

**City of Glendale
Community Development Department
Design Review Staff Report – Single Family**

Meeting/Decision Date: February 5, 2020	Address: 1900 Montecito Drive
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5613-023-028
Case Number: PDRNRAF1921404	Applicant: Ani Mnatsakanian, Arch-Design
Prepared By: Cassandra Pruett	Owner: Heghine Gasparyan

Project Summary

To add a 1,101 square foot (SF), two-story addition to an existing two-story, 2,395 SF single-family dwelling, located on an approximately 10,880 SF lot in the R1R (FAR District II) zone. The addition includes a new attached two-car garage and a 42 SF second-story, south-facing balcony. The existing two-car, detached garage will be demolished.

Existing Property/Background

The project site is an approximately 10,880 SF, interior lot located near the intersection of Montecito Drive and Sparr Boulevard in the Montecito Park neighborhood. The lot is essentially rectangular in shape with a flat topography. The site is developed with a two-story, 2,395 SF single-family home, originally built in 1937 in the Spanish Colonial Revival style. Three subsequent additions to the house were constructed over the course of 50 years. A variance was granted in 1963 to allow the circular driveway. There is one Sycamore tree located in the front yard that will be preserved.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R1R FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 10,000 SF of floor area in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan, and which is not environmentally sensitive.
 The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 of the State CEQA Guidelines because
 Other:

Site Slope and Grading

None proposed

- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

Comparison of Neighborhood Survey:

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	9,801 SF	6,580 SF - 13,120 SF	10,880 SF
Setback	40'	21' - 89'	24'-8 1/2"
House size	2,358 SF	1,490 SF - 3,835 SF	3,496 SF
Floor Area Ratio	0.24	0.14 - 0.39	0.32
Number of stories	1.3 stories (5 - two-story, 12 - one-story)	1 to 2 stories	2 stories (existing)

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

yes n/a no

If "no" select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes n/a no

If "no" select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes n/a no

If "no" select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The building maintains its existing front setback of approximately 25 feet, in-line with other houses on the street. The addition is set back from the front façade by an additional 8 to 10 feet.
- The building footprint is expanded at the front of the house and along the south-west side. The overall building footprint is consistent with adjacent properties.
- The existing two-car, detached garage will be demolished and replaced with a new, two-car attached garage at the front of the house. Several adjacent and nearby houses have attached garages at the front façade, so this placement is consistent with the existing development pattern.
- Landscaping on site is maintained, including a large Sycamore tree in the front yard. An additional 700 SF of low-water use landscaping is added.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes n/a no

If "no" select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The two-story addition at the front, and along the southwest side, is appropriately scaled to be compatible with the adjacent two-story houses on either side of the site.
- The addition is set back from the front façade by 8 to 10 feet, reducing the apparent massing of the building as visible from the street. The second-story addition along the southwest side is also set back from the first floor by about 10 feet.
- The front façade and roof have numerous variations in plane to break up the massing.
- The complex and multi-level roof and building forms complement the asymmetrical design of the house, true to the Spanish Colonial Revival style.
- The existing entryway is preserved, located within the prominent, front-facing, circular tower.
- The addition takes place within the existing flat building pad: therefore, alteration of existing landform is minimized.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

yes n/a no

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors used in hillside areas

The proposed roof tiles are one-piece tiles that do not match the existing two-piece tiles. A conditional of approval has been added to address this issue.

Paving Materials

yes n/a no

If "no" select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Equipment, Trash, and Drainage

yes n/a no

If "no" select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Ancillary Structures

yes n/a no

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The updated Spanish Colonial Revival style is appropriate to the surrounding neighborhood which has an eclectic mix of traditional style homes.
- Building materials are high-quality and consistent with the architectural style, including smooth stucco siding, clay mission roof tiles, bronze-colored, aluminum-clad wood windows, decorative wood-paneled garage doors, and other dark-brown finishes consistent with the color scheme, including railings, window sills, etc. A condition of approval has been added to ensure the new tile roof matches the existing two-piece tile roof.
- The building uses architectural details appropriate to the style, including corbels, circular windows with decorative ironwork, arched entryways, and recessed windows with sills.
- Elongated vertical windows with external grids complement the existing circular tower and other similar vertical building forms, and are consistent in proportion with the remaining windows on the building.

- The new development minimizes potential privacy issues by: 1) Locating public rooms on the first floor, instead of the second floor which has views to other properties, 2) Sizing the south-west second floor balcony at approximately 42 SF and setting it back from the property line by approximately 11 feet. It is 20'-6" away from the adjacent house and does not face any of its second-story windows; and 3) Offsetting new window locations from neighboring windows.
- Trash collection area is out of public view.
- Existing driveway paving will be maintained, with minor expansion to fit new garage door entry and to match existing paving (per recommended condition of approval).

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follows:

Conditions

1. **Keep existing roof tiles where possible. New tile roof to match existing two-piece tile roof.**
2. **New driveway paving to match existing.**
3. **Preserve Sycamore tree in front yard per Public Works Urban Forestry direction. Obtain Indigenous Tree Permit prior to commencing work on the subject site.**

Attachments

1. Location Map
2. Neighborhood Survey
3. Photos of Existing Property
4. Reduced Plans

LOCATION MAP
SCALE: 1" = 200'



--- 500' RADIUS



SURVEY LIST

	ADDRESS	HEIGHT (STORIES)	FAR	SETBACK	HOUSE SIZE (SQFT.)	LOT SIZE (SQFT.)
1	3030 SPARR BLVD.	1	0.17	49'-9"	2,193	13,120
2	3036 SPARR BLVD.	1	0.27	44'-10"	2,475	9,320
3	3040 SPARR BLVD.	2	0.28	89'-0"	3,364	11,970
*	1900 MONTECITO DR.	2	0.32	24'-8½"	3,495.5	10,880
4	1908 MONTECITO DR.	2	0.39	37'-10"	3,835	9,740
5	1912 MONTECITO DR.	2	0.30	64'-4"	3,012	10,200
6	1918 MONTECITO DR.	2	0.26	55'-6"	2,860	11,000
7	1922 MONTECITO DR.	2	0.20	39'-10"	2,142	10,600
8	1928 MONTECITO DR.	1	0.17	48'-11"	1,881	10,900
9	1923 MONTECITO DR.	1	0.27	26'-5"	2,462	9,200
10	1919 MONTECITO DR.	1	0.23	29'-8"	2,279	10,100
11	1911 MONTECITO DR.	1	0.18	37'-4"	1,814	10,040
12	1901 MONTECITO DR.	1	0.14	25'-0"	1,490	10,370
13	3041 SPARR BLVD.	1	0.26	31'-8"	2,662	10,300
14	3035 SPARR BLVD.	1	0.21	21'-2"	1,921	9,370
15	3031 SPARR BLVD.	1	0.37	31'-2"	2,556	6,890
16	3027 SPARR BLVD.	1	0.22	30'-5"	1,532	6,920
17	3021 SPARR BLVD.	1	0.24	46'-11"	1,601	6,580
				26'		
	Average excluding subject site	1.3	.24	40'	2,358	9,801

Low
 High



1 3030 SPARR BLVD.



2 3036 SPARR BLVD.



3 3040 SPARR BLVD.



4 1908 MONTECITO DR.



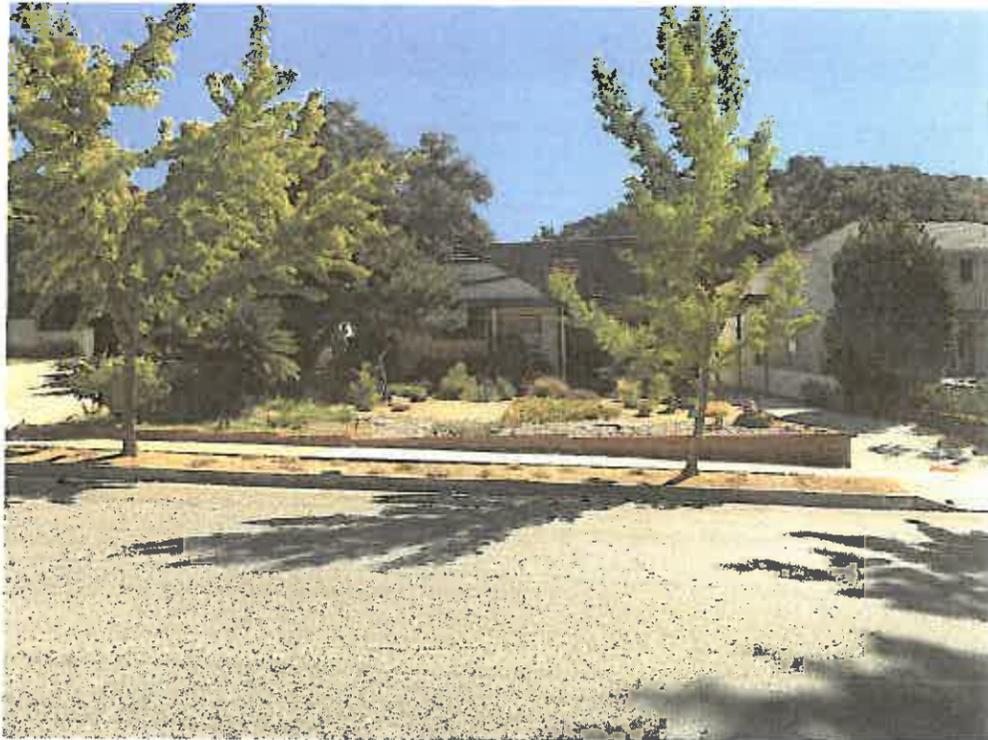
5 1912 MONTECITO DR.



6 1918 MONTECITO DR.



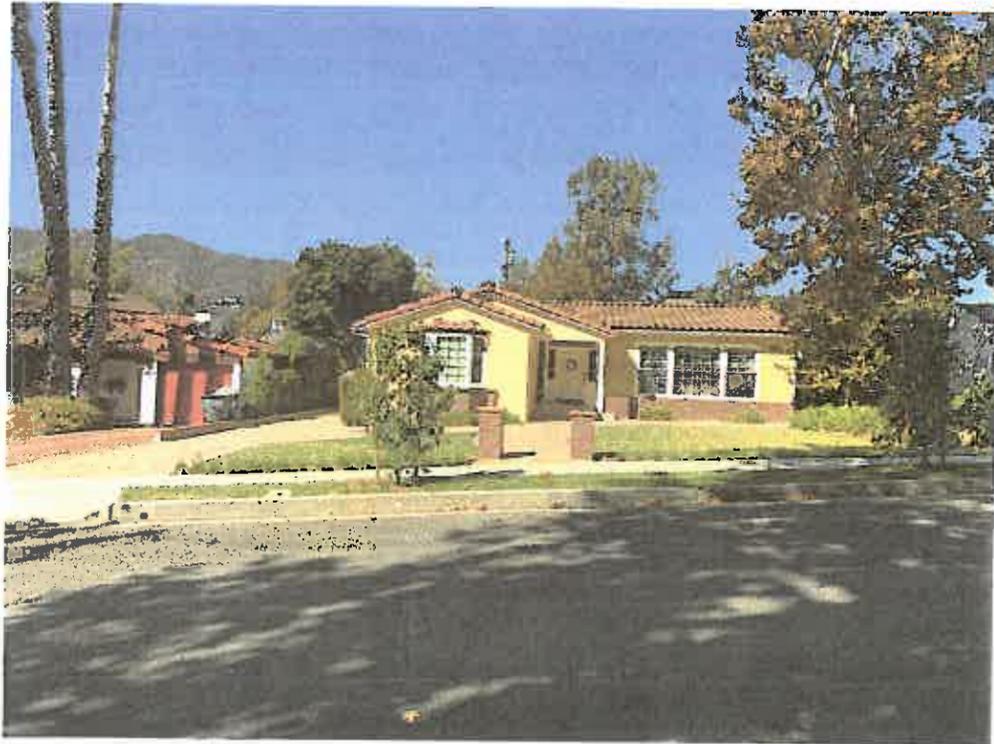
7 1922 MONTECITO DR.



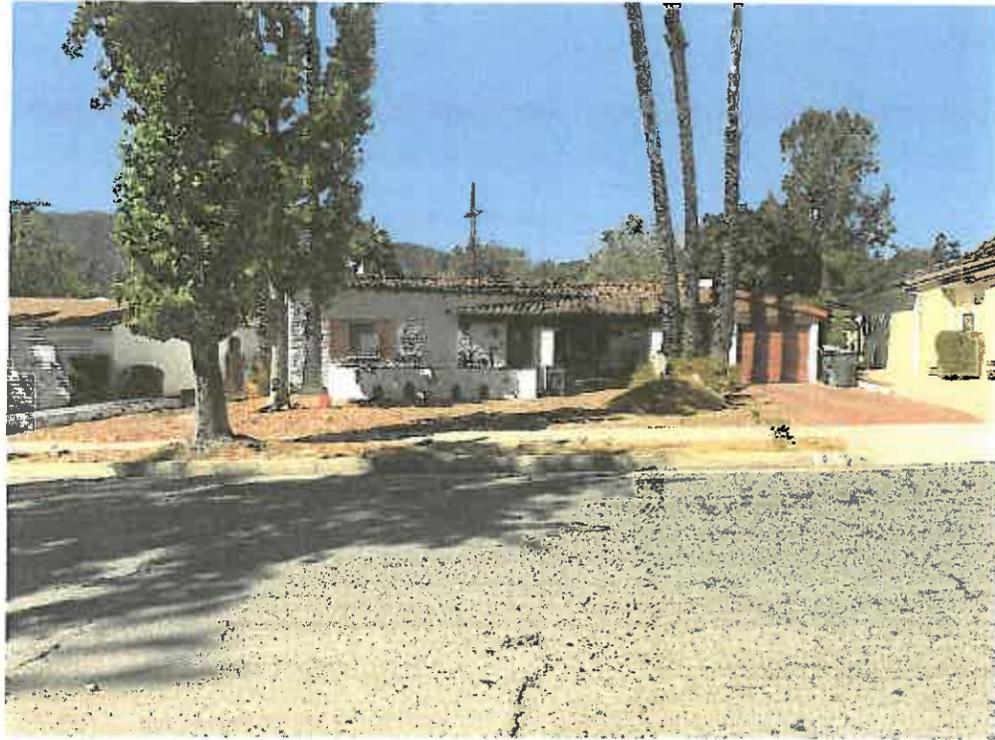
8 1928 MONTECITO DR.



9 1923 MONTECITO DR.



10 1919 MONTECITO DR.



11 1911 MONTECITO DR.



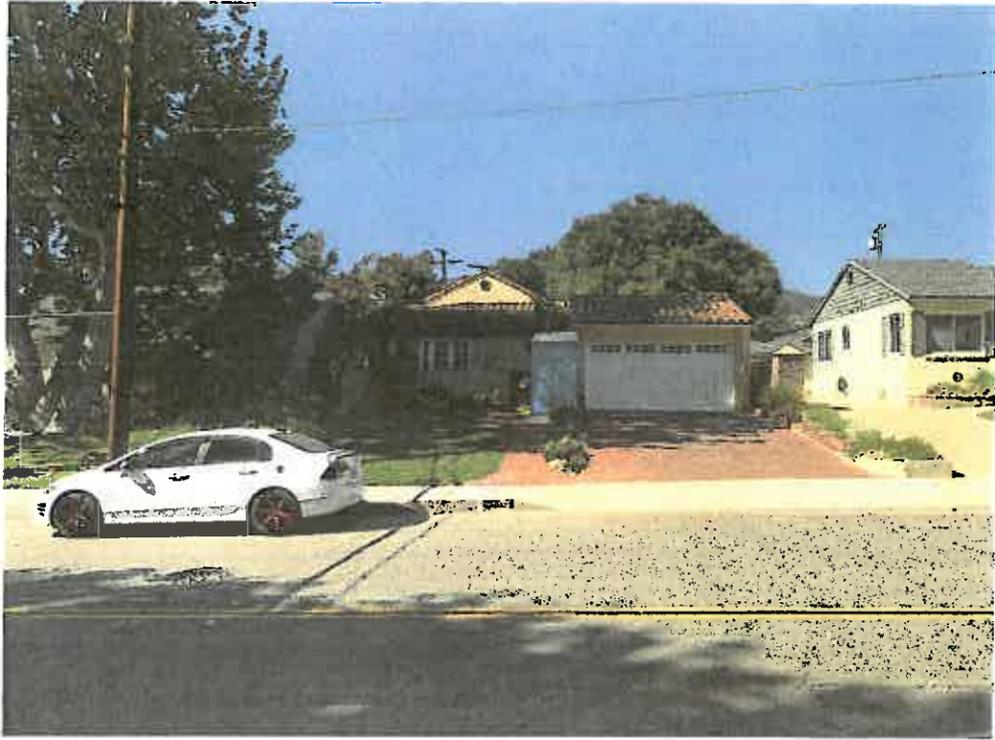
12 1901 MONTECITO DR.



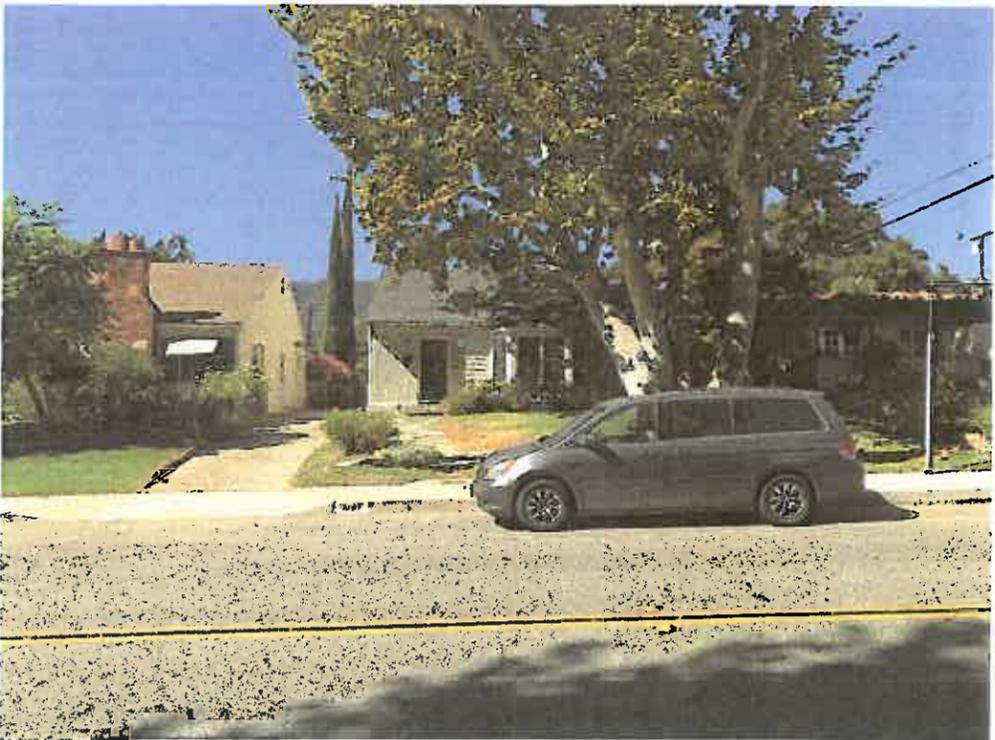
13 3041 SPARR BLVD.



14 3035 SPARR BLVD.



15 3031 SPARR BLVD.



16 3027 SPARR BLVD.



17 3021 SPARR BLVD.



1



2

ARCHIDESTON
RESTORATION

3



4



ARCHDESIGN
CONSTRUCTION

5



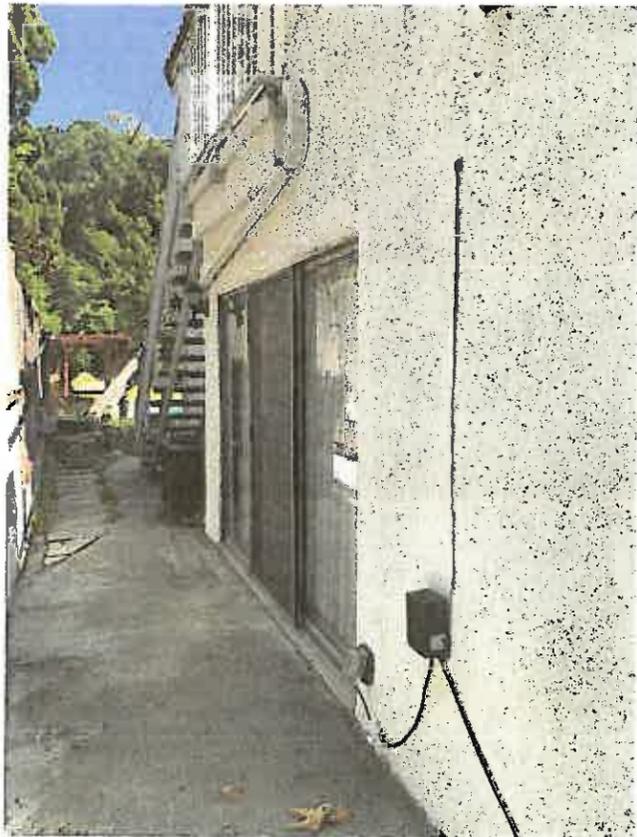
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ARCHDESIGN
& CONSTRUCTION



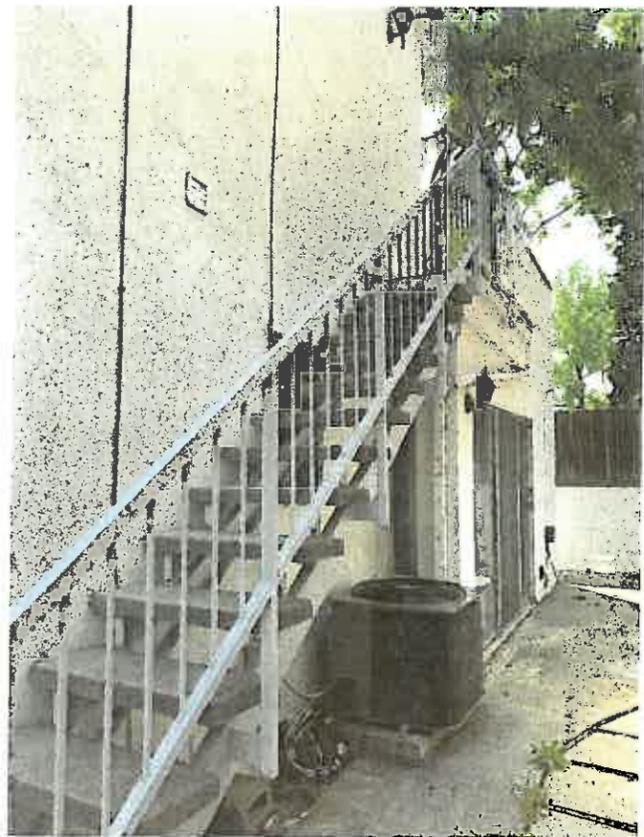
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8

ARCHDESIGN
& CONSTRUCTION

9



10



ARCHDESIGN
& CONSTRUCTION

LEGAL DESCRIPTION

APN: 5613-023-028
 TRACT #: SPARR HEIGHTS
 LOT: 34
 BLOCK: 56
 ZONING: R1R 1

SCOPE OF WORK

N. 1100.5 S.F. (NET) ADDITION TO EXISTING 2395 S.F. 2 STORY SFD,
 N. 435.4 S.F. 2 CAR GARAGE, RESULTING TOTAL HOUSE: 3495.5 S.F.

BUILDING TYPE

TYPE V-8
 TWO STORIES

BUILDING USE

SINGLE FAMILY RESIDENTIAL R-3
 YEAR BUILT: 1937

FAR CALCULATION

PROPERTY	10,880 S.F.
EX. HOUSE	2,395 S.F.
EX. 1ST FLOOR	1391.4 S.F.
EX. 2ND FLOOR	1003.6 S.F.
EX. 2 CAR GARAGE TO BE DEMO	330 S.F.
EX. 1ST FLOOR TO BE DEMO (50.3 + 102.7)	153.1 S.F.
EX. 2ND FLOOR TO BE DEMO	23 S.F.
N. 1ST FLOOR ADDITION (174.9 + 579.9)	754.8 S.F.
N. 2ND FLOOR ADDITION	521.8 S.F.
N. 2 CAR GARAGE	435.4 S.F.
2ND FLOOR BALCONY	101.1 S.F.

MAX ALLOWED FAR
 (10000 X 0.4) + (880 X 0.1) = 4088 S.F.

FAR
 2395 - 153.1 - 23 + 754.8 + 521.8 = 3,495.5 SQ. FT. (TOTAL HOUSE)
 3,495.5 < 4088

LOT COVERAGE

1391.4 + 754.8 + 435.4 - 102.7 + 101.1 + 32.94 + 106 = 2718.94
 2718.94 / 10880 = 24.99% < 40%

LANDSCAPING

EX. LANDSCAPING:
 320 + 505.8 + 102.2 + 125.6 + 2650.8 = 3704.4 S.F.

N. LANDSCAPING:
 215.5 + 330 + 156.4 = 701.9 S.F.

3704.4 + 701.9 = 4406.3
 4406.3 / 10880 = 40.5%

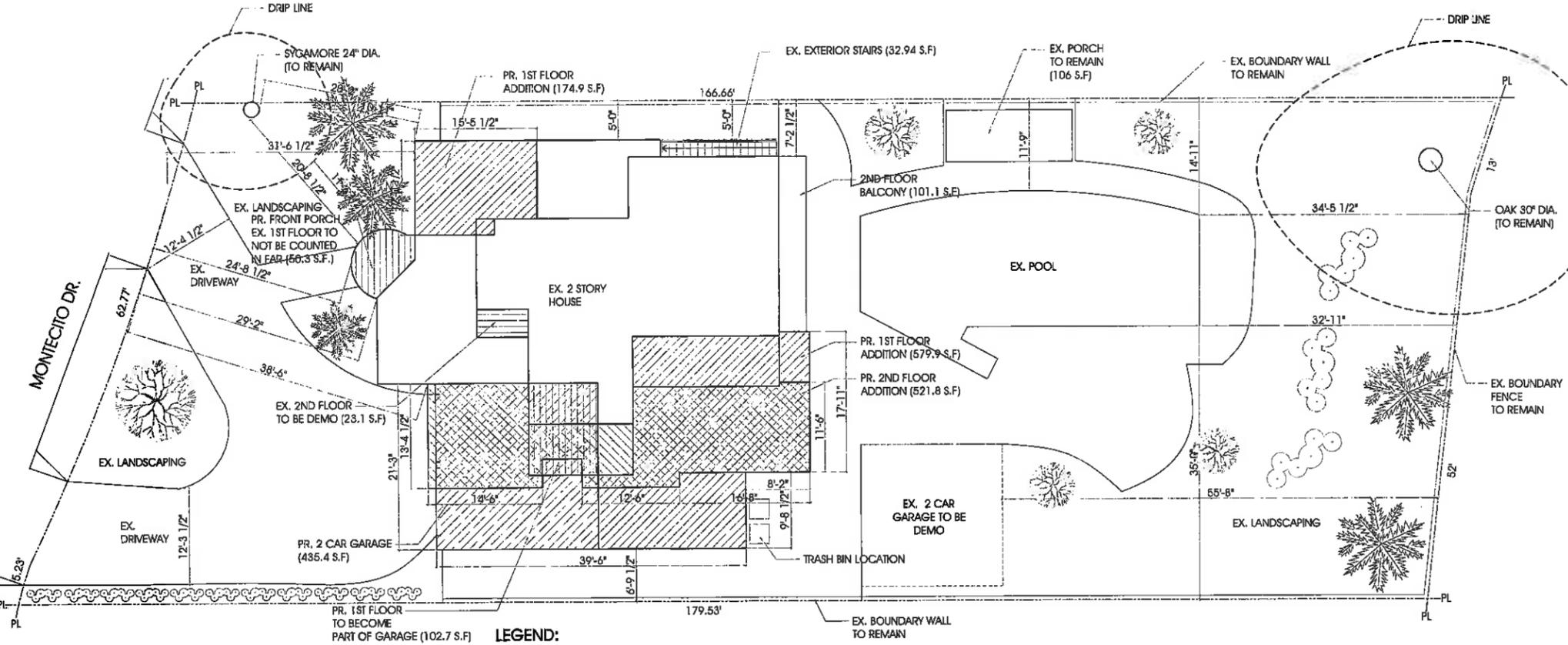
CODE

2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA GREEN BUILDING CODE

NOTE:
 1. NEW ROOFTOP EQUIPMENT IS PROHIBITED IN THIS ZONE.
 2. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, AND PATIO COVERS REQUIRE SEPARATE PERMITS.

DRAWING INDEX

A-1.0	INDEX, INFORMATION, SCOPE OF WORK, NOTES, NEW SITE PLAN
A-1.1	1/16" SCALE SITE PLAN WITH CONTEXT (ADJACENT PROPERTIES)
A-1.2	EXISTING SITE PLAN
A-1.3	LANDSCAPING AREA PLAN, DEMO SITE PLAN
A-2.1	EXISTING FLOOR PLANS
A-2.2	NEW 1ST FLOOR PLAN, DOOR & WINDOW SCHEDULE
A-2.3	NEW 2ND FLOOR PLAN
A-3.1	EXISTING ROOF PLAN, NEW ROOF PLAN
A-4.1 - A-4.2	EXISTING ELEVATIONS
A-4.3	NORTH ELEVATION, SOUTH ELEVATION
A-4.4	WEST ELEVATION, EAST ELEVATION
A-5.1	SECTIONS
A-6.1	DEMO FLOOR PLANS
A-6.2 - A-6.3	DEMO EXTERIOR WALL DIAGRAMS, CALCULATIONS
A-6.4	DEMO ROOF PLAN, CALCULATIONS
A-6.5	FLOOR AREA DIAGRAM PLANS



2 PROPOSED SITE PLAN
 Scale: 1/8"=1'-0"

- LEGEND:**
- EXISTING HOUSE TO REMAIN
 - EXISTING 1ST FLOOR TO BE DEMO/NOT COUNTED IN FAR
 - PROPOSED 1ST STORY ADDITION
 - EXISTING 2ND FLOOR TO BE DEMO/NOT COUNTED IN FAR
 - PROPOSED 2ND STORY ADDITION
 - PROPOSED 2 CAR GARAGE

ARCH-DESIGN
 & CONSTRUCTION CO., INC.

TEL (818) 517-5224

409 IRVING DR.
 BURBANK, CA 91504

OWNER	HEGHINE GASPARYAN
PROJECT	ADDITION TO EXISTING 2 STORY SFD
LOCATION	1900 MONTECITO DR. GLENDALE, CA 91208

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCH-DESIGN & CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCH-DESIGN & CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

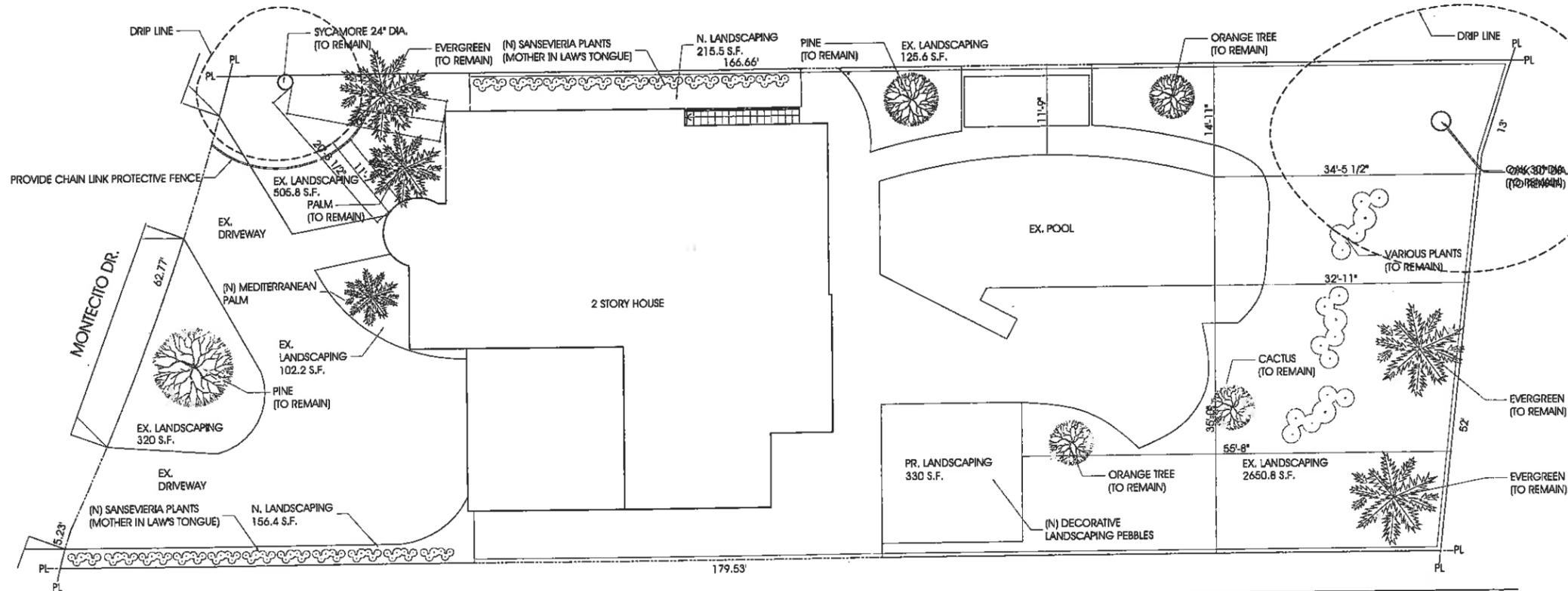
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

REVISIONS

NO.	ISSUE	BY
ADR1	10.24.19	AM
ADR2	12.04.19	AM

DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-1.0
 OF SHEETS



1 LANDSCAPING AREA PLAN
Scale: 1/8":1'-0"

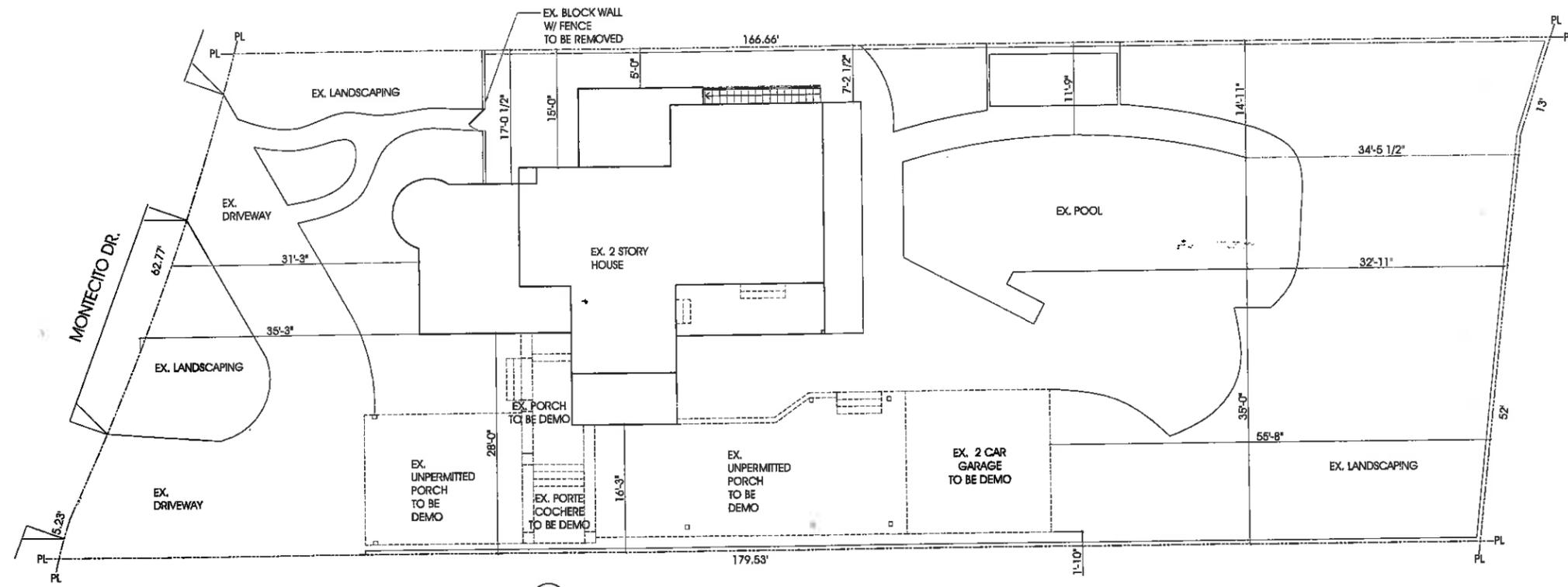
LANDSCAPING

EX. LANDSCAPING:
320 + 505.8 + 102.2 + 125.6 + 2650.8 = 3704.4 S.F.
N. LANDSCAPING:
215.5 + 330 + 156.4 = 701.9 S.F.

3704.4 + 701.9 = 4406.3
4406.3 / 10880 = 40.5%

SHEET NOTES:

1. THE SYCAMORE AND OAK TREES FOUND ON THE SUBJECT PROPERTY WILL BE PRESERVED AND PROTECTED WITH NO IMPACT FROM CONSTRUCTION.



2 EXISTING DEMO SITE PLAN
Scale: 1/8":1'-0"

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REVISIONS		
NO.	ISSUE	BY
ADR1	10.24.19	AM
ADR2	12.04.19	AM

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CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-1.3
OF SHEETS

HEGHINE GASPARYAN

ADDITION TO EXISTING 2 STORY SFD

1900 MONTECITO DR. GLENDALE, CA 91208

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REVISIONS

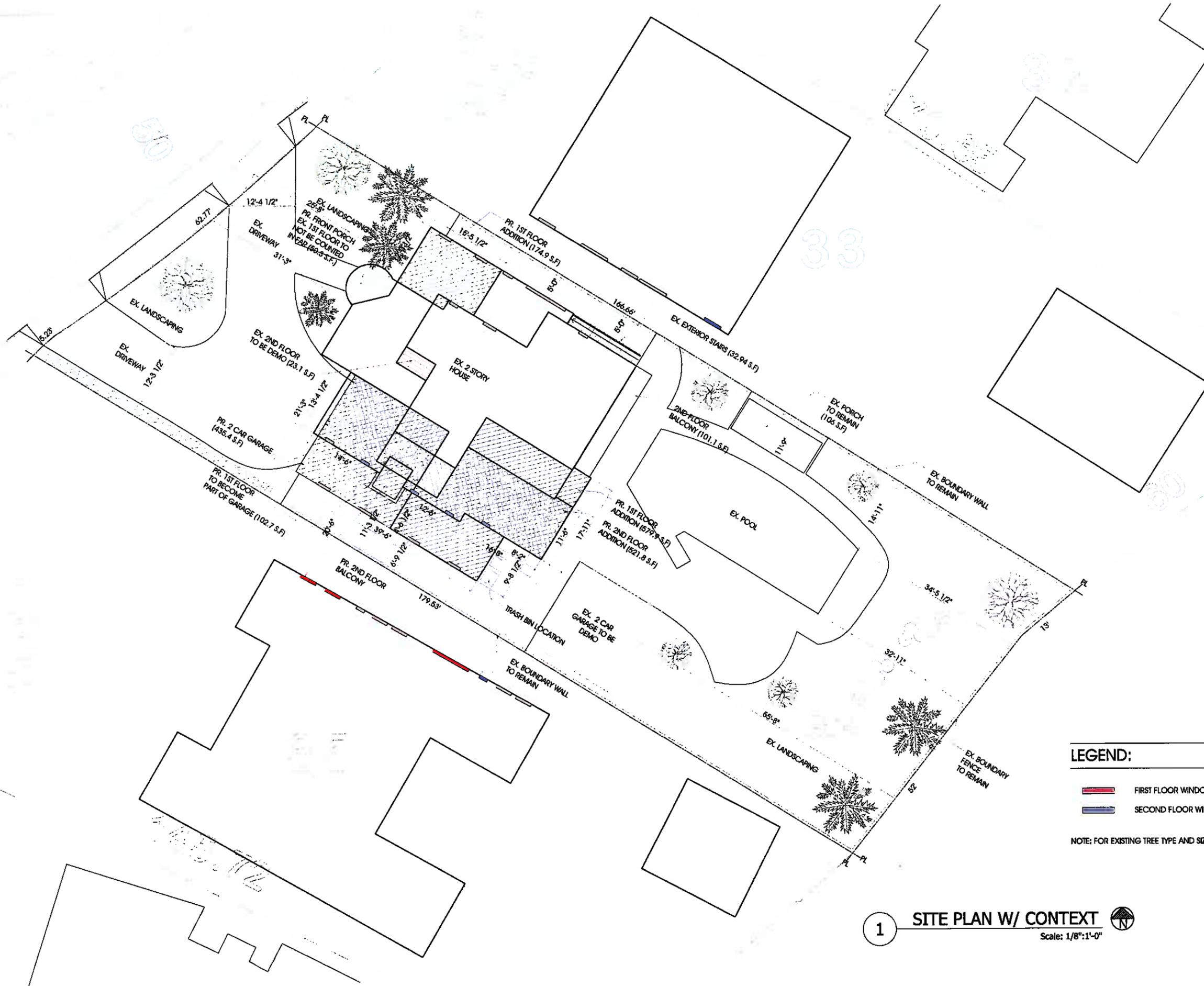
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ADR2	12.04.19	AM

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OF SHEETS



LEGEND:

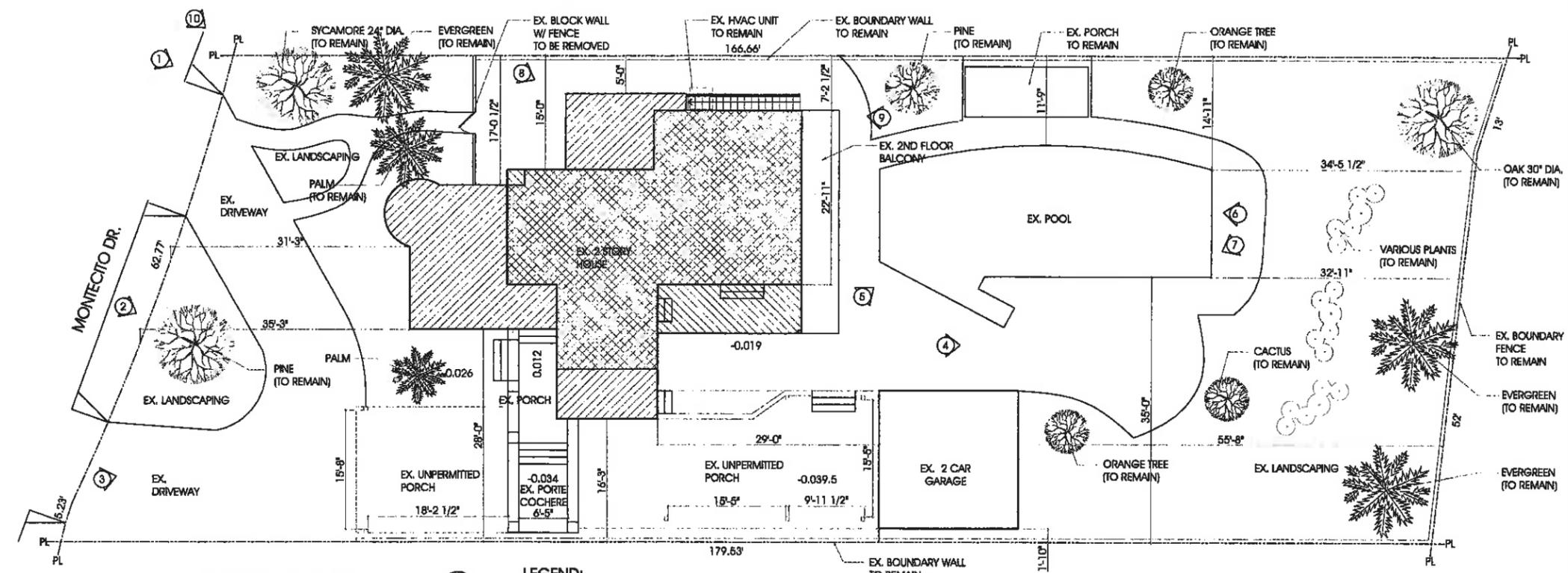
- FIRST FLOOR WINDOWS
- SECOND FLOOR WINDOWS

NOTE: FOR EXISTING TREE TYPE AND SIZE SEE A-1.3

1 SITE PLAN W/ CONTEXT

Scale: 1/8"=1'-0"

HEGHINE GASPARYAN
ADDITION TO EXISTING 2 STORY SFD
1900 MONTECITO DR. GLENDALE, CA 91208



1 EXISTING SITE PLAN
Scale: 1/8"=1'-0"

- LEGEND:**
- EXISTING 1ST STORY
 - EXISTING 2ND STORY
 - KEY FOR PHOTO SURVEY (INCLUDED IN ADR SUBMITTAL)

SHEET NOTES:

- THE SYCAMORE AND OAK TREES FOUND ON THE SUBJECT PROPERTY WILL BE PRESERVED AND PROTECTED WITH NO IMPACT FROM CONSTRUCTION.

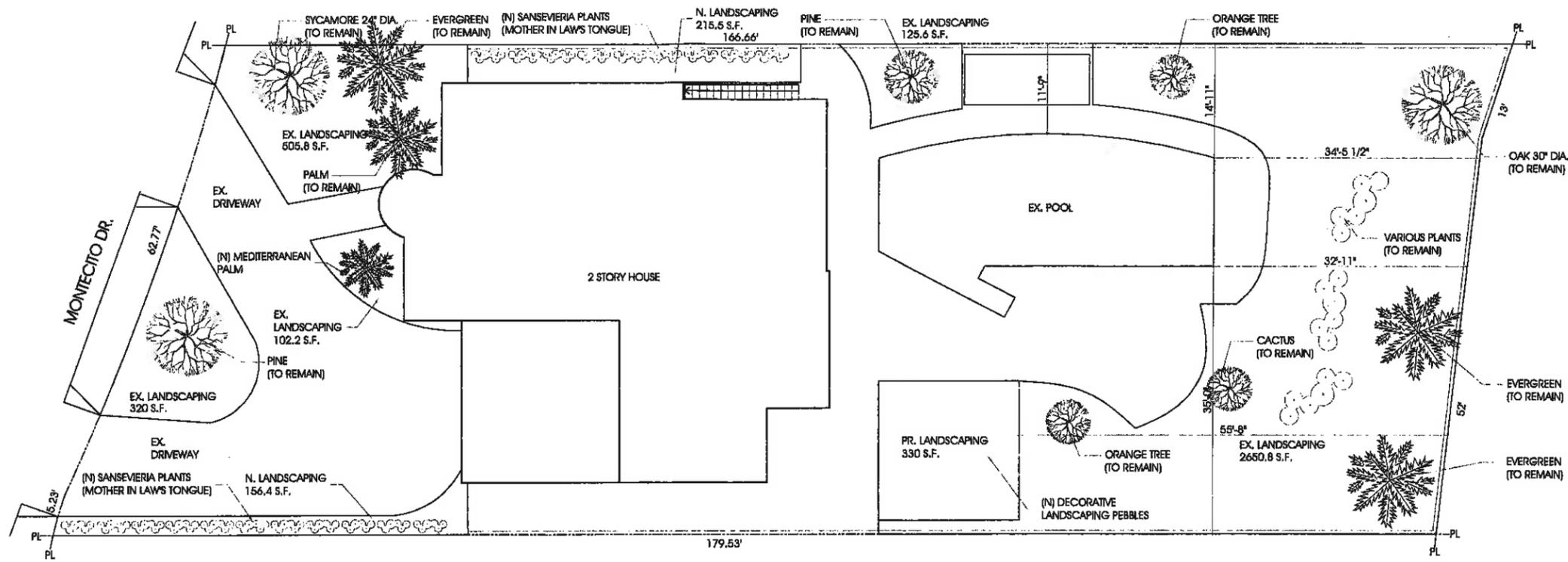
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ADR2	12.04.19	AM

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CHECKED BY	ARAM.M.
DESIGN BY	ARAM.M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-1.2
OF SHEETS



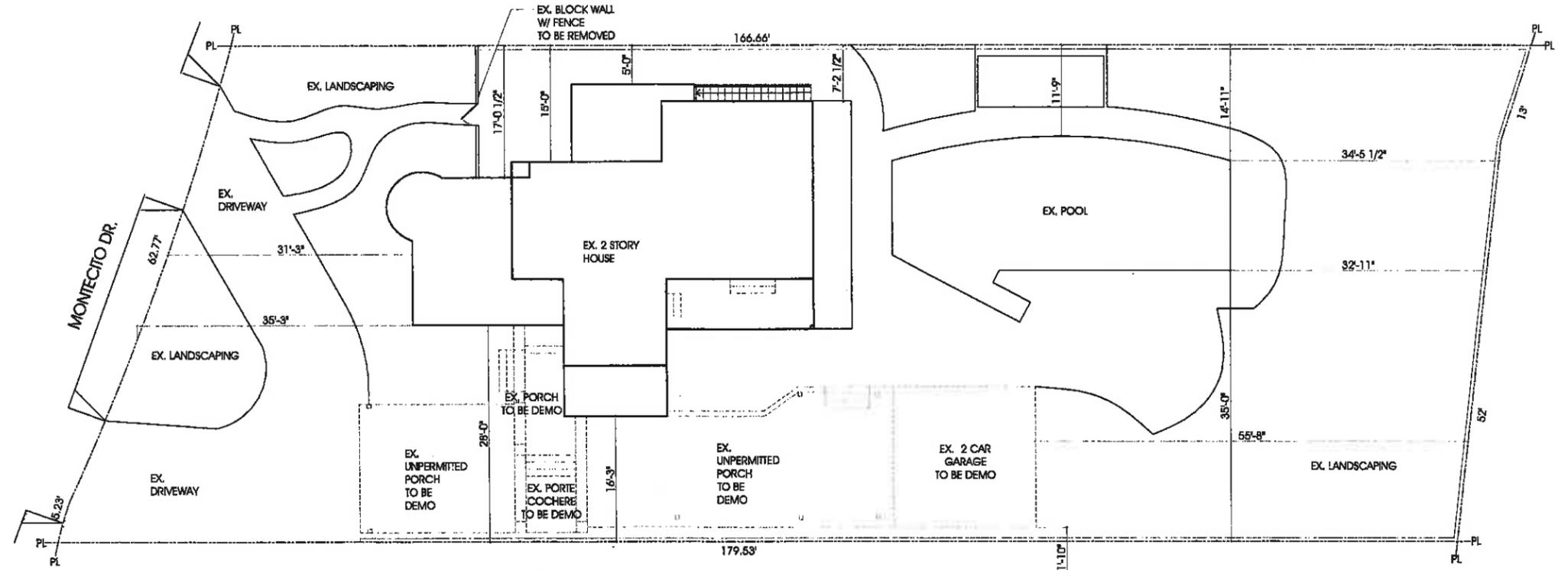
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LANDSCAPING

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2 EXISTING DEMO SITE PLAN
 Scale: 1/8"=1'-0"

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409 IRVING DR.
 BURBANK, CA 91504

HEGHINE GASPARYAN

ADDITION TO EXISTING 2 STORY SFD

1900 MONTECITO DR. GLENDALE, CA 91208

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CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

REVISIONS		
NO.	ISSUE	BY
ADR1	10.24.19	AM
ADR2	12.04.19	AM

DRAWN BY: A.A.
 CHECKED BY: ARAM M.
 DESIGN BY: ARAM M.
 SCALE: _____
 DATE: _____
 JOB NO. _____

SHEET NUMBER:
A-1.3
 OF SHEETS

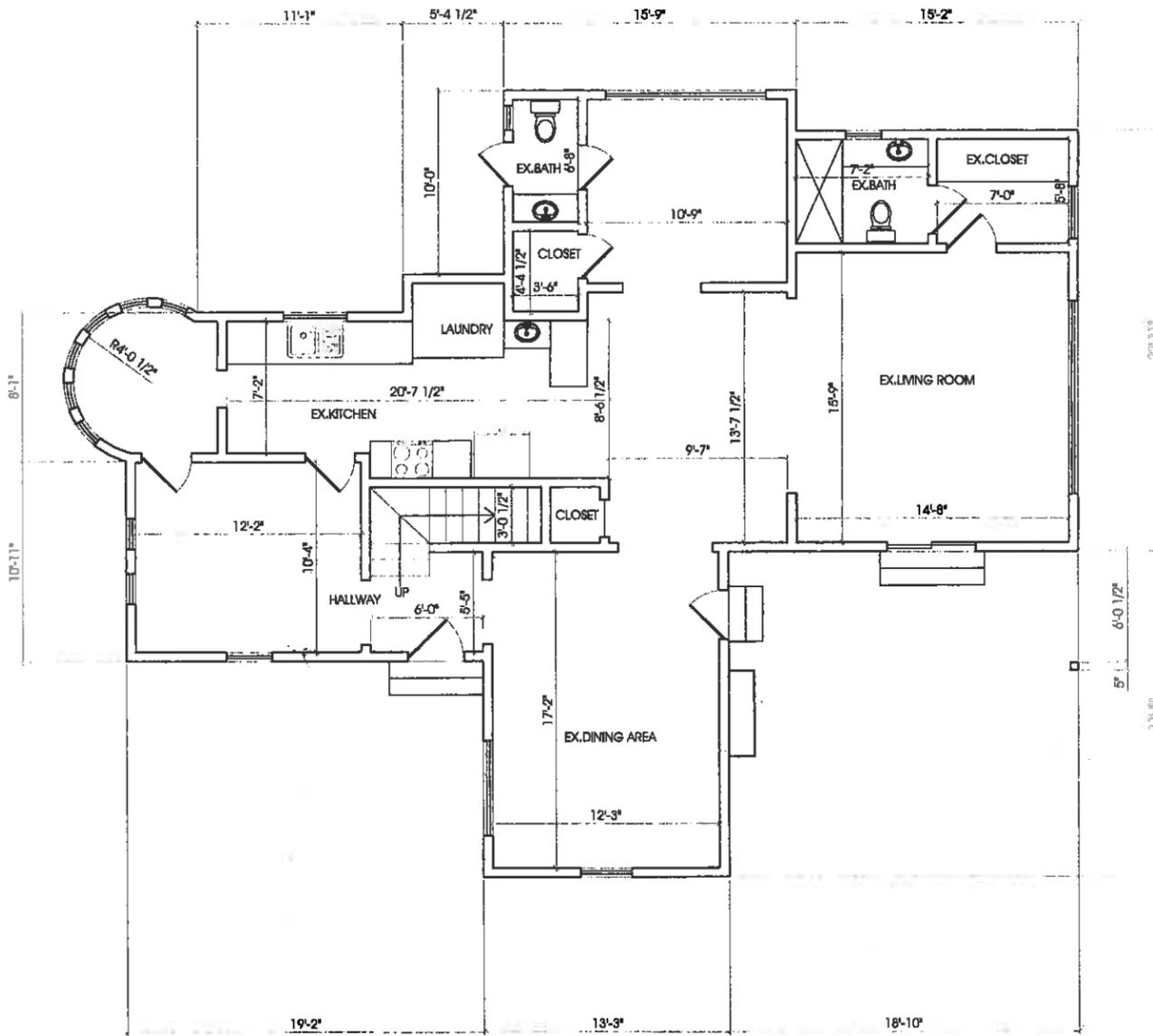
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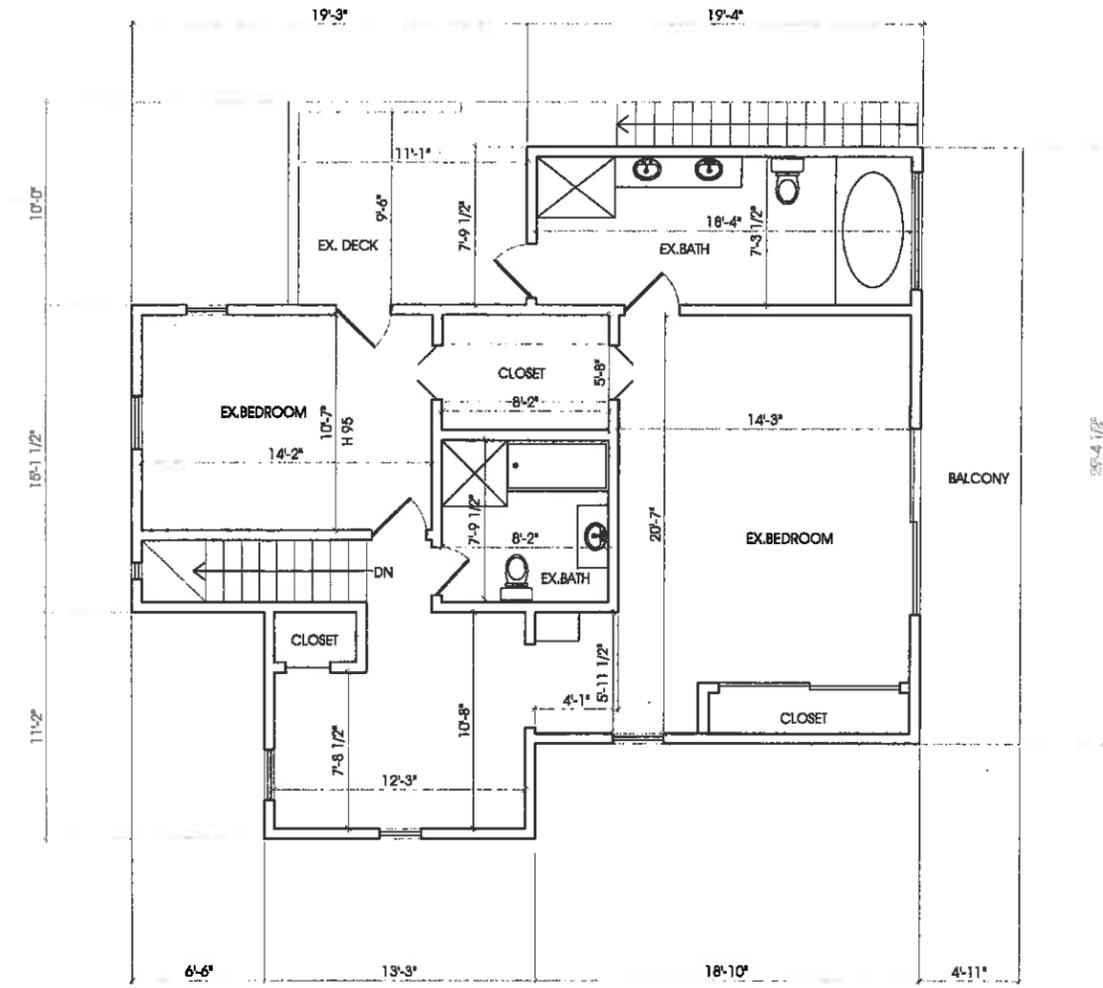
REVISIONS		
NO.	ISSUE	BY
ADR1	10.24.19	AM

DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
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OF SHEETS

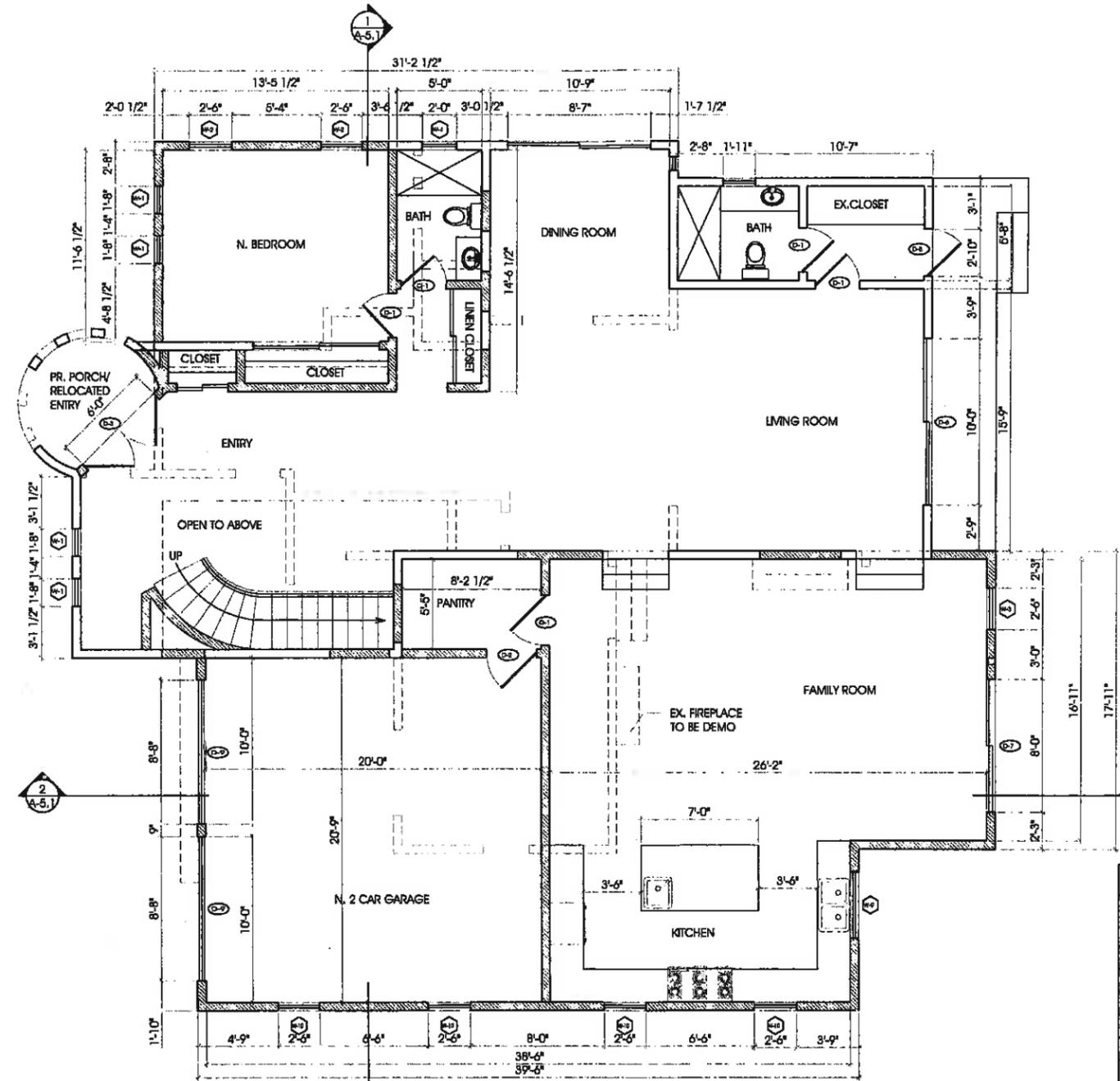


1 EX. 1ST FLOOR PLAN
Scale: 1/4"=1'-0"



2 EX. 2ND FLOOR PLAN
Scale: 1/4"=1'-0"

LEGEND:
 EXISTING WALL TO REMAIN
 EXISTING WALL TO BE REMOVED
 NEW STUD WALL 2 X 4 @ 16 O.C.



1 N. 1ST FLOOR PLAN
Scale: 1/4"=1'-0"

2 WINDOW SECTION TYP.
Scale: 1/2"=1'-0"

NEW DOOR SCHEDULE

DOOR NUMBER	WIDTH X HEIGHT	MATERIAL	TYPE	GLAZING	REMARKS
D-1	2'-8" X 6'-8"	HOLLOW CORE	SWING	NO	
D-2	3'-0" X 6'-8"	WOOD	SWING	NO	1 HR RATED
D-3	6'-0" X 8'-0"	WOOD	SWING	NO	
D-4	5'-4" X 6'-8"	HOLLOW CORE	SWING	NO	
D-5	2'-8" X 6'-8"	WOOD	SWING	NO	
D-6	10'-0" X 6'-8"	WOOD FRAME	SLIDING	YES	TEMPERED
D-7	8'-0" X 8'-6"	WOOD FRAME	SLIDING	YES	TEMPERED
D-8	2'-10" X 6'-8"	WOOD	SWING	NO	
D-9	8'-8" X 7'-0"	WOOD	GARAGE	NO	

NEW WINDOW SCHEDULE

WINDOW NUMBER	QUANTITY	WIDTH X HEIGHT	MATERIAL	VISIBLE FROM STREET?	OPERATION	SILL	FRAME TYPE	EXTERNAL GRID (SDI)	EDGE DETAIL	BEDROOM EGRESS	ENERGY EFFICIENT	TEMPERED GLASS	FIRE HAZARD ZONE	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR	COLOR
W-1	6	1'-8" X 5'-0"	ALUMINUM CLAD WOOD	Y	SINGLE HUNG	Y	BLOCK	Y	WOOD	Y	Y	Y	N	Y	SIERRA BRONZE
W-2	2	2'-6" X 5'-0"	ALUMINUM CLAD WOOD	Y	SINGLE HUNG	Y	BLOCK	Y	WOOD	Y	Y	Y	N	Y	SIERRA BRONZE
W-3	1	2'-6" X 6'-6"	ALUMINUM CLAD WOOD	N	FIXED	Y	BLOCK	Y	WOOD	N	Y	Y	N	Y	SIERRA BRONZE
W-4	1	2'-0" X 2'-0"	ALUMINUM CLAD WOOD	Y	SINGLE HUNG	Y	BLOCK	N	WOOD	N	Y	Y	N	Y	SIERRA BRONZE
W-5	9	1'-8" X 4'-0"	ALUMINUM CLAD WOOD	Y	SINGLE HUNG	Y	BLOCK	Y	WOOD	N	Y	Y	N	Y	SIERRA BRONZE
W-6	1	1'-8" X 2'-0"	ALUMINUM CLAD WOOD	Y	SINGLE HUNG	Y	BLOCK	N	WOOD	N	Y	Y	N	Y	SIERRA BRONZE
W-7	1	2'-6" X 4'-0"	ALUMINUM CLAD WOOD	N	SINGLE HUNG	Y	BLOCK	Y	WOOD	Y	Y	Y	N	Y	SIERRA BRONZE
W-8	4	1'-8" X 1'-8"	ALUMINUM CLAD WOOD	Y	FIXED	Y	BLOCK	N	WOOD	N	Y	Y	N	Y	SIERRA BRONZE
W-9	1	4'-0" X 4'-0"	ALUMINUM CLAD WOOD	N	SLIDING	Y	BLOCK	Y	WOOD	N	Y	Y	N	Y	SIERRA BRONZE
W-10	4	2'-6" X 4'-0"	ALUMINUM CLAD WOOD	Y	SINGLE HUNG	Y	BLOCK	Y	WOOD	N	Y	Y	N	Y	SIERRA BRONZE
W-11	1	5'-0" X 4'-0"	ALUMINUM CLAD WOOD	N	FIXED	Y	BLOCK	Y	WOOD	N	Y	Y	N	Y	SIERRA BRONZE

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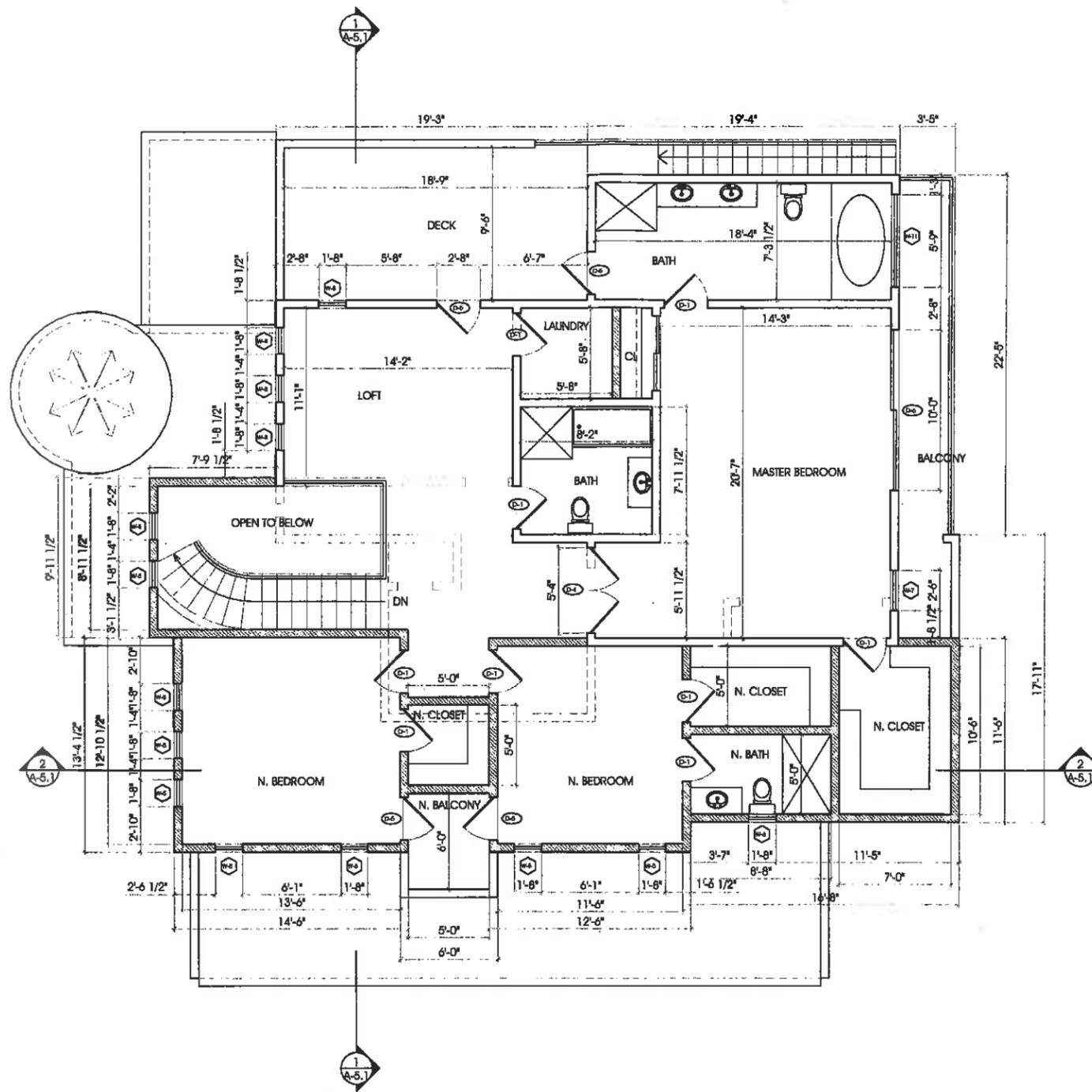
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REVISIONS

NO.	ISSUE	BY
ADR1	10.24.19	AM
ADR2	12.04.19	AM

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 CHECKED BY: ARAM M.
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 DATE:
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SHEET NUMBER:
A-2.2
OF SHEETS



1 N. 2ND FLOOR PLAN
Scale: 1/4"=1'-0"

LEGEND:
 [Solid line] EXISTING WALL TO REMAIN
 [Dashed line] EXISTING WALL TO BE REMOVED
 [Hatched pattern] NEW STUD WALL 2 X 4 @ 16 O.C.

ARCH-DESIGN
 & CONSTRUCTION CO., INC.
 TEL (818) 517-5224
 409 IRVING DR.
 BURBANK, CA 91504

HEGHINE GASPARYAN
 ADDITION TO EXISTING 2 STORY SFD
 1900 MONTECITO DR. GLENDALE, CA 91208

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NO.	ISSUE	BY
ADR1	10.24.19	AM

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 CHECKED BY: ARAM M.
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HEGHINE GASPARYAN
 ADDITION TO EXISTING 2 STORY SFD
 1900 MONTECITO DR. GLENDALE, CA 91208

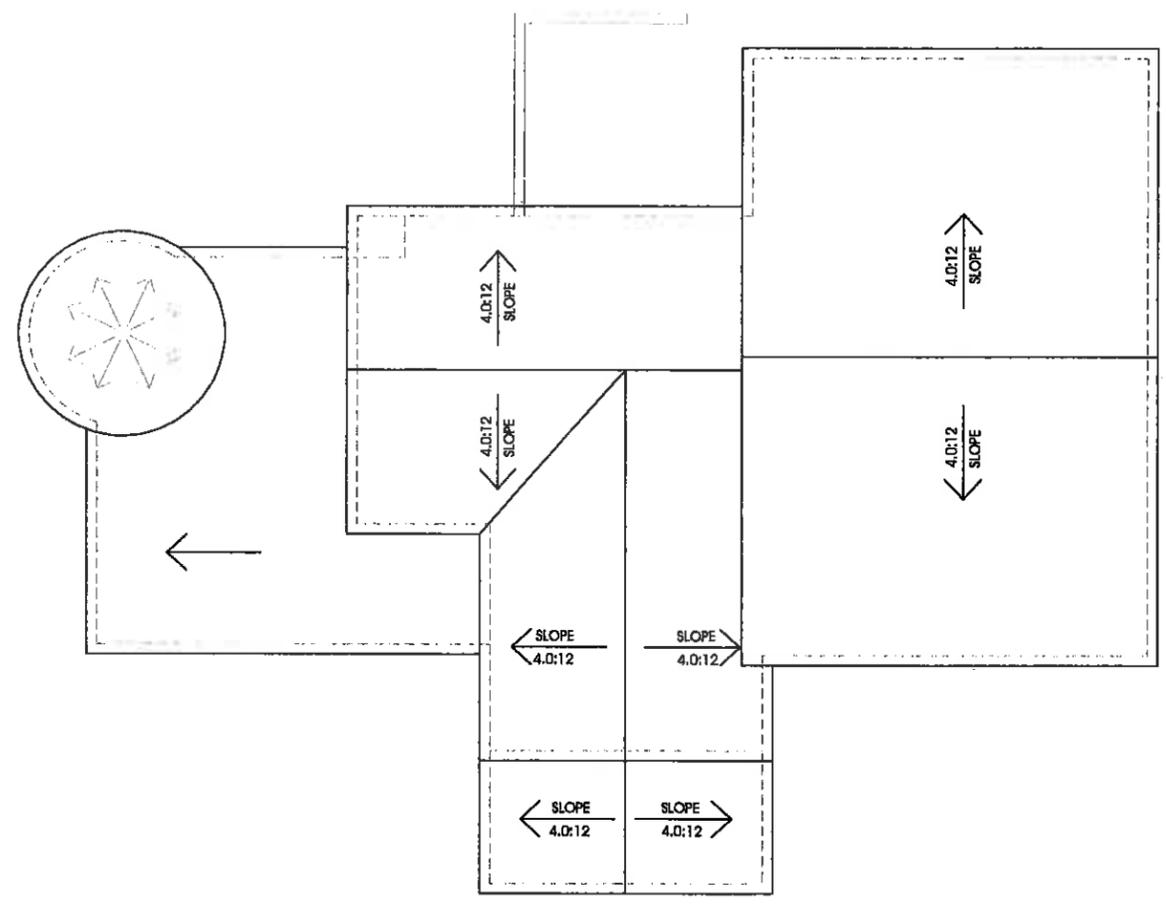
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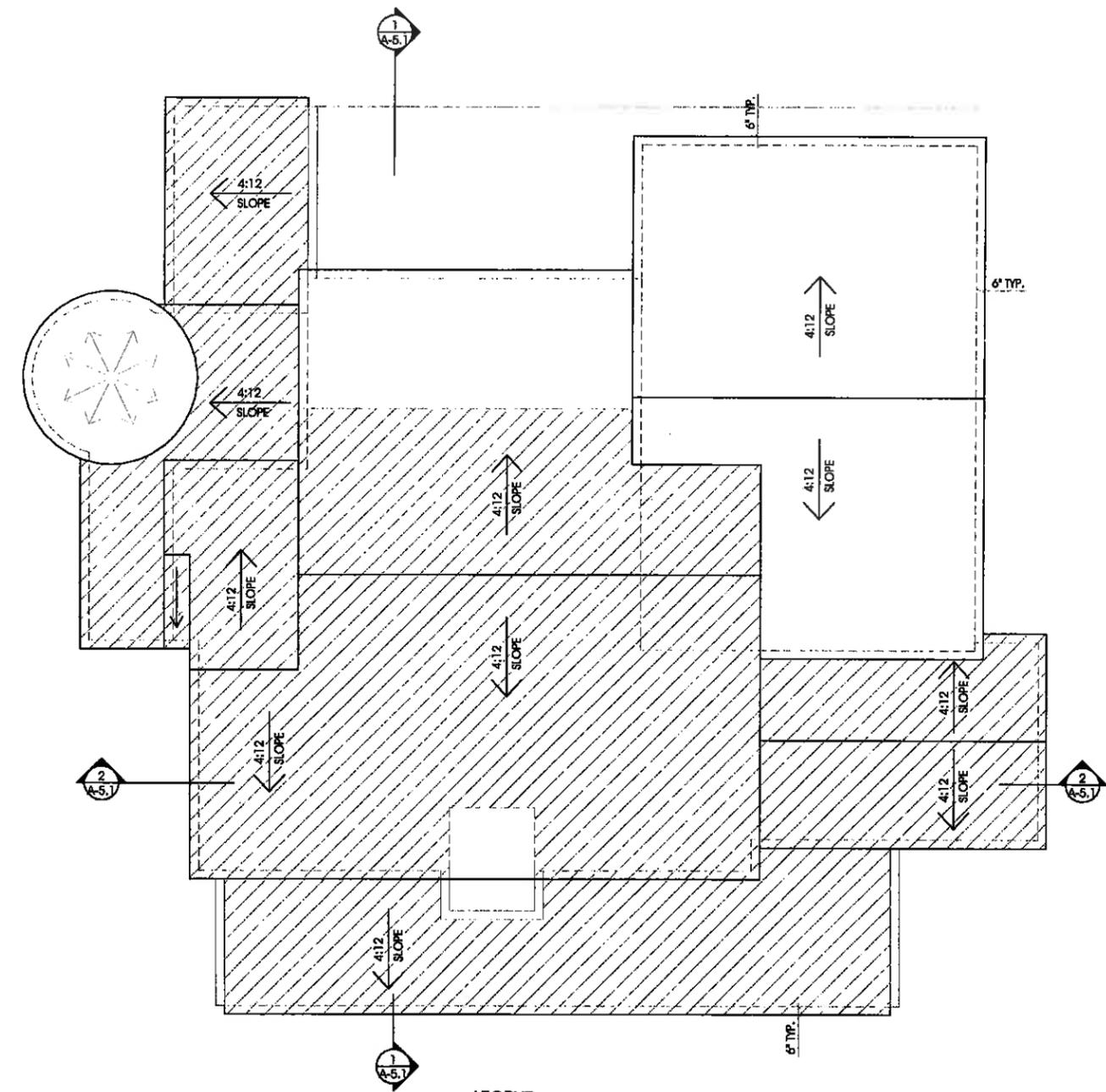
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NO.	ISSUE	BY
ADR1	10.24.19	AM

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 OF SHEETS

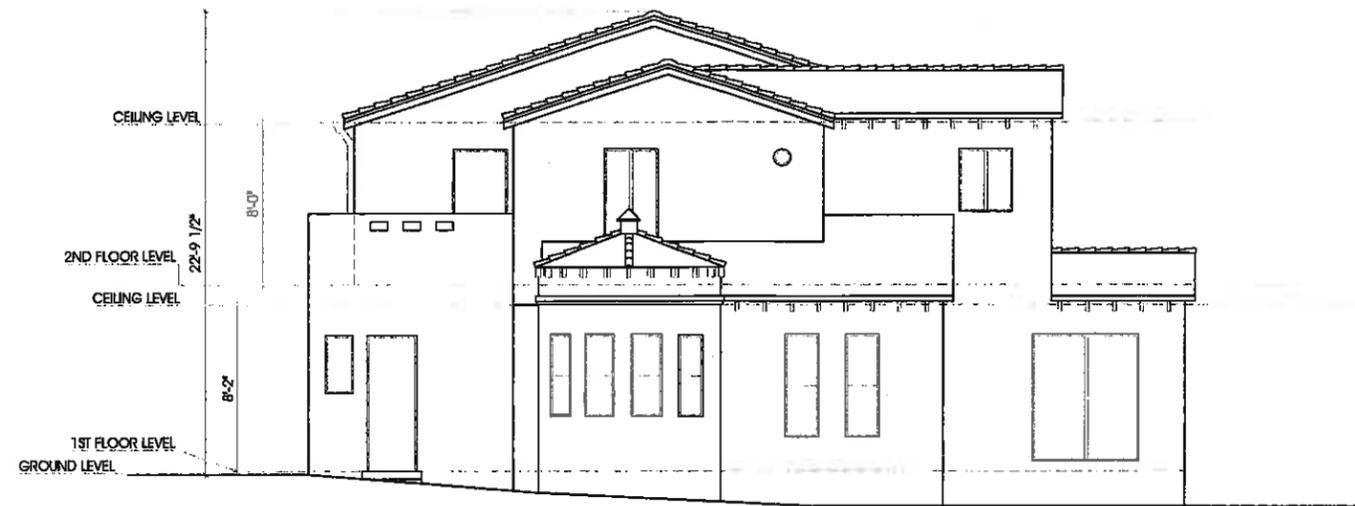


1 EX. ROOF PLAN
 Scale: 1/4"=1'-0"

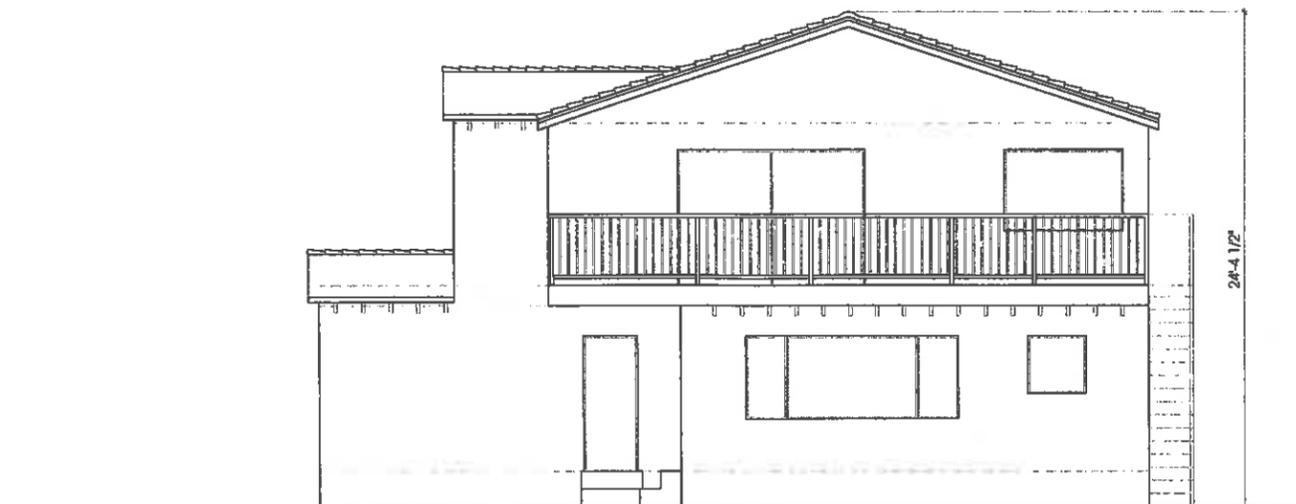


2 N. ROOF PLAN
 Scale: 1/4"=1'-0"

LEGEND:
 NEW ROOF
 LUDOWICI CLAY TILE- STRAIGHT BARREL 14 1/4"
 (TO MATCH EXISTING ROOF)



1 EXISTING NORTH ELEVATION
Scale: 1/4"=1'-0"



2 EXISTING SOUTH ELEVATION
Scale: 1/4"=1'-0"

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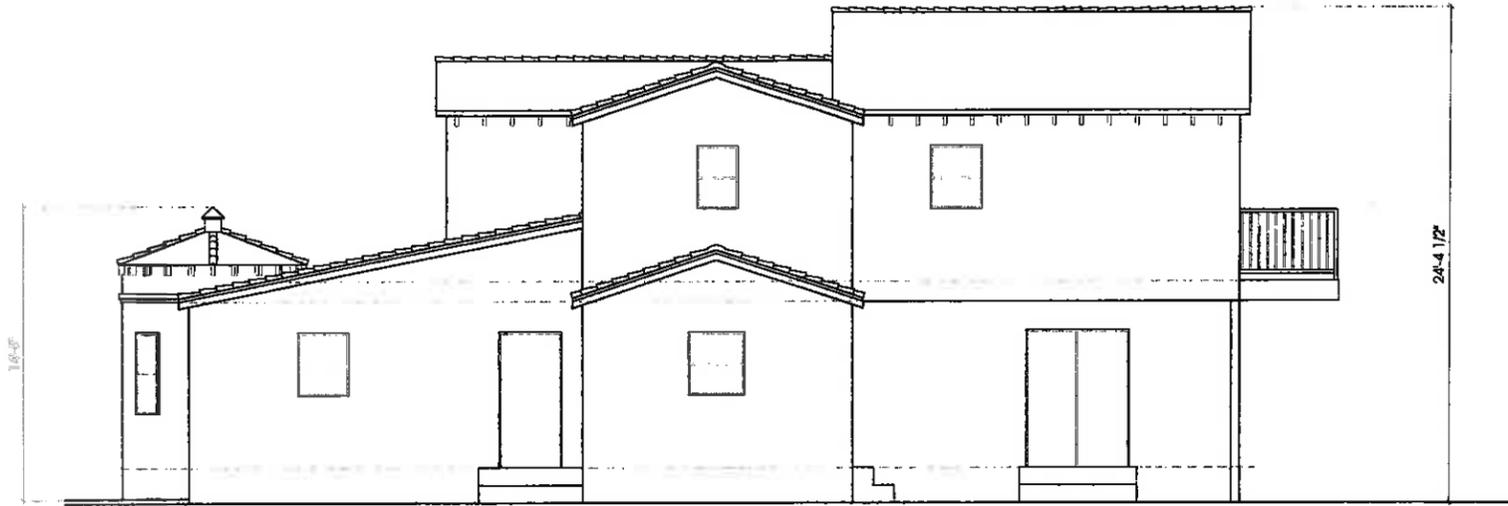
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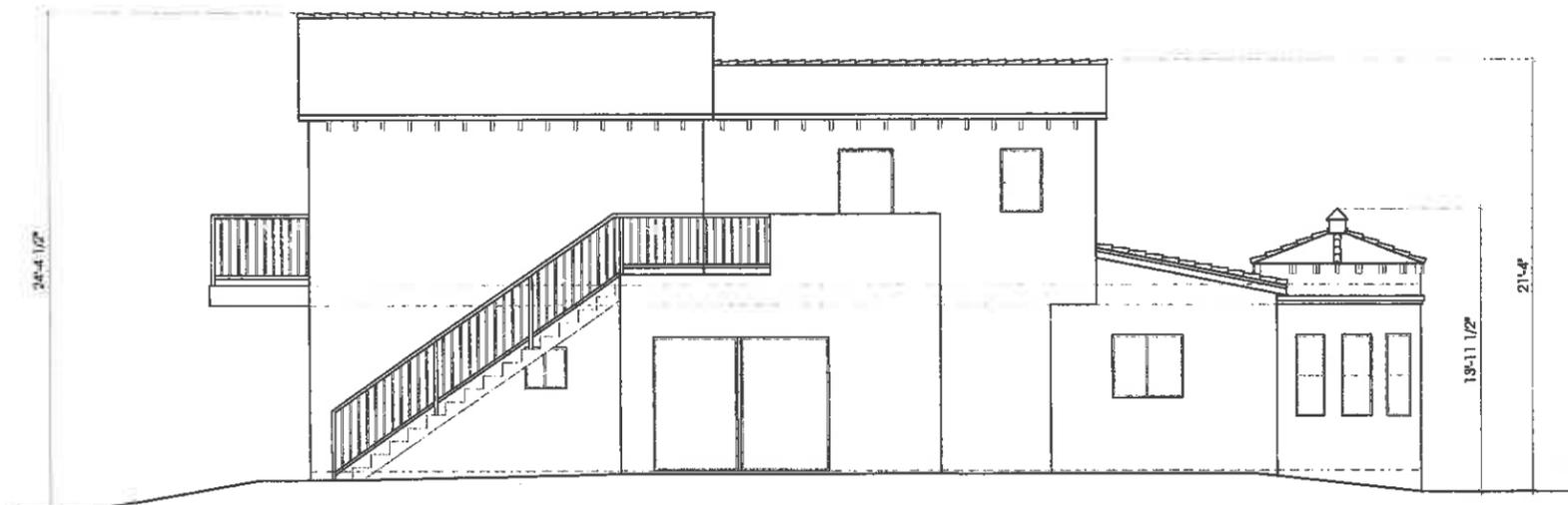
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A-4.1



1 EXISTING WEST ELEVATION
Scale: 1/4"=1'-0"



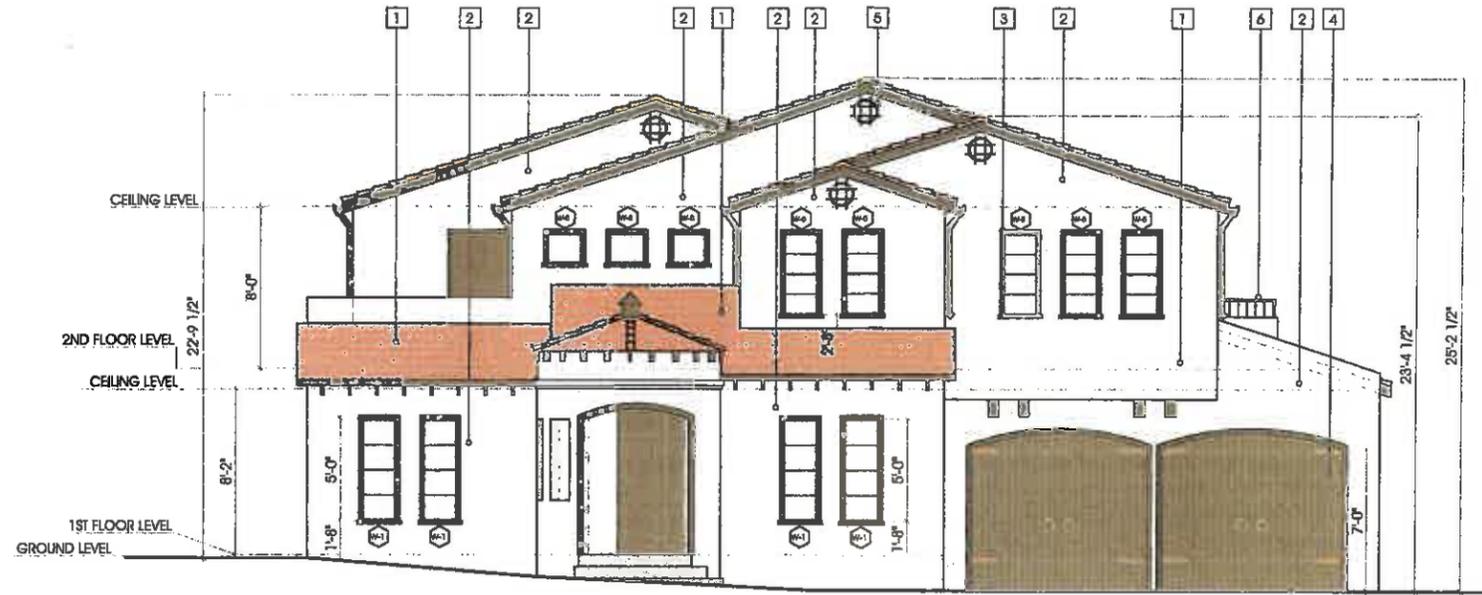
2 EXISTING EAST ELEVATION
Scale: 1/4"=1'-0"

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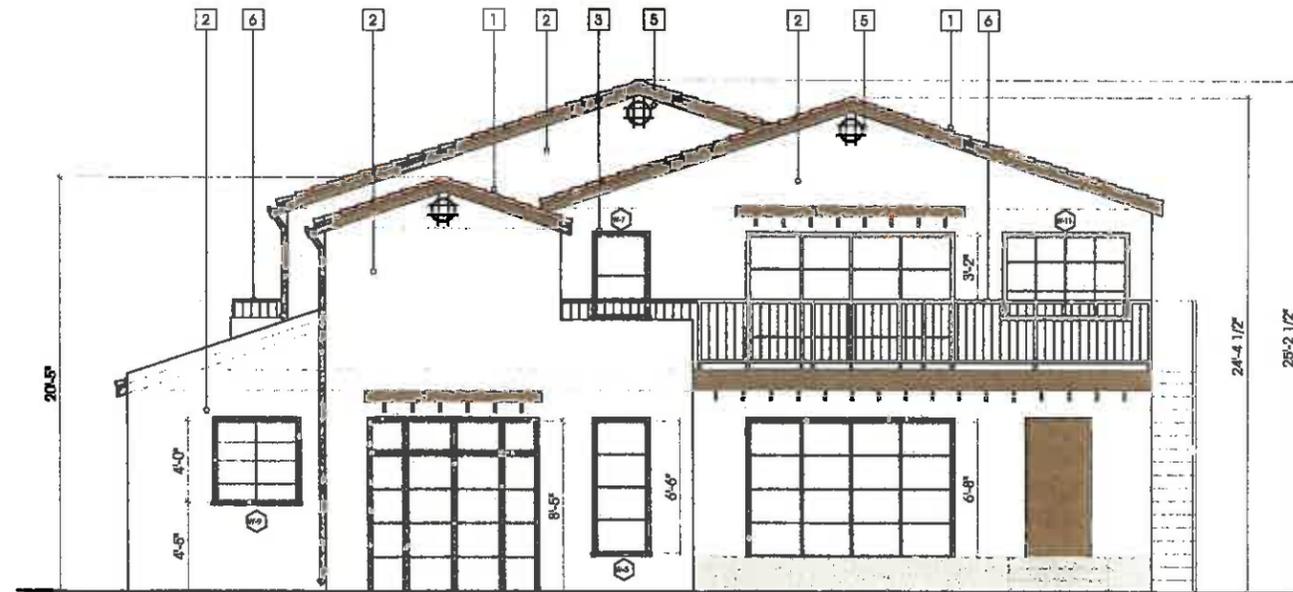
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ADR1	10.24.19	AM

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CHECKED BY	ARAM.M.
DESIGN BY	ARAM.M.
SCALE	
DATE	
JOB NO.	



1 PROPOSED NORTH ELEVATION
Scale: 1/4":1'-0"



2 PROPOSED SOUTH ELEVATION
Scale: 1/4":1'-0"

EXTERIOR FINISHES:

- 1 CLASS 1A CLAY ROOFING TILE TO MATCH EXISTING. LUDOWICI CLAY TILE- STRAIGHT BARREL MISSION 14 1/4"
- 2 7/8" SMOOTH FINISH STUCCO, AND RESTUCCO ALL EXISTING EXTERIOR WALLS. LA HABRA STUCCO- COLOR: DOVE GREY
- 3 WINDOWS: ANDERSEN E-SERIES, COLOR: SIERRA BRONZE. SILL & FRAME COLOR: SIERRA BRONZE
- 4 WOOD GARAGE DOOR. COLOR: DARK BROWN
- 5 METAL VENT GRILLE. COLOR: DARK BROWN
- 6 STEEL RAILINGS, COLOR: DARK BROWN
- 7 FRONT DOOR (MAHOGANY), COLOR: DARK BROWN

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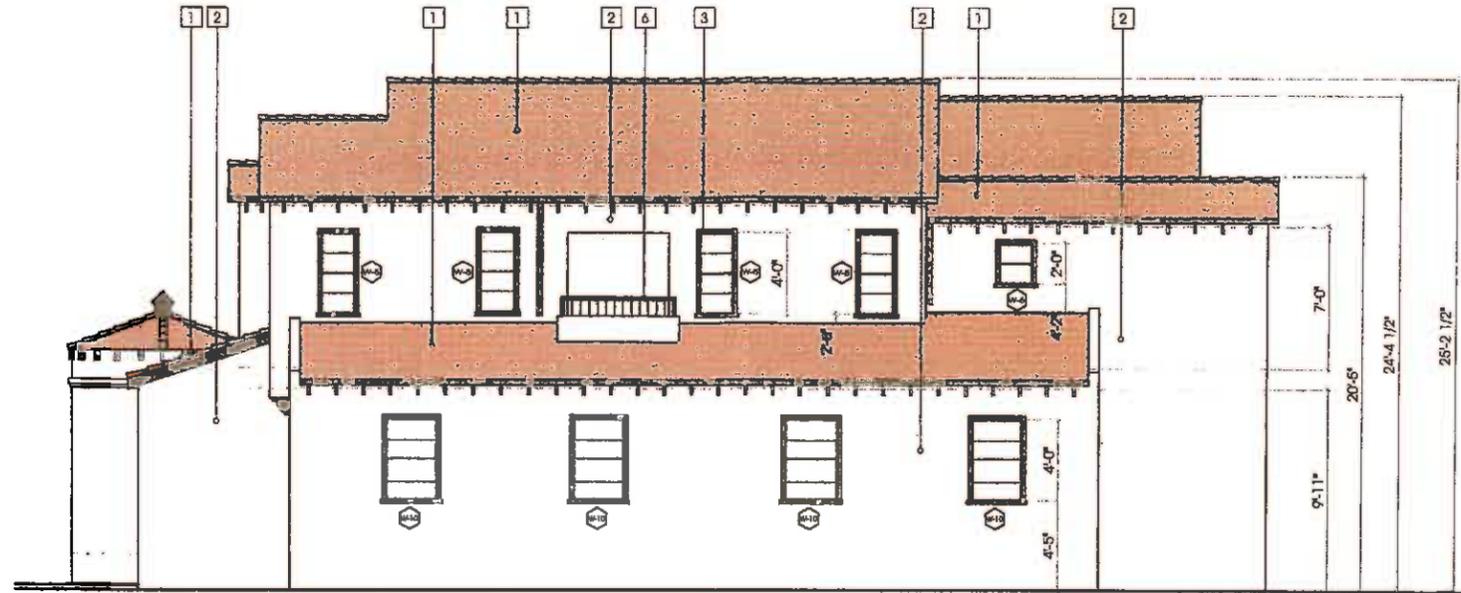
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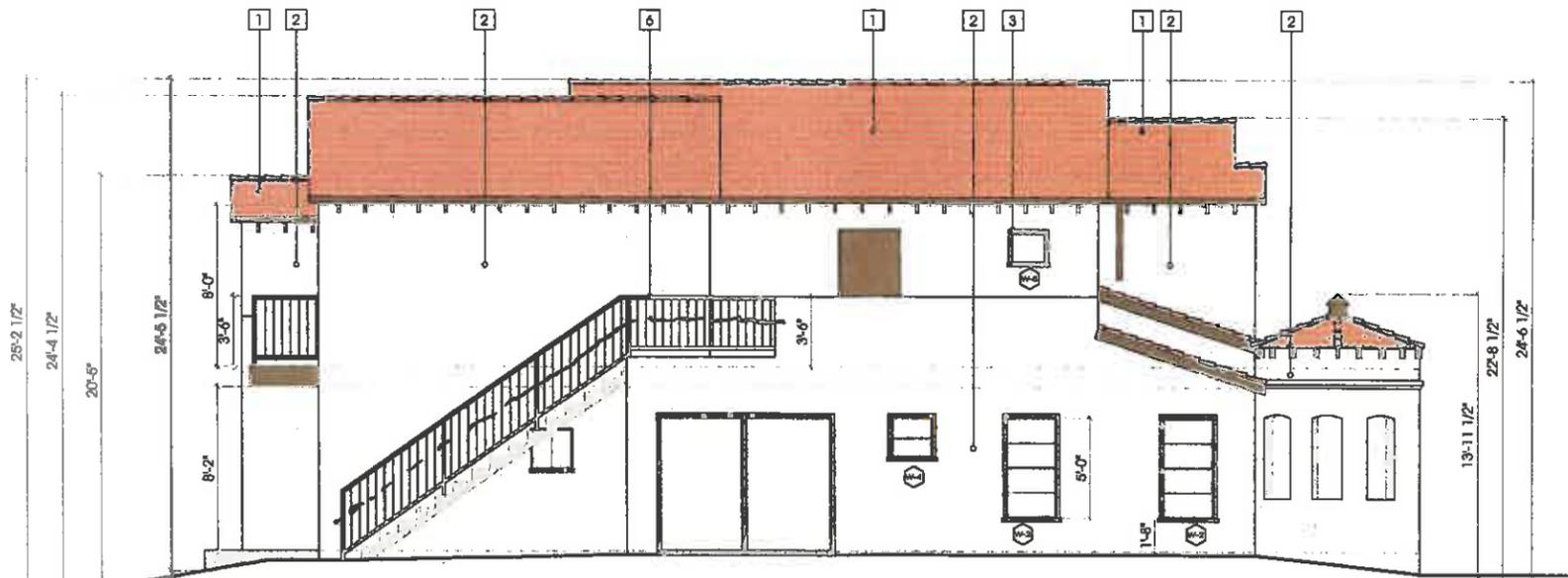
SHEET NUMBER:
A-4.3
OF SHEETS

EXTERIOR FINISHES:

- 1 CLASS 'M' CLAY ROOFING TILE TO MATCH EXISTING. LUDOWICI CLAY TILE- STRAIGHT BARREL MISSION 14 1/4"
- 2 7/8" SMOOTH FINISH STUCCO, AND RESTUCCO ALL EXISTING EXTERIOR WALLS. LA HABRA STUCCO-COLOR: DOVE GREY
- 3 WINDOWS: ANDERSEN E-SERIES. COLOR: SIERRA BRONZE. SILL & FRAME COLOR: SIERRA BRONZE
- 4 WOOD GARAGE DOOR. COLOR: DARK BROWN
- 5 METAL VENT GRILLE. COLOR: DARK BROWN
- 6 STEEL RAILINGS. COLOR: DARK BROWN
- 7 FRONT DOOR (MAHOGANY). COLOR: DARK BROWN



1 PROPOSED WEST ELEVATION
Scale: 1/4":1'-0"



2 PROPOSED EAST ELEVATION
Scale: 1/4":1'-0"

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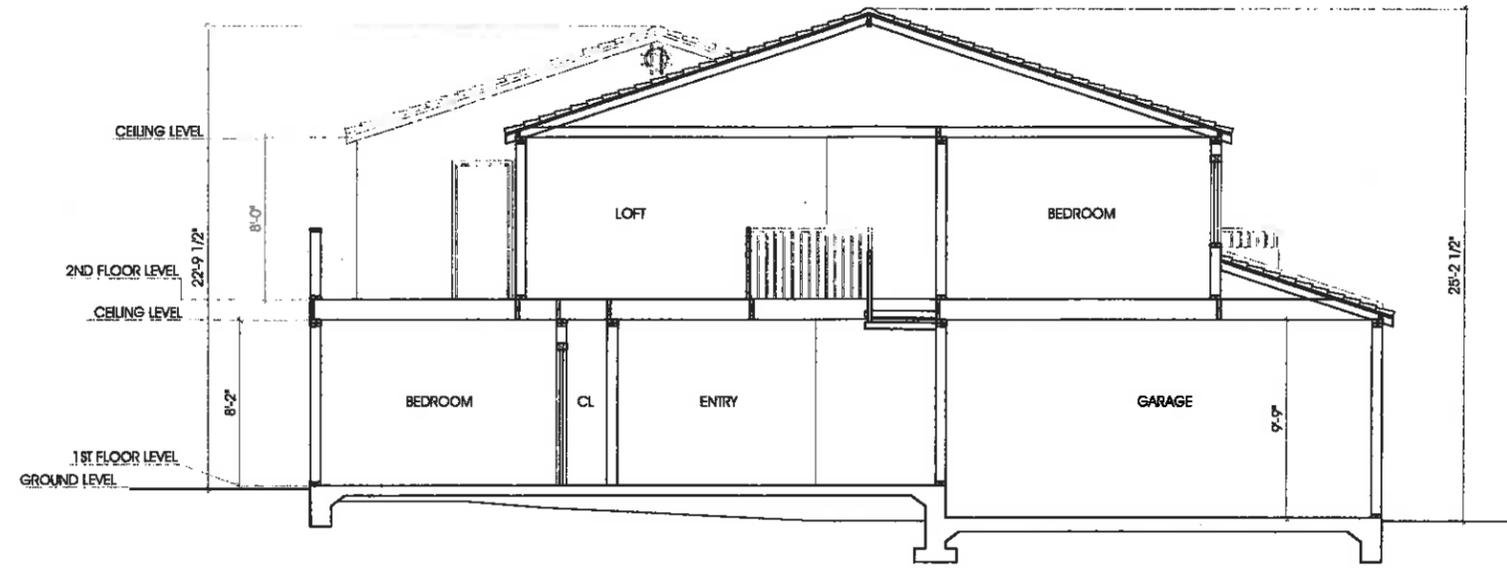
DRAWN BY	A.A.
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SHEET NUMBER:
A-4.4
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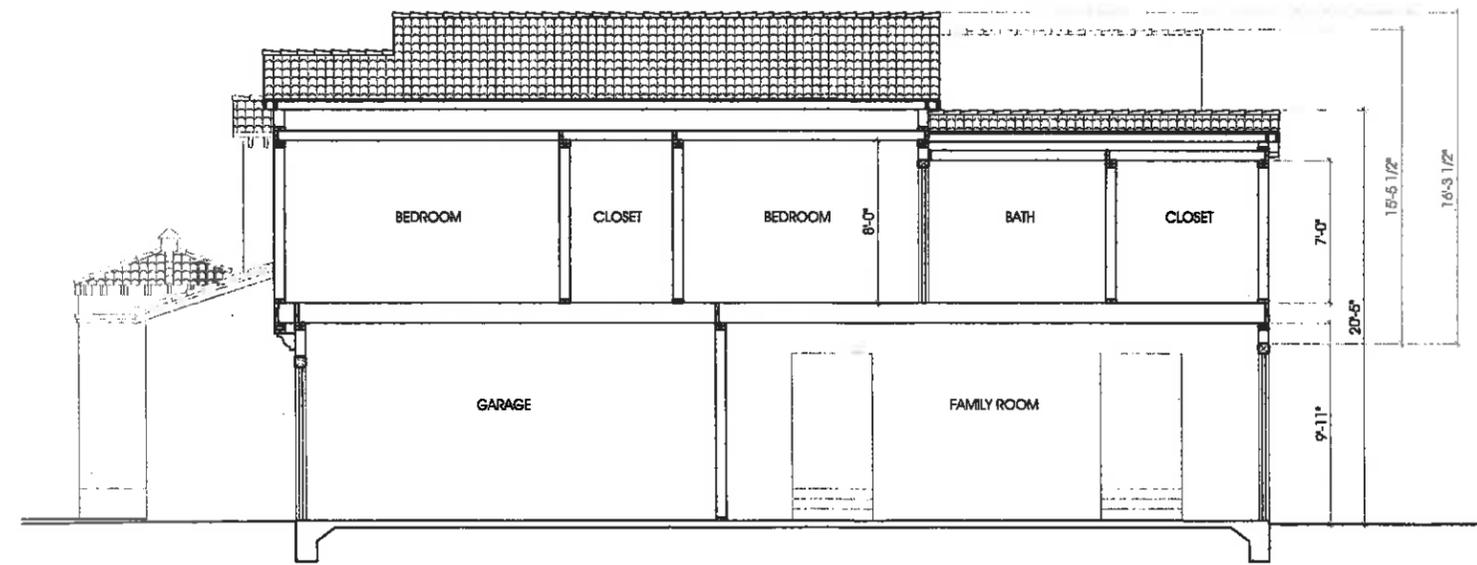
HEGHINE GASPARYAN

ADDITION TO EXISTING 2 STORY SFD

1900 MONTECITO DR. GLENDALE, CA 91208



1 SECTION A-A
Scale: 1/4":1'-0"



2 SECTION B-B
Scale: 1/4":1'-0"

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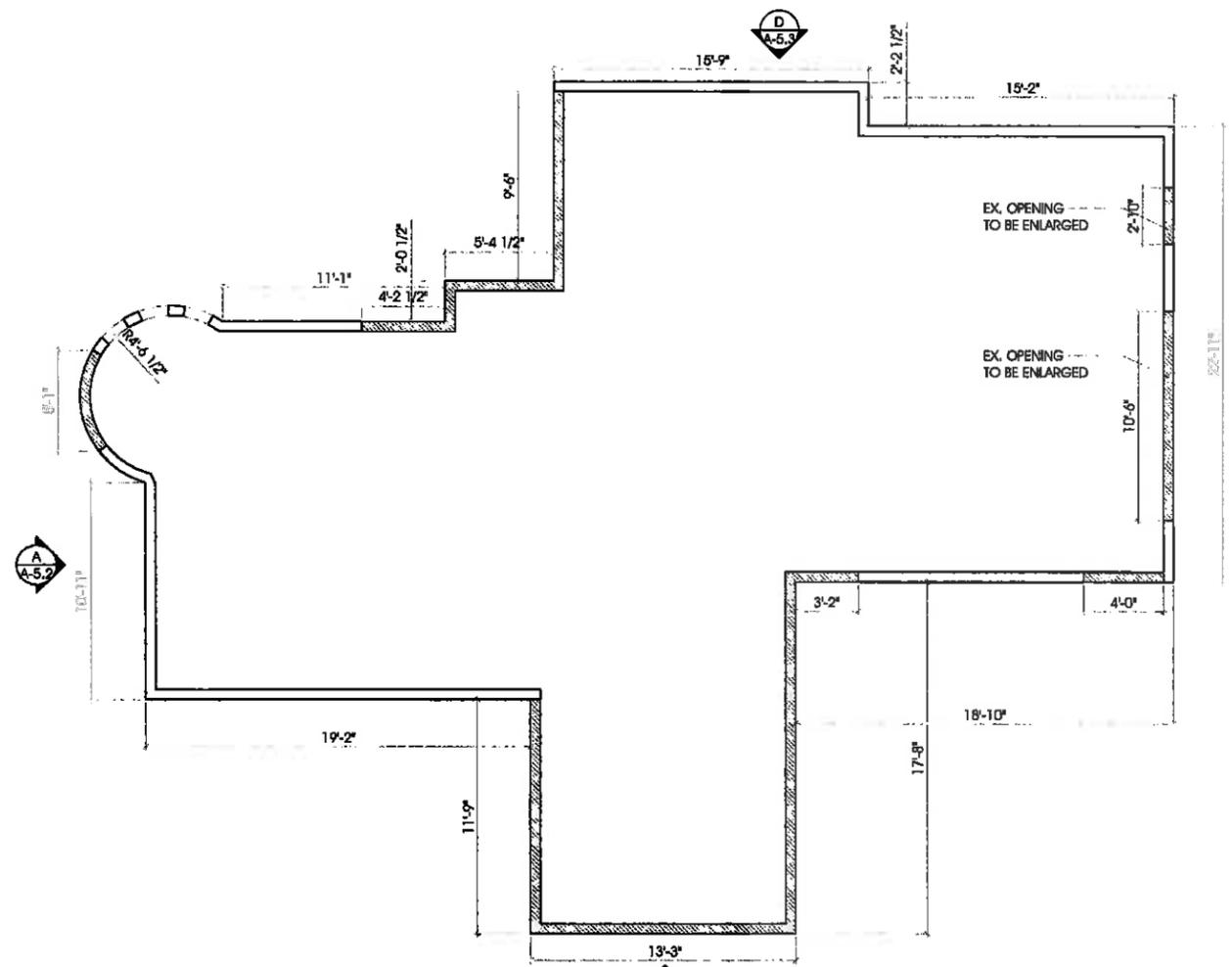
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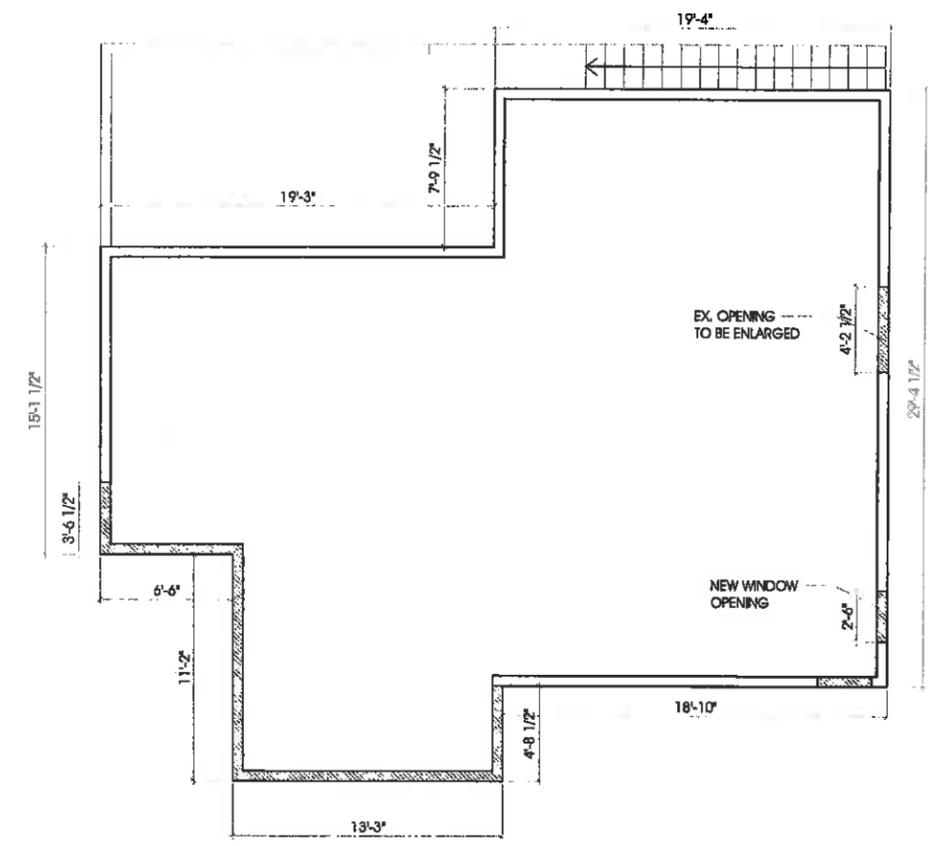
SHEET NUMBER:
A-5.1
OF SHEETS

LEGEND:

-  EXISTING EXTERIOR WALL TO REMAIN
-  EXISTING EXTERIOR WALL TO BE DEMO



1 1ST FLOOR DEMO
Scale: 1/4"=1'-0"



2 2ND FLOOR DEMO
Scale: 1/4"=1'-0"

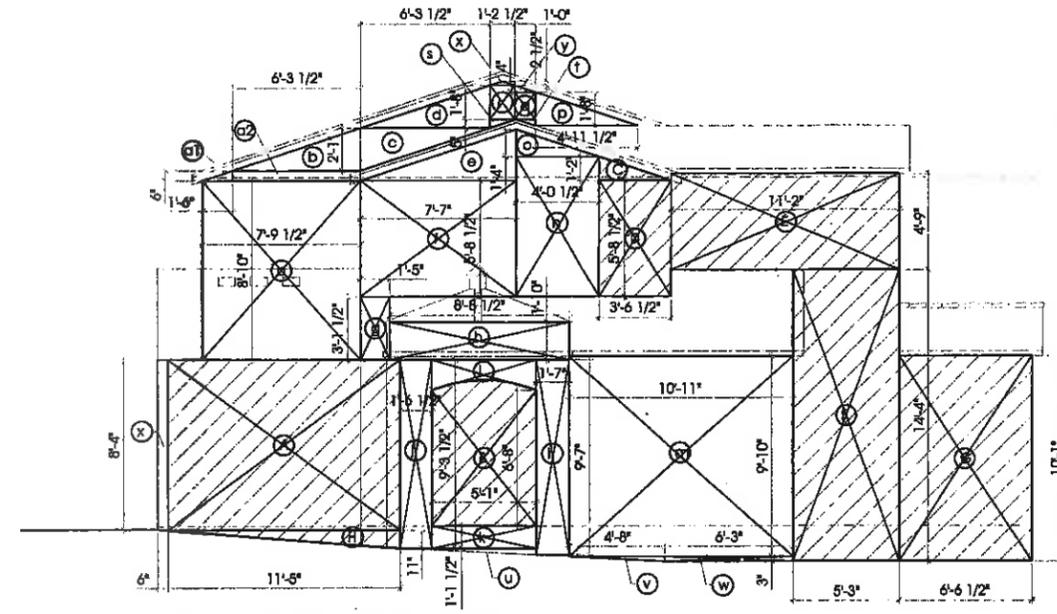
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LEGEND:
 AREA TO BE DEMO
 AREA TO BE DEMO
 AREA TO REMAIN

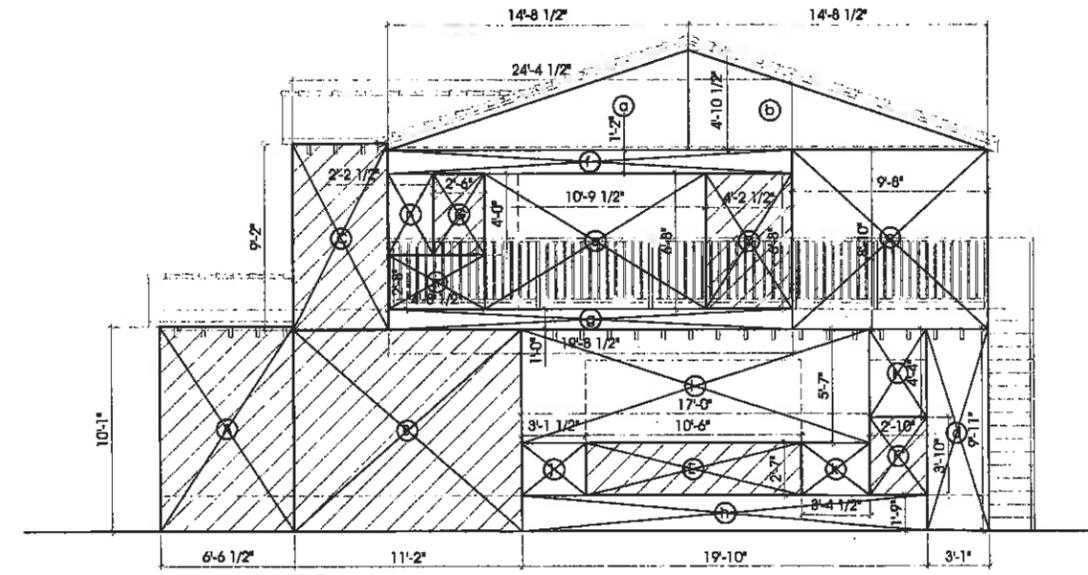


1 NORTH ELEVATION (A)
Scale: 1/4"=1'-0"

WALL DEMO CALC:

ELEVATION A:
359.37 + 382.37 = 741.74

TO REMAIN-	TO DEMO-
a. 68.75	A. 95.6
a1. 0.37	B. 36.6
a2. 3.15	C. 2.09
b. 6.6	D. 20.23
c. 6.6	E. 52.8
d. 6.6	F. 74.95
e. 9.5	G. 95.96
f. 43.2	H. 5.14
g. 4.4	
h. 16.2	TOTAL: 382.37
i. 5.9	
j. 14.4	
k. 5.6	
l. 15.2	
m. 107.3	
n. 27.7	
o. 2.7	
p. 4.1	
q. 1.3	
r. 2	
s. 0.3	
t. 0.1	
u. 1.1	
v. 0.6	
w. 1.5	
x. 4.2	
TOTAL: 359.37	



2 SOUTH ELEVATION (B)
Scale: 1/4"=1'-0"

WALL DEMO CALC:

ELEVATION B:
482.38 + 294.14 = 776.52

TO REMAIN-	TO DEMO-
a. 35.95	A. 65.96
b. 35.95	B. 110.53
c. 85.45	C. 42.91
d. 30.58	D. 27.92
e. 71.94	E. 27.13
f. 22.73	F. 10.86
g. 19.69	G. 8.83
h. 34.71	
i. 94.92	TOTAL: 294.14
j. 8.07	
k. 8.72	
l. 12.28	
m. 12.56	
n. 8.83	
TOTAL: 482.38	

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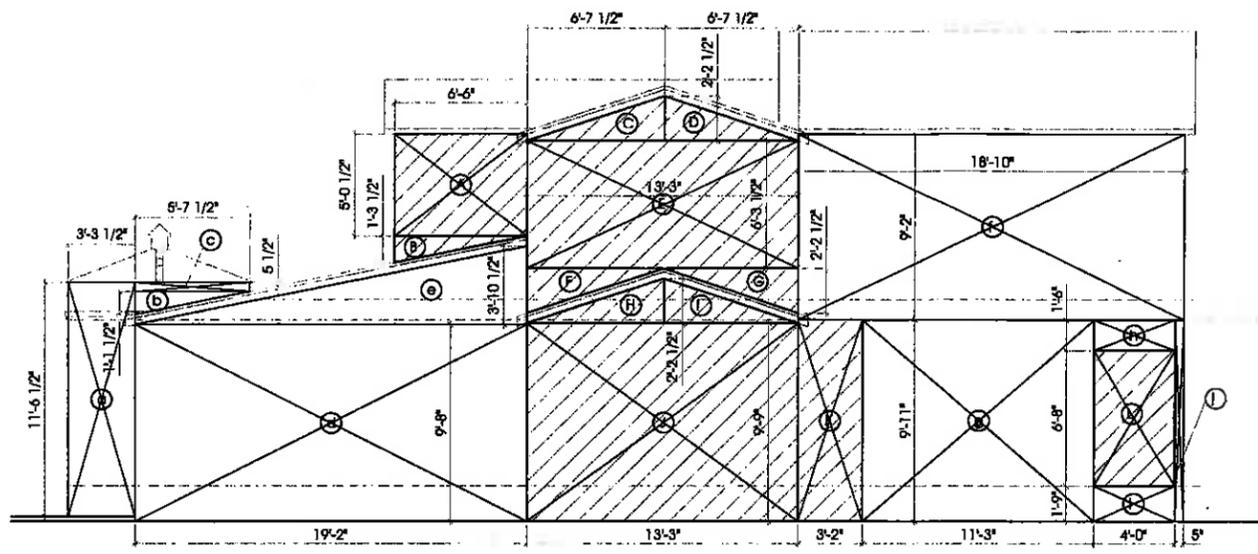
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DRAWN BY	J.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-6.2
OF SHEETS

LEGEND:
 AREA TO BE DEMO
 AREA TO BE DEMO
 AREA TO REMAIN

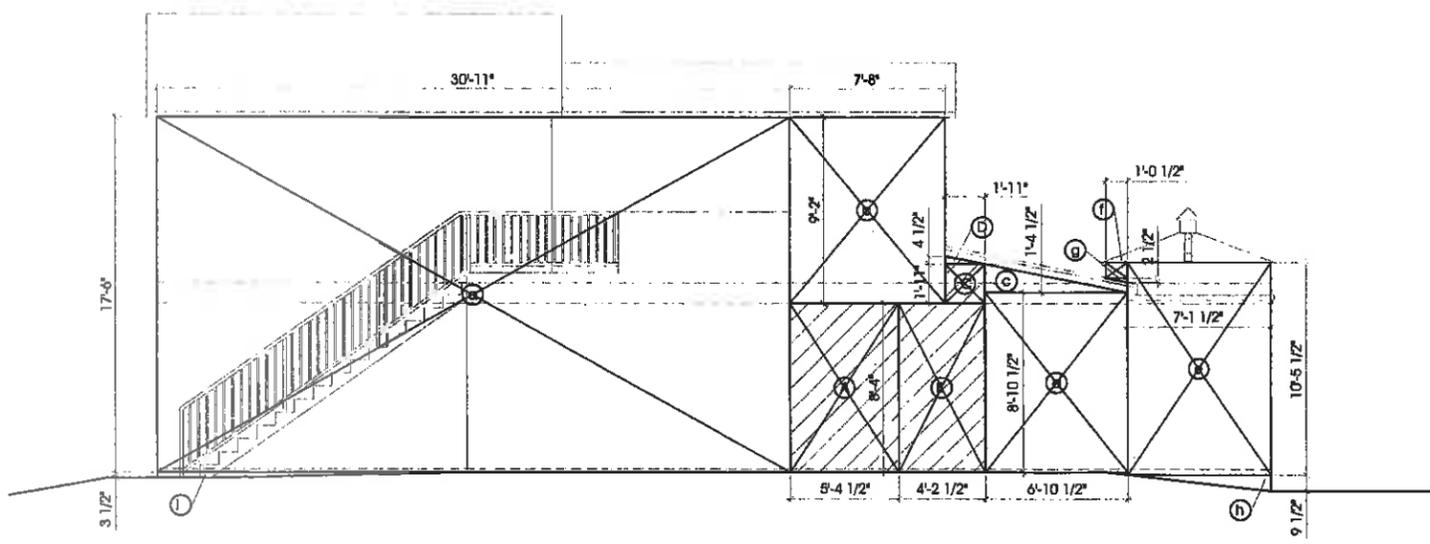


3 WEST ELEVATION (C)
Scale: 1/4"=1'-0"

WALL DEMO CALC:

ELEVATION C:
562.15 + 351.32 = 913.47

TO REMAIN-	TO DEMO-
a. 37.74	A. 32.69
b. 3.17	B. 4.25
c. 2.55	C. 7.32
d. 180.61	D. 7.32
e. 36.97	E. 83.2
f. 172.41	F. 7.32
g. 111.51	G. 7.32
h. 6.0	H. 7.32
i. 7.0	I. 7.32
j. 4.19	J. 129.19
TOTAL: 562.15	K. 31.4
	L. 26.67
	TOTAL: 351.32



4 EAST ELEVATION (D)
Scale: 1/4"=1'-0"

WALL DEMO CALC:

ELEVATION D:
759.38 + 84.12 = 843.5

TO REMAIN-	TO DEMO-
a. 540.67	A. 44.94
b. 70.19	B. 35.07
c. 4.78	C. 3.73
d. 61.13	D. 0.38
e. 74.48	
f. 0.8	TOTAL: 84.12
g. 0.1	
h. 2.81	
i. 4.42	
TOTAL: 759.38	

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CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

REVISIONS		
NO.	ISSUE	BY
ADR1	10.24.19	AM

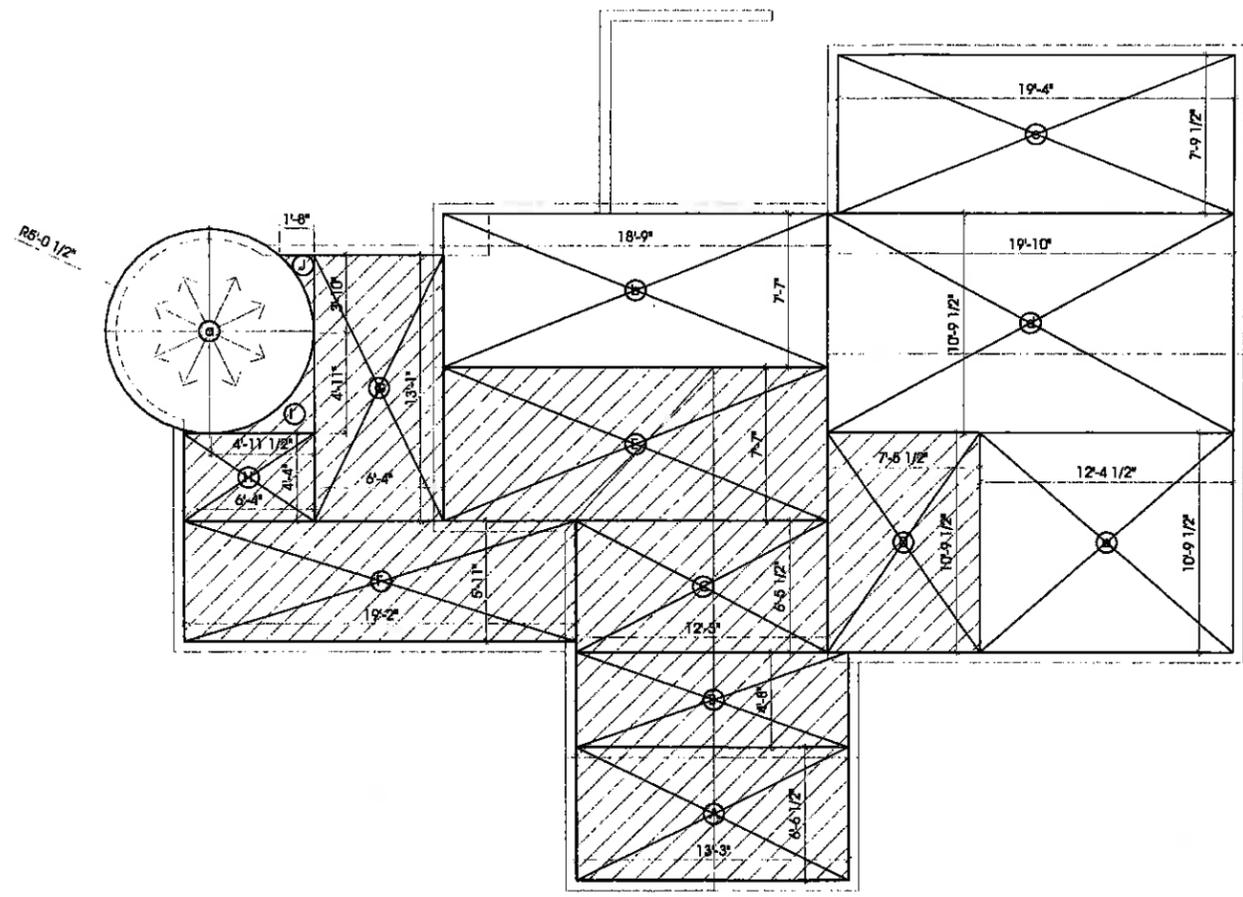
DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-6.3
OF SHEETS

HEGHINE GASPARYAN
ADDITION TO EXISTING 2 STORY SFD
1900 MONTECITO DR. GLENDALE, CA 91208

LEGEND:

-  EXISTING ROOF TO BE DEMO
-  EXISTING ROOF TO BE DEMO
-  EXISTING ROOF TO REMAIN



ROOF DEMO CALC:

TOTAL: 719.8 + 681.64 = 1401.44

ROOF AREA TO REMAIN:	ROOF AREA TO DEMO:
a. 79.78	A. 86.68
b. 141.8	B. 62.11
c. 150.64	C. 79.11
d. 214.03	D. 80.49
e. 133.55	E. 141.8
	F. 113.4
	G. 83.08
	H. 27.24
	I. 5.7
	J. 2.03
TOTAL: 719.8	TOTAL: 681.64

DEMO CALC TOTALS:

ELEVATION	TOTAL	DEMO
ELEVATION A	741.74	382.37
ELEVATION B	776.62	294.14
ELEVATION C	913.47	351.32
ELEVATION D	843.5	84.12
ROOF	1401.44	681.64
TOTAL	4676.67	1793.59

1793.59 / 4676.67 = 38.4%

1 ROOF DEMO
Scale: 1/4"=1'-0"

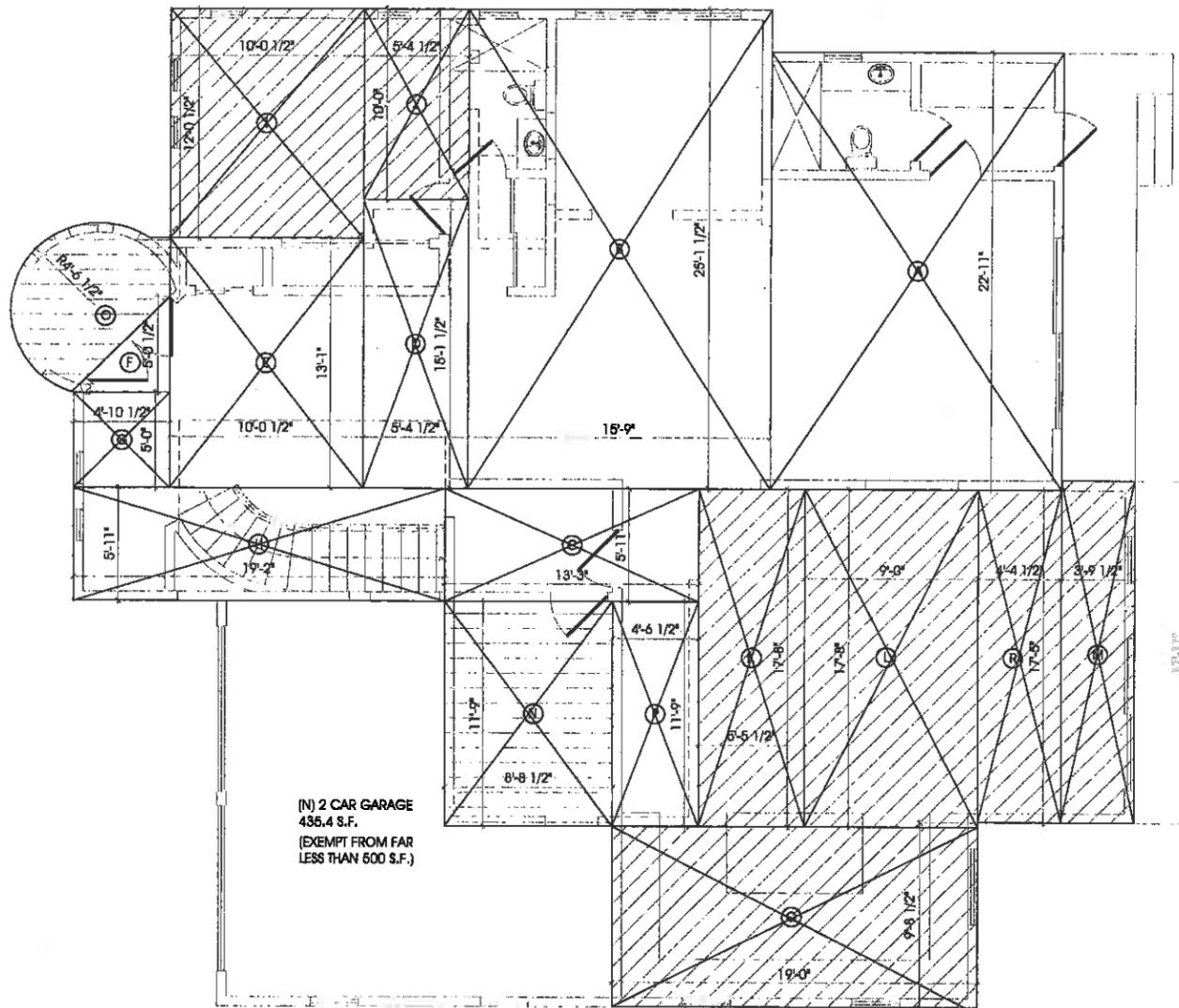
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REVISIONS		
NO.	ISSUE	BY
ADR1	10.24.19	AM

DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:
A-6.4
OF SHEETS



(N) 2 CAR GARAGE
435.4 S.F.
(EXEMPT FROM FAR
LESS THAN 500 S.F.)

1 1ST FLOOR FAR DIAGRAM
Scale: 1/4"=1'-0"

1ST FLOOR:

- EX. HOUSE TO REMAIN
A. 347.6694
B. 395.7185
C. 78.3958
D. 81.5629
E. 131.4308
F. 12.6651
G. 24.4142
H. 113.4028
P. 53.2228

1238.3726 SQ. FT.

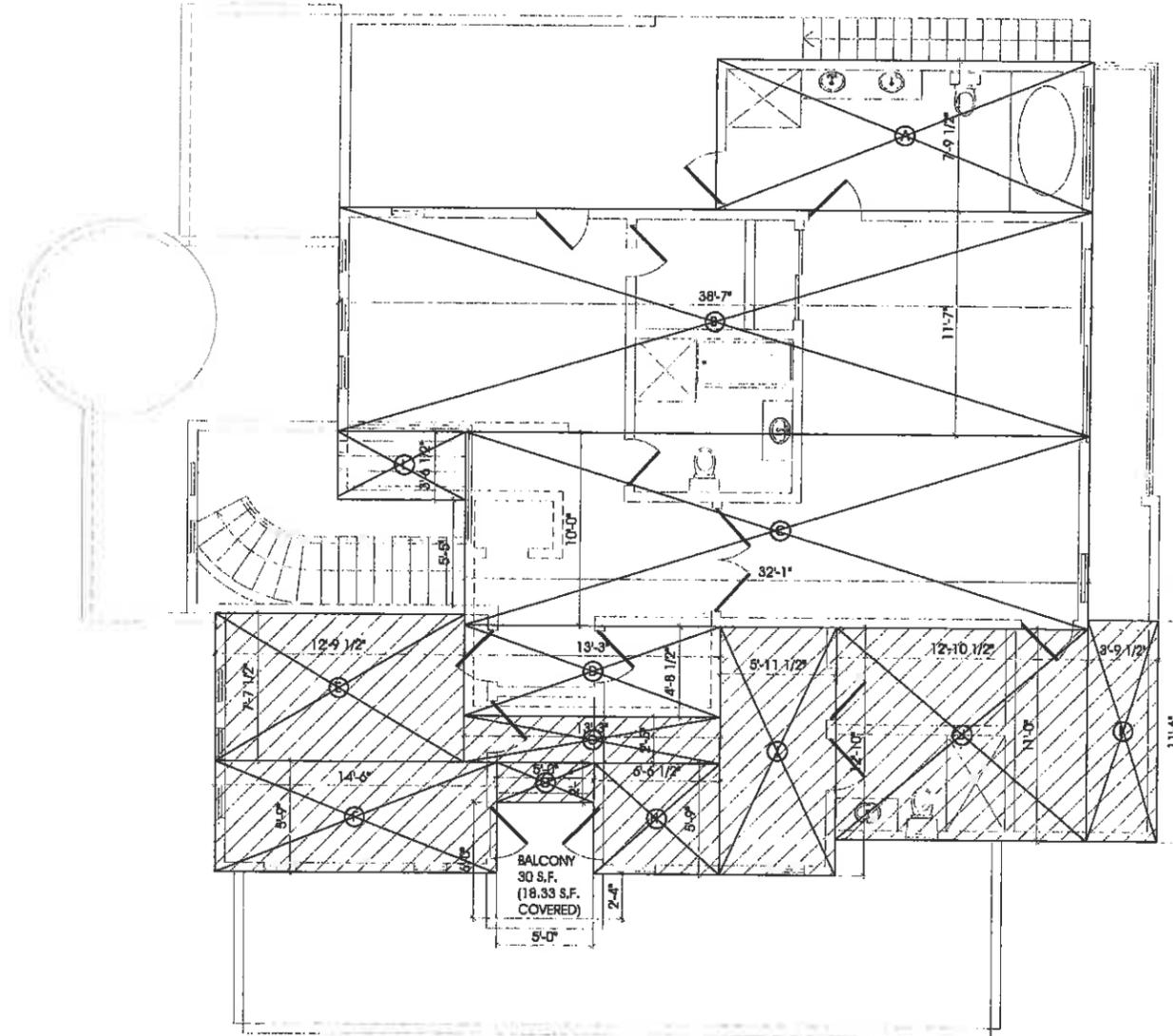
- ADDITION
I. 120.9665
J. 53.9259
K. 96.5443
L. 159.5428
M. 68.0130
Q. 179.8545
R. 75.9388

754.7858 SQ. FT.

- TO BE DEMO/NOT COUNTED IN FAR
N. 102.7408 (BECOMES PART OF GARAGE)
O. 50.3285 (BECOMES ENTRY PORCH)

153.0693 SQ. FT.

1238.3726 + 754.7858 = 1993.1584 SQ. FT.



BALCONY
30 S.F.
(18.33 S.F.
COVERED)

2 2ND FLOOR FAR DIAGRAM
Scale: 1/4"=1'-0"

2ND FLOOR:

- EX. HOUSE TO REMAIN
A. 150.6389
B. 446.9236
C. 320.8333
D. 62.1094
980.5052 SQ. FT.

- ADDITION
E. 97.3833
F. 83.2695
G. 10.4167
H. 37.6146
I. 76.4653
J. 141.3568
K. 43.5262
O. 31.7448
521.7662 SQ. FT.

- TO BE DEMO/NOT COUNTED IN FAR
L. 23.0208 (NOW OPEN TO ABOVE/BELOW)

23.0208 SQ. FT.

980.5052 + 521.7662 = 1502.2714 SQ. FT.

TOTALS

EX. HOUSE PER ASSESSOR: 2,395

1ST FLOOR: 1238.3726 + 153.0693 = 1,391.4419
2ND FLOOR: 980.5052 + 23.0208 = 1,003.526
1391.4419 + 1003.526 = 2,395

1ST FLOOR:
1238.3726 + 754.7858 = 1,993.1584
2ND FLOOR:
980.5052 + 521.7662 = 1,502.2714

TOTAL HOUSE:
1993.2 + 1502.3 = 3,495.5 S.F.

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REVISIONS

NO.	ISSUE	BY
ADR1	10.24.19	AM

DRAWN BY: A.A.
CHECKED BY: ARAM M.
DESIGN BY: ARAM M.
SCALE:
DATE:
JOB NO.:

SHEET NUMBER:

A-6.5

OF SHEETS



RENDERED PERSPECTIVE

PROJECT: 1900 MONTECITO DR. GLENDALE, CA 91208

ARCH DESIGN
& CONSTRUCTION



RENDERED PERSPECTIVE

PROJECT: 1900 MONTECITO DR. GLENDALE, CA 91208





RENDERED PERSPECTIVE

PROJECT: 1900 MONTECITO DR. GLENDALE, CA 91208

ARCH DESIGN
& CONSTRUCTION