

**City of Glendale  
Community Development Department  
Design Review Staff Report – Commercial/Industrial**

<b>Meeting/Decision Date:</b> March 12, 2020	<b>Address:</b> 800 North Pacific Avenue
<b>Review Authority:</b> <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	<b>APN:</b> 5636-015-192
<b>Case Number:</b> PDRNRAF1923117	<b>Applicant:</b> Jefferson Choi, Synarc Studio
<b>Prepared By:</b> Cassandra Pruet	<b>Owner:</b> North Pacific Investment, LLC

**Project Summary**

The applicant is proposing to demolish an existing 1,510 square-foot (SF) service station, and one of two existing gas pump and canopy bays, and replace them with a new 1,789 SF retail building and a new 1,790 SF self-service car wash. The lot is 20,650 SF and located in the C2-II zone (Community Commercial, Height District II).

**Existing Property/Background**

The project site is a 20,650 SF, corner lot located on the north-east corner of North Pacific Avenue and Burchett Street. The site is developed with a 1,510 SF service station built in 1968, and two gas pump and canopy bays, one with eight pumps and one with four pumps.

**Staff Recommendation**

Approve  Approve with Conditions  Return for Redesign  Deny

**Last Date Reviewed / Decision**

First time submittal for final review.  
 Other:

**Zone:** C2 - Community Commercial **Height District:** II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

None  
 Other: Parking Reduction Permit Case Number PPRP1923119, approved on February 12, 2020.

**CEQA Status:**

- The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because
- The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 of the State CEQA Guidelines because
- The project is exempt from CEQA review as a Class 32 "Infill Development" exemption pursuant to Section 15332 of the State CEQA Guidelines because the project: a) Is consistent with the general plan and zoning regulations; b) Occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; c) Has no value as habitat for endangered, rare or threatened species; d) Would not result in any significant effects relating to traffic, noise, air quality, or water quality; and e) Can be adequately served by all required utilities and public services.

A condition of approval has been imposed requiring that prior to issuance of a building permit, an acoustical analysis of the car wash and vacuum stations be produced demonstrating the project will comply with the Noise Control Chapter of the Glendale Municipal Code .

Other:

### Site Slope and Grading

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

## DESIGN ANALYSIS

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### Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

#### Building Location

- yes  n/a  no

If "no" select from below and explain:

- Located at or near front property line
- Conforms to prevailing setbacks on the street
- Maintains appropriate sidewalk width

#### Usable Open Space

- yes  n/a  no

If "no" select from below and explain:

- Incorporates outdoor pedestrian space
- Integrated with design and overall context
- Appropriate relationship with adjoining properties

#### Access and Parking

- yes  n/a  no

If "no" select from below and explain:

- Parking location is appropriate to the site and its neighborhood context
- Appropriate pedestrian and vehicle access points
- Appropriate service and loading locations
- Landscape screening for street-facing parking
- Techniques employed to reduce stormwater runoff
- Decorative or colored paving to delineate pedestrian areas

The design guidelines require a three-foot high landscaping buffer between the sidewalk and any parking area, which has not been provided.

#### Landscape Design

- yes  n/a  no

If "no" select from below and explain:

- Complementary to building design
- Appropriately sized and located

#### Walls, Fences, and Retaining Walls

- yes  n/a  no

If "no" select from below and explain:

- Minimize use whenever possible
- Use decorative material to complement building and/or landscape design
- Provide landscaping to minimize visual impact

**Screening**

yes  n/a  no

If "no" select from below and explain:

- Mechanical equipment appropriately screened
- Trash bins appropriately located and screened

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed retail store is located at the interior (north-east) corner of the lot, and is front-facing with an open appearance. The building was not located at the exterior corner, in accordance with the Comprehensive Design Guidelines, due to the existing underground gasoline storage tank and gas pumps to remain near that location.
- The east wall of the car wash, facing the adjacent commercial office building, is designed with landscaping and variation in form and material to provide an aesthetic view to the neighboring property.
- The car wash air dryer, which generates noise, is placed toward the north end of the site, away from the neighboring office building. A condition of approval in the related Parking Reduction Permit requires the vacuum motor to be moved to the north side as well.
- Minimum five-foot wide landscaping beds are located along both street frontages, in all areas not occupied by driveways. Further landscaping is provided along the north property line. The north boundary landscaping consists of small trees and should have shorter landscaping in front of it to provide a variation in shrub height. A condition of approval has been added to address this issue.
- The transformer, located at the south-east corner of the property, is screened from public view by landscaping. The trash area is fully screened.
- The parking area at the north-west corner of the site is required to have a three-foot high landscaping screen between the sidewalk and parking area. A condition of approval has been included in this report to address this issue.

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**Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**

yes  n/a  no

If "no" select from below and explain:

- Appropriate proportions and transitions
- Articulation, solid/void balance, and open space relate to predominant pattern

**Building Relates to Existing Topography**

yes  n/a  no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope to minimize height

**Consistent Architectural Concept**

yes  n/a  no

*If "no" select from below and explain:*

Concept governs massing and height

**Scale and Proportion**

yes  n/a  no

*If "no" select from below and explain:*

Articulation avoids overbearing forms

Appropriate solid/void relationships

Entry and major features well located

**Massing**

yes  n/a  no

*If "no" select from below and explain:*

Larger masses broken into separate volumes

Long, unbroken street walls avoided

Visual impact of larger building minimized

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The retail and car wash buildings are one-story, consistent with the majority of other commercial buildings in the area.
- Both buildings have been designed with modest heights. The retail store has a maximum height at the top of the clock tower of 24'-0", and a top-of-parapet height of 16'-6". The car wash has a maximum height of 16'-0".
- The massing of both buildings is minimized by a variation in forms, façade and roof planes, materials and colors.
- The towers on the retail building are well-proportioned to the rest of the building.

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**Design and Detailing**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Overall Design and Detailing**

yes  n/a  no

*If "no," explain:*

**Entryway**

yes  n/a  no

*If "no" select from below and explain:*

Well integrated into design

Location promotes pedestrian activity

Design provides appropriate focal point

**Storefronts and Windows**

yes  n/a  no

*If "no" select from below and explain:*

- Maximize transparency at ground floor
- 12-15' floor-to-floor height at ground-floor is encouraged
- Coordinate design with overall style of building
- Use durable materials for windows, such as aluminum or steel
- Locate security gates/grilles inside commercial spaces, preferably set back from storefront

**Awnings and Canopies**

yes  n/a  no

*If "no" select from below and explain:*

- Integrate awnings and canopies into overall building design
- Avoid long treatments spanning multiple openings
- Back-lit awnings are not allowed

**Lighting**

yes  n/a  no

*If "no" select from below and explain:*

- Light fixtures are appropriate to the building design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

**Finish Materials and Color**

yes  n/a  no

*If "no" select from below and explain:*

- Textures and colors reinforce design
- High-quality, durable materials used, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate cladding appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

**Paving Materials**

yes  n/a  no

*If "no" select from below and explain:*

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

**Roof Forms**

yes  n/a  no

*If "no" select from below and explain:*

- Configure roofline to provide visual interest and deemphasize mass
- Roof forms are consistent with overall design

Continue roofs and parapets around building or terminate in logical manner

### **Determination of Compatibility: Design and Detailing**

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The building style for the retail store and car wash is compatible with nearby commercial buildings, with the proposed project having a more defined design and wider use of varied, high-quality materials.
- The clock tower provides a focal point near the entrance of the retail building.
- The retail store maximizes transparency at the ground floor with a glass storefront along the entire south façade.
- Awnings on the retail store front façade and at the car wash entrance and exit provide additional articulation.
- A variation of high-quality materials is used, including varying colors of smooth and sand finish stucco, stone cladding, metal louvres, window units and canopies, stamped concrete, stone cladding, a wood trellis, and planters for hanging/climbing plants.
- No exterior lighting has been proposed in addition to the existing light posts on site. Should any be added at a later time, it shall be reviewed by staff.

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### **Recommendation / Draft Record of Decision**

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

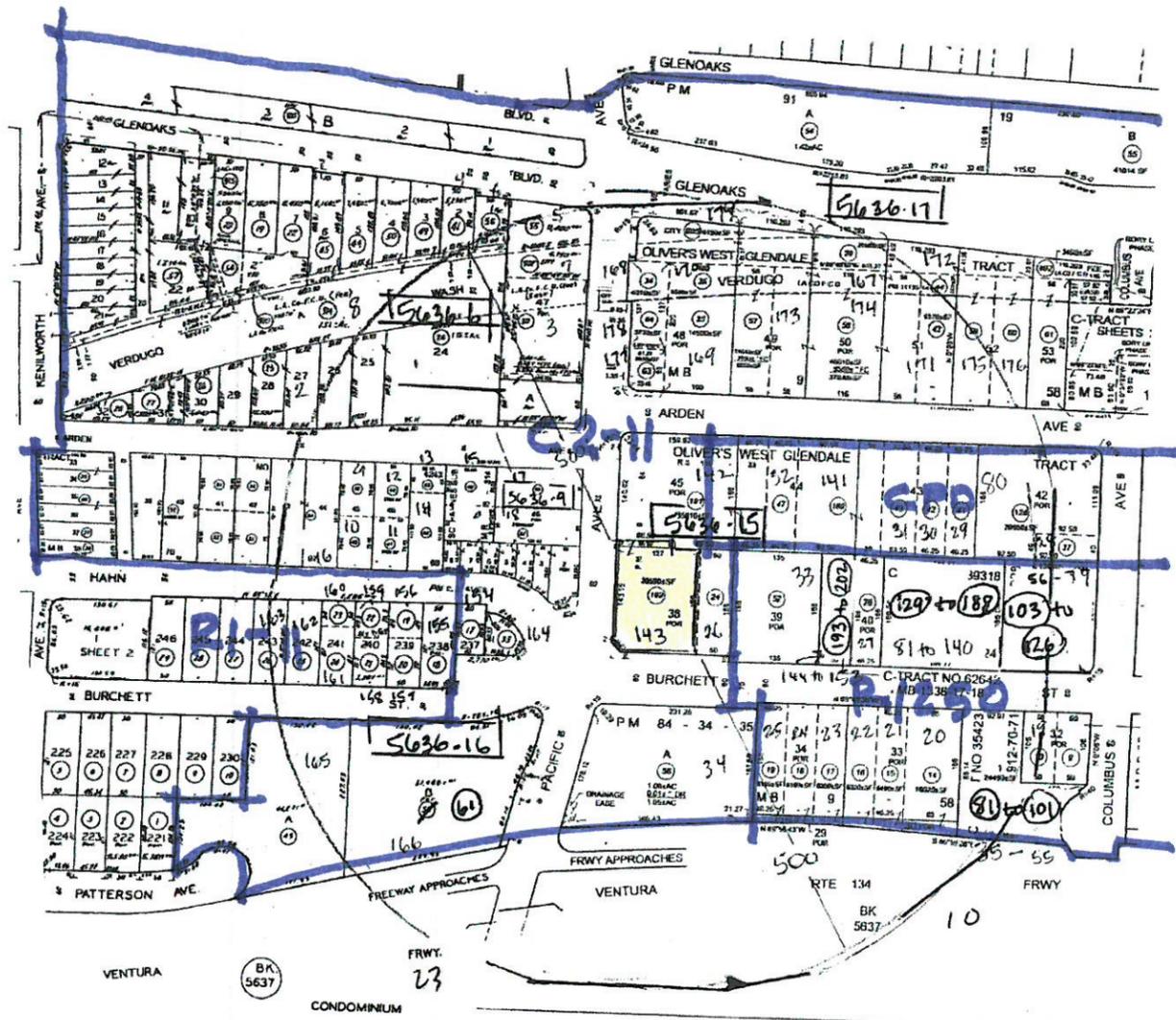
#### **Conditions**

1. Provide varying heights of landscaping along northern property line.
2. Provide 36" high landscape screening between sidewalk and parking area.
3. Should any exterior lighting fixtures be proposed, they will be subject to review and approval by staff.
4. Prior to issuance of a building permit for the subject project, provide an acoustical analysis of the car wash and vacuum stations per GMC 8.36.140, demonstrating the project will comply with the Noise Control Chapter of the Glendale Municipal Code (GMC Section 8.36).
5. The applicant shall comply with all conditions of approval as specified in Parking Reduction Permit Case No. PPRP1923119.
6. If altering the project to comply with any conditions of approval required in Parking Reduction Permit Case No. PPRP1923119, or any other Code standards, results in a substantial change of the project as reviewed under this application, a new design review application shall be required.

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#### **Attachments**

1. Location Map
2. Photos of Existing Property
3. Reduced Plans
4. Material board



1587 M.B.  
 8247 M.B. 101  
 4875 M.B.

Map Preparer:  
 SUSAN W. CASE, INC.  
 917 GLENNEYRE ST #7  
 LAGUNA BEACH CA 92651  
 949 494 6105  
 susancaseinc@yahoo.com

FILE #196749  
 800 N PACIFIC AVE  
 GLENDALE CA  
 500' OWNERS AND OCCUPANT  
 JANUARY 3 2015  
 5636 015 192





Image capture: Jan 2019 © 2019 Google

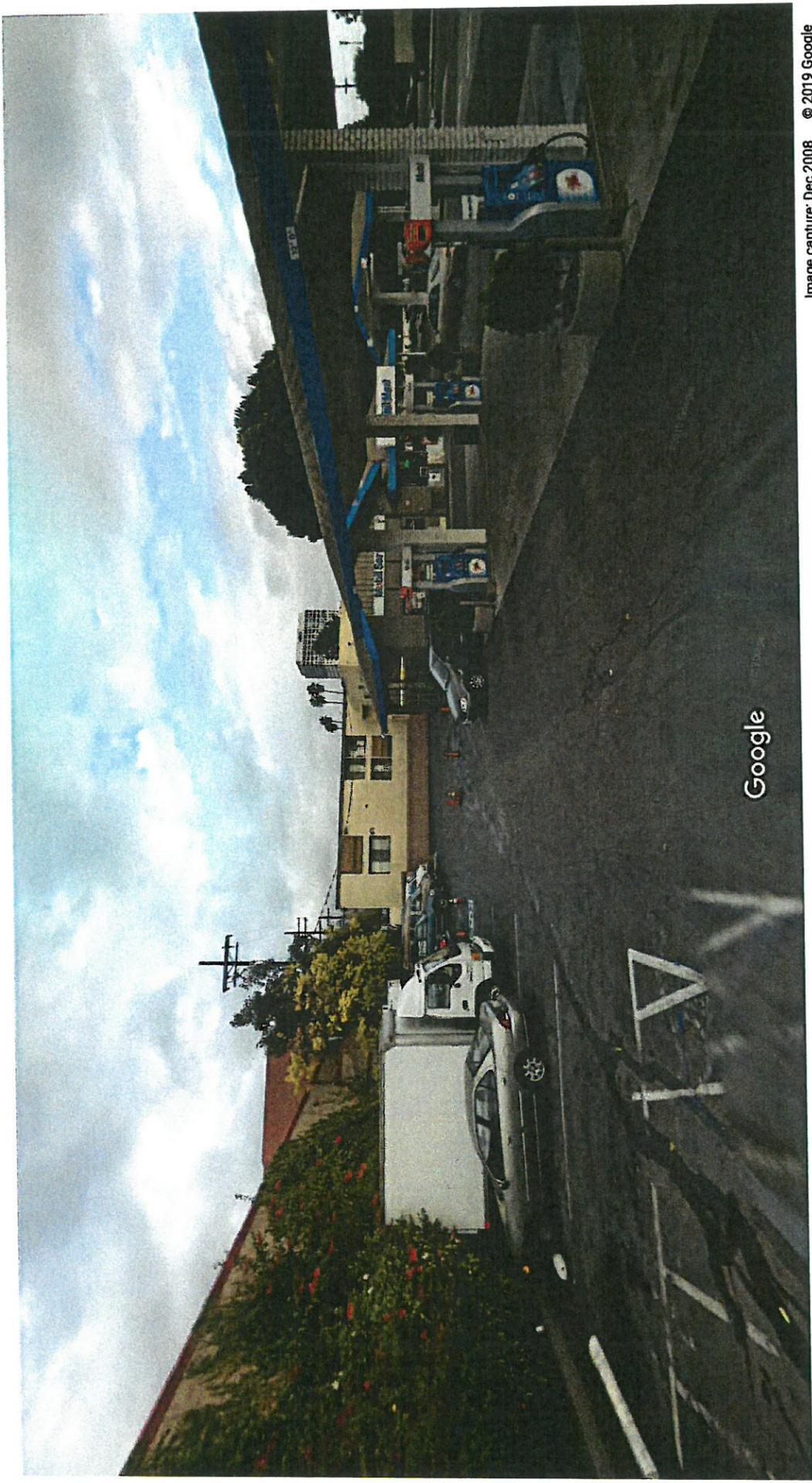
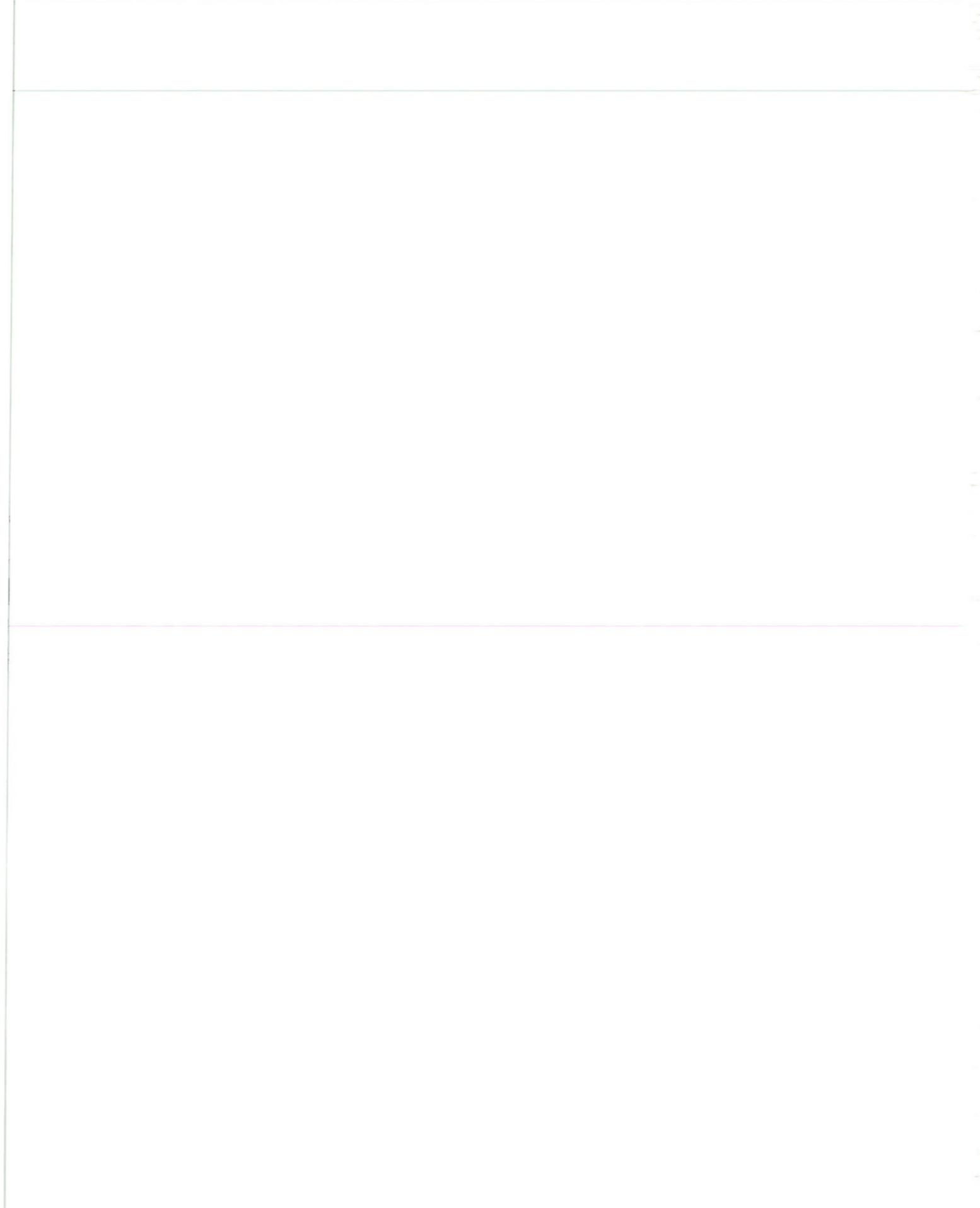


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**PROJECT DESCRIPTION:**

DEMO EXISTING 1,705 SF CONVENIENCE STORE AND (1) GAS PUMP TO BUILD (1) NEW 1,790 SF CONVENIENCE STORE AND (1) NEW 1,750 SF AUTOMATED CAR WASH. THE ARCHITECTURAL STYLE WILL BE COMPLEMENTARY OF THE SURROUNDING ARCHITECTURE USING A GRAY AND BEIGE PALLET OF NATURAL STONE, STUCCO, AND WHITE TRIMS. THE SITE DEVELOPMENT WILL CONSIST OF REARRANGING EXISTING PARKING CONDITIONS AND ADDING ADDING VACUUM STALLS FOR CAR WASH CUSTOMERS. SITE DEVELOPMENT TO INCLUDE LANDSCAPE IMPROVEMENTS AND IMPROVED SITE CIRCULATION

**BUILDING DATA:**

- PROPERTY BOUNDARY DESCRIPTION:  
MB 9-58 W 127 FT EX OF STS.S  
10 FT OF W 88.5 FT EX OF ST OF LOT 45
- ASSESSOR'S PARCEL NUMBER: 5636-015-192
- LOT SIZE: 20,580 SF
- ZONING: C2-II (COMMUNITY COMMERCIAL HEIGHT DISTRICT II)
- OCCUPANCY: M MERCANTILE-RETAIL  
B BUSINESS
- CONSTRUCTION TYPE: CONVENIENCE STORE & AUTOMATED CAR WASH (ACCESSORY OF A GAS STATION)
- CONSTRUCTION TYPE: V-B NON-SPRINKLED
- NEW CONVENIENCE STORE HEIGHT (TOWER): 28'-0"
- NEW CONVENIENCE STORE HEIGHT: 16'-2"
- PROPERTY TYPE:  
COMMERCIAL/INDUSTRIAL

**NOTES**

- WASH AND RINSE WATER TO BE EIGHTY PERCENT (80%) RECLAIMED AND RECIRCULATED
- NO MECHANICAL SERVICING OR GREASING OF TRUCKS IN EXCESS OF ONE AND ONE-HALF (1.5) TON CAPACITY OR INDUSTRIAL EQUIPMENT OF ANY TYPE OR CHARACTER SHALL BE PERMITTED.
- ALL UTILITY SERVICES WHICH PROVIDE SERVICE TO THE PROPERTY, WITHIN EXTERIOR PROPERTY LINE BOUNDARIES, TO BE INSTALLED UNDERGROUND [GMC 30.34.030 (E)(1)]

**EXISTING BUILDING**

EXISTING BUILDING TO BE DEMOLISHED

**PROPOSED BUILDING ANALYSIS:**

<b>BUILDING AREA:</b>	
BUILDING AREA:	1,789 SF
CAR WASH:	1,790 SF
<b>TOTAL GROSS AREA:</b>	3,579 SF
<b>FLOOR AREA RATIO:</b>	
LOT SIZE:	20,580 SF
BUILDING FOOTPRINTS:	3,850 SF (TOTAL)
FLOOR AREA RATIO:	16.5%

**REQUIRED PARKING ANALYSIS:**

<b>PROPOSED PARKING CALCULATIONS:</b>	
1,750 SF/ GAS STATION:	4/1,000 SF = 7 SPACES
CAR WASH:	= 3 SPACES
<b>TOTAL REQUIRED:</b>	10 SPACES
<b>PROPOSED PARKING PROVIDED:</b>	
STANDARD:	6 SPACES
ACCESSIBLE:	1 SPACES
CAR WASH:	6 SPACES
<b>TOTAL COUNT:</b>	13 SPACES

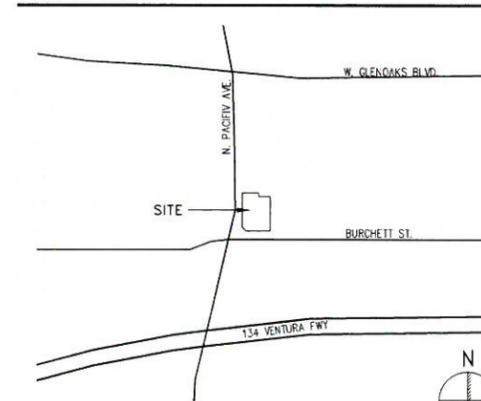
**OPERATIONS**

<b>HOURS:</b>	
CAR WASH:	MON - SUN 7:00 AM - 9:00 PM
GAS PUMPS:	MON - SUN 24 HOURS
CONVENIENCE STORE:	MON - SUN 24 HOURS
<b>EMPLOYEES:</b>	
CAR WASH:	1
GAS PUMPS:	1
CONVENIENCE STORE:	1

**DRAWING INDEX**

SHEET NUMBER	SHEET TITLE	DESCRIPTION	DATE	ISSUE FOR DESIGN REVIEW 07/2019	ISSUE FOR DESIGN REVIEW 08/2019	ISSUE FOR DESIGN REVIEW 10/01/2019	ISSUE FOR DESIGN REVIEW 11/20/2019
<b>ARCHITECTURAL</b>							
DS-1.0	PROJECT INFO, PROJECT DIRECTORY, VICINITY MAP						
DS-1.1	EXISTING SITE PLAN, DEMO PLAN						
DS-1.2	PROPOSED SITE PLAN, LANDSCAPE PLAN						
DS-1.3	PROPOSED PARKING & CIRCULATION PLAN						
DS-2.1	CONVENIENCE STORE FLOOR PLAN						
DS-2.2	CAR WASH FLOOR PLAN						
DS-2R1	CONVENIENCE STORE ROOF PLAN						
DS-2R2	CAR WASH ROOF PLAN						
DS-7.1	BUILDING ELEVATIONS						
DS-7.2	CAR WASH ELEVATIONS						
DS-7.3	CANOPY ELEVATIONS						
DS-7.3	CONCEPT RENDERINGS						

**VICINITY MAP**



**ENLARGED VICINITY MAP**



**Title Sheet**

17200 Red Hill Ave., Irvine, CA 92614  
 wk: (949) 596-4298  
 jchoi@synarcstudio.com  
 project no.: 18\_124

**Mobil Gas, Store & Car Wash**

800 N. Pacific Ave., Glendale, CA 91203

**DS\_1.0**



INSIDE CONVENIENCE STORE



VIEW FROM SIDEWALK ON PACIFIC AVE



VIEW ACROSS BURCHETT



VIEW FROM BURCHETT



VIEW SE FROM PACIFIC AVE



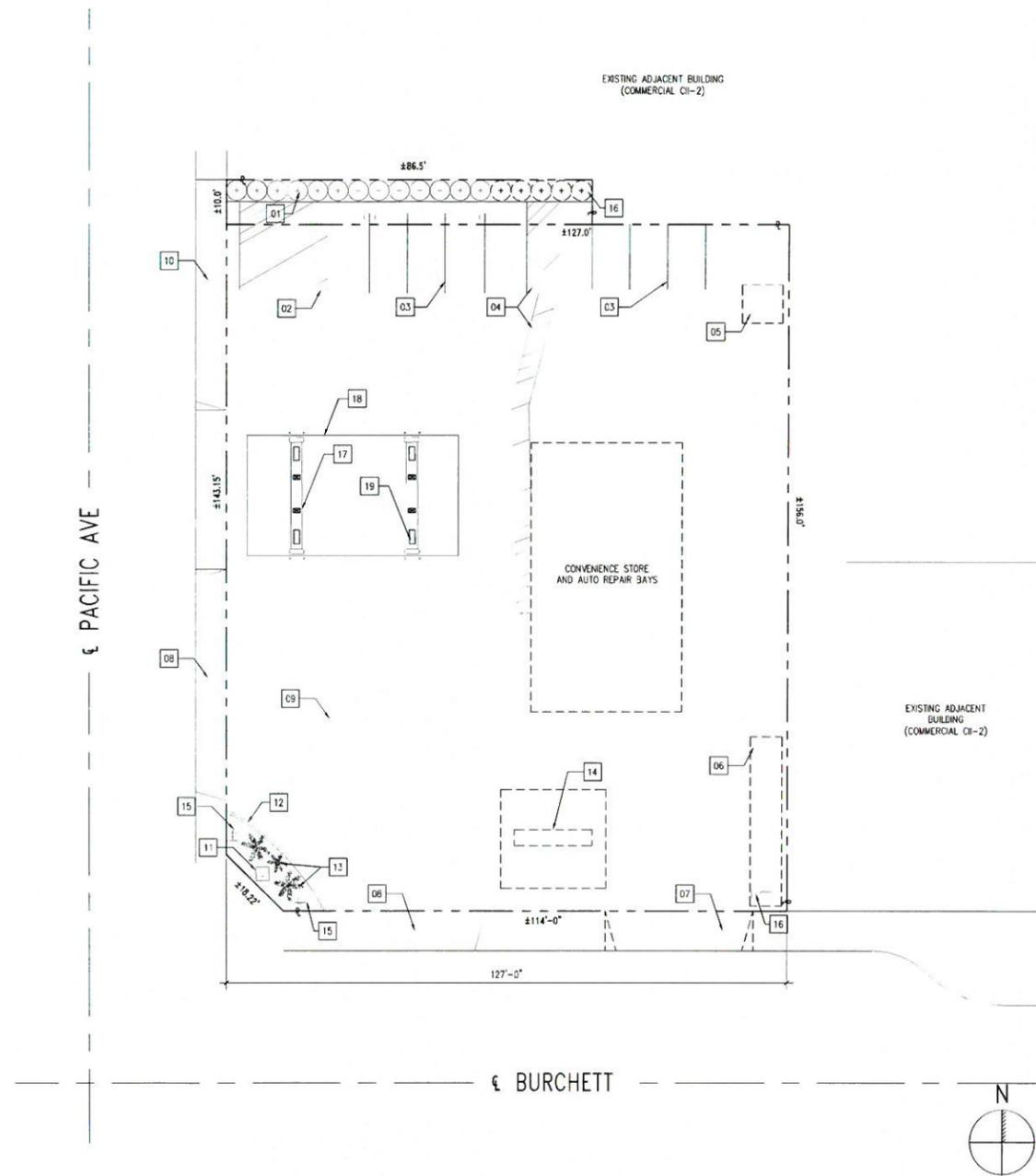
VIEW FROM INTERSECTION OF PACIFIC AVE & BURCHETT



VIEW LOOKING SW FROM SW CORNER



VIEW FROM SW CORNER



- 01 EXISTING LANDSCAPE AND TREES TO REMAIN
- 02 EXISTING LOADING ZONE TO BE MOVED
- 03 EXISTING PARKING STRIPING TO BE MODIFIED
- 04 EXISTING ADA STRIPING
- 05 EXISTING TRASH ENCLOSURE TO BE REMOVED
- 06 EXISTING PLANTER TO BE REMOVED
- 07 EXISTING DRIVE APPROACH TO BE REMOVED
- 08 EXISTING DRIVE APPROACH TO REMAIN
- 09 EXISTING UNDERGROUND FUEL TANKS TO REMAIN
- 10 EXISTING DRIVE APPROACH TO BE REDUCED
- 11 EXISTING CONCRETE BASE AND MOBIL SIGN TO REMAIN
- 12 EXISTING PLANTER TO REMAIN
- 13 EXISTING PALM TREES TO BE REMOVED (3 TOTAL)
- 14 EXISTING GAS PUMP & CANOPY TO BE REMOVED
- 15 EXISTING LIGHT TO REMAIN
- 16 EXISTING LIGHT TO BE REMOVED
- 17 EXISTING GAS PUMP ISLANDS TO BE REMODELED
- 18 EXISTING CANOPY TO BE REMODELED
- 19 EXISTING FUEL DISPENSERS TO REMAIN
- 20 EXISTING LANDSCAPE TO BE REMOVED

- TO BE REMOVED/DEMOLISHED
- - - - - PROPERTY LINE
- /// PARKING OR ACCESSIBILITY STRIPING
- EXISTING LANDSCAPE
- EXISTING TREE

EXISTING SITE PHOTOS 03

EXISTING SITE PLAN 1/16"=1'-0" 02

KEYNOTES & SYMBOLS



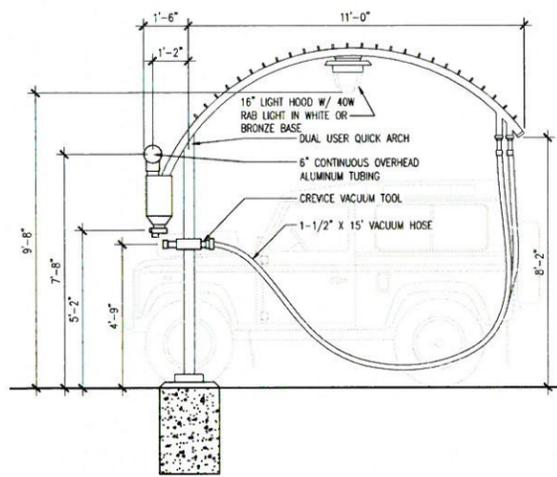
# Existing Site Plan

17200 Red Hill Ave., Irvine, CA 92614  
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 jchoi@synarcstudio.com  
 project no.: 18\_124

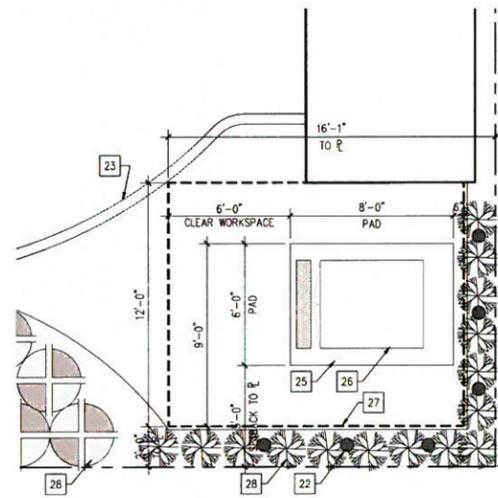
# Mobil Gas, Store & Car Wash

800 N. Pacific Ave., Glendale, CA 91203

# DS\_1.1



VACUUM EQUIPMENT ELEV. SCALE 3/8"=1'-0" 05



TRANSFORMER PLAN SCALE 1/4"=1'-0" 04

(GMC 30.34.030 SECTION C)

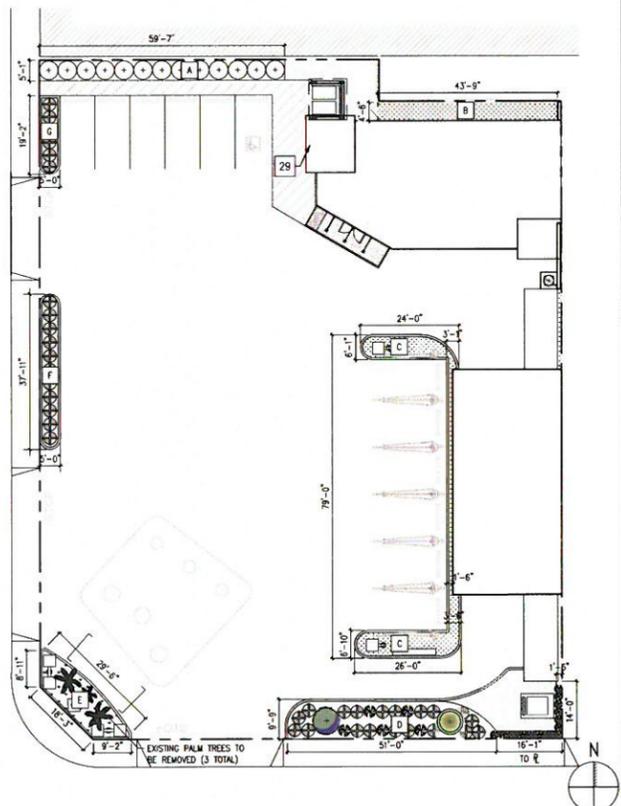
AREA	DIMENSION	REQUIRED (DIMENSION X 10')	PROVIDED
A	5'-0"	50 SF	298 SF
B	0 SF (NOT REQUIRED)	195 SF	
C	0 SF (NOT REQUIRED)	316 SF	
D	54'-0"	540 SF	479 SF
E	35'-0"	350 SF	190 SF
F	38'-0"	380 SF	145 SF
G	19'-0"	190 SF	71 SF
TOTAL		1,510 SF	1,694 SF

LANDSCAPE PROVIDED CALCULATION DOES NOT INCLUDE 6" CONCRETE CURB OR HARDSCAPED AREAS

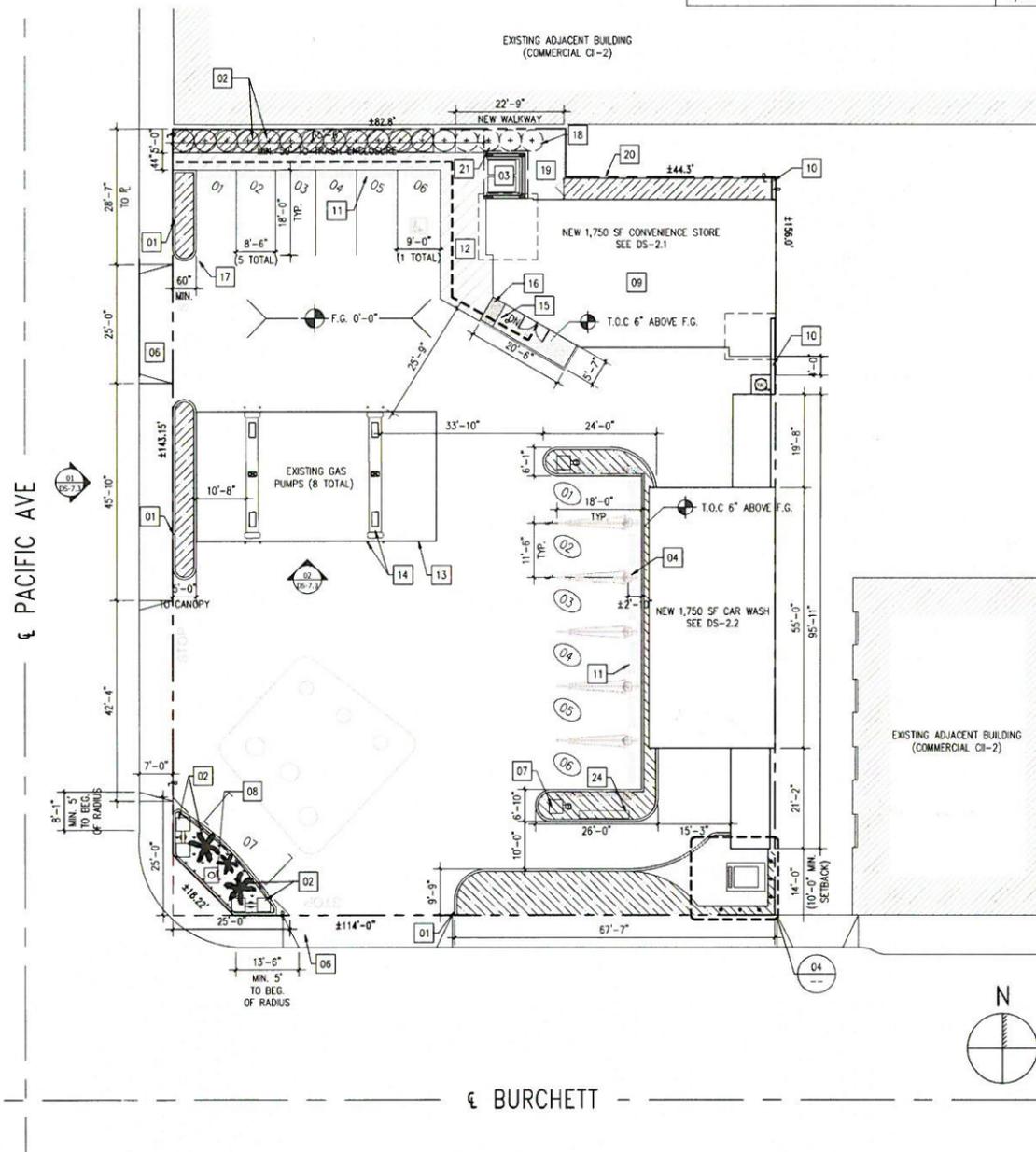
LOT AREA: 20,549 SF  
LANDSCAPE AREA: 1,694 SF  
LANDSCAPE RATIO: 8.2%

(GMC 30.32.160)  
24-GAL TREE REQUIREMENTS: 2.2 (1 PER 6 SPACES)  
24-GAL TREES PROVIDED: 2

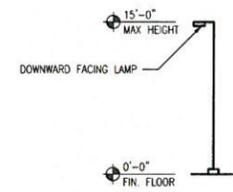
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
EXISTING	Cynodon dactylon	BERMUDA GRASS	
+	Ficus benjamina	FICUS TREE	(EXISTING)
●	Chitlpa tashkentensis	PINK DAWN CHITALPA	24-GAL.
●	Koeleruteria paniculata	GOLDENRAIN TREE	24-GAL.
⊕	Buxus sempervirens	AMERICAN BOXWOOD SHRUB	5-GAL.
⊕	Ligustrum texanum	TEXANUM	15-GAL.
EXISTING		COMMON GRASS	
EXISTING		PALM TREE	TO BE REMOVED



LANDSCAPE PLAN, REQUIREMENTS AND PLANTING SCHEDULE INTS 03



PROPOSED SITE PLAN SCALE 1/16"=1'-0" 01



LIGHT POLE REFERENCE SCALE 1/8"=1'-0" 02

ALL UTILITY SERVICES WHICH PROVIDE SERVICE TO THE PROPERTY, WITHIN EXTERIOR PROPERTY LINE BOUNDARIES, TO BE INSTALLED UNDERGROUND [GMC 30.34.030 (E)(1)]

ALL NEW LANDSCAPED AREAS TO BE IRRIGATED

ALL EXISTING AND NEW LIGHT POLES TO BE GMC COMPLIANT

GENERAL NOTES

- 01 NEW 6" CONCRETE CURB
  - 02 EXISTING <30" TALL LANDSCAPING AND LIGHT FIXTURES TO REMAIN
  - 03 NEW TRASH ENCLOSURE
  - 04 NEW VACUUM EQUIPMENT
  - 05 N/A
  - 06 MODIFIED DRIVE APPROACH
  - 07 LIGHT FIXTURES, PER ELECTRICAL ENGINEER. LIGHT POSTS TO COMPLY WITH CITY CODE
  - 08 EXISTING MOBIL SIGN TO REMAIN
  - 09 HVAC UNIT AND ROOFTOP EQUIPMENT ENCLOSED WITHIN ROOFTOP SCREEN; SEE A-2.1R
  - 10 NEW 10' HIGH CMU WALL
  - 11 WHEEL STOP, TYP.
  - 12 ACCESSIBLE LOADING ZONE
  - 13 EXISTING CANOPY TO BE REMODELED
  - 14 EXISTING ISLANDS TO BE RE-FINISHED AND NEW CRASH POSTS
  - 15 ACCESSIBLE RAMP
  - 16 TRUNCATED DOMES
  - 17 DASHED LINE INDICATES REQUIRED LANDSCAPE; SEE LANDSCAPE ANALYSIS FOR CODE VARIANCE AND COMPLIANCE
  - 18 EXISTING LANDSCAPE TO BE REMOVED, TYP.
  - 19 NEW CONCRETE WALKWAY
  - 20 EXISTING CMU WALL TO REMAIN
  - 21 NEW ACCESS GATE
  - 22 CRASH POSTS PAINTED TO BLEND INTO LANDSCAPE
  - 23 ZERO CURB CUT IF REQUIRED
  - 24 PAY STATION
  - 25 CONCRETE TRANSFORMER PAD
  - 26 600A GWP TRANSFORMER
  - 27 MINIMUM TRANSFORMER CLEARANCE SPACE: 12'-0" X 11'-6"
  - 28 LANDSCAPE TO BE MAINTAINED AT HEIGHT OF TRANSFORMER; SEE LANDSCAPE PLAN
  - 29 DECORATIVE ABOVE GROUND PLANTER; SEE BUILDING ELEVATION ON 7.1
- PROPERTY LINE
- PARKING OR ACCESSIBILITY STRIPING
- NEW LANDSCAPED AREAS
- ACCESSIBLE PATH OF TRAVEL
- 03 STANDARD PARKING STALL (7 TOTAL)
- 07 PARKING STALL WITH VACUUM EQUIPMENT (6 TOTAL)

KEYNOTES & SYMBOLS



# Proposed Site Plan & Landscape

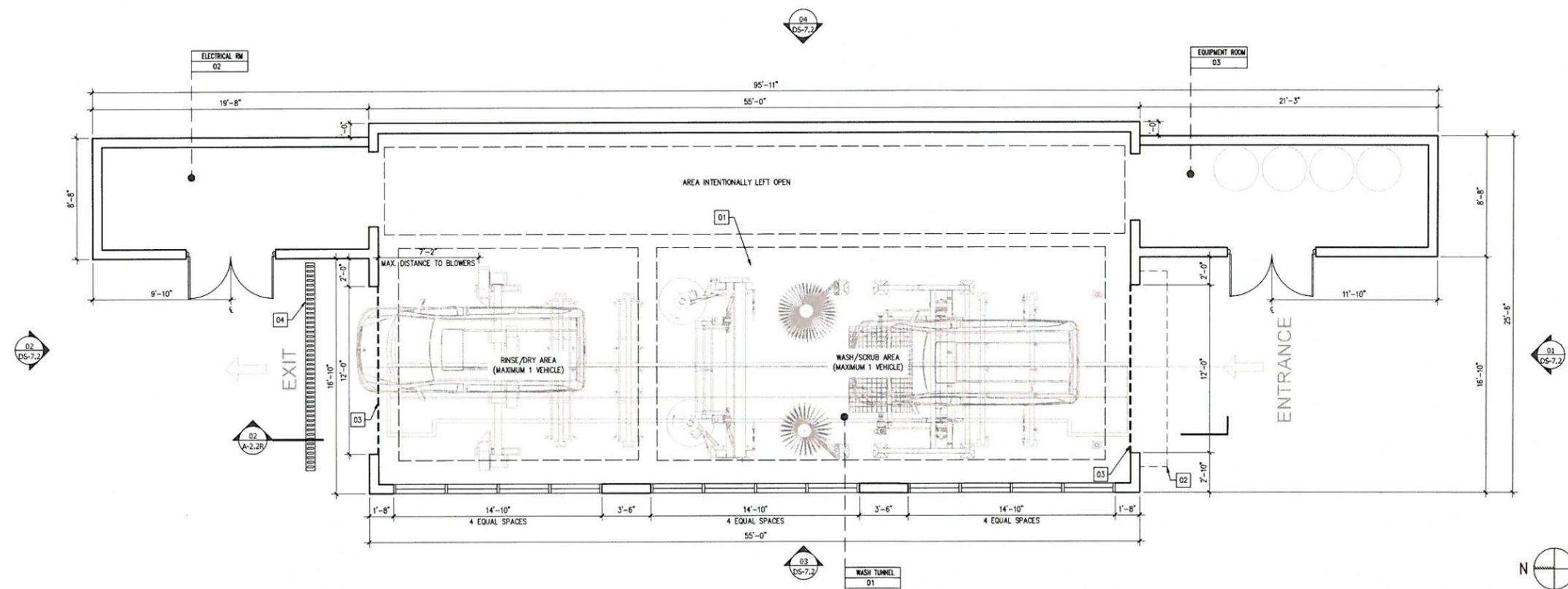
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project no.: 18\_124

# Mobil Gas, Store & Car Wash

800 N. Pacific Ave., Glendale, CA 91203

## DS\_1.2





1. WASH AND RINSE WATER TO BE EIGHTY PERCENT (80%) RECLAIMED AND RECIRCULATED

GENERAL NOTES

- 01 CAR WASH EQUIPMENT - EQUIPMENT LAYOUT NOT FINAL
  - 02 CANOPY ABOVE
  - 03 ROLL UP DOOR
  - 04 TRENCH DRAIN
- GLAZING

PROPOSED CAR WASH FLOOR PLAN 1/4"=1'-0" 01

KEYNOTES & SYMBOLS



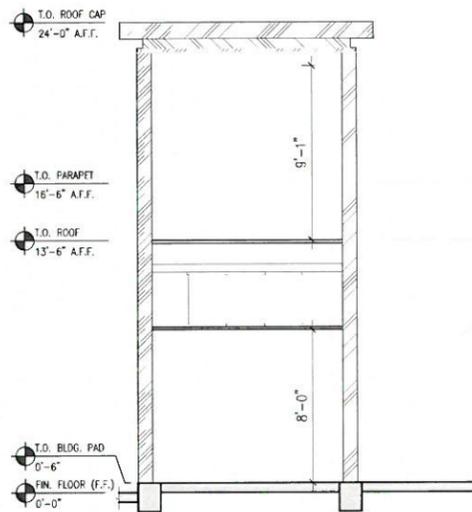
Proposed Floor Plan

17200 Red Hill Ave., Irvine, CA 92614  
 wk: (949) 596-4298  
 jchoi@synarcstudio.com  
 project no.: 18\_124

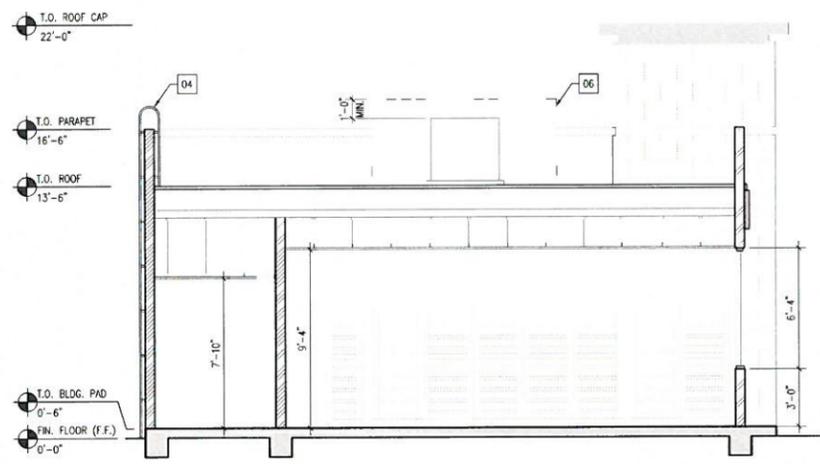
Mobil Gas, Store & Car Wash

800 N. Pacific Ave., Glendale, CA 91203

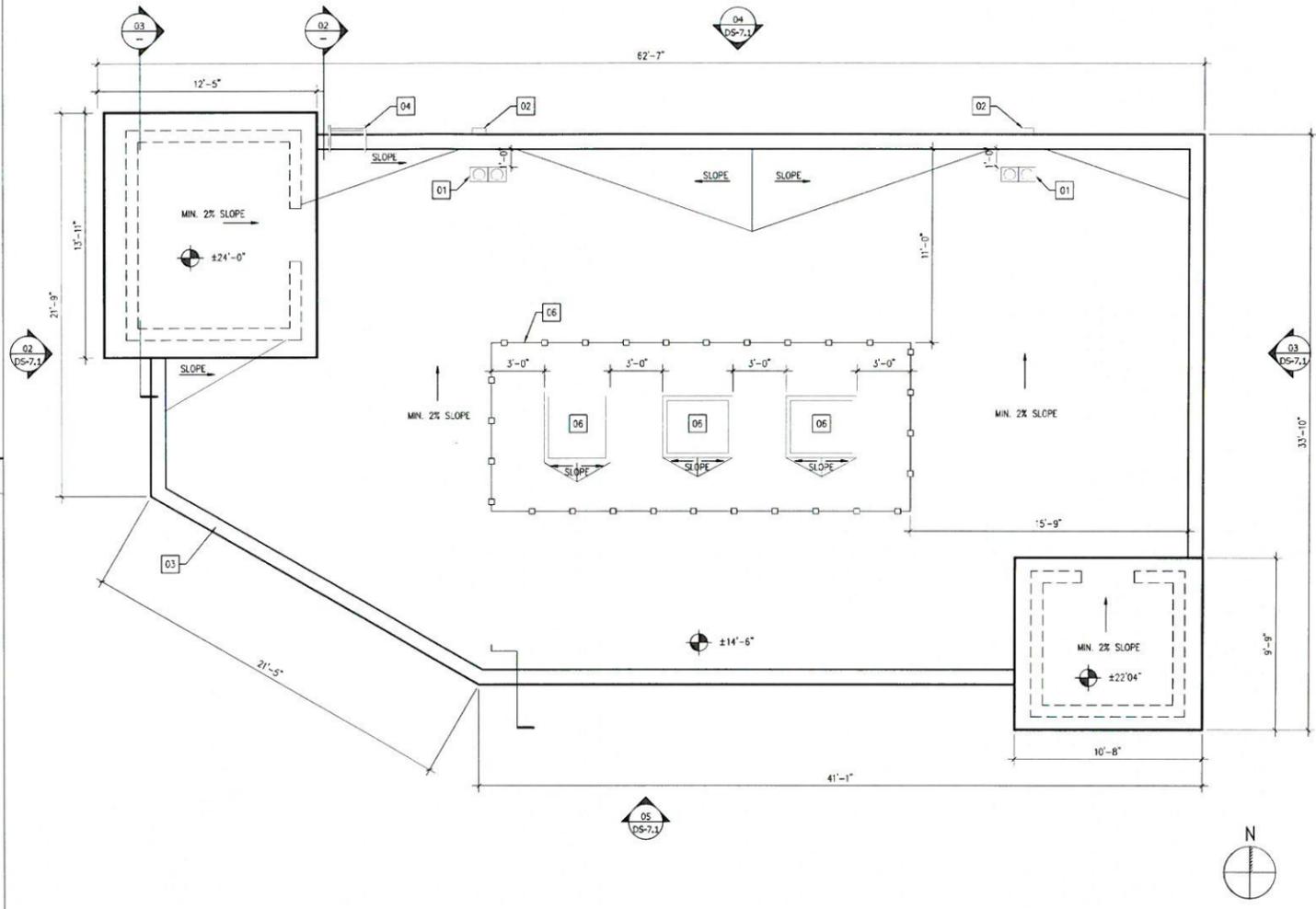
DS\_2.2



TOWER SECTION SCALE 1/4"=1'-0" 03



STORE SECTION SCALE 1/4"=1'-0" 02



PROPOSED ROOF PLAN SCALE 1/4"=1'-0" 01

ROOFTOP EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW

GENERAL NOTES

- 01 PRIMARY DRAIN AND OVERFLOW DRAIN
  - 02 SCUPPER
  - 03 24" PARAPET
  - 04 ROOF ACCESS LADDER
  - 05 EQUIPMENT SCREEN MINIMUM 12" ABOVE HEIGHT OF ROOFTOP EQUIPMENT
  - 06 HVAC/ROOFTOP EQUIPMENT UNIT
- WALL BELOW

KEYNOTES & SYMBOLS



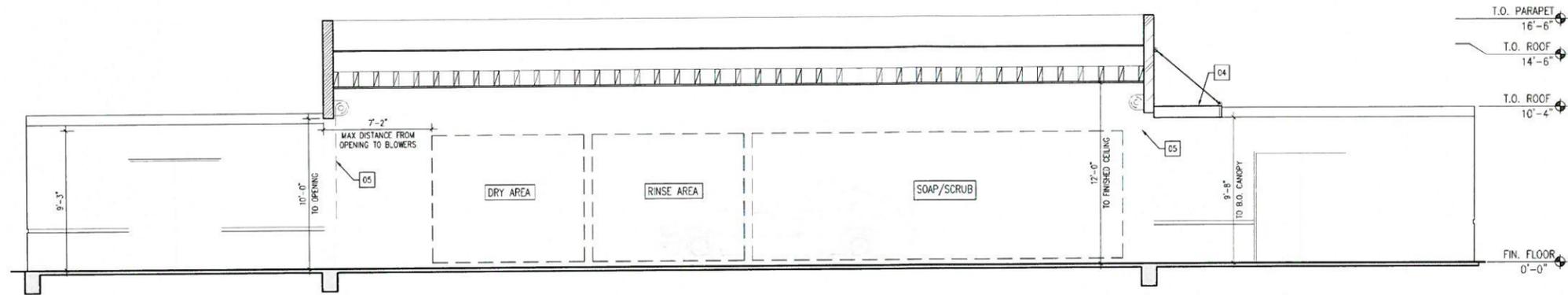
# C-Store Roof Plan

17200 Red Hill Ave., Irvine, CA 92614  
 wk: (949) 596-4298  
 jchoi@synarcstudio.com  
 project no.: 18\_124

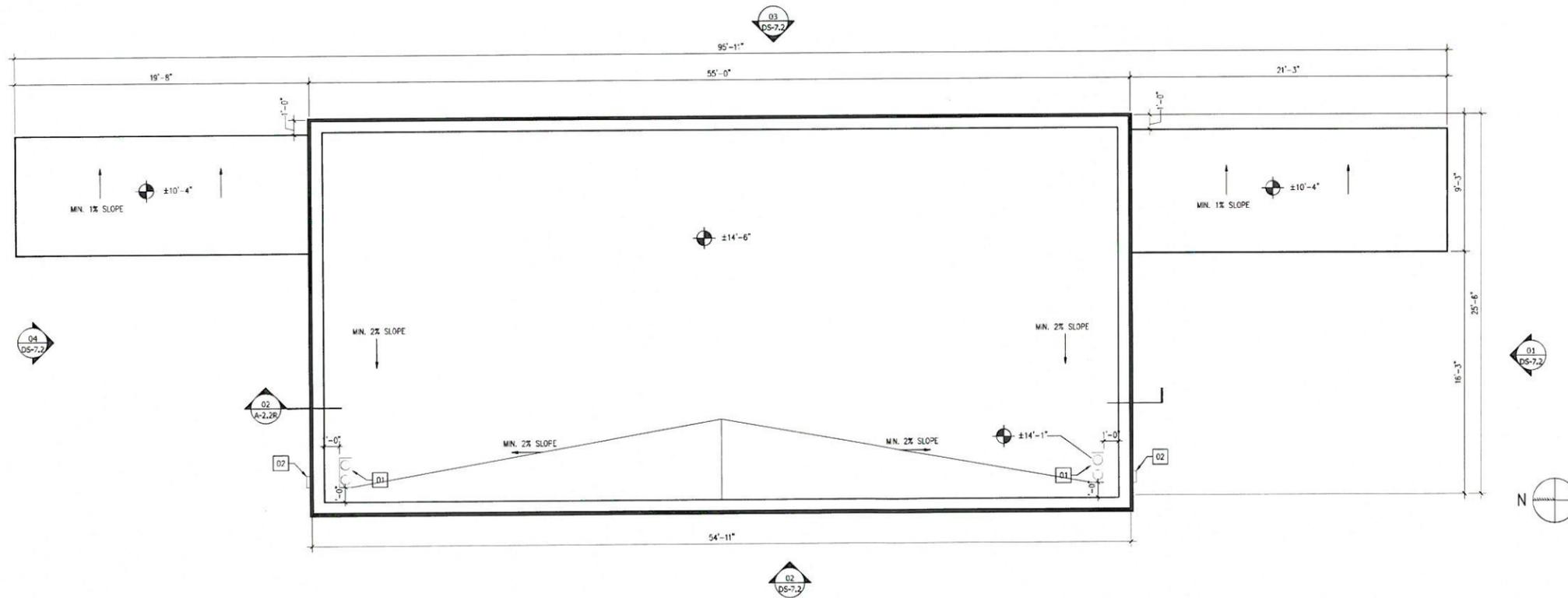
# Mobil Gas, Store & Car Wash

800 N. Pacific Ave., Glendale, CA 91203

## DS\_2.1R



CAR WASH SECTION SCALE 1/2"=1'-0" 02



CAR WASH ROOF PLAN SCALE 1/2"=1'-0" 01

- 01 PRIMARY DRAIN AND OVERFLOW DRAIN
- 02 SCUPPER
- 03 24" PARAPET
- 04 METAL CANOPY
- 05 ROLL-UP DOOR

KEYNOTES & SYMBOLS

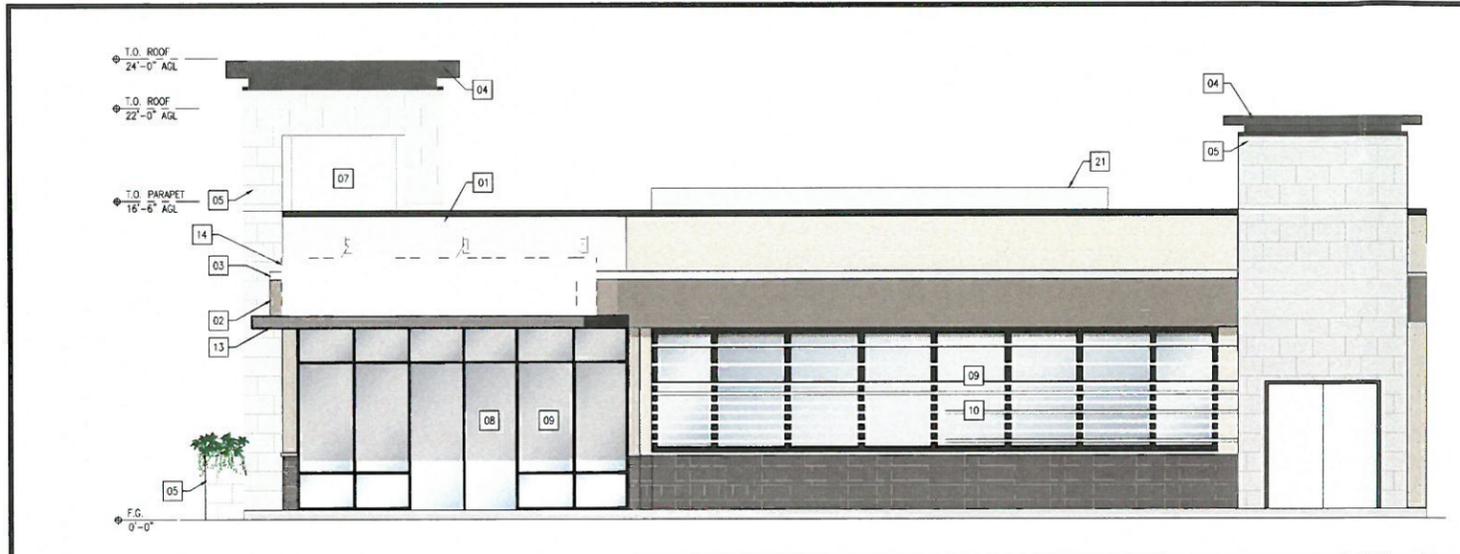


# Car Wash Roof Plan & Section Mobil Gas, Store & Car Wash

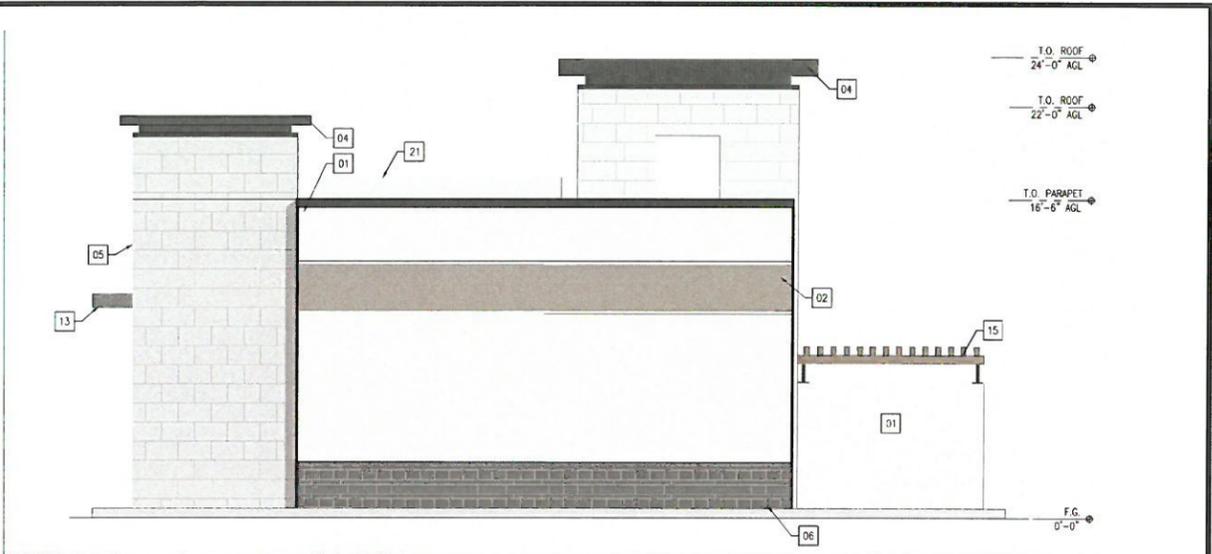
17200 Red Hill Ave., Irvine, CA 92614  
 wk: (949) 596-4298  
 jchoi@synarcstudio.com  
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800 N. Pacific Ave., Glendale, CA 91203

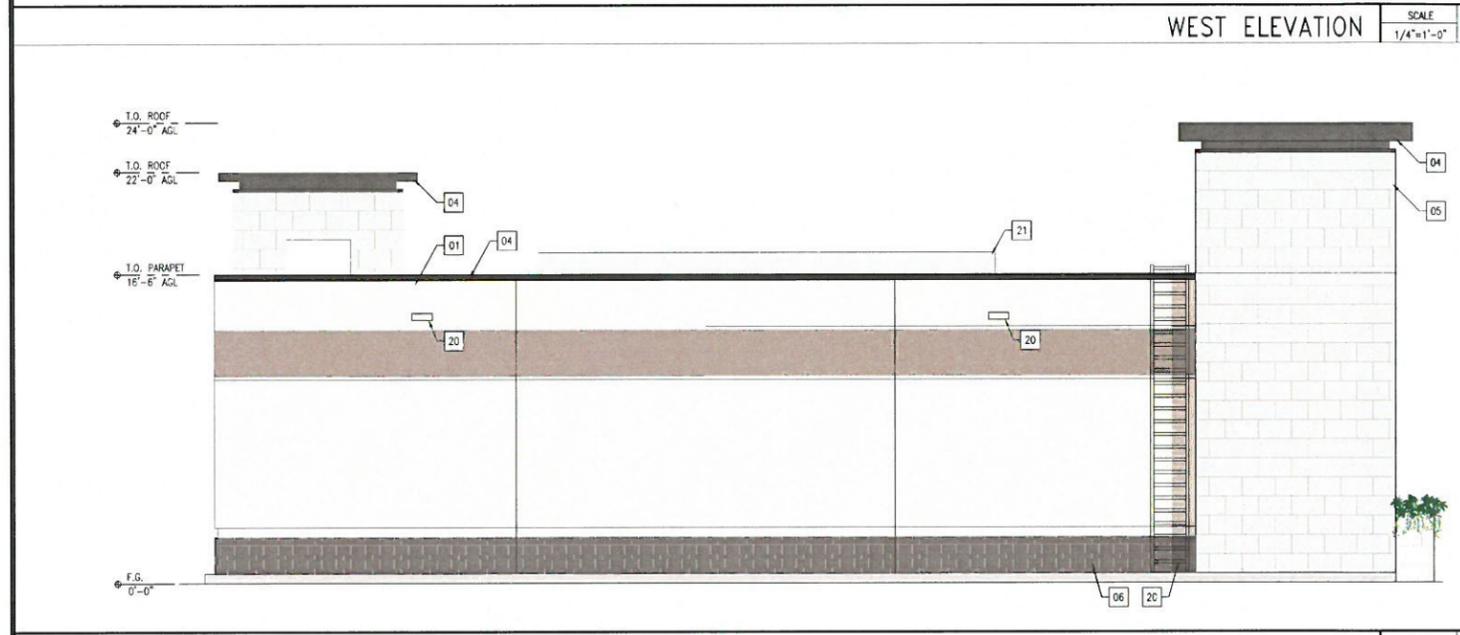
DS\_2.2R



WEST ELEVATION SCALE 1/4"=1'-0" 05



NORTH ELEVATION SCALE 1/4"=1'-0" 03

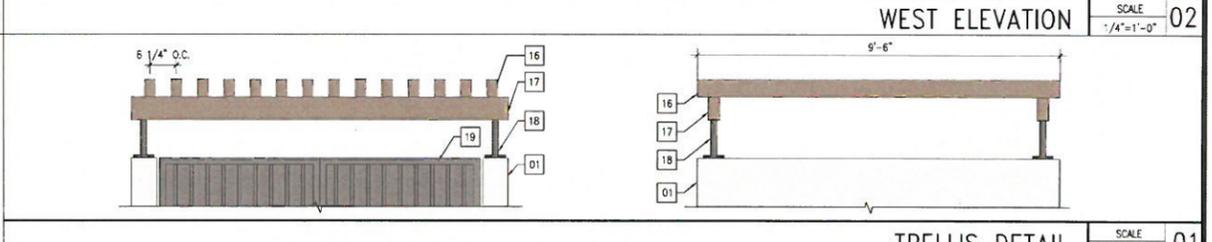


NORTH ELEVATION SCALE 1/4"=1'-0" 04



WEST ELEVATION SCALE 1/4"=1'-0" 02

01 COLORTEK PREMIUM STUCCO - 133 MESA TAN (SAND 30/30)	06 STAMPED CONCRETE/PLASTER - DARK GREY	11 V/A	16 WOOD 4x6
02 COLORTEK PREMIUM STUCCO - 9226 STONE AGE (SAND 30/30)	07 COLORTEK PREMIUM STUCCO - ROCK GREEN (SMOOTH COAT)	12 LARGE CLOCK	17 WOOD 4x6
03 BRAKE METAL PANEL - WHITE	08 ALUMINUM STOREFRONT ENTRY SYSTEM	13 CANOPY - DARK METAL	18 METAL POST
04 BRAKE METAL - CHARCOAL/DARK	09 ALUMINUM STOREFRONT GLAZING SYSTEM	14 AREA FOR SIGNAGE	19 METAL GATE
05 CORONADO STONE - FRENCH LIMESTONE (STONE VNEER) - SILVER ASH - 12 X 24	10 ALUMINUM LOUVER SYSTEM	15 TRASH ENCLOSURE WOOD TRELLIS - 01	20 SCUPPER
			21 ROOFTOP EQUIPMENT SCREEN



TRELLIS DETAIL SCALE 1/4"=1'-0" 01

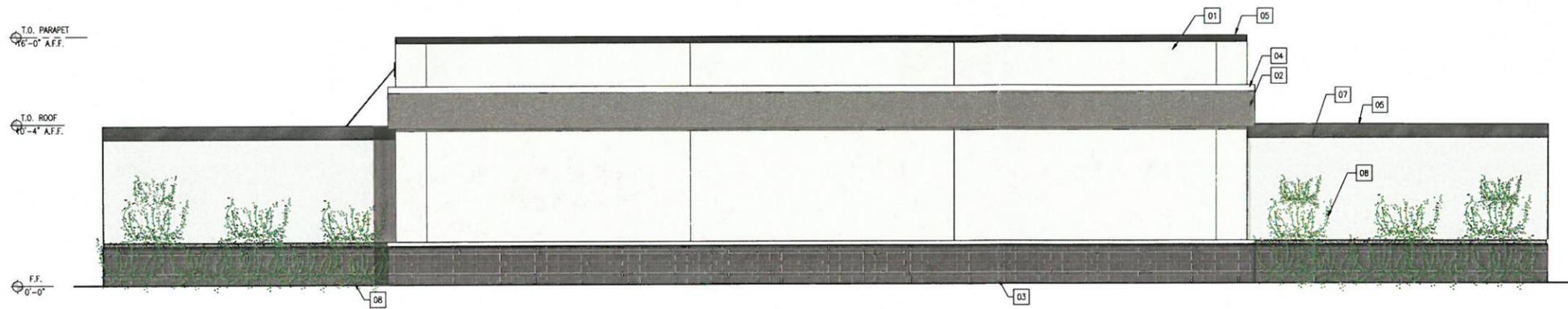
KEYNOTE LEGEND



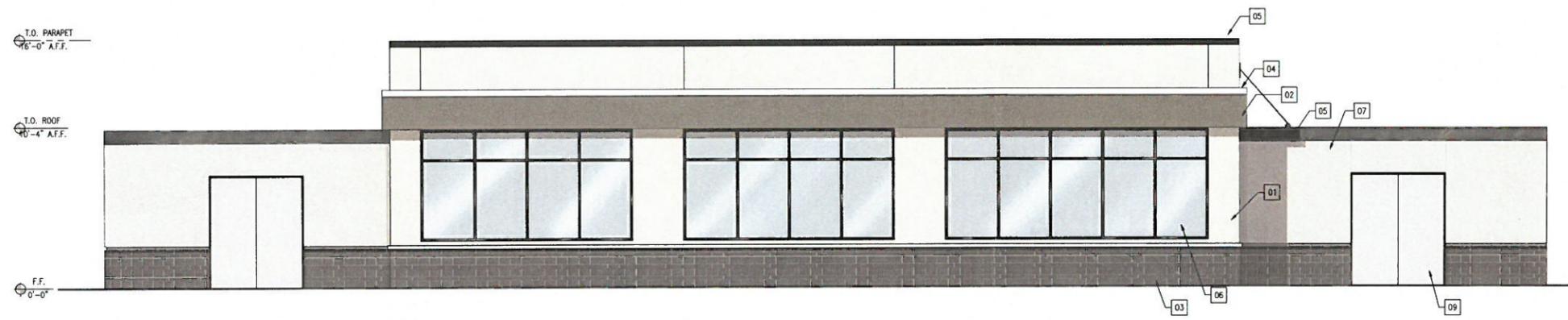
**Building Elevations**  
 17200 Red Hill Ave., Irvine, CA 92614  
 wk. (949) 596-4298  
 jchoi@synarcstudio.com  
 project no.: 18\_124

**Mobil Gas, Store & Car Wash**  
 800 N. Pacific Ave., Glendale, CA 91203

**DS\_7.1**



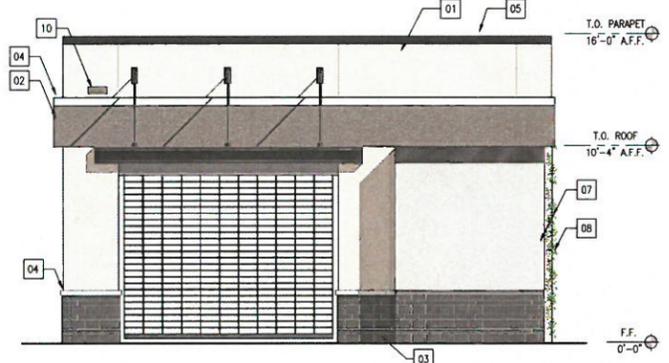
EAST ELEVATION 1/4"=1'-0" 03



WEST ELEVATION 1/4"=1'-0" 02



NORTH ELEVATION 1/4"=1'-0" 04



SOUTH ELEVATION 1/4"=1'-0" 01

- KEYNOTES**
- 01 COLORTEK PREMIUM STUCCO - 133 MESA TAN (SAND 30/30)
  - 02 COLORTEK PREMIUM STUCCO - 9228 STONE AGE (SAND 30/30)
  - 03 STAMPED CONCRETE/PLASTER - DARK GREY
  - 04 BRAKE METAL PANEL - WHITE
  - 05 METAL - CHARCOAL/DARK
  - 06 GLAZING SYSTEM
  - 07 COLORTEK PREMIUM STUCCO - ROCK GREEN (SAND 30/30)
  - 08 WALL IVY - EVERGREEN CLEMATIS
  - 09 EQUIPMENT DOORS
  - 10 SCUPPER



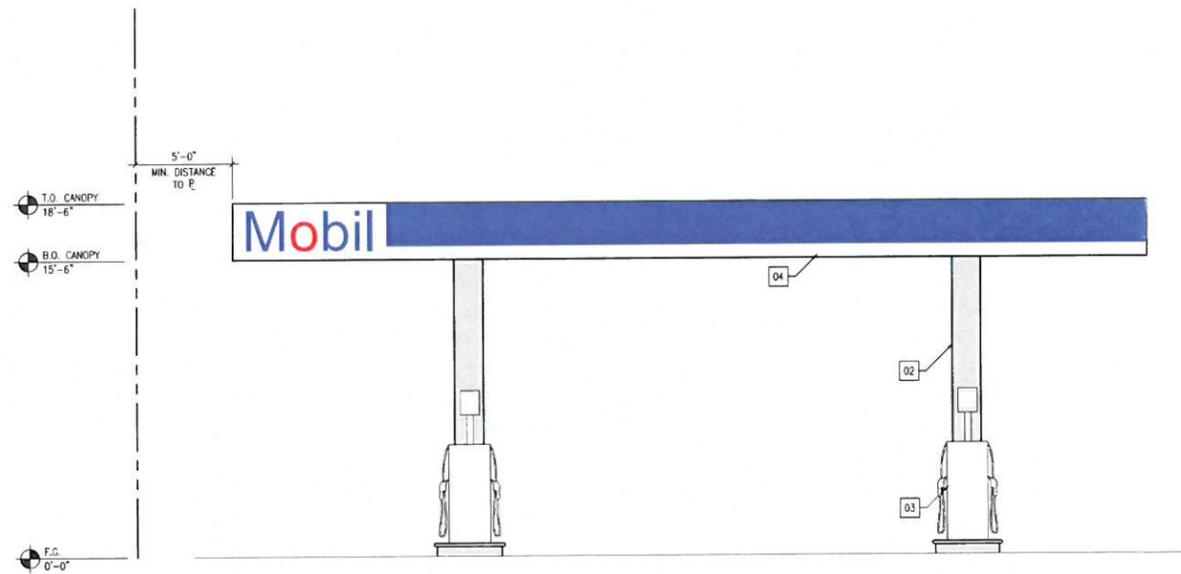
# Car Wash Elevations

17200 Red Hill Ave., Irvine, CA 92614  
 wk: (949) 596-4298  
 jchoi@synarcstudio.com  
 project no.: 18\_124

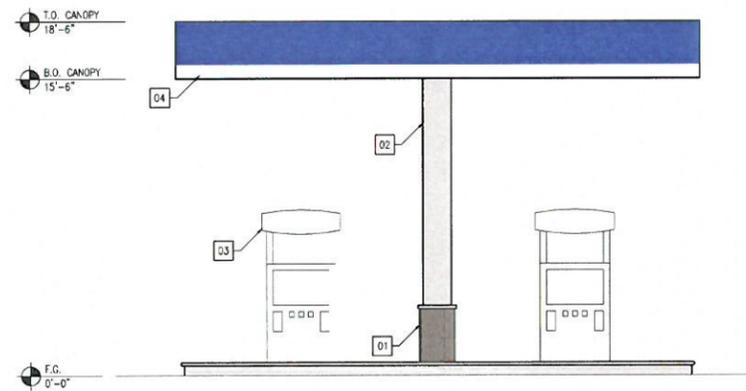
# Mobil Gas, Store & Car Wash

800 N. Pacific Ave., Glendale, CA 91203

DS\_7.2



SOUTH ELEVATION 1/4"=1'-0" 02



WEST ELEVATION 1/4"=1'-0" 01

- KEYNOTE LEGEND
- 01 STAMPED CONCRETE/PLASTER - DARK GREY
  - 02 EXISTING COLUMN TO REMAIN
  - 03 EXISTING GAS PUMP TO REMAIN
  - 04 NEW CANOPY

KEYNOTE LEGEND



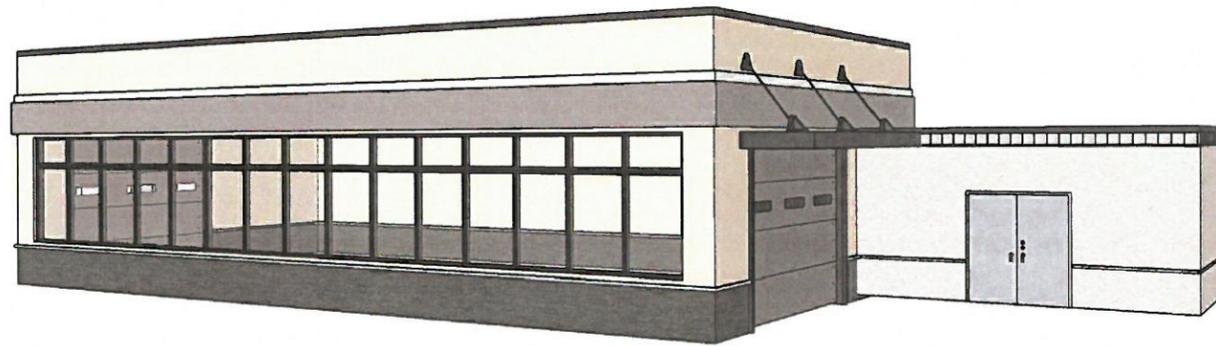
## Canopy Elevations

17200 Red Hill Ave., Irvine, CA 92614  
 wk: (949) 596-4298  
 jchoi@synarcstudio.com  
 project no.: 18\_124

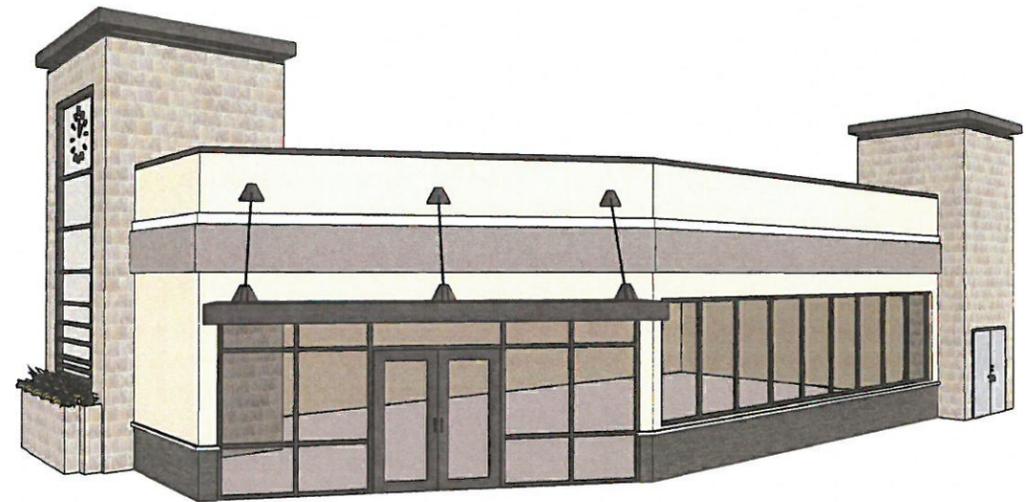
## Mobil Gas, Store & Car Wash

800 N. Pacific Ave., Glendale, CA 91203

DS\_7.3



CAR WASH SCALE 1/4"=1'-0" 02



CONVENIENCE STORE SCALE 1/4"=1'-0" 01



## Conceptual Renderings

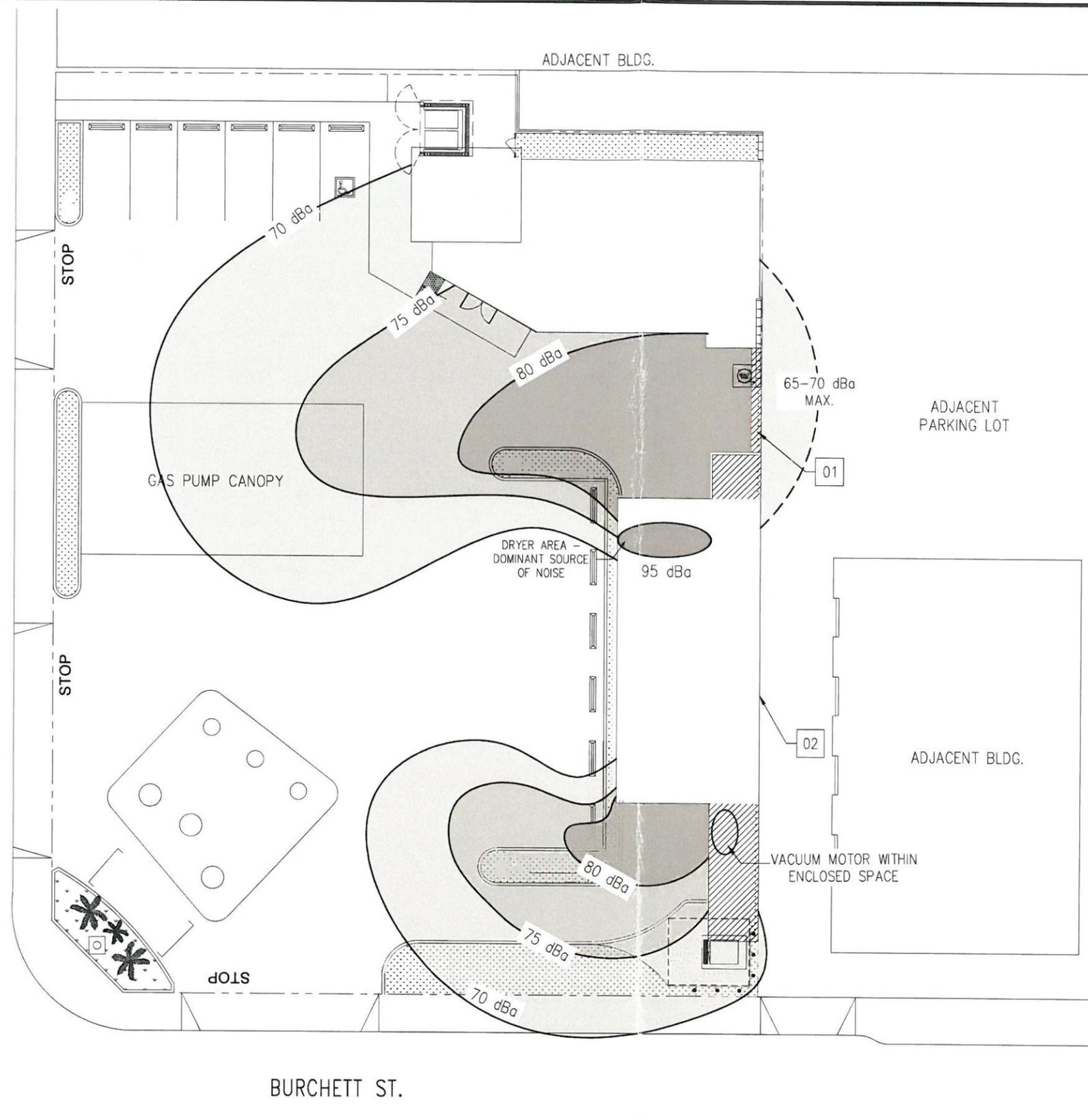
17200 Red Hill Ave., Irvine, CA 92614  
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project no.: 18\_124

## Mobil Gas, Store & Car Wash

800 N. Pacific Ave., Glendale, CA 91203

DS\_7.4

N. PACIFIC AVE.



OPERATING HOURS: 7AM - 9PM

DOORS TO TUNNEL ONLY OPEN DURING OPERATING HOURS

### GENERAL NOTES



SOUND BARRIERS FOR NOISE DEFLECTION

01

CMU WALL INCREASED TO 10' TO INCREASE SOUND DEFLECTION CAPABILITY

02

INSULATED CAVITY WALL TO ENFORCE NOISE DAMPENING ON EAST

### KEYNOTES AND SYMBOLS

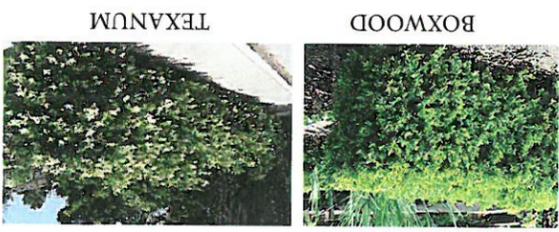
## Noise Contour Map

## Mobil Gas, Store & Car Wash



17200 Red Hill Ave., Irvine, CA 92612  
wk: (949) 596-4298  
jchoi@synarcstudio.com  
project no.: 18\_124

800 N. Pacific Ave., Glendale, CA 91203



TEXANUM

BOXWOOD



GOLDENRAIN

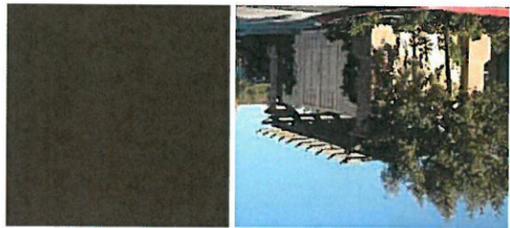


PINK DAWN

DECORATIVE STAMPED CONCRETE  
STAMP IN STACKED STONE STYLE WITH  
VARYING DIMENSIONS FINISHED IN DARK GREY DYE



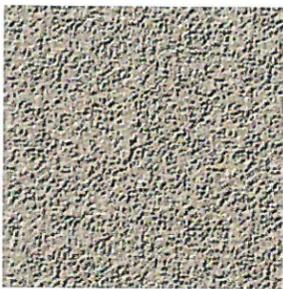
TRASH ENCLOSURE WOOD TRELLIS PAINTED  
DARK BROWN - DE6070 CHOCOLATE CHUNK



ROCK GREEN - SMOOTH  
COLORTEK STUCCO



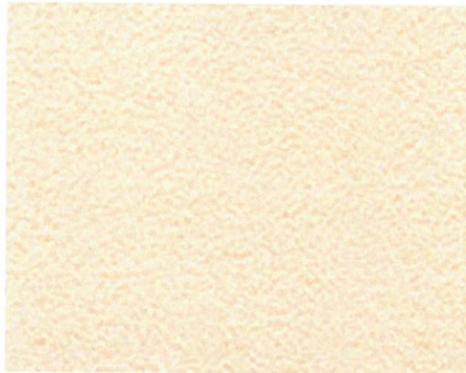
9228 STONE AGE - SAND 30/30  
COLORTEK STUCCO



MODERN CANOPY  
DESIGNED PER MOBIL STANDARDS



133 MESA TAN - SAND 30/30  
COLORTEK STUCCO



STORE FRONT SYSTEM  
ARCADIA - A400 CENTER GLAZED  
BLACK ALUMINUM



12 X 24 - SILVER ASH  
CORONADO STONE - FRENCH LIMESTONE

