



February 21, 2020

Applicant:

Terry Womack
4958 Haight Terrace
San Diego, Ca 92123

**RE: 249 North Glendale Avenue, Suite A
ADMINISTRATIVE USE PERMIT CASE NO. PAUP 1923379
(California Fish Grill)**

The Director of Community Development will render a final decision on or after **March 3, 2020**, for the following project:

Project proposal: An application for an Administrative Use Permit (AUP) to allow the on-site sales, service and consumption of beer and wine at a new fast food restaurant (ABC License Type 41)

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

DRAFT CONDITIONS OF APPROVAL

1. That the development shall be in substantial accord with the plans submitted with the application except for any modifications as may be required to meet specific code standards or other conditions stipulated herein to the satisfaction of the Director of Community Development.
2. That all necessary licenses, approvals, and permits as required from Federal, State, County or City authorities including the City Clerk shall be obtained and kept current at all times.
3. That sufficient measures shall be enforced to effectively eliminate interior and exterior loitering, parking congestion, disturbing noise, disturbing light, loud conversation, and criminal activities.
4. That at all times when the premises are open for business, the service of any alcoholic beverage shall be made only in the areas designated with an ABC license. Consumption of alcoholic beverages will only be on those same licensed areas.

5. That the sales, service or consumption of alcoholic beverages shall be permitted only between the hours of 10:00 am to 10:00 pm, seven days a week, and only when the restaurant is also open for service.
6. That no patrons of the restaurant shall be allowed to bring into the establishment any alcoholic beverage that was purchased from outside of the restaurant, unless the restaurant has an established corkage policy allowing and regulating such.
7. That there shall be no video machine(s) maintained upon the premises.
8. That no live entertainment is permitted without a "Live Entertainment Permit". No karaoke, no bikini activities or events, no lingerie activities or events, no swimwear activities or events, nor any similar activities or events be allowed where partial clothing of male or female entertainment is provided.
9. That music or noise shall be contained within the edifice of the establishment. The business shall comply with all state and local laws and ordinances concerning excessive noise and disturbing the peace.
10. That the front and back doors of the restaurant shall be kept closed at all times while the location is open for business, except in case of emergency.
11. That the establishment (restaurant) that primarily provides for the on-premises sale, serving and consumption of alcoholic beverages and that derives more than fifty (50) percent of gross revenues from the sale of alcoholic beverages is by definition of the code a "tavern" and requires approval of a separate Conditional Use Permit. Taverns include bars, pubs, cocktail lounges and similar establishments.
12. That the sale of alcohol for consumption off the premises is strictly prohibited.
13. That the restaurant shall adhere to the City's Fresh Air Ordinance, Title 15, Chapter 8.52 of the Glendale Municipal Code.
14. That the restaurant shall be operated in full accord with applicable State, County, and local laws.
15. That access to the premises shall be made available to all City of Glendale Planning and Neighborhood Services Divisions, Police Department, and Fire Department staff upon request for the purpose of verifying compliance with all laws and conditions of this approval.
16. That a Business Registration Certificate be applied for and issued for a fast food restaurant with sales, service and consumption of alcoholic beverages, subject to the findings and conditions outlined in this decision letter.

PROJECT BACKGROUND

Previous Permits for the Site: The previous tenant was a nail salon.

Related Concurrent Permit Application(s): The applicant is currently in plan check for a tenant improvement to change the space from a nail salon into the fast food restaurant.

ENVIRONMENTAL DETERMINATION: The project is exempt from CEQA review per State CEQA Guidelines Section 15301, Class 1 "Existing Facilities" because this application is for on-site sales, service, and consumption of beer and wine at a new fast food restaurant. This is a change in use within an existing tenant space. There are no proposals to add floor area to the restaurant.

General Plan: Community Service

Zone: C2 (Community Commercial) Zone

Description of Existing Property and Uses: The existing project site is developed with a two-story, multi-tenant commercial complex (shopping center) occupying various retail and food service uses. The commercial center is bounded by Isabel Street to the west, Wilson Avenue to the south, California Avenue to the north, and Glendale Avenue to the east. The subject tenant space was previously occupied by a nail salon which is considered a personal service. The size of the subject tenant space is about 3,000 square feet and is located adjacent to the other fast food restaurants in the center, on the north east corner of Glendale Avenue and California Avenue. The site has two levels of parking surrounded by buildings at the north and west side. Access to the parking area is from California Avenue (north), Glendale Avenue (east), and Wilson Avenue (south). There are 1,150 parking spaces on the property.

Neighboring Zones and uses

Direction:	Zone	Existing Land Use
North	R-1250 and C2-I	Multi-Family and Commercial uses
South	DSP/CC	Civic Center (offices uses)
East	C2-I	Commercial uses
West	R-1250 and C3-II	Multi-Family and Commercial uses
Project Site	C2-II	Commercial uses

COMMENTS FROM OTHER CITY DEPARTMENTS: No major concerns were received from the various city divisions/departments. Conditions have been received from the Police Department to ensure that any potential negative impact will be appropriately mitigated. These conditions will be made part of the application if the AUP is approved.

PROJECT ANALYSIS

The applicant is requesting approval of an Administrative Use Permit (AUP) to allow the on-site sales, service, and consumption of beer and wine at a new fast food restaurant (California Fish Grill) located in a commercial complex. The tenant space was previously used by a nail salon of about 3,000 square feet.

The subject site is located in the C2-II (Community Commercial) Zone, Height District II, and the General Plan Land Use Element designation in this area is Commercial-Community Services. These areas are generally located along the city's major arterials, like Glendale Avenue. The sale of beer and wine for on-site consumption at this location is appropriate in an area of the city zoned for community commercial uses and will continue to provide an option for the community to purchase beer and wine in conjunction with their meals in the new restaurant.

The sale of beer and wine for on-site sales, service, and consumption at the new fast food restaurant will be consistent with the elements and objectives of the General Plan. The project site is already developed as a large commercial complex and the applicant's request is sell of beer and wine for on-site consumption at the new fast food restaurant. There are complementary businesses, including retail and food service type uses on the project site. Multi-family residences are located across Isabel Street to the west and across California Avenue to the north of the project site. The request for the sale of beer and wine at the subject fast food restaurant would not result in any significant impacts to the existing residential uses due to the proposed conditions that would be imposed on the approval of the requested AUP. The Land Use Element is the most directly related to the approval of this use. Other elements of the General Plan, including Open Space, Recreation, Housing, and Noise Elements, will not be impacted as a result of the applicant's request. This application does not include any added floor area, just a tenant improvement. However, since this is a change in use from a personal service use to a fast food restaurant additional parking would be required. The change in use requires 26 additional parking spaces. The existing parking lot contains 1,150 parking spaces. Under the current tenant mixture in the center there are 11 retail stores totaling approximately 235,000 square feet, four fast food restaurants totaling about 7,000 square feet, and one financial institution at 3,000 square feet. The 16 tenants in the center would require about 990 parking spaces; whereas with the new fast food restaurant 1016 parking spaces would be required. Therefore, there would be approximately 134 parking spaces in excess of the that required. The applicant's request to allow the sale of beer and wine is not anticipated to create any negative traffic-related impacts on North Glendale Avenue or East Wilson Avenue over and above the existing conditions.

The sale of beer and wine for on-site consumption at the new fast food restaurant will not be detrimental to the safety and public welfare of the neighborhood. According to the Glendale Police Department, the subject property is located in Census Tract 3020.02 where the suggested limit for on-sale alcohol establishments is three. Currently, there are 24 on-sale establishments located in this tract and California Fish Grill will bring the total to 25 licenses. Based on arrests and Part 1 crime statistics for this census tract, there were 251 crimes which is above the citywide average of 167 in 2019. Within the last calendar year, there were no calls for police service at the location. While this area has significantly more crimes than in

many other areas of the city, it may be attributed to the high concentration of retail, service types, and entertainment uses in the area and no evidence has been presented to indicate that the sale of beer and wine for on-site consumption would increase crime in the area. Additionally, The Glendale Police Department did not cite any major concerns related to the proposed sale of beer and wine at the fast food restaurant.

The proposed sale, service and consumption of beer and wine for on-site consumption at the new fast food restaurant is not anticipated to be detrimental to the community or adversely conflict with the community's normal development. It will not conflict with the adjacent land uses and is ancillary to the primary use as a fast food restaurant. There are five schools, three churches, and a college within the immediate area of the subject site. The closest public facilities to the subject site are A-Plus Adventist Preschool and Glendale City Church at the west side of the subject property, across the driveway access to the subject parking area from California Avenue. Glendale University College of Law is located approximately 0.1 miles away from the subject site along Glendale Avenue. Kara Preschool and Zion Lutheran Church are located at the north side of the subject site, at the intersection of North California Avenue and North Isabel Street. Allan F Daily High School and Cloud Preschool are located approximately 0.1 miles southwest of the subject site. First United Methodist Church is located approximately 0.2 miles away at the southwest side of the site at intersection of North Kenwood Street and East Wilson Avenue. Additionally, RD White Elementary School is located approximately 0.3 miles away at the northeast of the subject building. While the proposed fast food restaurant is new, it is adjacent to other fast food restaurants who have not proven to adversely impact its surroundings or above-mentioned uses. Therefore, it is not anticipated that the approval of this AUP (PAUP 1923379) will negatively impact these public facilities or impede their existing operations.

Overall, the application to allow the sales, service, and consumption of beer and wine for on-site consumption at a new fast food restaurant (California Fish Grill) is supportable based on the facts surrounding this application and the findings.

DRAFT FINDINGS

A. That the proposed use will be consistent with the various elements and objectives of the general plan.

The subject site is located in the C2-II (Community Commercial) Zone and the General Plan Land Use Element designation is Commercial-Community Services. A fast food restaurant is a permitted use within the C2 (Community Commercial) zone and therefore, consistent with the land use designation. Goods and services that are offered in this zone generally attract clientele from the adjoining residential neighborhoods as well as the surrounding community. The sale, service, and consumption of beer and wine for on-site consumption at this location is intended to complement the fast-food restaurant and is appropriate in an area of the city zoned for both residential and commercial uses.

The sale, service, and consumption of beer and wine for on-site consumption at the new restaurant will be consistent with the elements and objectives of the General Plan. The Land Use Designation of the site is Commercial-Community Services. These areas are generally

located along the city's major arterials, like Glendale Avenue to allow for compatible and varied uses such as personal services, retails, and offices to provide services to the community. These streets are fully improved serving a multitude of businesses and residential developments. They can adequately handle the existing traffic circulation around the site. The applicant's request to allow the sale, service, and consumption of beer and wine for on-site consumption is not anticipated to create any negative traffic-related impacts on East California Avenue and North Glendale Avenue over and above the existing conditions. Providing such services along a major arterial that is conveniently located is in keeping with the City's policies to reduce automobile trips and encourage walking. As such, traffic should not be impacted and will be in compliance with the Circulation Element.

The project site is already developed and the applicant's request is only to allow on-site sales, service, and consumption of beer and wine at the proposed fast food restaurant. The subject tenant space is surrounded by other complementary businesses, including retail and service uses to the west and south side of the project. Multi-family residential neighborhoods are located on the north (across California Avenue) and on the west side of the project site (across Isabel Street). No residential development directly abuts the subject site. Other elements of the General Plan, including Open Space, Recreation, Housing, and Noise Elements, will not be impacted as a result of the applicant's request. The subject business provides additional dining opportunities to the surrounding community as intended by the General Plan. This application does not include any added floor area, just a tenant improvement to the existing tenant space. However, since this is a change in use from a personal service use to a fast food restaurant additional parking would be required. The change in use requires 26 additional parking spaces. Under the current tenant mixture in the center there are 11 retail stores totaling approximately 235,000 square feet, four fast-food restaurants totaling about 7,000 square feet total, and one financial institution at 3,000 square feet. The 16 tenants in the center would require about 1,150 parking spaces. The existing parking lot contains 990 parking spaces. Under the current tenant mixture in the center, 990 parking spaces are required; whereas with the new fast food restaurant 1016 parking spaces would be required. Therefore, there would be approximately 134 parking spaces in excess of that required. Adequate utilities, landscaping, and traffic circulation measures are already provided.

B. That the use and its associated structures and facilities will not be detrimental to the public health or safety, the general welfare, or the environment.

The proposed sales, service, and consumption of beer and wine for on-site consumption at the new fast food restaurant will not be detrimental to the health, safety and public welfare of the neighborhood. According to the Glendale Police Department, the subject property is located in Census Tract 3020.02 where the suggested limit for off-sale alcohol establishments is three. Currently, there are 24 on-sale establishments located in this tract and California Fish Grill would increase the total to 25 licenses. Fast food restaurants, similar to the new restaurant, frequently sell beer and wine for on-site consumption as part of their service. This ancillary service is not typically associated with public drunkenness or other alcohol-related crimes. Based on Part 1 crime statistics for this Census Tract, there were 251 crimes, which is above the citywide average of 167 in 2019. The Glendale Police Department did not cite any major concerns related to the proposed sale, service, or consumption of beer and wine at the new fast food restaurant and it is unlikely that the proposed request will increase crime in the

area above the existing conditions. Additionally, the Police Department has recommended conditions of approval to ensure that there are no negative impacts to the public health, safety, general welfare, or the environment.

C. That the use and facilities will not adversely affect or conflict with adjacent uses or impede the normal development of surrounding property.

It is not anticipated that the sale, service or consumption of beer and wine for on-site consumption at the proposed fast food restaurant will adversely affect or conflict with adjacent uses or impede the community's normal development. The proposed fast food restaurant mainly serves fresh grilled fish and is considered a "fast casual seafood restaurant". The sale of beer and wine for on-site consumption should not cause any conflicts with surrounding development and it is not anticipated to have adversely conflicts with surrounding properties or uses in the future.

The subject property is surrounded by other businesses including retail and service type uses and residential neighborhoods on the north (across California Avenue) and on the west side of the subject property across Isabel Street. There are five schools, three churches, and a college within immediate area of the subject site. A-Plus Adventist Preschool and Glendale City Church at the west side of the subject property, across a driveway access to the subject parking area from California Avenue. Glendale University College of Law is located approximately 0.1 miles away from the subject site along Glendale Avenue. Kara Preschool and Zion Lutheran Church are located at the north side of the subject site, at intersection of North California Avenue and North Isabel Street. Allan F Daily High School and Cloud Preschool are located approximately 0.1 miles southwest of the subject site. First United Methodist Church is located approximately 0.2 miles away at the southwest side of the site at intersection of North Kenwood Street and East Wilson Avenue. Additionally, RD White Elementary School is located approximately 0.3 miles away at the northeast of the subject building. While these uses and facilities are within close proximity, the sale of beer and wine for on-site consumption at the proposed fast food restaurant should not impact the surroundings or abovementioned uses. The recommended conditions of approval will serve to mitigate any potential impacts on the surrounding properties and uses.

D. That adequate public and private facilities such as utilities, landscaping, parking spaces and traffic circulation measures are or will be provided for the proposed use.

The applicant's request to allow the sale, service and consumption of beer and wine for on-site consumption at the proposed fast food restaurant will not result in inadequate public or private facilities. The project site is already developed and associated facilities are existing. Per finding A, above, the existing on-site parking should meet the parking demand of the subject property and will not result in conflicts with the existing nearby businesses or residential developments. The site has access from Glendale Avenue, which is identified as a fully developed major arterial in The Circulation Element. The site also has access from Wilson Avenue, a minor arterial on the south side of the site and from California Avenue, an urban collector on the north side of the property. Urban collectors take traffic from local streets and distribute that traffic to the major/minor arterials and Glendale Avenue, a fully developed major arterial can adequately handle the existing traffic circulation adjacent to the site.

Moreover, the majority of the loading takes place in the shared dock area at the rear of the store, facing California Avenue. Therefore, the sale, service and consumption of beer and wine at this proposed fast food restaurant for on-site consumption will not drastically increase traffic in the existing facility or in the surrounding area. Additionally, no expansion of the existing use is being proposed so no additional parking is required.

REQUIRED ADDITIONAL FINDINGS OF FACT FOR AN AUP FOR ALCOHOL SALES, SERVICE AND CONSUMPTION:

That all the criteria set forth in Section 30.49.030 (E) to be considered in making the findings in subsection A. through B. above have all been met and thoroughly considered:

- 1) That where an existing or proposed on-site use is located in a census tract with more than the recommended maximum concentration of on-site uses or that where an existing or proposed on-site use is located in a census tract with more than the recommended maximum concentration of on-site uses, both as recommended by the California Department of Alcoholic Beverage Control, such use does not or will not tend to intensify or otherwise contribute to the adverse impacts on the surrounding area caused by such over concentration based on the comments submitted by the City of Glendale Police Department. The sale of beer and wine for on-site consumption at the proposed fast food restaurant will not tend to encourage or intensify adverse impacts within this reporting district as noted in Finding B above.
- 2) That where the existing or proposed use is located in a crime reporting district with a crime rate which exceeds 20 percent of the city average for Part 1 crimes, as reported by the Glendale Police Department, such use does not or will not tend to encourage or intensify crime within the district. As noted in Finding B above, the crime rate in Census Tract 3020.02 is 50% above the citywide average for Part 1 crimes. No evidence has been presented that the sale of beer and wine for on-site consumption at the proposed fast food restaurant would encourage or intensify crime within the district. Conditions of approval are recommended by the Police Department to ensure that the approval of this AUP will not tend to encourage or intensify crime within the district.
- 3) That the existing or proposed use does not or will not adversely impact any other uses within the surrounding area (churches, public or private schools or colleges, day care facilities, public parks, libraries, hospitals or residential uses). As noted in Finding C above, there are five schools, three churches, and a college within the immediate area of the subject site. While these facilities and uses are within close proximity, the on-site sales, service, and consumption of beer and wine at the proposed fast food restaurant should not impact the surrounding or abovementioned uses. While the proposed fast food restaurant (California Fish Grill) is new to the commercial center there are other similar uses adjacent to this tenant space that have not adversely affected or conflicted with other adjacent uses and public facilities.

- 4) That adequate parking and loading facilities are or will be provided for the existing or proposed use or other reasonable alternatives satisfy the transportation and parking needs of the existing or proposed use. As noted in Findings A, C and D above, the applicant's request is not anticipated to increase the need for public or private facilities. The ancillary sale, service, and consumption of beer and wine for on-site consumption at the proposed fast food restaurant (California Fish Grill) is not anticipated to intensify traffic circulation or parking demand. The site is fully developed and adequate parking and loading facilities are currently provided.
- 5) That, notwithstanding consideration of the criteria in subsections 1 through 4 above, alcoholic beverage sales, service and consumption for on-site consumption does serve a public convenience for the area. The applicant's request for the proposed sale, service and consumption of beer and wine for on-site consumption at the proposed fast food restaurant (California Fish Grill) does serve a public convenience because it serves local residents, businesses, and the surrounding community. Conditions placed on the approval of the project will ensure that it will not adversely impact nearby businesses and residential uses.

For more information or to submit comments, please contact the case planner, Bradley Collin, at 818-548-3210 or bcollin@glendaleca.gov.

ATTACHMENT:

1. Location Map
2. Reduced Plans
3. Departmental Comments
4. Site Photos

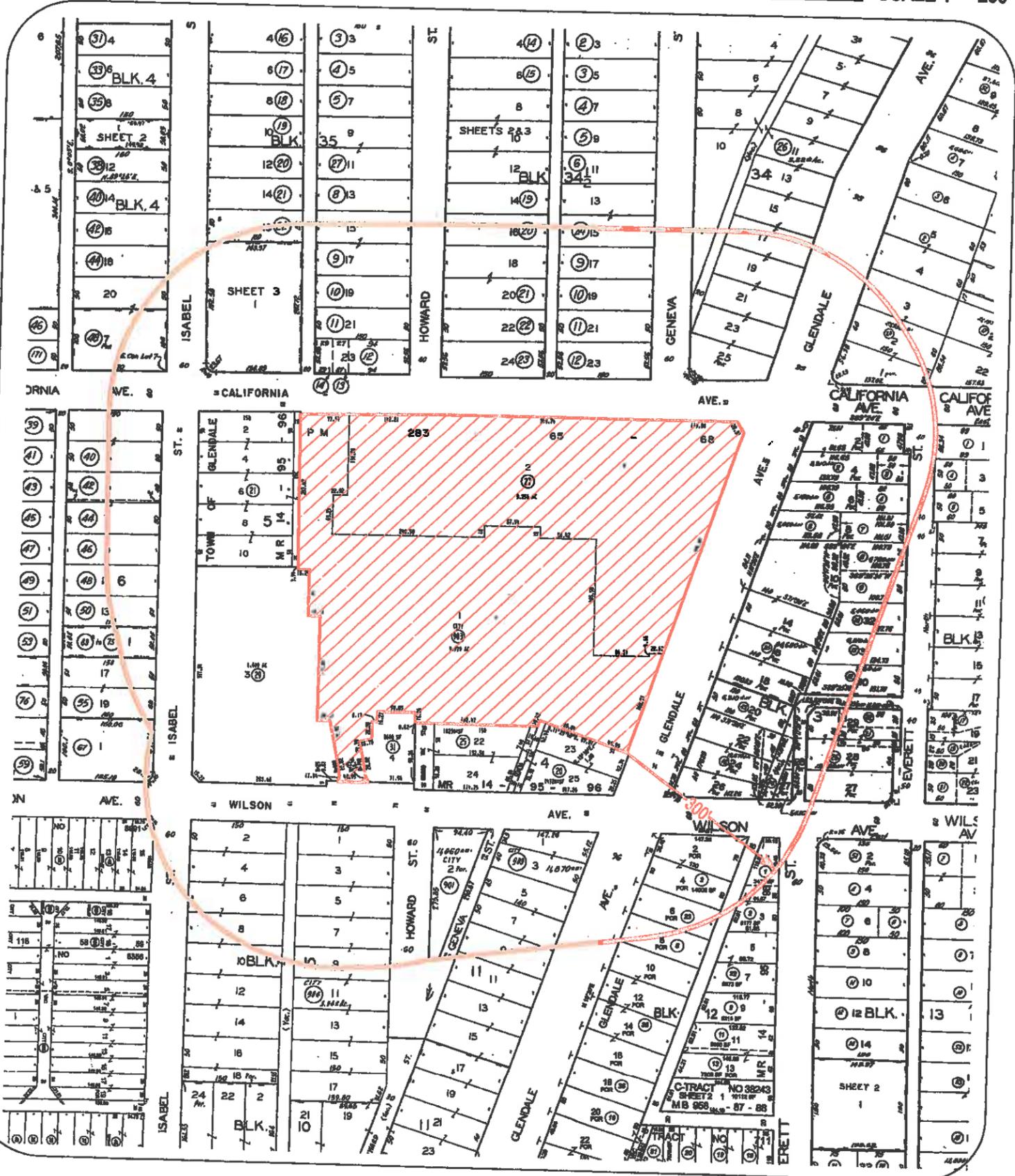
More Services
 SUE MORENO
 (626) 350-5944
 moreservices@sbcglobal.net
 OWNERSHIP / OCCUPANTS LIST
 RADIUS MAPS - LAND USE - PLANS
 MUNICIPAL COMPLIANCE CONSULTING
 12108 LAMBERT AVE. E. MONTE, CA 91732 - FAX (626) 350-1532

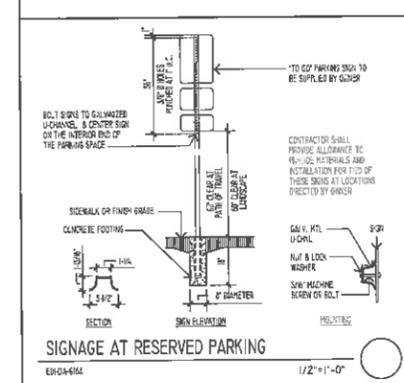
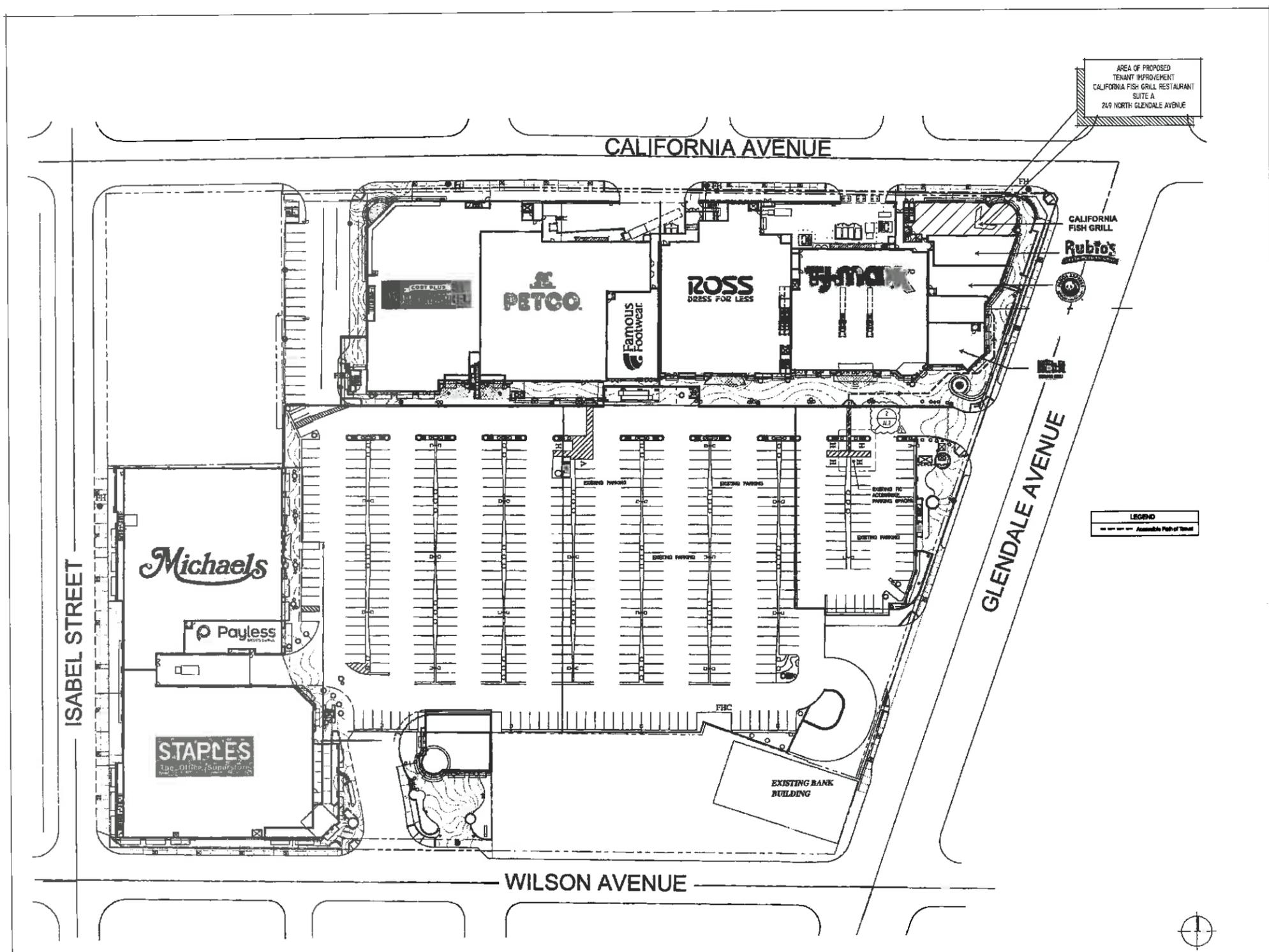
PROJECT INFORMATION

249 N. GLENDALE AVE. #A
 GLENDALE, CA.
 19-491



LOCATION MAP
 SCALE 1" = 200'





SITE PLAN FOR REFERENCE PURPOSES ONLY

NO SITE WORK WILL BE PROPOSED FOR THIS PROJECT - EXISTING SITE CONDITIONS WILL REMAIN. THE FOOT PRINT OF THE BUILDING REMAINS THE SAME - NO BUILDING AREA IS TO BE ADDED. CONTRACTOR TO VERIFY ALL EXISTING FINISH GRADES, SLOPES, LINES AND UTILITIES AS WELL AS ANY OTHER PHYSICAL OBSTRUCTIONS - ALL EXISTING SITE ITEMS TO REMAIN, INCLUDING PARKING, SIGNAGE, PATH OF TRAVEL, ENTRANCES, ETC., ARE ADA COMPLIANT - SUBJECT TO FIELD VERIFICATION. PATH OF TRAVEL AS INDICATED ON EXISTING SITE PLAN IS AN EXISTING BARRIER FREE ACCESS WITHOUT ANY VERTICAL CHANGES EXCEEDING 1/2" AT 1:20 MAXIMUM SLOPE - VERIFY THAT ALL GRADES AND CLEARANCES ON SITE COMPLY WITH REQUIREMENTS FOR PERSONS WITH DISABILITIES. CONTRACTOR TO VERIFY ALL INFORMATION CONTAINED ON THIS DRAWING - CONTACT ARCHITECT IF ANY DISCREPANCIES EXIST.

Site Plan
SCALE: None

FOR REFERENCE ONLY
THIS SITE PLAN HAS BEEN REPRODUCED FROM THE ORIGINAL SHELL DRAWINGS - THE PURPOSE OF THIS SITE PLAN IS TO IDENTIFY THE PROPOSED SITE LOCATION AND SURROUNDING EXISTING CONDITIONS.

ALL SITE IMPROVEMENTS - INCLUDING THOSE FOR DISABLED ACCESS ARE EXISTING TO REMAIN - CONFIRM COMPLIANCE OF EXISTING CONDITIONS WITH THE DETAILS OR DRAWING A1.2 AND MODIFY ANY EXISTING CONDITIONS AS REQUIRED.

WARNING - DIS ALERT
CALIFORNIA GOVERNMENT CODE REQUIRES THOSE PLANNING TO DIG OR EXCAVATE TO OBTAIN AN IDENTIFICATION NUMBER AT LEAST TWO DAYS BEFORE THEY DIG.
CALL 811 TO OBTAIN AN IDENTIFICATION NUMBER.

OVERALL REFERENCE SITE PLAN
SCALE: NONE

GENERAL NOTES

REFER TO DRAWING A1.2 FOR ADDITIONAL SITE PLAN GENERAL NOTES AND ACCESSIBILITY GUIDELINES AND DETAILS - ALL SITE IMPROVEMENTS ARE EXISTING TO REMAIN - PROJECT IN PLACE - OVERALL SITE ACCESSIBILITY HAS APPROVED AS PART OF THE OVERALL DEVELOPMENT APPROVAL UNDER A SEPARATE PERMIT - CONFIRM THAT EXISTING CONDITIONS COMPLY WITH THE GUIDELINES AND DETAILS REFERENCED.

SITE PLAN NOTES

- THESE DRAWINGS WERE FURNISHED BY THE LANDLORD FOR USE BY THE TENANT IN PREPARING IMPROVEMENT PLAN.
- ALL CONCRETE WALKS ARE EXISTING - NO ADDITIONAL FLATWORK WILL BE DONE AS A PART OF THIS PROJECT - CONTRACTOR TO VERIFY ALL ACTUAL UTILITY CONNECTIONS.
- NO ADDITIONAL SITE LIGHTING OR SITE POWER WORK WILL BE DONE AS A PART OF THIS PROJECT - NO ADDITIONAL LANDSCAPE WORK WILL BE DONE AS A PART OF THIS PROJECT - NO RETAINING WALLS OR TRASH ENCLOSURES WILL BE ADDED AS A PART OF THIS PROJECT.
- NO WORK SHALL BE DONE IN THE PUBLIC RIGHT OF WAY AS A PART OF THIS PROJECT.
- DIMENSIONS ARE TO FACE OF STUO, FACE OF MASONRY, FACE OF CONCRETE CURB, PROPERTY LINE, OR CENTER OF PARKING STALL STRIPING - UNLESS NOTED OTHERWISE.
- PROVIDE SIGNS DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EVERY PRIMARY AND PUBLIC ENTRANCE AND EVERY MAJOR JUNCTION ALONG OR LEADING TO ACCESSIBLE ROUTE OF TRAVEL - SIGNS SHALL INDICATE DIRECTION TO ACCESSIBLE ENTRANCES AND COMPLY WITH LATEST ADOPTED CODES.
- ADJUST ANY UTILITY ELEMENT HEAVY TO BE FLUSH WITH GRADE - CATCH BASINS, CLEAN-OUT MANHOLES, INLETS, YARD BONES, ETC. - AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER NOTED ON DRAWINGS OR NOT.
- ALL SIDEWALKS ADJACENT TO PARKING STALLS TO BE MINIMUM 7 FEET WIDE MINIMUM 2% SLOPE AWAY FROM DRIVE AND MAXIMUM CROSS SLOPE OF 1:48 - SIDEWALKS ALONG ACCESSIBLE ROUTES SHALL HAVE A MINIMUM CLEAR WIDTH OF 60 INCHES.
- GRATINGS LOCATED ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE SPACES SHALL HAVE OPENINGS NO GREATER THAN 1/2 INCH WIDE IN ONE DIRECTION - GRATINGS WITH ELONGATED OPENINGS SHALL BE PLACED SO THAT LONG DIMENSION IS PERPENDICULAR TO DOMINANT DIRECTION OF TRAVEL.
- ACCESSIBLE PARKING SPACES, ACCESS ANGLES, AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48 - 2 PERCENT - IN ANY DIRECTION - REFER TO DRAWING A1.3 FOR SITE ACCESSIBILITY REQUIREMENTS.
- CONCRETE WALKS SHALL RECEIVE EXPANSION JOINTS AT 20'-0" MAXIMUM AND SAWCUT OR TOoled CONTROL JOINTS AT 8'-0" BETWEEN EXPANSION JOINTS.
- PROTECT EXISTING TREES AND VEGETATION INDICATED TO REMAIN FROM PHYSICAL DAMAGE - DO NOT STORE MATERIAL OR EQUIPMENT WITHIN TREE DRUPLINES.
- ELEVATIONS SHOWN ARE FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS OR AS-BUILT CONDITIONS FOR FINAL GRADES AND ELEVATIONS.
- BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING PROPERTY.
- ALL CONCRETE WALKS SHALL SLOPE TO DRAIN AWAY FROM DOORS AND STOREFRONTS AT 1% MINIMUM TO 2% MAXIMUM SLOPE.
- FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO STARTING WORK - VERIFY THE LEASE LINE WITH THE TENANT COORDINATOR PRIOR TO START OF CONSTRUCTION.

BUILDING DATA

TENANT SPACE ANALYSIS

CONSTRUCTION TYPE - SHELL AND TENANT IMPROVEMENT:	TYPE III NON-COMBUSTIBLE
FIRE SPRINKLERS - SHELL AND TENANT IMPROVEMENT:	YES
OCCUPANCY GROUP - SHELL AND TENANT IMPROVEMENT:	A2 - RESTAURANCE - PROPOSED
STORIES OF RESTAURANT - SHELL AND TENANT IMPROVEMENT:	ONE

SCOPE OF WORK

TENANT IMPROVEMENT AND RENOVEL FOR PROPOSED RESTAURANT WITH EXTERIOR PATIO AND KITCHEN, NEW ELECTRICAL, PLUMBING AND MECHANICAL - NO NEW BUILDING AREA IS TO BE ADDED - ALL PARKING AND SIDEWALKS ARE EXISTING - DISABLED ACCESS TO SITE AND ACCESSIBLE PARKING IS EXISTING TO REMAIN.

PATH OF TRAVEL

- 4' COMMON BARRIER FREE ACCESSIBLE ROUTE FROM THE PUBLIC SIDEWALK AND FROM THE NEAREST DISABLED PARKING SPACES THROUGH THE PRIMARY ENTRANCE OF THE BUILDING.
- AT LEAST 48" WIDE WITHOUT ANY ABRUPT VERTICAL CHANGES - VERTICAL CHANGES EXCEEDING 1/2" TO BE REVEALED AT 1:2 MAXIMUM SLOPE EXCEPT WHERE LEVEL CHANGES DO NOT EXCEED 1/2" VERTICAL.
- THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH.
- PASSING SPACES AT LEAST 60" x 60" ARE LOCATED NOT MORE THAN 200 FEET APART - CONTINUOUS GRADIENTS HAVE 4% LEVEL AREAS NOT MORE THAN 100 FEET APART - CROSS SLOPE DOES NOT EXCEED 2%.
- SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED AS A RAMP WITH APPROPRIATE HANDRAILS.
- PATH OF TRAVEL TO BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 8" MINIMUM, PROTRUDING OBJECTS GREATER THAN 1" PROJECTION FROM WALL EDGE AND 27" ABOVE FINISH GRADE.

KEY NOTES

- AREA OF PROPOSED TENANT IMPROVEMENT FOR CALIFORNIA FISH GRILL RESTAURANT.
- EXISTING DISABLED ACCESS PATH OF TRAVEL TO REMAIN - FURNISHED APPROVED AS PART OF THE OVERALL SITE DEVELOPMENT PERMIT - THIS INTERIOR TENANT IMPROVEMENT DOES NOT MODIFY OR HINDER THE EXISTING PATH OF TRAVEL TO THE ENTRANCE OF THE BUILDING.

tanaka + riley architects
22855-E SAVI RANCH PKWY
YORBA LINDA, CA 92887
PH: 714.285.1905
FX: 714.455.1513

RICHARD W. TANAKA ARCHITECT
MICHAEL N. RILEY ARCHITECT

California FISH GRILL
GLENDALE FASHION CENTER
RESTAURANT TENANT IMPROVEMENT - SUITE A
249 NORTH GLENDALE AVENUE - SUITE A
GLENDALE, CA 91206

SUBMITTAL DATES:

DESCRIPTION	DATE
DEMO PERMIT	10.03.19
ALP SUBMITTAL	11.06.19
AGENCY SUBMITTAL	12.09.19

REVISION DATES:

NO.	DESCRIPTION	DATE
1	HEALTH CORRECTIONS	09.31.20
2	AGENCY CORRECTIONS	02.26.20
3	ALP RESUBMITTAL	02.11.20



PROJECT NUMBER:
TRA JOB NO. 1820

TITLE:
OVERALL REFERENCE SITE PLAN

SHEET NUMBER:
A1.1

2/1/20

RICHARD W. TANAKA ARCHITECT
MICHAEL N. RILEY ARCHITECT

THIS DOCUMENT AND THE AREA AND DESIGN COMPRISED HEREIN ARE THE PROPERTY OF TANAKA + RILEY ARCHITECTS, INC. AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF TANAKA + RILEY ARCHITECTS, INC. THIS DOCUMENT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED AND NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF TANAKA + RILEY ARCHITECTS, INC.

California FISH GRILL
GLENDALE FASHION CENTER
RESTAURANT TENANT IMPROVEMENT - SUITE A
249 NORTH GLENDALE AVENUE - SUITE A
GLENDALE, CA 91206

SUBMITTAL DATES:

DESCRIPTION	DATE
DEMO PERMIT	10.08.19
ALP SUBMITTAL	11.06.19
AGENCY SUBMITTAL	12.09.19

REVISION DATES:

NO.	DESCRIPTION	DATE
1	HEALTH CORRECTIONS	01.31.20
2	AGENCY CORRECTIONS	02.04.20
3	ALP REVISIONS	02.10.20

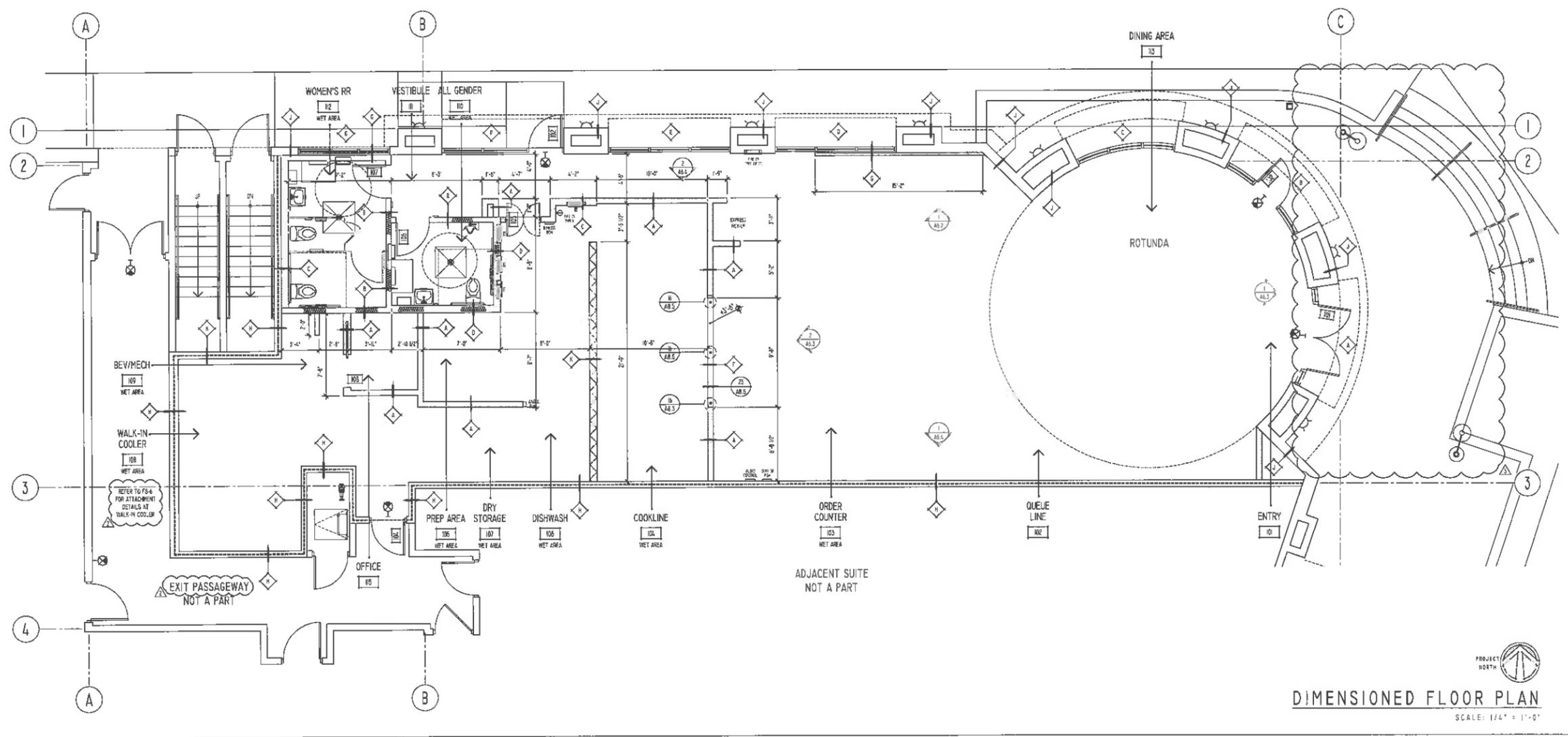


PROJECT NUMBER:
TRA JOB NO. 1870

TITLE:
DIMENSIONED FLOOR PLAN -
GENERAL NOTES - WALL
LEGEND - SYMBOLS LEGEND

SHEET NUMBER:

A2.1



GENERAL NOTES

WALL LEGEND

SYMBOLS LEGEND

MARK GAS SHUT-OFF VALVE - PROVIDE EXTINGUISHERS AT ELECTRICAL ROOMS AS REQUIRED

COORDINATE FINAL LOCATION OF ALL ACCESS PANELS PRIOR TO INSTALLATION

WALLS SEPARATING PUBLIC AREAS FROM SERVICE AREAS AND FROM TOILET ROOMS TO BE FULLY INSULATED WITH SOUND INSULATION BATTIS WIRED IN PLACE PROVIDE SOUND BATTIS IN PARTITION SEPARATING MEN'S AND WOMEN'S TOILET ROOMS - LAY INSULATION BATTIS CONTINUOUSLY IN CEILING ABOVE TOILET ROOMS

KARMAK OCCUPANT LOAD SHALL BE CONSPICUOUSLY POSTED IN AREAS EXCEEDING 50 PERSONS NEAR MAIN EXIT OR EXIT ACCESS ROOMWAY FROM THE ROOM OR SPACE - LETTERING SHALL BE OF CONTRASTING COLOR TO SIGN BACKGROUND

INSTALL ANY FURNITURE PROVIDED BY OWNER - UNLESS NOTED OTHERWISE

TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:

- IDENTIFY EACH GRADE LEVEL EXTERIOR DOOR WITH A TACTILE EXIT SIGN WITH THE WORD "EXIT"
- IDENTIFY EACH EXIT OR EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY REQUIRED TO HAVE VISUAL EXIT SIGN BY TACTILE EXIT SIGN WITH WORDS "EXIT ROUTE"

INTERIOR CONCRETE SLABS SHALL BE POURED LEVEL TO WITHIN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION UNLESS OTHERWISE INDICATED

REFER TO METAL STUD FRAMING DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON NON-BEARING METAL STUD FRAMING - FINISH FLOORING TO EXTEND A MINIMUM OF 4 INCHES IN HEIGHT OR EQUAL TO HEIGHT OF EQUIPMENT BASE - PROVIDE TEMPORARY PROTECTION AS REQUIRED - WET AREAS SHALL BE WATERPROOFED USING 30 MIL POLYETHYLENE CLEANSE MEMBRANE - EQUAL TO OR SUPERIOR - BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. MEMBRANE SHALL EXTEND AROUND PERIMETER OF PREMISES AND MINIMUM OF 8 INCHES IN HEIGHT - SLEEVES AND PENETRATION TO BE FLASHED INTO MEMBRANE AND SEALED PER MANUFACTURER'S INSTRUCTIONS - REMEDIATION: MOISTURE INVERTITY TO OWNER AND LAUNDED PRIOR TO APPLYING FINISH FLOORING

THE FOLLOWING APPLIES TO FLOORS GRAVED ABOVE GRADE OR OVER OCCUPIED SPACES. ALL PENETRATIONS THROUGH CONCRETE SLABS SHALL BE CORE WALLED, SLEEVED, SEALED, FIRESTOPPED AND WATERPROOFED - PIPING SLEEVES TO EXTEND A MINIMUM OF 4 INCHES IN HEIGHT OR EQUAL TO HEIGHT OF EQUIPMENT BASE - PROVIDE TEMPORARY PROTECTION AS REQUIRED - WET AREAS SHALL BE WATERPROOFED USING 30 MIL POLYETHYLENE CLEANSE MEMBRANE - EQUAL TO OR SUPERIOR - BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. MEMBRANE SHALL EXTEND AROUND PERIMETER OF PREMISES AND MINIMUM OF 8 INCHES IN HEIGHT - SLEEVES AND PENETRATION TO BE FLASHED INTO MEMBRANE AND SEALED PER MANUFACTURER'S INSTRUCTIONS - REMEDIATION: MOISTURE INVERTITY TO OWNER AND LAUNDED PRIOR TO APPLYING FINISH FLOORING

THE FOLLOWING APPLIES TO BROWNS IMPROVEMENTS PROVIDE BATT INSULATION AT ROOF AND EXTERIOR PERIMETER WALLS IF NOT EXISTING - INSULATION THICKNESS TO COMPLY WITH MINIMUM OF R-10 AT WALLS AND R-30 AT ROOF - CONTRACTOR TO REPLACE ANY EXISTING DAMAGED BATT TO NEW APPEARANCE CONDITIONS WITH BATT OF EQUAL R VALUE

PROVIDE FIRE RESISTANT BACKING FOR MILDSTEEL PARTITIONS AND WALL MOUNTED ACCESSORIES IN BUILDINGS REQUIRING NON-COMBUSTIBLE CONSTRUCTION - WOOD IN CONTACT WITH CONCRETE MUST BE PROTECTED THROUGHOUT RESISTANT WOOD

SEE FINISH SCHEDULE F INTERIOR ELEVATIONS FOR INTERIOR FINISHES - SEE METAL FRAMING DETAILS / SPECIFICATIONS FOR ADDITIONAL INFORMATION ON NON-BEARING METAL STUD FRAMING

EXISTING WALL TO REMAIN

- CONSTRUCTION TO REMAIN PROTECTED IN PLACE - VERIFY QUALITY OF EXISTING SURFACES
- PREPARE AND PATCH OR PROVIDE FINISHING AS REQUIRED TO RECEIVE NEW FINISHES
- QUALITY OF EXISTING SURFACES
- PREPARE AND PATCH OR PROVIDE FINISHING AS REQUIRED TO RECEIVE NEW FINISHES

EXISTING REMAIN DEMING WALL:

- EXISTING FULL HEIGHT METAL FRAMING TO REMAIN - INSTALL 5/8" TYPE X GYPSUM BOARD FULL HEIGHT - FLOOR TO ROOF OR FLOOR DECK ABOVE
- INSTALL 3/4" UNFACED SOUND BATTIS - FIRESTOP / SMOKESEAL PENETRATIONS

EXISTING STRUCTURAL DRAWINGS FOR INFORMATION AT BEARING WALLS TO BE REMOVED - WHERE APPLICABLE

PATCH AND REPAIR ADJACENT SURFACES TO RECEIVE NEW FINISHES

TYPICAL NON-BEARING INTERIOR WALL:

- 18GAUSS METAL FRAMING AT 16 INCHES OC - UNO
- WALL EXTENDS 6 INCHES ABOVE HIGHEST ADJACENT CEILING - UNO
- UNO UNFACED - REFER TO BUILDING FLOOR PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION RELATED TO INTERIOR WALLS

INTERIOR NON-BEARING SOUND-BATED WALL:

- CONSTRUCT TYPICAL NON-BEARING INTERIOR WALL - INSTALL 3/4" 1/2" THICK 1/2" X 3/4" BATTIS IN WALL CAVITY - WIRE IN PLACE

INTERIOR NON-BEARING COUPLER WALL:

- 18GAUSS METAL FRAMING AT 16 INCHES OC - UNO - INSTALL 3/4" 1/2" THICK 1/2" X 3/4" BATTIS IN WALL CAVITY - WIRE IN PLACE

TYPICAL FULL HEIGHT NON-BEARING INTERIOR WALL:

- WALL EXTENDS TO UNDEREDGE OF ROOF OR FLOOR STRUCTURE ABOVE

INDICATES LOW WALL BY MILLWORK VENDOR - MC

TYPICAL NON-BEARING PARTIAL HEIGHT INTERIOR WALL:

- 18GAUSS METAL FRAMING AT 16 INCHES OC - UNO - WITH 5/8" TYPE X GYPSUM BOARD - FIRESTOP AND SMOKESEAL PENETRATIONS
- WALL EXTENDS FULL HEIGHT TO ROOF OR FLOOR STRUCTURE ABOVE

TYPICAL NON-BEARING PARTIAL HEIGHT INTERIOR WALL:

- 18GAUSS METAL FRAMING AT 16 INCHES OC - UNO
- REFER TO FLOOR PLAN FOR WALL HEIGHT

WALL TYPE - REFER TO WALL LEGEND AND WALL TYPES - DRAWING A2.1

FLOOR SINK - REFER TO PLUMBING AND FLD SERVICE DRAWINGS

FLOOR DRAIN - REFER TO PLUMBING DRAWINGS

ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS

MECHANICAL PANEL - REFER TO MECHANICAL DRAWINGS

ILLUMINATED EXIT SIGN ABOVE DOOR - REFER TO ELECTRICAL DRAWINGS

DOOR PER SCHEDULE - REFER TO DRAWING A2.2

WINDOW PER WINDOW TYPES - REFER TO DRAWING A2.2

FRASH MATERIAL TRANSITION

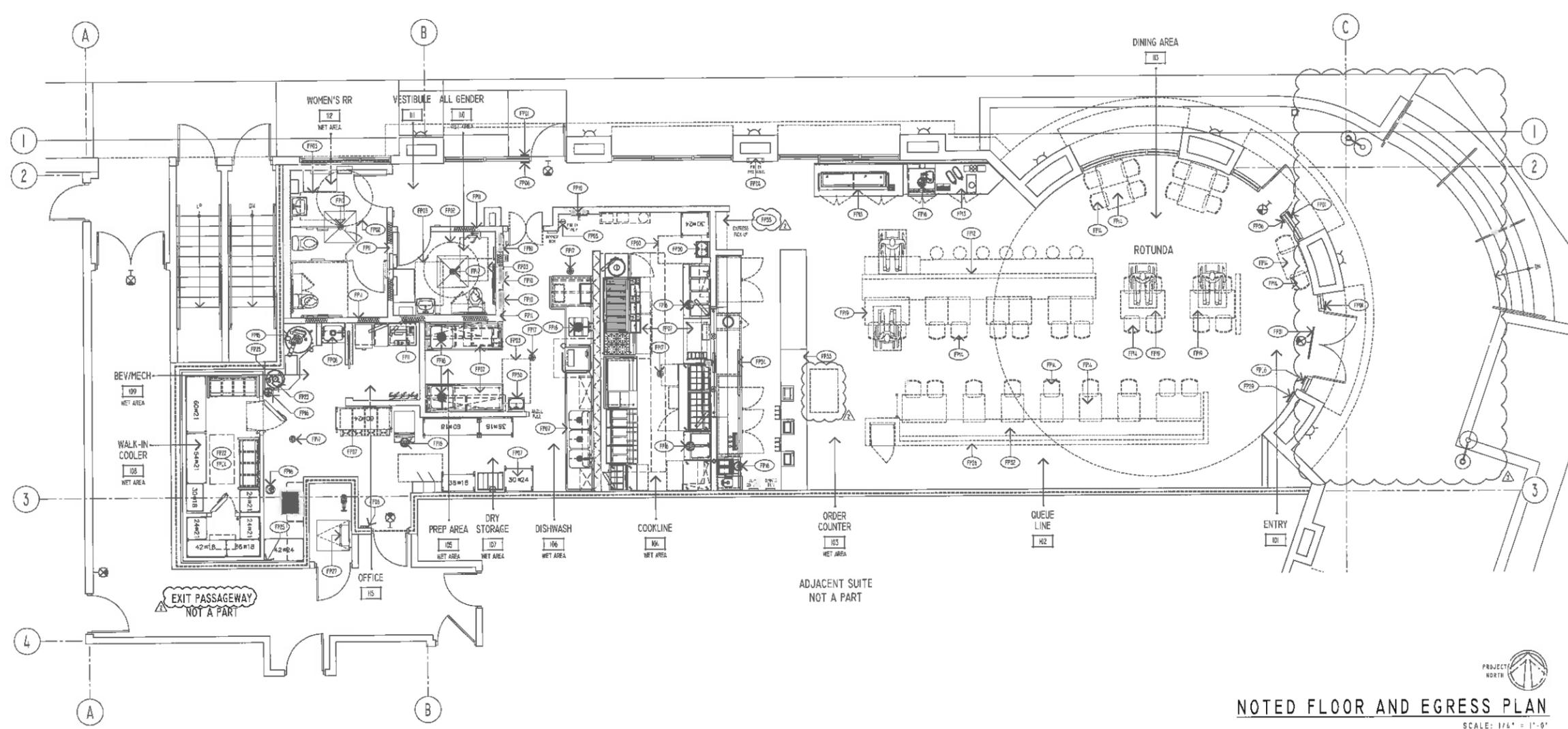
EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE

NEW STRUCTURAL COLUMN - REFER TO STRUCTURAL DRAWINGS

NON-GLASS ILLUMINATED EXIT SIGN AND DIRECTIONAL ARROWS

SIGN DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES

REQUIRED ADA ACCESSIBLE SEATING OR OTHER ACCESS - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES



tanaka + riley architects
 22855-E SAVI RANCH PKWY
 YORBA LINDA, CA 92887
 PH: 714.283.1905
 FX: 714.455.1313

RICHARD W. TANAKA ARCHITECT
 MICHAEL N. RILEY ARCHITECT

THESE REVISIONS ARE FIELD ONLY OR ORIGINAL DRAWING - THE DISPOSITION OF WORK IS IN HAND. J.C. 12/13/20
 THE CLIENT AND THE DESIGN AND CONSTRUCTION RESPONSIBILITY ARE THE PROPERTY OF TANAKA + RILEY ARCHITECTS, INC. AND SHALL NOT BE DELEGATED OR TRANSFERRED TO ANY OTHER PARTY WITHOUT THE WRITTEN AUTHORIZATION OF TANAKA + RILEY ARCHITECTS, INC. THIS DOCUMENT IS THE PROPERTY OF TANAKA + RILEY ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF TANAKA + RILEY ARCHITECTS, INC.

FISH GRILL
 CALIFORNIA
 GLENDALE FASHION CENTER
 RESTAURANT TENANT IMPROVEMENT
 249 NORTH GLENDALE AVENUE - SUITE A
 GLENDALE, CA 91206

SUBMITTAL DATES:

DESCRIPTION	DATE
DEVELOPMENT PERMIT	10.04.19
ALP SUBMITTAL	11.04.19
AGENCY SUBMITTAL	12.09.19

REVISION DATES:

NO.	DESCRIPTION	DATE
1	HEALTH CORRECTIONS	01.31.20
2	AGENCY CORRECTIONS	02.04.20
3	ALP RESUBMITTAL	02.11.20



PROJECT NUMBER:
 TRA JOB NO. 18120

TITLE:
 NOTED FLOOR AND EGRESS PLAN

SHEET NUMBER:

A2.2

3

SEATING TABULATION

SINGLE STOOL	1 SEAT EACH	X	7 SEATS	=	7 SEATS
2 TOP TABLE	2 SEATS PER TABLE	X	16 TABLES	=	32 SEATS
4 TOP TABLE	4 SEATS PER TABLE	X	6 TABLES	=	24 SEATS
TOTAL INTERIOR RESTAURANT SEATING					
ACCESSIBLE SEATING: 63 SEATS X 5% = 1 PER 20 = 4 SEATS					
ACCESSIBLE SEATING - PROVIDED = 4 SEATS					
TOTAL EXTERIOR PATIO DINING SEATING					
2 TOP TABLE	2 SEATS PER TABLE	X	6 TABLES	=	6 SEATS
4 TOP TABLE	4 SEATS PER TABLE	X	2 TABLES	=	8 SEATS
TOTAL EXTERIOR PATIO DINING SEATING					
ACCESSIBLE SEATING: 24 SEATS X 5% = 1 PER 20 = 2 SEATS					
ACCESSIBLE SEATING - PROVIDED = 2 SEATS					

EXITING LEGEND

- CLEAR FLOOR EXIT SPACE: REFER TO ACCESSIBILITY GUIDELINES AND DETAILS FOR ADDITIONAL INFORMATION
- CLEAR EXIT PATH OF TRAVEL: INDICATES 36" MINIMUM CLEAR ANGLE
- TACTILE EXIT SIGN - SYMBOLS AS FOLLOWS:
 EX = EXIT
 ER = EXIT ROUTE
 ES = EXIT STAIR / RAMP AS APPLICABLE
- REFER TO DETAIL 11A.1 FOR SIGNAGE DESIGN AND MOUNTING REQUIREMENTS
- REFER TO DETAIL 11A.2 FOR ACCESSIBLE SIGNAGE MOUNTING AND CLEARANCE REQUIREMENTS
- REFER TO DETAIL 11A.3 FOR TACTILE EGRESS SIGNAGE MOUNTING REQUIREMENTS
- AT NON-SPANDREL STICKER-FRONT GLASS TO BE COVERED BY FRAMING - INSTALL EMERALD FINISH FILM PRIOR TO INSTALLING FRAMING ON INTERIOR FACE OF GLASS - PRODUCT: 3M PRODUCTS - FASARA DRINKS BLACK
- AT FINISHED CEILING AREAS WHERE BATT INSULATION IS EXPOSED - INSTALL WHITE BLACK POLYESTER KRAFT FACING - STANDARD BUTY - BLACK PAINT CAN BE OMITTED AT AREAS COVERED BY SCUM
- REFERENCE FOOD SERVICE DRAINAGES FOR CURB DIMENSIONS AND FLOOR SINK LOCATIONS AND R-22 BACKING - DO NOT SCALE - REFER TO FOOD SERVICE DRAINAGES FOR HOOD TOP DIMENSIONS

SYMBOLS LEGEND

- WALL TYPE - REFER TO WALL LEGEND AND WALL TYPES - DRAWING 11A.1
- FLOOR SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS
- FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- MECHANICAL PANEL - REFER TO MECHANICAL DRAWINGS
- ILLUMINATED EXIT SIGN ABOVE DOOR - REFER TO ELECTRICAL DRAWINGS
- DOOR PER SCHEDULE - REFER TO DRAWING AT 2
- WINDOW PER WINDOW TYPES - REFER TO DRAWING AT 2
- FRESH MATERIAL TRANSITION
- EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE
- NEW STRUCTURAL COLUMN - REFER TO STRUCTURAL DRAWINGS
- INDICATES ILLUMINATED EXIT SIGN AND DIRECTIONAL ARROWS
- INDICATES ILLUMINATED SYMBOL OF ACCESSIBILITY - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES
- REQUIRES ACCESSIBLE SEATING OR OTHER ACCESS - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES
- BLACK DENIM AND COVER PLATES IN RECLAIMED WOOD AND PUBLIC AREA GYPSUM BOARD SURFACES PAINTED BLACK
- WHITE DENIM AND COVER PLATES IN THE AND LIGHT BROWN WOOD FINISHES AND ALL OTHER PUBLIC AREA GYPSUM BOARD PAINTED WHITE - WHITE DEVICES AND STAINLESS STEEL COVER PLATES AT THE BACK OF HOOD
- REFERENCE FUTURE FURNISHING AND INSTALLED BY OTHERS - NIC
- LOOSE TABLES AND CHAIRS - PATIO TABLES INSTALLED BY GC, DINING TABLES INSTALLED BY MECHANICAL CONTRACTOR
- WATER HEATER - REFER TO PLUMBING DRAWINGS
- FLOOR SINK - REFER TO PLUMBING DRAWINGS

KEY NOTES

- FP01: DISABLED ACCESS SIGNAGE - ATFR SIGN DISPLAYING THE INTERNATIONAL ACCESSIBILITY SYMBOL AT ALL ACCESSIBLE ENTRANCES - COMPLY WITH ADA REGULATIONS - REFER TO DETAIL 11A.2
- FP02: 48 INCH DIAMETER WHEELCHAIR TURNING RADIUS - REFER TO DETAIL 21A.2
- FP03: 35 INCH X 48 INCH CLEAR FLOOR SPACE - FOR FORWARD APPROACH
- FP04: PROPOSED LOCATION OF ZAMBIE EXTINGUISHER IN CAD-NET - VERIFY LOCATION WITH FIRE MARSHAL AND OWNER - MAXIMUM DISTANCE TO FIRE EXTINGUISHER NO GREATER THAN 75 FEET - TO BE LOCATED IN SEMI RECESSED CABINETS 40" HIGH - 18" DEEP - TO TOP OF EXTINGUISHER FROM FINISH FLOOR
- FP05: PROPOSED LOCATION OF ABC EXTINGUISHER - VERIFY LOCATION WITH FIRE MARSHAL AND OWNER - HANG NO HIGHER THAN 44" TO TOP OF EXTINGUISHER FROM FINISH FLOOR
- FP06: TACTILE EXIT SIGN MOUNTED TO LATCH SIDE OF SINGLE DOORS AND TO THE RIGHT OF DOUBLE DOORS - REFER TO DETAIL 11A.2
- FP07: FOOD SERVICE EQUIPMENT FINISHED AND INSTALLED BY OTHERS - EQUIPMENT ROUGH-INS AND FINAL CONNECTIONS BY CONTRACTOR
- FP08: KOP SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS - INSTALL POP FINISH OVER THE BACKER BOARD TO A HEIGHT OF 6'-0" ON BACK AND SIDE WALLS
- FP09: EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE - CLAD EXPOSED COLLUMS WITH STAINLESS STEEL IN FOOD PREPARATION AREAS UNLESS NOTED OTHERWISE
- FP10: ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- FP11: 3/4" UNFACED ROCK WOOL INSULATION IN WALL CAVITY - WIRE IN PLACE - TYPICAL BETWEEN KITCHEN AND PUBLIC AREAS AND COMMON WALLS OF RESTROOM
- FP12: CENTER ISLAND - REFER TO DETAIL 11A.10
- FP13: KILLWORK: FUTURE FURNISHING AND INSTALLED BY OTHERS - NIC
- FP14: LOOSE TABLES AND CHAIRS - PATIO TABLES INSTALLED BY GC, DINING TABLES INSTALLED BY MECHANICAL CONTRACTOR
- FP15: WATER HEATER - REFER TO PLUMBING DRAWINGS
- FP16: FLOOR SINK - REFER TO PLUMBING DRAWINGS
- FP17: FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- FP18: 48" X 48" AREA SLOPED TO FLOOR DRAIN - REFER TO DETAIL 11A.2
- FP19: DISABLED ACCESSIBLE TABLE - HEIGHT OF TABLES AND COUNTERS SHALL BE 27" MINIMUM TO 34" MAXIMUM - MANUFACTURING CLEARANCE SHALL BE 30" X 48" - KNEE CLEARANCE SHALL BE 27" HIGH X 19" DEEP X 30" WIDE APPROACH
- FP20: LINE OF OVERHANG OF SMOOT ABOVE - REFER TO REFLECTED CEILING PLAN
- FP21: EXTERIOR LANDING AREA TO BE 2% MAXIMUM SLOPE
- FP22: FOOD SERVICE EQUIPMENT - PREFABRICATED WALK-IN COOLER WALLS AND CEILING - FINISHED AND INSTALLED BY OTHERS - ADJACENT FLOOR AND BASE INSTALLED AFTER COOLER / FREEZER UNITS HAVE BEEN SET
- FP23: BULK CO2 TANK WITH REMOTE EXTERIOR FILLER / OUT
- FP24: FOOD SERVICE EQUIPMENT - MANUFACTURER'S FREEZER FLOOR AND STEP BY COOLER MANUFACTURER - NIC
- FP25: STAINLESS STEEL CLOSURE STRIP TO SEAL COOLER / FREEZER TO WALL
- FP26: QUEUE WALL WITH GRAB AND GO - REFER TO DETAIL 11A.9
- FP27: EXISTING ROOF ACCESS LADDER TO REMAIN - PROTECT IN PLACE
- FP28: LOG WALL BY MILLINOT - CONTRACTOR - REFER TO WALL LEGEND
- FP29: MAXIMUM ROOM OCCUPANCY SIGN TO READ: 1 OCCUPANT LOAD = XX MAXIMUM
- FP30: HAND SIGN - REFER TO PLANVIEW AND FOOD SERVICE DRAWINGS
- FP31: A REDUNDANTLY DURABLE SIGN SHALL BE POSTED ON THE EGRESS SIDE ABOVE OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" - THE SIGN SHALL BE IN LETTERS 1" HIGH WITH A CONTRASTING BACKGROUND
- FP32: BANNETT SEATING - REFER TO DETAILS
- FP33: FRONT COUNTER - REFER TO DETAILS 11A.8, 21A.8 AND 31A.8 FOR ADDITIONAL INFORMATION
- FP34: BACK COUNTER - REFER TO DETAILS 11A.8 AND 31A.8 FOR ADDITIONAL INFORMATION
- FP35: EXPRESS PICK UP - REFER TO DETAIL 11A.10

tanaka + riley
architects
22855-E SAVI RANCH PKWY
YORBA LINDA, CA 92887
PH: 714.285.1905
FX: 714.455.1313

RICHARD W. TANAKA ARCHITECT
MICHAEL M. RILEY ARCHITECT

THIS DOCUMENT AND THE IDEAS AND DESIGN INFORMATION HEREIN ARE THE PROPERTY OF TANAKA RILEY ARCHITECTS, INC. AND SHALL NOT BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF TANAKA RILEY ARCHITECTS, INC. THIS DOCUMENT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED AND NOT TO BE USED FOR ANY OTHER PROJECT EXCEPT BY AGREEMENT WITH THE ARCHITECTS.

California FISH GRILL
CLINDALE FASHION CENTER
RESTAURANT TENANT IMPROVEMENT
249 NORTH GLENDALE AVENUE - SUITE A
GLENDALE, CA 91206

SUBMITTAL DATES:

DESCRIPTION	DATE
DEVELOPER	09.28.19
A/P SUBMITTAL	11.08.19
AGENCY SUBMITTAL	02.02.20

REVISION DATES:

NO.	DESCRIPTION	DATE
1	HEALTH CORRECTIONS	01.31.20
2	AGENCY CORRECTIONS	02.04.20
3	A/P REVISIONS	02.11.20

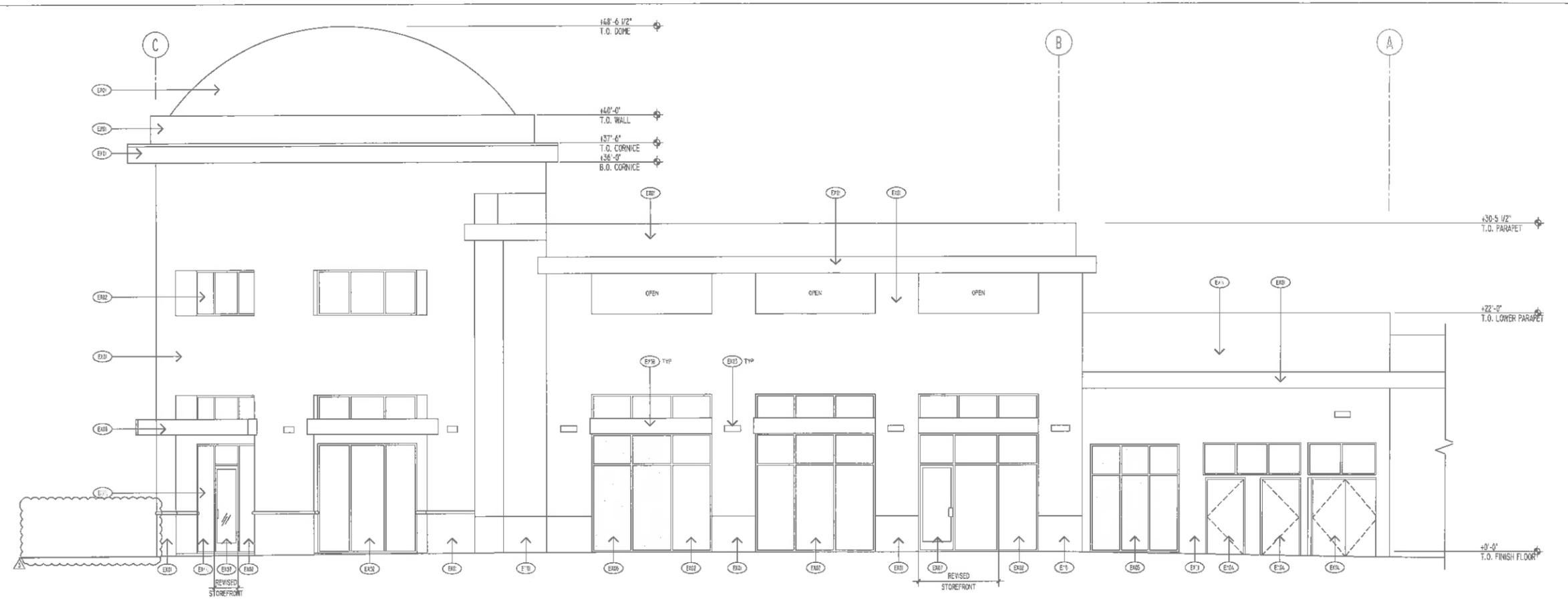


PROJECT NUMBER:
TRA JOB NO. 18120

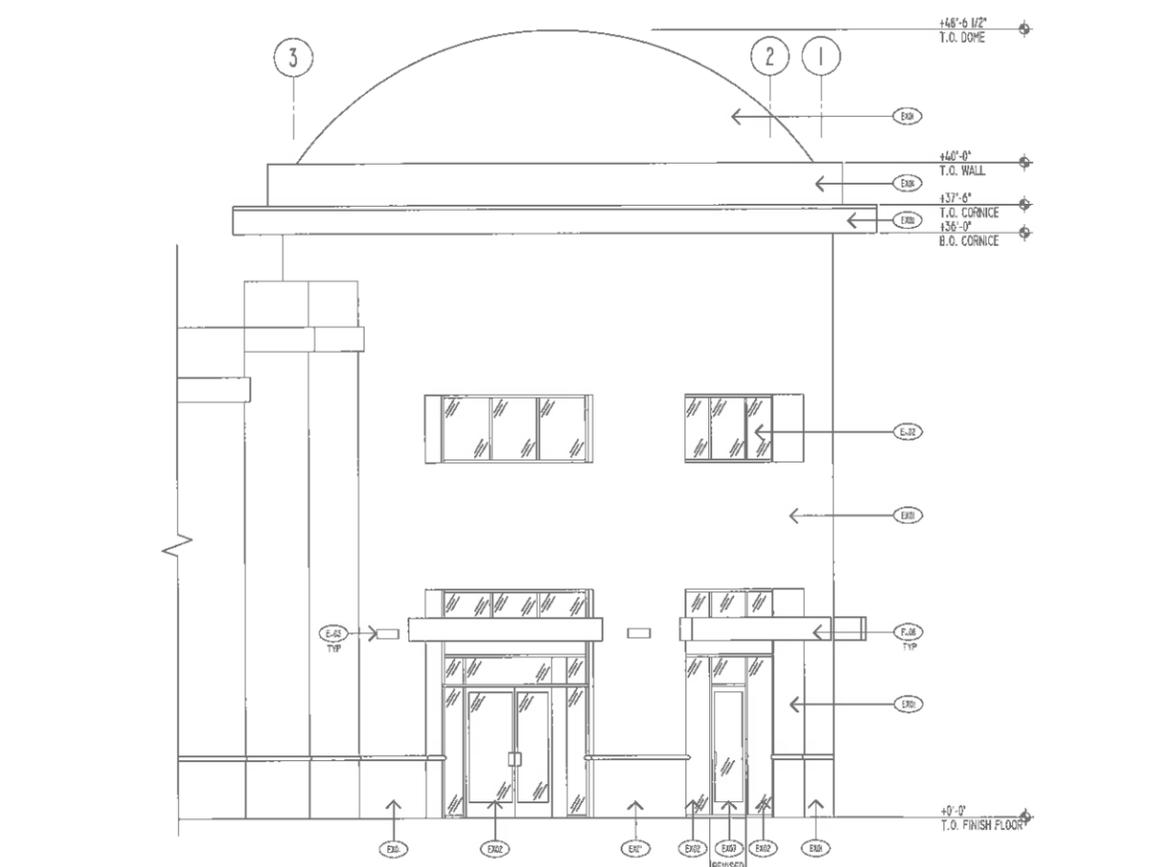
TITLE:
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER:
A4.1

4



NORTH BUILDING AND PATIO ELEVATION A
SCALE: 1/4" = 1'-0"



WEST BUILDING AND PATIO ELEVATION B
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES

- E10: EXISTING EXTERIOR FINISHES TO REMAIN - PROTECT IN PLACE
- E11: EXISTING ALUMINUM STOREFRONT WINDOWS AND DOORS TO REMAIN - PROTECT IN PLACE
- E12: EXISTING LIGHT FIXTURE TO REMAIN - PROTECT IN PLACE
- E13: EXISTING DOOR TO REMAIN - PROTECT IN PLACE
- E14: OPAQUE FILM ON INSIDE OF WINDOW AT EXISTING STOREFRONT
- E15: TRANSLUCENT GLASS IN EXISTING ALUMINUM STOREFRONT FRAMES
- E16: NEW DOOR IN EXISTING STOREFRONT - REFER TO DOOR SCHEDULE, SHEET A12
- E17: EXISTING METAL AWNING TO REMAIN

SYMBOLS LEGEND

- Material and Finish Indicator - Refer to Finish Legend
- AT EXTERIOR PLASTER - PROVIDE PREFABRICATED METAL CONTROL OR EXPANSION JOINTS AT LOCATIONS SHOWN - METAL LATH TO STOP ON EITHER SIDE OF JOINT
- C) PLASTER CONTROL JOINT OF COLOR TO MATCH ADJACENT SURFACES - PER A1002 ZINC OXIDE JOINT NO. CLAS-100
- D) EXPANSION JOINT OF COLOR TO MATCH ADJACENT SURFACES - PER A1002 BRONZE EXPANSION JOINT NO. J-100
- T TEMPERED GLASS
- TS TEMPERED SPANDREL GLASS
- S SPANDREL GLASS
- SG SAFETY GLASS

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO ARCHITECT WHO SHALL REVIEW THEM FOR GENERAL COORDINATION WITH THE BUILDING DESIGN - OWNER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED SUBMITTAL DRAWINGS AND CALCULATIONS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL - DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY BUILDING DEPARTMENT - REFERRED SUBMITTALS ARE AS FOLLOWS:
ILLUMINATED AND NON-ILLUMINATED EXTERIOR SIGNAGE

KEY NOTES

- E10: EXISTING EXTERIOR FINISHES TO REMAIN - PROTECT IN PLACE
- E11: EXISTING ALUMINUM STOREFRONT WINDOWS AND DOORS TO REMAIN - PROTECT IN PLACE
- E12: EXISTING LIGHT FIXTURE TO REMAIN - PROTECT IN PLACE
- E13: EXISTING DOOR TO REMAIN - PROTECT IN PLACE
- E14: OPAQUE FILM ON INSIDE OF WINDOW AT EXISTING STOREFRONT
- E15: TRANSLUCENT GLASS IN EXISTING ALUMINUM STOREFRONT FRAMES
- E16: NEW DOOR IN EXISTING STOREFRONT - REFER TO DOOR SCHEDULE, SHEET A12
- E17: EXISTING METAL AWNING TO REMAIN

INDICATES AREAS OF EXISTING STOREFRONT TO BE RECONFIGURED - REFER TO FLOOR PLAN AND DRAWING A6 FOR ADDITIONAL INFORMATION

ELEVATION NOTES

HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION: 0' UNLESS OTHERWISE NOTED - VERIFY MATERIAL / COLOR FINISHES WITH DRAWINGS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO APPLYING ANY FINISH - FIELD VERIFY ALL ELEVATIONS AND DIMENSIONS
PROVIDE ADDRESS NUMBERS MINIMUM 6 INCHES HIGH IN CONTRASTING COLORS / MATERIALS TO BUILDING WHICH ARE VISIBLE DAY AND NIGHT AND LEGIBLE FROM STREET FRONTING PROPERTY
CALLA WINDOW AND DOOR FRAMES AND PENETRATIONS AT EXTERIOR FINISH - MASK GLAZING PRIOR TO PAINTING - INSTALL NEW ROOFING MATERIALS PRIOR TO EXTERIOR PLASTER APPLICATION
SIGNAGE IS BY OWNER'S VENDOR UNDER SEPARATE PERMIT / SUBMITTAL - POWER FOR ILLUMINATED SIGNAGE BY CONTRACTOR - LOCATION AND SIZE SHALL BE FIELD COORDINATED WITH SIGN VENDOR
PROVIDE 24 GAUGE MINIMUM GALVANIZED IRON FLASHING - PAINT WHEN EXPOSED TO R.C. - VERIFY PROPOSED WEEP SCOPES WITH MINIMUM METICAL ATTACHMENT OF 3/4" INCHES AT FOUNDATION
SILL PLATE OF EXTERIOR STUD WALLS - COORDINATE GRADES AT PERIMETER OF BUILDING WITH CIVIL DRAWINGS OR EXISTING CONDITIONS AS WELL AS DISABILITIES ACCESS GUIDELINES AND DETAILS - NOTIFY ARCHITECT OF ANY DISCREPANCIES
REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS - LOCATE AS SHOWN ON ARCHITECTURAL DRAWINGS - NOTIFY ARCHITECT OF DISCREPANCIES
THE INTENTION OF BUILDING DESIGN IS THAT ALL MECHANICAL UNITS AND OTHER ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET OR ROOF MOUNTED SCREEN ELEMENTS - CONSULT ARCHITECT FOR SPECIFICATIONS / PROFILES SHOWN - DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED - CONSULT ARCHITECT BEFORE PROCEEDING WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED
PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED OR AS SHOWN - LOCATION OF EXPANSION AND CONTROL JOINTS SHALL BE REVIEWED WITH THE ARCHITECT
SEALANTS SHALL BE INSTALLED WITH APPROPRIATE JOINT FILLER - PROVIDE COLOR FOR SEALANTS EXPOSED TO VIEW AS SELECTED BY ARCHITECT - SEALANT MANUFACTURER SHALL VERIFY THAT ALL SEALANTS USED FOR EXTERIOR WALL ARE CORRECT FOR APPLICATION SHOWN AND COMPATIBLE WITH EACH OTHER BEFORE DURING AND AFTER CURING
WHERE APPLICABLE - REFER TO ENLARGED ELEVATIONS, DETAILS, AND WALL SECTIONS FOR ADDITIONAL INFORMATION REGARDING EXTERIOR CONDITIONS
ALL EXTERIOR MATERIAL / FINISHES SHALL WRAP OUTSIDE CORNERS AND END AT INSIDE CORNERS UNLESS NOTED OTHERWISE - MATERIAL AND FINISH TERMINATION POINT SHALL BE AS DETERMINED BY ARCHITECT WHERE NOT SPECIFICALLY SHOWN OR NOTED IN DRAWINGS - REVEALS AND FINISHES SHALL NOT END AT AN OUTSIDE CORNER UNLESS SPECIFICALLY NOTED OR DETAILED AS SHOWN

Collin, Bradley

From: Sanchez, Darlene
Sent: Friday, January 10, 2020 4:01 PM
To: Collin, Bradley
Subject: RE: Request for Comments - California Fish Grill - 249 North Glendale, Suite A

This is fantastic news!!!

Darlene

From: Collin, Bradley
Sent: Friday, January 10, 2020 3:27 PM
To: Jouharian, Jacqueline; Sanchez, Darlene
Subject: Request for Comments - California Fish Grill - 249 North Glendale, Suite A

Hello Jackie and Darlene,

Please see the attached documents. This is a request for comments for an Administrative Use Permit for a new fast food restaurant replacing the nail salon at the corner of North Glendale and East California, addressed as 249 North Glendale, Suite A.

Please let me know if you have any questions.

Thank you,

Brad

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 1 OF 14



PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 2 OF 14



1 SUBJECT BUILDING: SUBJECT TENANT SPACE
249 N. GLENDALE AVE #A
VIEW OF SUBJECT FROM CALIF. AVE LOOKING SOUTH



2 SUBJECT BUILDING: 249 #A-E N. GLENDALE AVE
VIEW OF EXISTING TENANT UNITS
FROM GLENDALE AVE, LOOKING WEST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 3 OF 14



3 SUBJECT SITE: 249 #E N. GLENDALE AVE
VIEW OF EXISTING TENANT UNITS & UPPER PARKING
ENTRANCE FROM GLENDALE AVE, LOOKING WEST



4 SUBJECT SITE: 249 #E & 245 N.GLENDALE AVE
VIEW OF EXISTING TENANT UNITS & UPPER PARKING
ENTRANCE FROM GLENDALE AVE, LOOKING WEST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.



5

SUBJECT SITE: N. GLENDALE AVE
VIEW OF COVERED PARKING ENTRANCE FROM
GLENDALE AVE AVE, LOOKING WEST



6

201 N. GLENDALE AVE
VIEW OF EXITING ADJACENT BANK TO THE SOUTH
FROM GLENDALE AVE, LOOKING WEST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.



7 201 N. GLENDALE AVE
VIEW OF EXISTING ADJACENT BANK PARKING TO THE SOUTH
FROM WILSON AVE, LOOKING NORTH



8 611 E. WILSON AVE
VIEW OF EXISTING ADJACENT BANK TO THE SOUTH
FROM WILSON AVE, LOOKING NORTH

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 6 OF 14



8

SUBJECT SITE: WILSON AVE
VIEW OF EXISTING COVERED PARKING ENTRANCE
FROM WILSON AVE, LOOKING NORTH



10

211-213 N. GLENDALE AVE
VIEW OF EXISTING ADJACENT MARKET TO THE
SOUTH-WEST FROM WILSON AVE, LOOKING NORTH-WEST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 7 OF 14



11

211-219 N. GLENDALE AVE

VIEW OF EXISTING ADJACENT MARKET & RETAIL TO THE
SOUTH-WEST, LOOKING NORTH-EAST
FROM WILSON AVE & ISABEL ST



12

211-219 N. GLENDALE AVE

VIEW OF EXISTING ADJACENT BUILDING TO THE
SOUTH-WEST, LOOKING NORTH-EAST FROM ISABEL ST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 8 OF 14



13

211-219 N. GLENDALE AVE

VIEW OF EXISTING ADJACENT BUILDING TO THE
SOUTH-WEST, LOOKING SOUTH-EAST FROM ISABEL ST



14

**SUBJECT BUILDING:
UNIT 223 N. GLENDALE**

VIEW OF SUBJECT BUILDING FROM CALIFORNIA AVE
LOOKING SOUTH-EAST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 9 OF 14



15

SUBJECT SITE:

VIEW OF EXISTING SUBJECT BUILDING & UPPER
PARKING ENTRANCE FROM CALIFORNIA AVE,
LOOKING SOUTH-EAST



16

SUBJECT BUILDING:

UNITS 227-231 N. GLENDALE AVE
VIEW OF SUBJECT BUILDING FROM CALIFORNIA AVE
LOOKING SOUTH-WEST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 10 OF 14



17

SUBJECT SITE:
VIEW OF LOADING DOCK FROM CALIFORNIA ST
LOOKING SOUTH



18

SUBJECT SITE:
VIEW OF LOADING DOCK & SUBJECT UNIT 249 #A
FROM CALIFORNIA ST, LOOKING SOUTH-EAST

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 11 OF 14



19

211-219 N. GLENDALE AVE

VIEW OF EXISTING ADJACENT BUILDINGS TO THE SOUTH-WEST, LOOKING EAST FROM UPPER PARKING AREA



20

SUBJECT BUILDING: 223-231 N. GLENDALE AVE

VIEW OF ADJACENT UNITS FROM UPPER PARKING LOT
LOOKING NORTH

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 12 OF 14



21 SUBJECT BUILDING : 233-245 N. GLENDALE AVE
VIEW OF ADJACENT UNITS FROM UPPER PARKING LOT
LOOKING NORTH



22 SUBJECT COVERED PARKING
VIEW OF EXISTING COVERED PARKING GARAGE

PROJECT INFORMATION

249 N. GLENDALE AVE #A
GLENDALE, CA.

SHEET 13 OF 14



23

SUBJECT COVERED PARKING
VIEW OF EXISTING COVERED PARKING GARAGE



24

SUBJECT COVERED PARKING
VIEW OF EXISTING COVERED PARKING GARAGE

