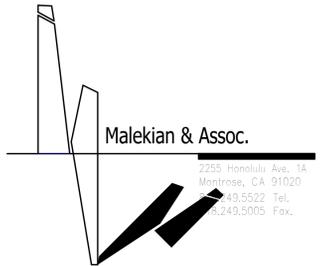


VIEW @ ENTRY PORCH (EXISTING)



VIEW @ BACK YARD (EXISTING)

Edward
Vartanian &
Fiona Sahakian



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3D VIEWS

Project Status

03/19/2020

Project Number