



CITY OF GLENDALE, CALIFORNIA

Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

January 13, 2020

Applicant:

Haik Patian
80 W. Sierra Madre Blvd. #4
Sierra Madre, CA 91024

**RE: ADMINISTRATIVE DESIGN REVIEW CASE NO. PDR 1901564
3036 EMERALD ISLE DRIVE**

Dear Mr. Patian:

The Director of Community Development will render a final decision on or after **January 23, 2020**, for the following project:

PROJECT DESCRIPTION: The applicant is proposing to add 590 square feet to the first floor, and 645 square feet to the second floor of an existing two-story, 2,410 square-foot house (originally constructed in 1979), located on a 10,897 square-foot lot in the R1R (FAR District III) Zone.

ENVIRONMENTAL DETERMINATION: The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption, pursuant to Section 15301(e)(1) of the State CEQA Guidelines, because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

For more information or to submit comments, please contact the case planner, Vista Ezzati, at 818-937-8180 or vezzati@glendaleca.gov.

Comments must be received prior to **January 23, 2020**, in order to be considered by the Director.

DECISION: A decision letter will be posted on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>.

You may also request notification of the decision when the decision is rendered. Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available in Permit Services, 633 E. Broadway, Room 101, Glendale, CA 91206

Sincerely,


Vista Ezzati
Planner

**City of Glendale
Community Development Department
Design Review Staff Report – Single Family Hillside**

Meeting/Decision Date: January 23, 2020	Address: 3036 Emerald Isle Drive
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5658-034-018
Case Number: PDR 1901564	Applicant: Haik Patian
Prepared By: Vista Ezzati, Planner	Owner: Daniel and Mary Vartivarian Trust

Project Summary

The applicant is proposing to add 590 square feet to the first floor, and 645 square feet to the second floor of an existing two-story, 2,410 square-foot house (originally constructed in 1979), located on a 10,897 square-foot lot in the R1R (FAR District III) Zone.

The proposed work includes:

- A 113 square-foot, one-story addition facing Emerald Isle Drive with a new 45 square-foot covered entry.
- A 477 square-foot first-floor addition at the rear (south side) of the existing two-story house.
- The second-floor addition totals 645 square-feet and also features a new 76 square-foot balcony at the rear.

Existing Property/Background

Originally developed in 1979, the project site is a 10,897 square-foot interior lot, located mid-block with frontage on Emerald Isle Drive. The lot is irregularly shaped and slopes up from the street with an approximate hillside slope of 14%. The house and associated structures are developed on a relatively flat pad, with a downhill slope at the rear, and an uphill slope on the side. The site is currently developed with a two-story, 2,410 square-foot house with an attached three-car garage located at the front. There is an existing swimming pool located at the rear of the property that will remain.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R1R FAR District: III

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square-feet of floor area.
 The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines because .
 Other:

Site Slope and Grading

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

Comparison of Neighborhood Survey:

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	12,817 sq. ft.	8,232 sq. ft. - 21,617 sq. ft.	10,897 sq. ft.
Setback	20'-0"	20'-0"	20'-0"
House size	2,781 sq. ft.	2,410 sq. ft. - 3,417 sq. ft.	3,645 sq. ft.
Floor Area Ratio	0.24	0.14 - 0.35	0.33
Number of stories	All homes surveyed are 2-stories	All homes surveyed are 2-stories	2-stories (existing)

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

- yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Alteration of landform minimized

Yards and Usable Open Space

- yes n/a no

If "no" select from below and explain:

- Avoid altering landform to create flat yards
- Outdoor areas integrated into open space
- Use of retaining walls minimized
- Provide landscaping to reduce visual impact of retaining walls
- Decorative material used for retaining walls to blend into landscape and/or complement the building design

Along the south side of the property, a new walkway with a 3'-6" tall, concrete block retaining wall is proposed for circulation around the site. Based on the Hillside Design Guidelines, staff is recommending a condition of approval that the new retaining wall material be decorative to blend into the landscape, or be finished in a material that matches the building design.

Garage Location and Driveway

- yes n/a no

If "no" select from below and explain:

- Consistent with predominant pattern on street
- Compatible with primary structure

- Permeable paving material
- Decorative paving

Other: The Hillside Design Guidelines encourage minimizing the amount of paved areas for garages and driveways. Staff is recommending a condition of approval that the amount of hardscape in the front yard be reduced and that new drought tolerant landscaping be introduced adjacent to the driveway along the south side of the property.

Landscape/Hardscape Design

- yes n/a no

If “no” select from below and explain:

- Complementary to building design and surrounding site
- Maintain existing trees when possible
- Appropriately sized and located
- Maximize permeable surfaces

- Stormwater runoff minimized

As noted above, staff is recommending a condition of approval that the excessive hardscape in the front yard be reduced in accordance with the Hillside Design Guidelines and that new drought tolerant landscaping be planted in that area.

Walls and Fences

- yes n/a no

If “no” select from below and explain:

- Front yard maintains sense of openness
- Appropriate style/color/material
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The existing single-family house is centrally sited on the lot on an existing flat pad. The addition does not propose any significant alterations to the existing site plan and modifies the original building footprint in an appropriate manner.
- The neighborhood has a prevailing street-front setback of 20'-0”, which will be maintained as part of the proposal.
- At the first floor, the proposal features a 113 square-foot addition at the front with a new covered entry. The addition does infill a portion of the landscaping in the front yard area.
- The proposal also includes a 1,122 square-foot, two-story addition at the rear of the house on an existing concrete pad area.
- While some landscaping at the rear will be removed for the addition, there are no significant alterations being proposed to the existing landscape on-site. The project will maintain the minimum 40% landscape requirement per the Zoning Code. As noted above, a staff condition of approval will also require new drought tolerant landscaping in the front yard area adjacent to the driveway.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

- yes n/a no

If “no” select from below and explain:

- Appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing landform minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the mass, height, proportions and architectural concept of the one-story addition at the front and two-story addition at the rear is consistent with the existing style and building massing.
- The existing single-family house is a two-story residence with an overall height of 24'-4" which will be maintained.
- The project's massing is broken up using a number of architectural devices, including cantilevered building forms setback from the street and at the rear, hipped roof forms at the first floor addition in the front, and a new balcony at the rear.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

Entryway

yes n/a no

If “no” select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If “no” select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

The provided elevation drawings and window schedules show that the new windows will be consistent in style and detailing as the existing windows. However, no window section details have been included. Staff is recommending a condition of approval that horizontal and vertical window sections be provided, and that the new windows match the existing window details.

Privacy

yes n/a no

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors used in hillside areas

Paving Materials

yes n/a no

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Equipment, Trash, and Drainage

yes n/a no

If “no” select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

The drawings do not identify the location of the trash storage area. A staff recommended condition of approval shall require that the drawings be revised to identify the location, and that it shall be out of public view.

Ancillary Structures

yes n/a no

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- Overall, the addition's design and detailing are appropriate and consistent with the existing style of the residence.
- The new covered entry has been appropriately integrated into the overall design with the doors recessed. The entry features a double-door design that is consistent with the existing conditions as well as the surrounding neighborhood.
- The new windows will be white in color, vinyl, nail-in and a combination of hung, fixed and sliding windows. As drawn, the new windows will match the existing windows in appearance. A recommended condition of approval will require the applicant to provide window section details for staff review and approval.
- The proposed materials include a flat concrete tile roof, and a new stone veneer. The consistent use of materials and colors throughout the project is compatible with the style of the house. Staff is recommending a condition of approval that the new retaining wall material be decorative to blend into the landscape, or be finished in a material that matches the building design.

Recommendation / Draft Record of Decision

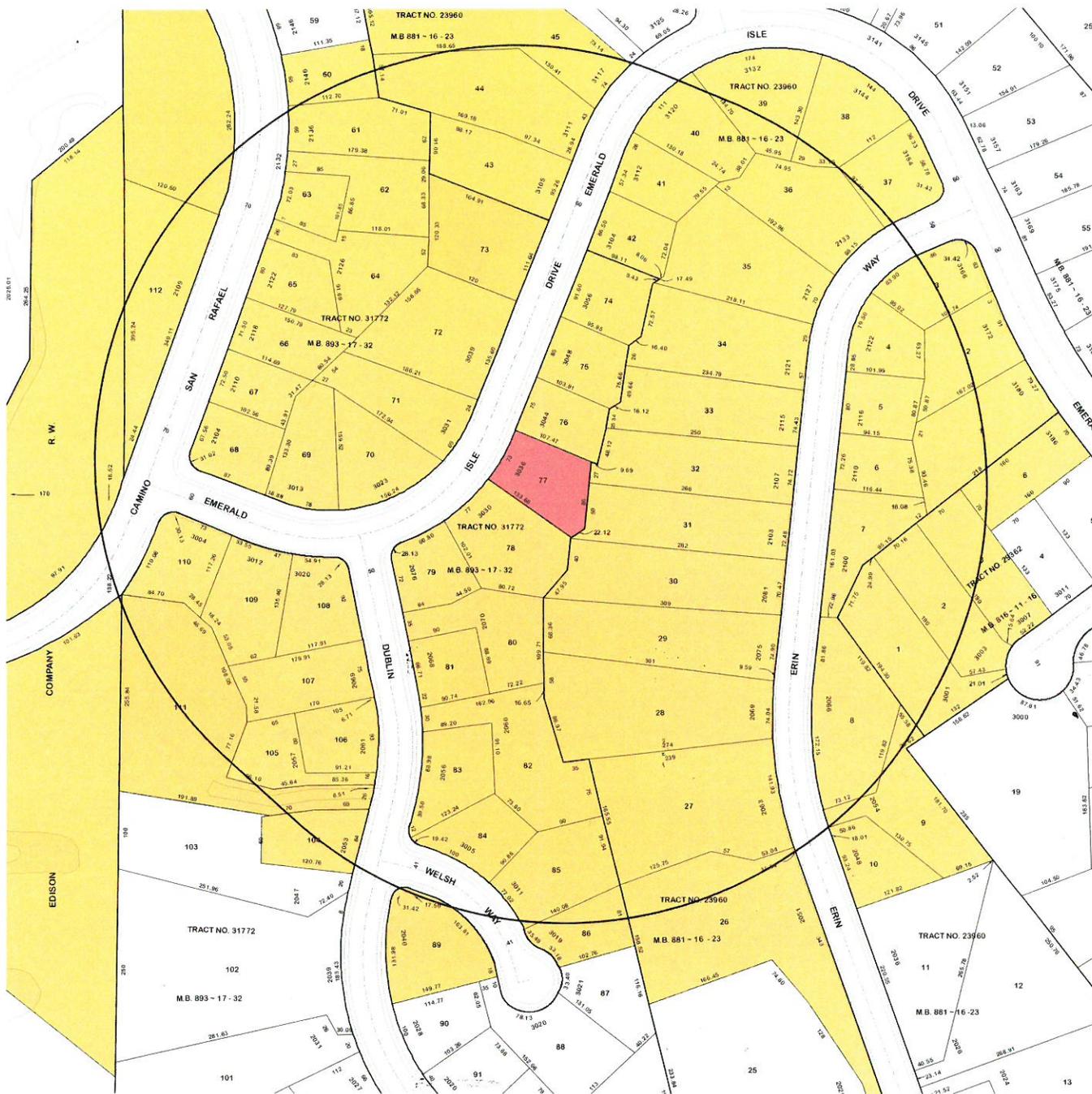
Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

Conditions

1. The new retaining wall material shall be decorative to blend into the landscape, or be finished in a material that matches the building design
2. The amount of hardscape in the front yard shall be reduced and replaced with new drought tolerant landscaping adjacent to the driveway along the south side of the property.
3. The details of the new windows details shall match the existing, and the applicant shall provide horizontal and vertical window section details for staff review and approval.
4. That the location of the trash storage area shall be identified on the drawings and out of public view.

Attachments

1. Location Map
2. Neighborhood Survey
3. Photos of Existing Property
4. Reduced Plans



LOCATION MAP

500' RADIUS

1 INCH = 200 FEET

SUBJECT PROPERTY - 3036 EMERALD ISLE, GLENDALE, CA

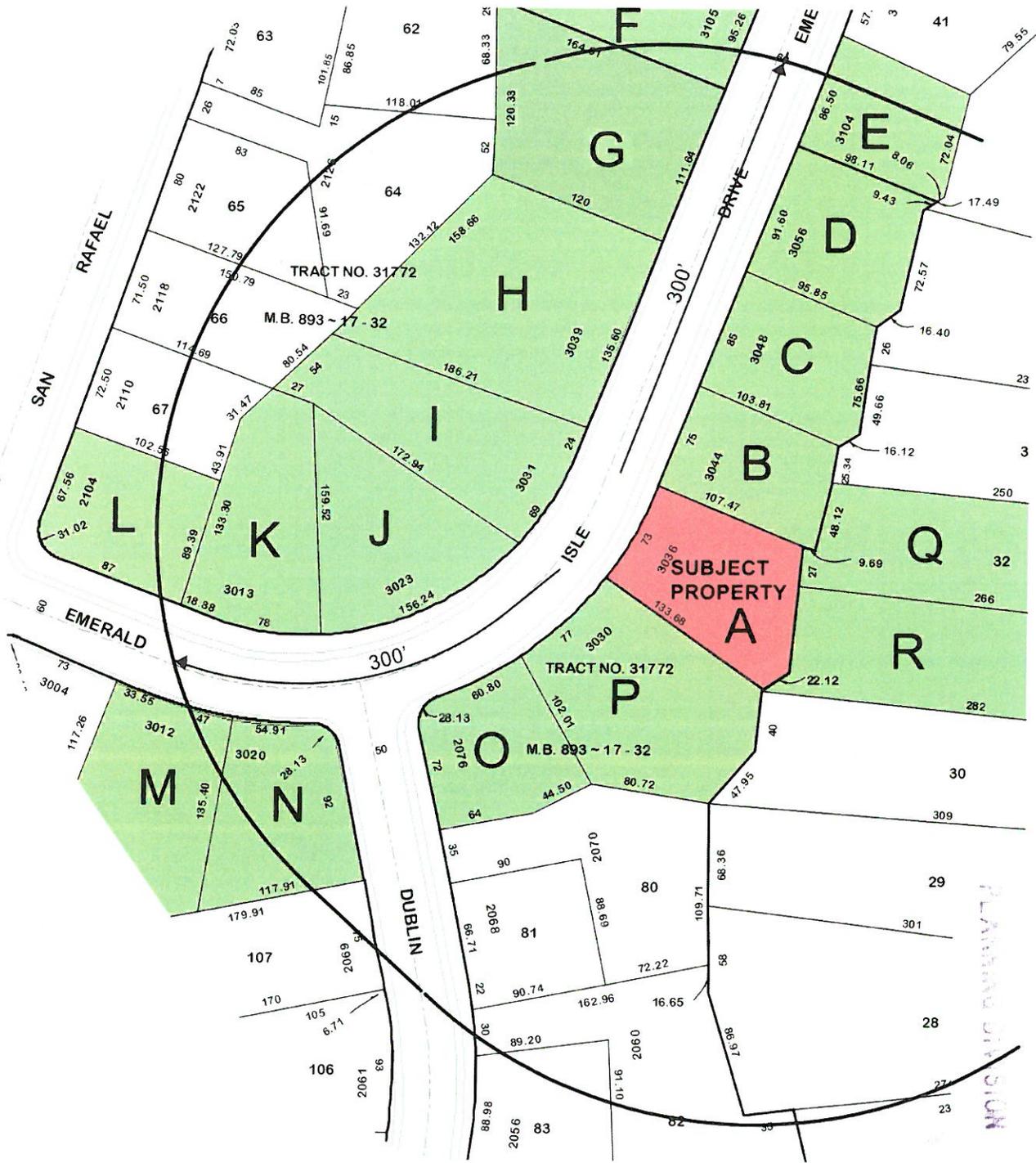


PHOTO SURVEY MAP 300' LINEAR 1 INCH = 100 FEET

SUBJECT PROPERTY - 3036 EMERALD ISLE, GLENDALE, CA



PHOTO SURVEY

A. 3036 EMERALD ISLE, GLENDALE CA



PHOTO SURVEY

B. 3044 EMERALD ISLE, GLENDALE CA



PHOTO SURVEY

C. 3048 EMERALD ISLE, GLENDALE CA

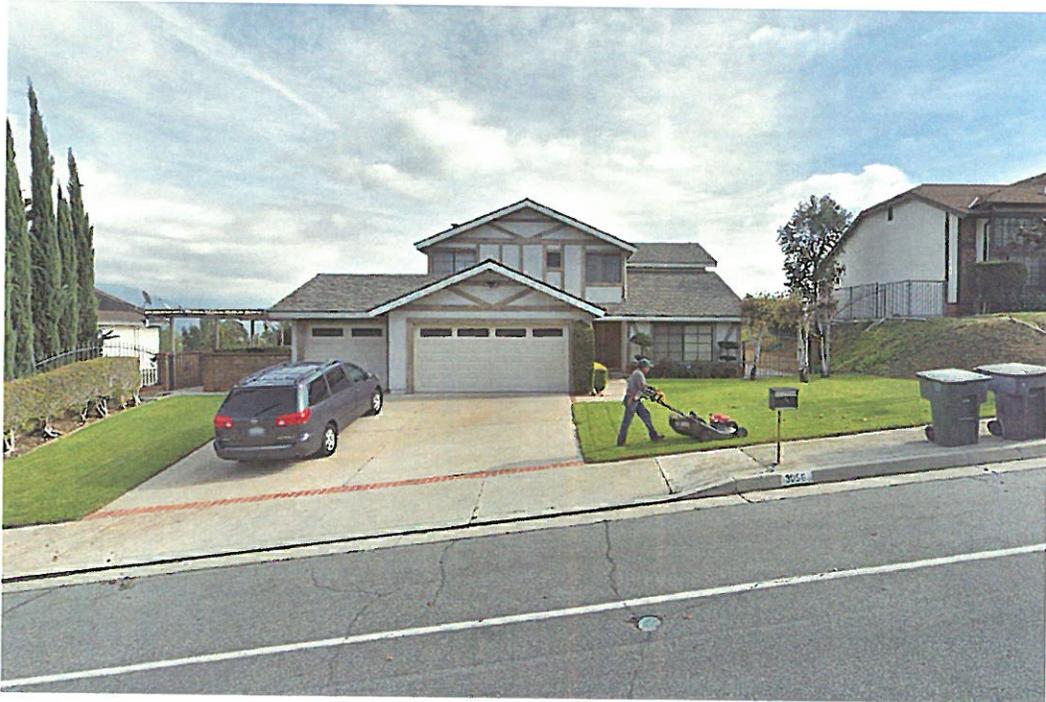


PHOTO SURVEY

D. 3056 EMERALD ISLE, GLENDALE CA



PHOTO SURVEY

E. 3104 EMERALD ISLE, GLENDALE CA



PHOTO SURVEY

F. 3105 EMERALD ISLE DR, GLENDALE



PHOTO SURVEY

G. PROPERTY OF CITY OF GLENDALE



PHOTO SURVEY

H. 3039 EMERALD ISLE DR, GLENDALE



PHOTO SURVEY

I. 3031 EMERALD ISLE DR, GLENDALE



PHOTO SURVEY

J. 3023 EMERALD ISLE DR, GLENDALE

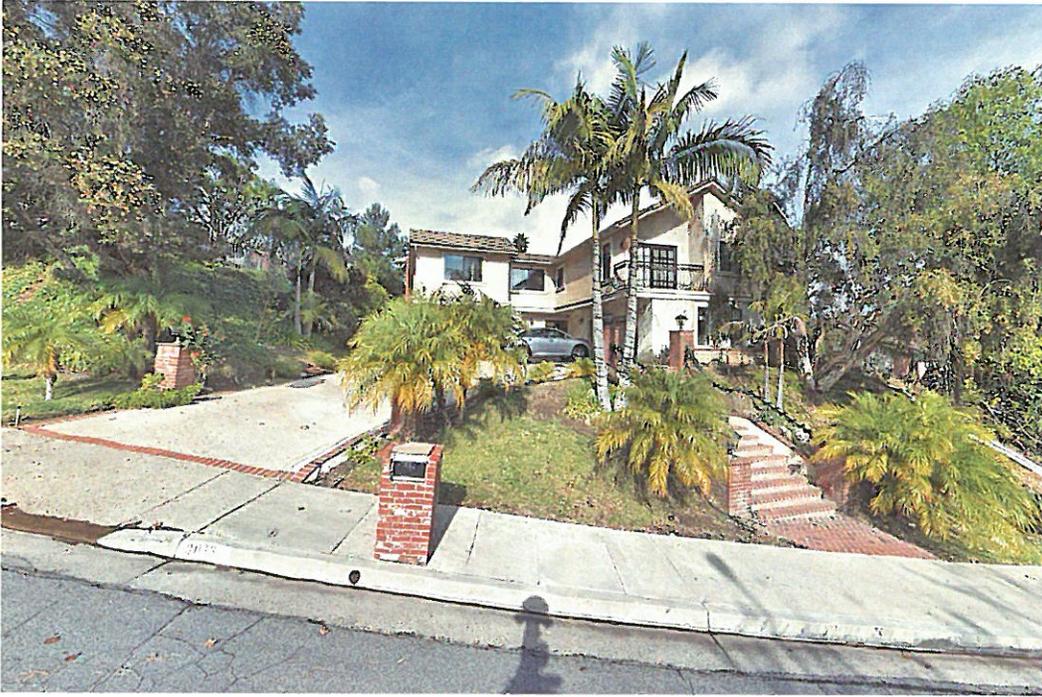


PHOTO SURVEY

K. 3013 EMERALD ISLE DR, GLENDALE



PHOTO SURVEY

L. 2104 CAMINO SAN RAFAEL, GLENDALE



PHOTO SURVEY

M. 3012 EMERALD ISLE DR, GLENDALE



PHOTO SURVEY

N. 3020 EMERALD ISLE DR, GLENDALE



PHOTO SURVEY

O. 2076 DUBLIN DR, GLENDALE



PHOTO SURVEY

P. 3030 EMERALD ISLE DR, GLENDALE

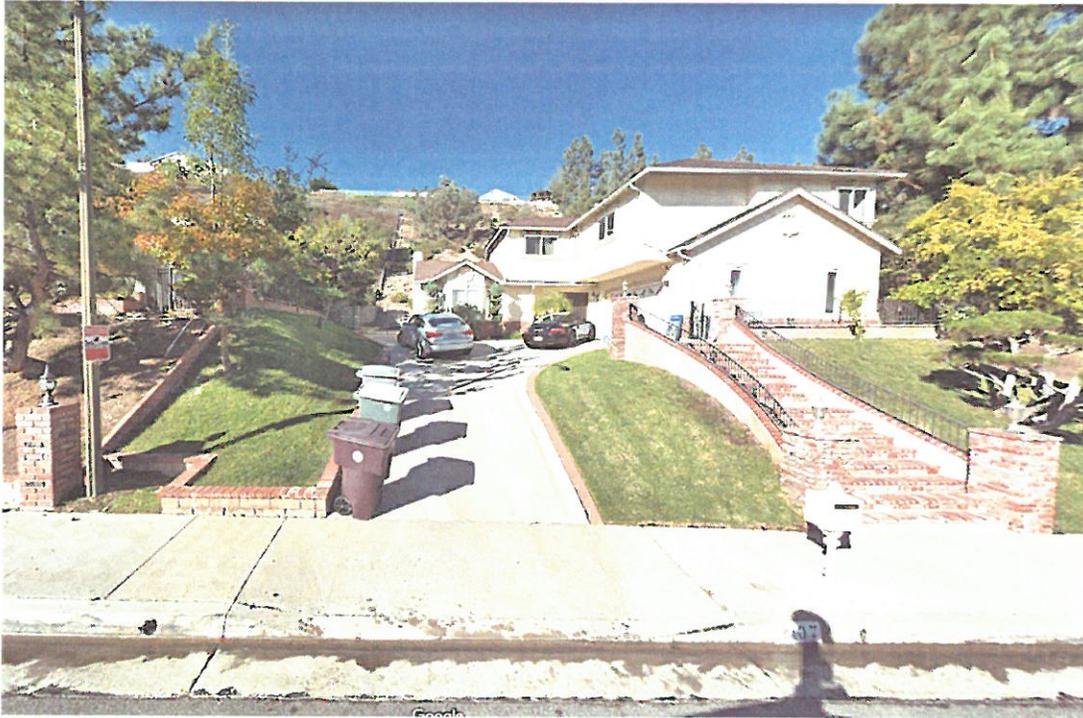


PHOTO SURVEY

Q. 2107 ERIN WAY, GLENDALE



PHOTO SURVEY

R. 2103 ERIN WAY, GLENDALE







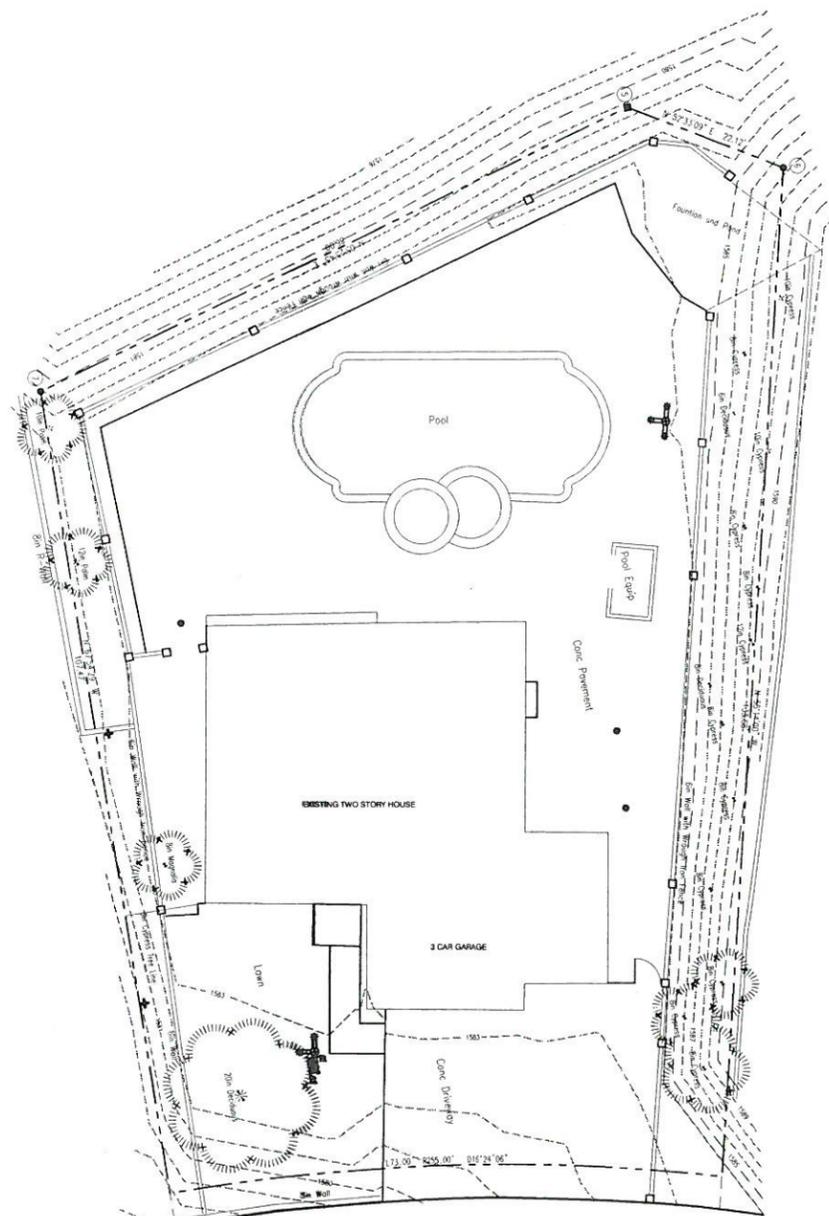








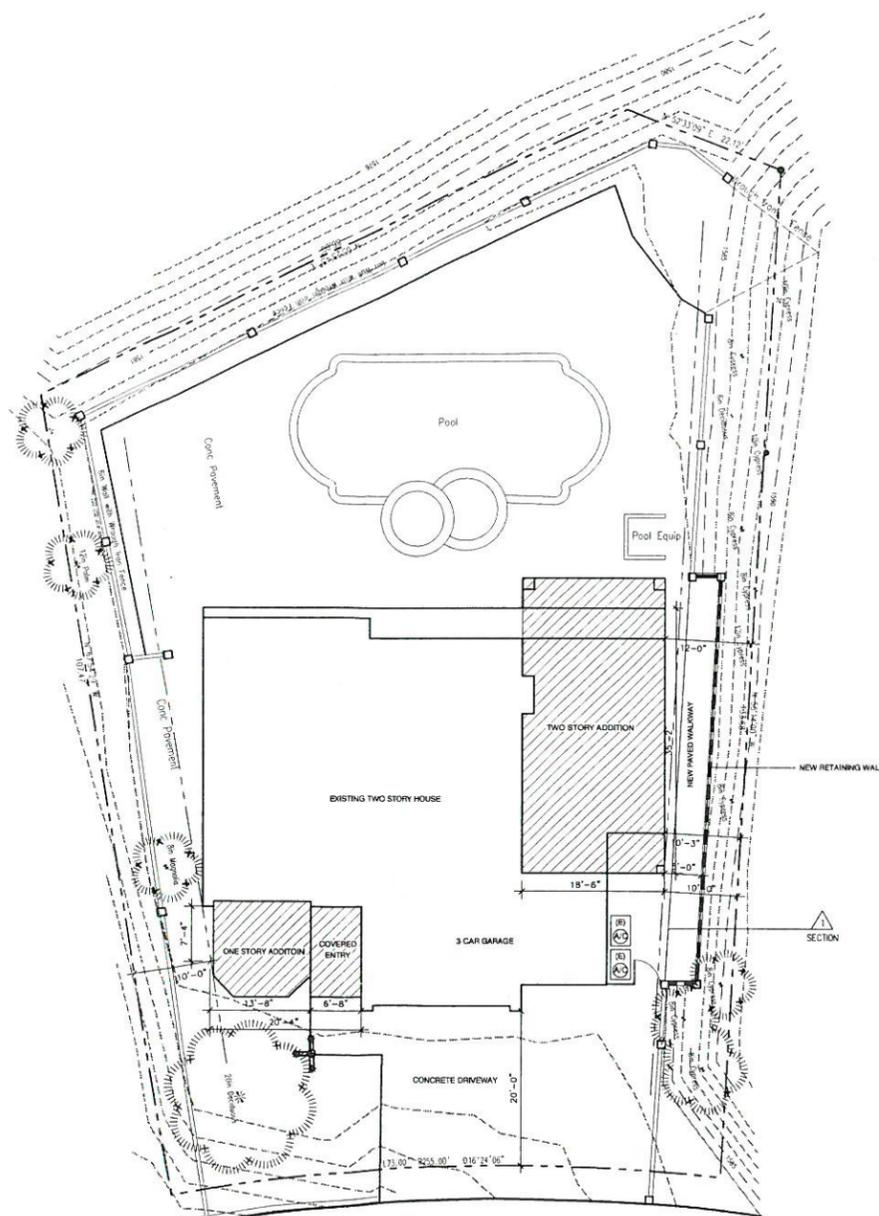




NOTE: THERE ARE NO OAK, BAY, OR SYCAMORE TREES ON OR WITHIN 20 FEET OF SITE.

EXISTING SITE PLAN

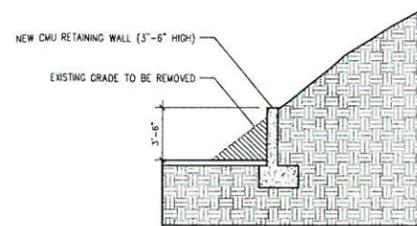
SCALE: 1/8"=1'-0"



NOTE: THERE ARE NO OAK, BAY, OR SYCAMORE TREES ON OR WITHIN 20 FEET OF SITE.

PROPOSED SITE PLAN

SCALE: 3/32"=1'-0"



SECTION 1 - NEW RETAINING WALL

SCALE: 3/16"=1'-0"

LEGAL DESCRIPTION

TR=31772 Lot 77
Assessor's ID No. 5658034018

PROJECT DIRECTORY

PROJECT OWNER: DAN VARTIVARIAN
PROJECT ADDRESS: 3036 EMERALD ISLE DR
GLENDALE, CA. 91206
TEL: (818) 749-5075

ARCHITECT: HAIK PATIAN
PATIAN ARCHITECTS, INC.
80 W SIERRA MADRE BLVD #4
SIERRA MADRE, CA 91024
TEL: (818) 482-0455

PROJECT SUMMARY

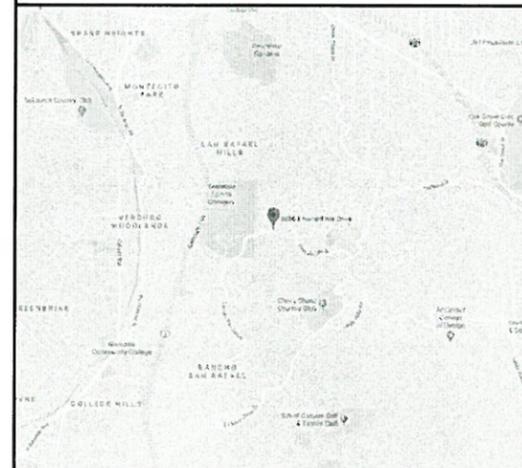
PROJECT DESCRIPTION : 1235 S.F. TWO STORY ADDITION TO EXISTING
2410 S.F. TWO STORY HOUSE,
W/ ATTACHED 645 S.F. (E) THREE CAR GARAGE,
& A NEW 45 S.F. COVERED ENTRY
& A NEW 76 S.F. BALCONY AT REAR

ZONING: R1R, FAR DIST. III
OCCUPANCY: R-3
TYPE OF CONSTRUCTION: TYPE V-B

FLOOR AREA TABULATION

LOT SIZE: (PER ACCESSOR PARCEL MAP & SURVEY)	10897 S.F.
PROPOSED LOT COVERAGE: 3026 S.F./10897 S.F.	27.7%
FLOOR AREA CALCULATIONS:	
FLOOR AREAS	
EXISTING FIRST FLOOR AREA:	1315 S.F.
PROPOSED (NEW) FIRST FLOOR AREA:	590 S.F.
EXISTING SECOND FLOOR AREA:	1095 S.F.
PROPOSED (NEW) SECOND FLOOR AREA:	645 S.F.
3 CAR GARAGE (ATTACHED) AREA (NEW):	645 S.F.
COVERED ENTRY (NEW) (FRONT):	45 S.F.
OPEN BALCONY (NEW) (REAR):	76 S.F.
TOTAL PROPOSED RESIDENTIAL FLOOR AREA: (DOES NOT INCLUDE GARAGE, COVERED ENTRY, AND PATIO)	3645 S.F.
F.A.R.	3645 S.F. / 10897 SF = 33.4%

VICINITY MAP



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PATIAN ARCHITECTS, INC.

80 W. Sierra Madre Blvd Unit 4
Sierra Madre, California, 91024

Haik Patian, Architect, License # C33549

Owner:
DANIEL VARTIVARIAN

Address:
3036 EMERALD ISLE DR
GLENDALE, CA 91206
Phone:
(818) 749-5075

Project Name:
VARTIVARIAN RESIDENCE
TWO STORY REMODEL & ADDITION

Project Address:
3036 EMERALD ISLE DR
GLENDALE, CA 91206

Contents:

- PROJECT DATA
- EXISTING TOPD & SITE PLAN
- PROPOSED SITE PLAN
- Scale:



- APPROVED
- APPROVED
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- DRAWN BY HP
- PRINT DATE 09-01-2018
- JOB NO
- SHEET NO

A-1

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80 W. Sierra Madre Blvd Unit 4
Sierra Madre, California, 91024

Haik Patian, Architect, License # C33549

Owner:
DANIEL VARTIVARIAN

Address:
3036 EMERALD ISLE DR
GLENDALE, CA 91206

Phone:
(818) 749-5075

Project Name:
VARTIVARIAN
RESIDENCE

TWO STORY
REMODEL & ADDITION

Project Address:
3036 EMERALD ISLE DR
GLENDALE, CA 91206

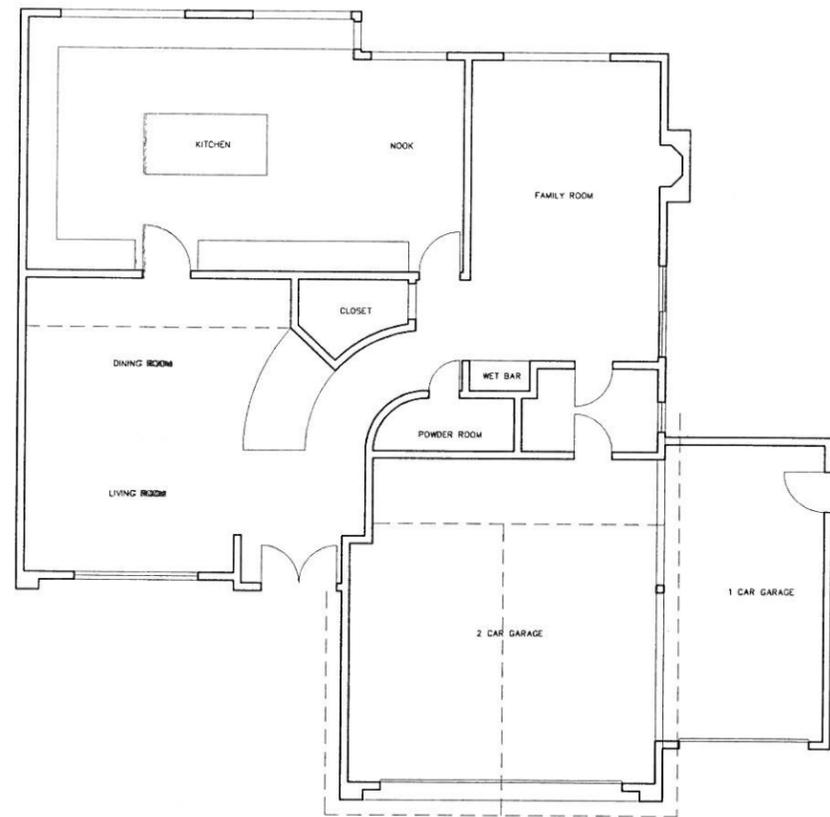
Contents:

EXISTING &
PROPOSED
1ST FLOOR PLAN

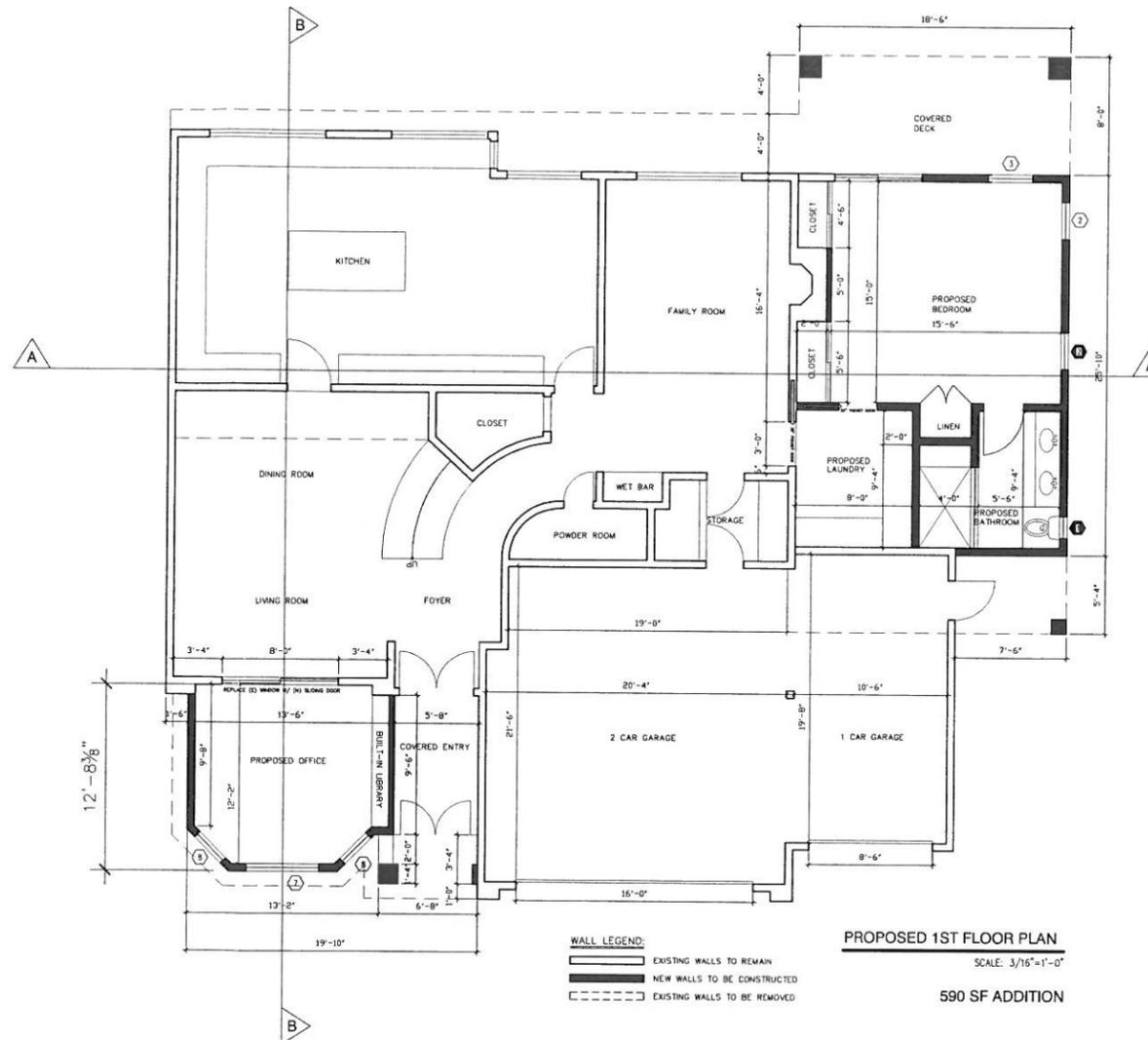
Scale:



- APPROVED
- APPROVED
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- REVISION XX-XX-XX
- DRAWN BY HP
- PRINT DATE 09-01-2018
- JOB NO
- SHEET NO



EXISTING 1ST FLOOR PLAN
1315 SF SCALE: 3/16"=1'-0"



PROPOSED 1ST FLOOR PLAN
590 SF ADDITION
SCALE: 3/16"=1'-0"

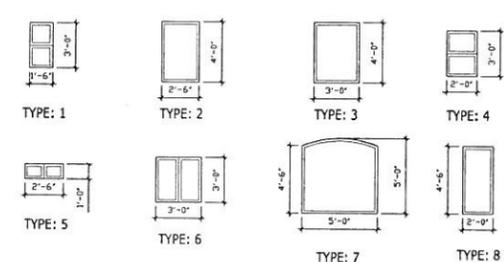
WINDOW NOTES

1. ALL EXTERIOR WINDOW SHALL BE FULLY WEATHERSTRIPPED AT HEAD, SILL AND JAMB.
2. ALL GLASS WITHIN 18" OF FLOOR LINE SHALL BE TEMPERED GLASS.
3. ALL WINDOWS SHALL BE MILGARD OR APPROVED EQUAL.
4. ALL WINDOWS SHALL BE PRE-PRIMED FOR PAINT.
5. CONTRACTOR SHALL VERIFY WALL THICKNESS PRIOR TO ORDERING WINDOWS AND PROVIDE NECESSARY JAMB EXTENSIONS AS REQUIRED.
6. ALL WINDOWS AND DOORS SHALL BE DUAL-GLAZED.
7. ALL OPERABLE WINDOWS SHALL HAVE SCREENS BY WINDOW MANUFACTURER.
8. GLASS DOOR ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF CLASS APPROVED FOR IMPACT HAZARD, 5406 (d).
9. GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR, WITHIN 18" OF FLOOR, WITHIN 60" OF TUB/SHOWER FLOOR, OR WITHIN 5' OF STAIRS AND STAIR LANDINGS SHALL BE TEMPERED.
10. WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED AND THE WINDOW U-FACTOR AND SHGC MUST BE INDICATED ON THE SCHEDULE.
11. INDIVIDUAL GLAZING PANEES LARGER THAN 9 SF SHALL BE TEMPERED.

NOTE: THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

WINDOW SCHEDULE

No.	QUANTITY	EXISTING SIZE: W X H	NEW SIZE: W X H	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM STREET	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID	KEEP EXISTING SILL/FRAME	BUILD NEW SILL/FRAME	ENERGY EFFICIENT	TEMPERED	DUAL GLAZED
1	2	1'-6" X 3'-0"	1'-6" X 3'-0"	VNYL	NO	NO	DBL HNG	NAIL IN	NO	NO	YES	YES	YES	YES	YES
2	2	2'-6" X 4'-0"	2'-6" X 4'-0"	VNYL	NO	NO	DBL HNG	NAIL IN	NO	NO	NO	NO	YES	YES	YES
3	3	3'-0" X 4'-0"	3'-0" X 4'-0"	VNYL	NO	NO	DBL HNG	NAIL IN	NO	NO	NO	NO	YES	YES	YES
4	4	2'-0" X 3'-0"	2'-0" X 3'-0"	VNYL	YES	NO	FIXED	NAIL IN	NO	NO	YES	YES	YES	YES	YES
5	5	2'-8" X 1'-0"	2'-8" X 1'-0"	VNYL	NO	NO	SLIDING	NAIL IN	NO	NO	YES	YES	YES	YES	YES
6	6	3'-0" X 3'-0"	3'-0" X 3'-0"	VNYL	NO	NO	DBL HNG	NAIL IN	NO	NO	YES	YES	YES	YES	YES
7	7	5'-0" X 5'-0"	5'-0" X 5'-0"	VNYL	YES	NO	SLIDING	NAIL IN	NO	NO	YES	YES	YES	YES	YES
8	8	2'-0" X 4'-6"	2'-0" X 4'-6"	VNYL	YES	NO	SLIDING	NAIL IN	NO	NO	YES	YES	YES	YES	YES
9															
10															
11															
12															
13															
14															



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Haik Patian, Architect, License # C33549

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(818) 749-5075
Project Name:
VARTIVARIAN RESIDENCE
TWO STORY REMODEL & ADDITION

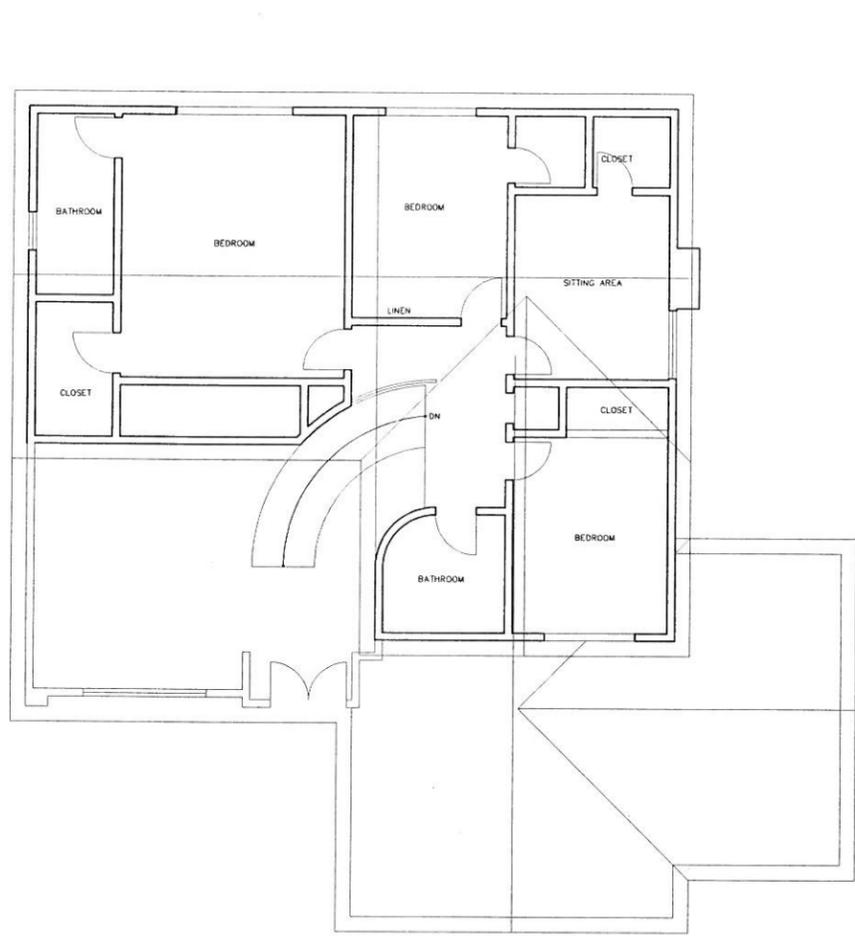
Project Address:
3036 EMERALD ISLE DR
GLENDALE, CA 91206

Contents:
◀ **EXISTING & PROPOSED 2ND FLOOR PLAN**

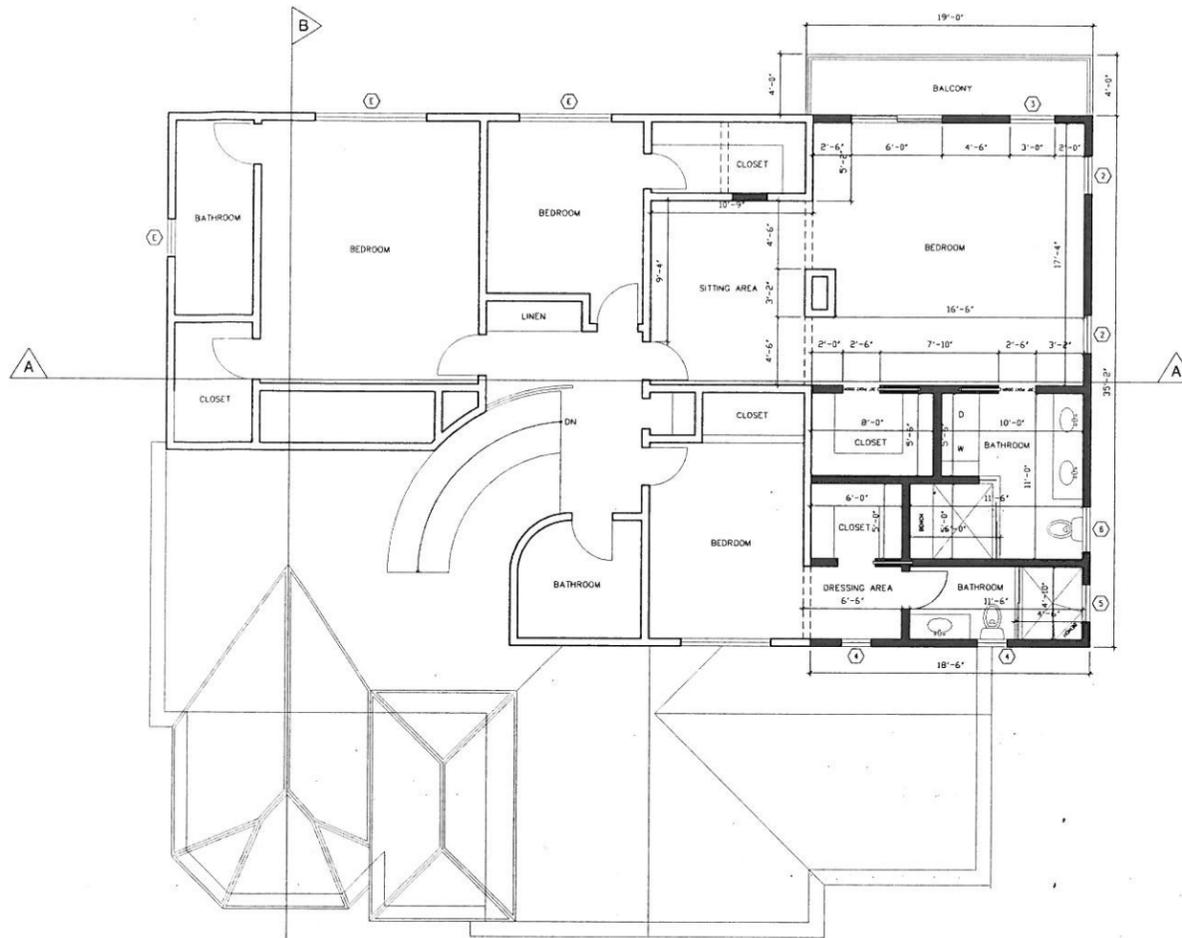
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EXISTING 2ND FLOOR PLAN
1095 SF SCALE: 3/16"=1'-0"



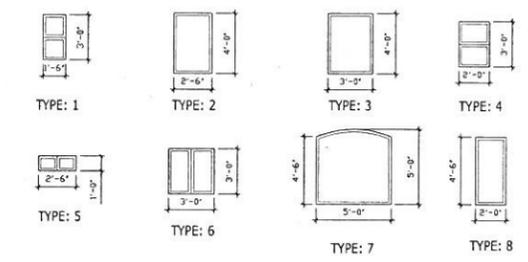
PROPOSED 2ND FLOOR PLAN
645 SF ADDITION SCALE: 3/16"=1'-0"

WINDOW NOTES

1. ALL EXTERIOR WINDOW SHALL BE FULLY WEATHERSTRIPPED AT HEAD, SILL AND JAMB.
2. ALL GLASS WITHIN 18" OF FLOOR LINE SHALL BE TEMPERED GLASS.
3. ALL WINDOWS SHALL BE BE MILGARD OR APPROVED EQUAL.
4. ALL WINDOWS SHALL BE PRE-PRIMED FOR PAINT.
5. CONTRACTOR SHALL VERIFY WALL THICKNESS PRIOR TO ORDERING WINDOWS AND PROVIDE NECESSARY JAMB EXTENSIONS AS REQUIRED.
6. ALL WINDOWS AND DOORS SHALL BE DUAL-GLAZED.
7. ALL OPERABLE WINDOWS SHALL HAVE SCREENS BY WINDOW MANUFACTURER.
8. GLASS DOOR ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD. 5408 (d).
9. GLAZING IN DOORS AND WINDOWS WITHIN 24" OF DOOR, WITHIN 18" OF FLOOR, WITHIN 60" OF TUB/SHOWER FLOOR, OR WITHIN 5' OF STAIRS AND STAIR LANDINGS SHALL BE TEMPERED.
10. WINDOWS AND GLAZED DOORS SHALL BE DUAL GLAZED AND THE WINDOW U-FACTOR AND SHGC MUST BE INDICATED ON THE SCHEDULE.
11. INDIVIDUAL GLAZING PANEES LARGER THAN 9 SF SHALL BE TEMPERED.

NOTE: THE NFOR TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

WINDOW SCHEDULE		EXISTING	NEW	EXISTING	NEW	VISIBLE FROM STREET	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXTERNAL GRID	KEEP EXISTING SILL/FRAME	BUILD NEW SILL/FRAME	ENERGY EFFICIENT	TEMPERED	DUAL GLAZED
No.	QUANTITY	EXISTING SIZE: W X H	NEW SIZE: W X H	MATERIAL	MATERIAL										
1			1'-6" X 3'-0"	VINYL		NO		DBL HNG	NAIL IN	NO		YES	YES	YES	YES
2			2'-6" X 4'-0"	VINYL		NO		DBL HNG	NAIL IN	NO		NO	YES	YES	YES
3			3'-0" X 4'-0"	VINYL		NO		DBL HNG	NAIL IN	NO		NO	YES	YES	YES
4			2'-0" X 3'-0"	VINYL		YES		FIXED	NAIL IN	NO		YES	YES	YES	YES
5			2'-6" X 1'-0"	VINYL		NO		SLIDING	NAIL IN	NO		YES	YES	YES	YES
6			3'-0" X 3'-0"	VINYL		NO		DBL HNG	NAIL IN	NO		YES	YES	YES	YES
7			5'-0" X 5'-0"	VINYL		YES		SLIDING	NAIL IN	NO		YES	YES	YES	YES
8			2'-0" X 4'-6"	VINYL		YES		SLIDING	NAIL IN	NO		YES	YES	YES	YES
9															
10															
11															
12															
13															
14															



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PATIAN
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**VARTIVARIAN
 RESIDENCE**

**TWO STORY
 REMODEL & ADDITION**

Project Address:
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Contents:

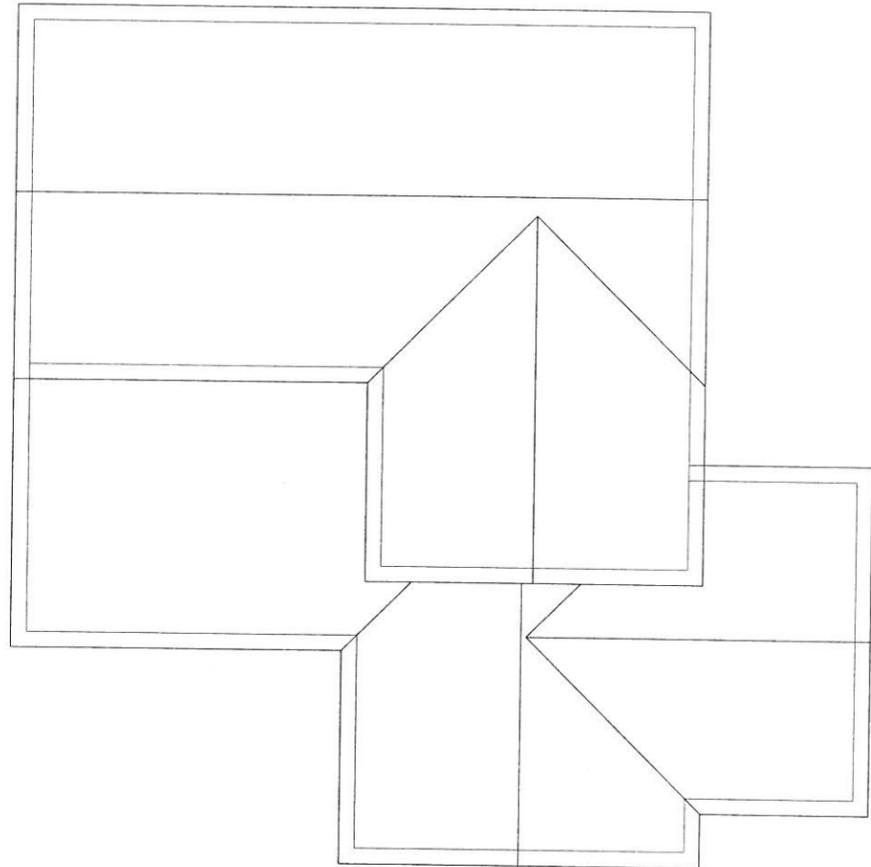
◀ **EXISTING &
 PROPOSED
 ROOF PLAN**

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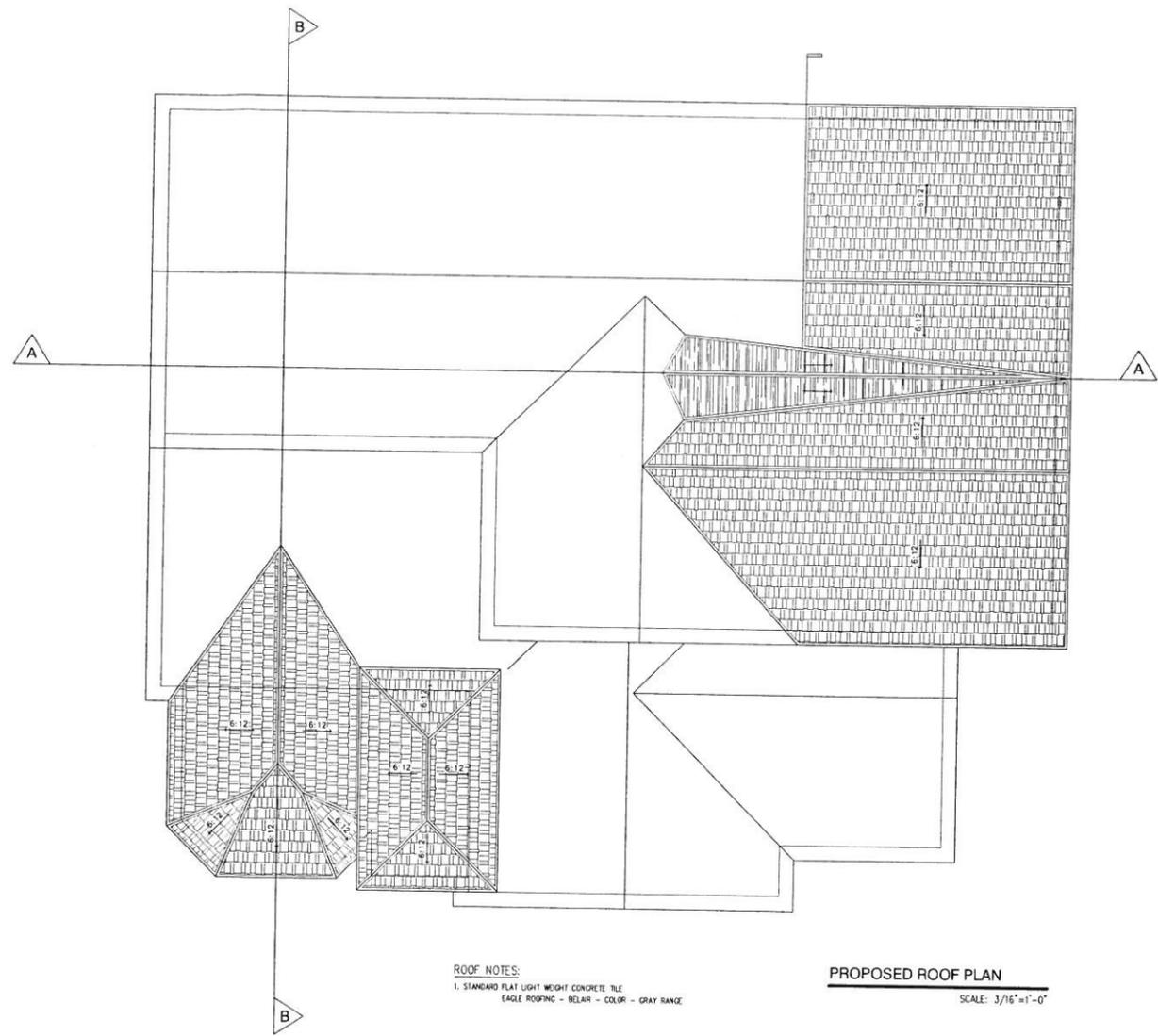


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- PRINT DATE **09-01-2018**
- JOB NO
- SHEET NO

A-4



EXISTING ROOF PLAN
 SCALE: 3/16"=1'-0"



ROOF NOTES:
 1. STANDARD FLAT LIGHT WEIGHT CONCRETE TIE
 EAGLE ROOFING - BELAIR - COLOR - GRAY RANGE

PROPOSED ROOF PLAN
 SCALE: 3/16"=1'-0"

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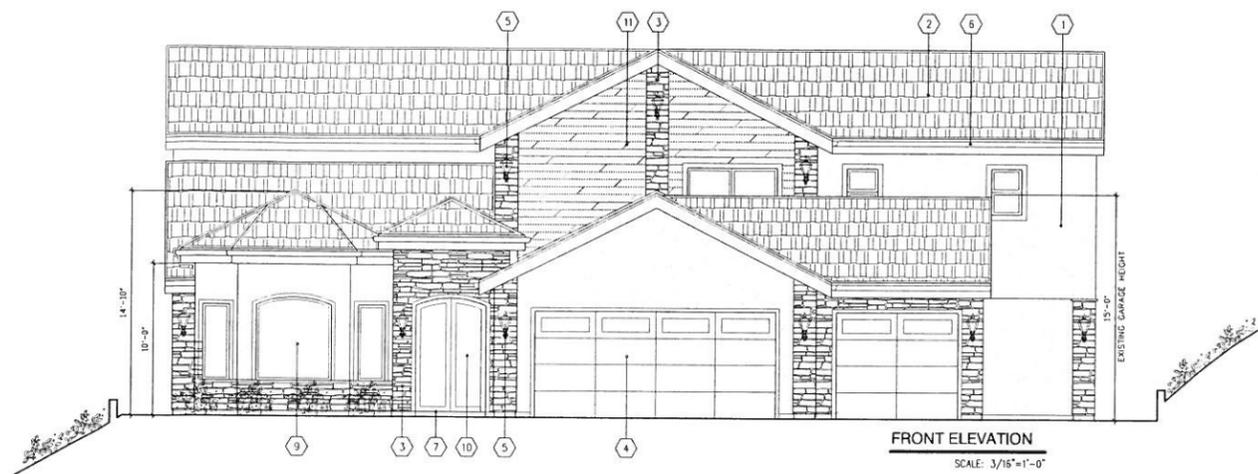
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EXTERIOR
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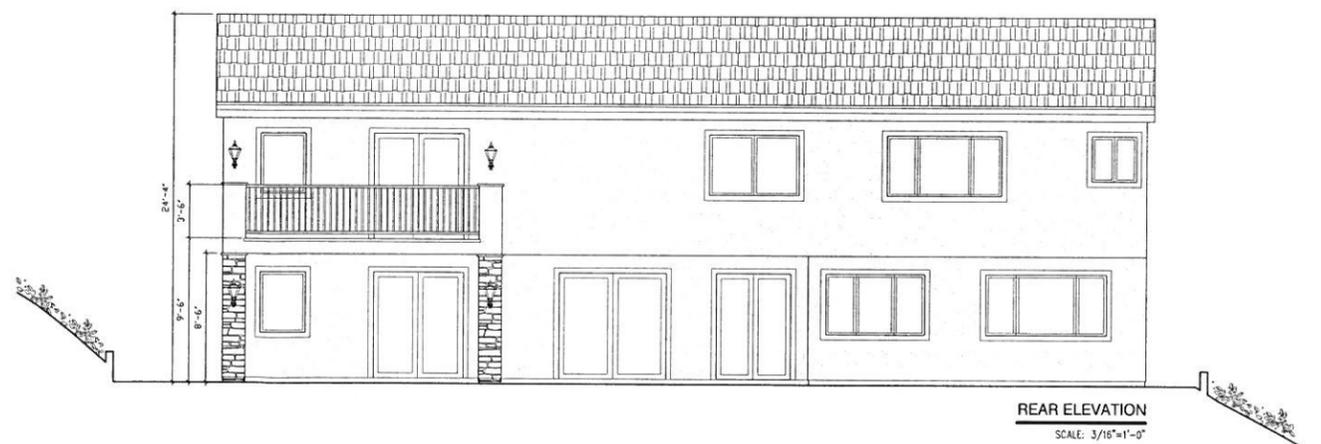
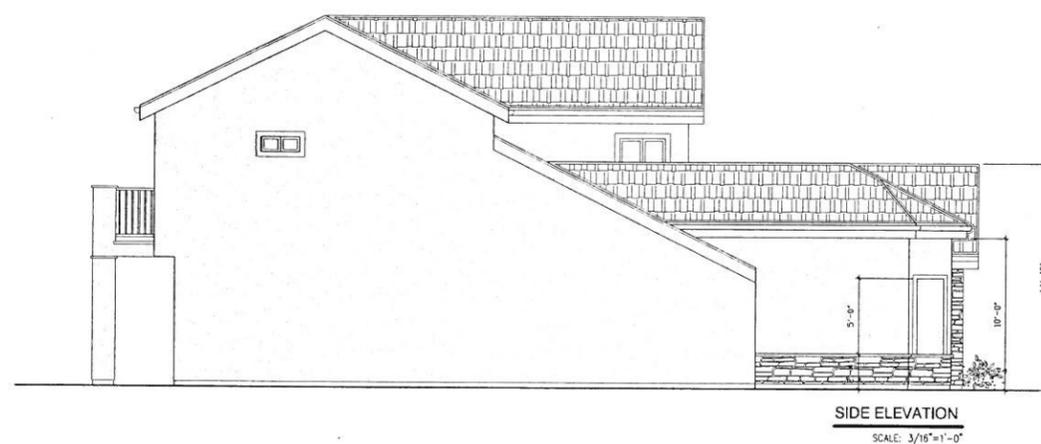
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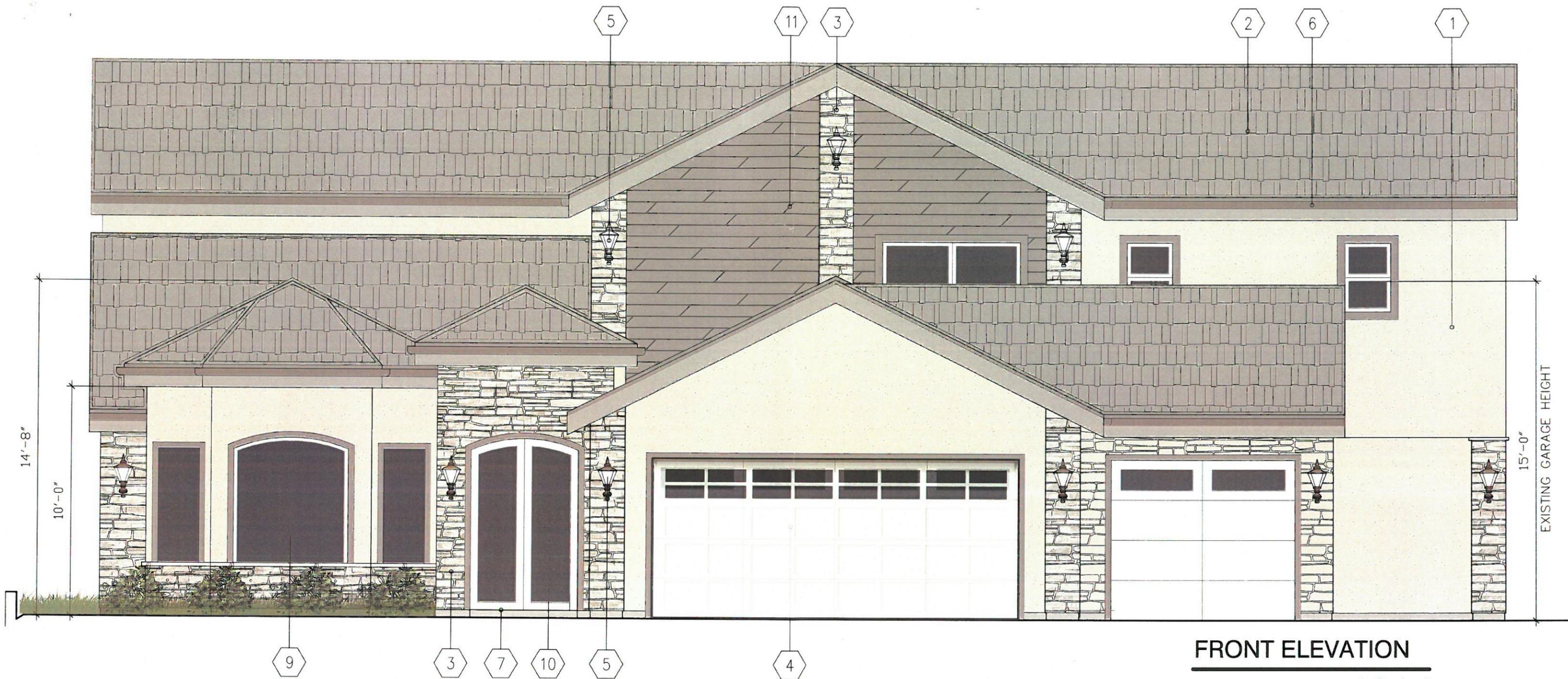
A-5



EXTERIOR FINISH MATERIALS :

1. TYPICAL EXTERIOR WALL FINISH - 7/8" EXTERIOR CEMENT PLASTER OVER PAPER BACKED METAL LATH, LANAHRA STUCCO OR EQUAL, SANTA BARBARA SMOOTH FINISH, HAND APPLIED. COLOR- MESA VERDE
2. STANDARD FLAT CONCRETE TILE - EAGLE ROOFING - BELAR - COLOR - GRAY RANGE
3. STONE VENEER - BOARDWALK - EL DORADO STONE (SEE ATTACHED PHOTO)
4. EXISTING GARAGE DOORS TO REMAIN
5. ORNAMENTAL LIGHT FIXTURE
6. 24 GA GL. OUTER
7. CONCRETE LANDING AND RISER
8. NO. 28 GALVANIZED SHEET WEEP SCREED WITH 3.5" FLANGE AT STUCCO SILING PLACED A MINIMUM OF 4" INCHES ABOVE EARTH OR 2" INCHES ABOVE PAVED AREAS.
9. WINDOWS - WILCARD - VINYL - OR EQUAL
10. MAIN ENTRY GATE - WROUGHT IRON
11. WOOD SILING - COLOR - TAUPE
12. W1. PAINTED GUARD RAIL





FRONT ELEVATION

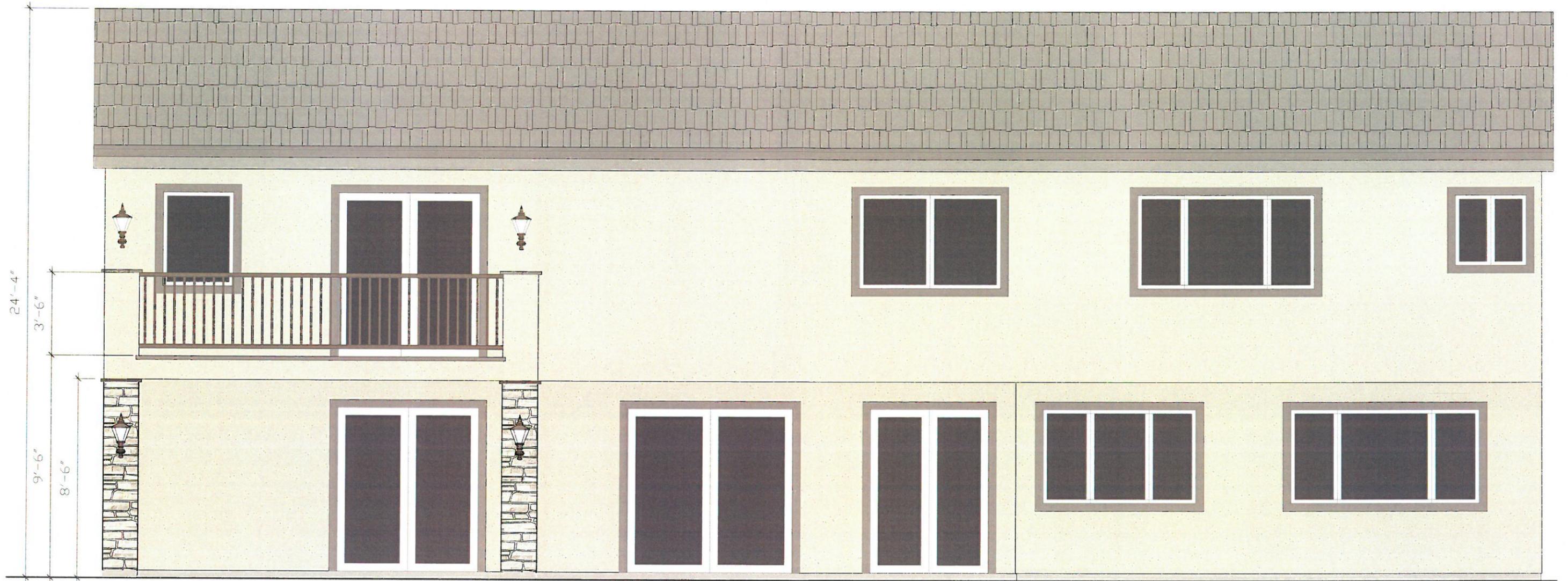
SCALE: 3/16"=1'-0"

EXTERIOR FINISH MATERIALS :

1. TYPICAL EXTERIOR WALL FINISH - 7/8" EXTERIOR CEMENT PLASTER OVER PAPER BACKED METAL LATH. LAHABRA STUCCO OR EQUAL, SANTA BARBARA SMOOTH FINISH, HAND APPLIED. COLOR- MESA VERDE
2. STANDARD FLAT CONCRETE TILE - EAGLE ROOFING - BELAIR - COLOR - GRAY RANGE
3. STONE VENEER - BOARDWALK - EL DORADO STONE (SEE ATTACHED PHOTO)
4. EXISTING GARAGE DOORS TO REMAIN
5. ORNAMENTAL LIGHT FIXTURE
6. 24 GA G.I. GUTTER
7. CONCRETE LANDING AND RIZER
8. NO. 26 GALVANIZED SHEET WEEP SCREED WITH 3.5" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS.
9. WINDOWS - MILGARD - VINYL - OR EQUAL
10. MAIN ENTRY GATE - WROUGHT IRON
11. WOOD SIDING - COLOR - TAUPE
12. W.I. PAINTED GUARD RAIL

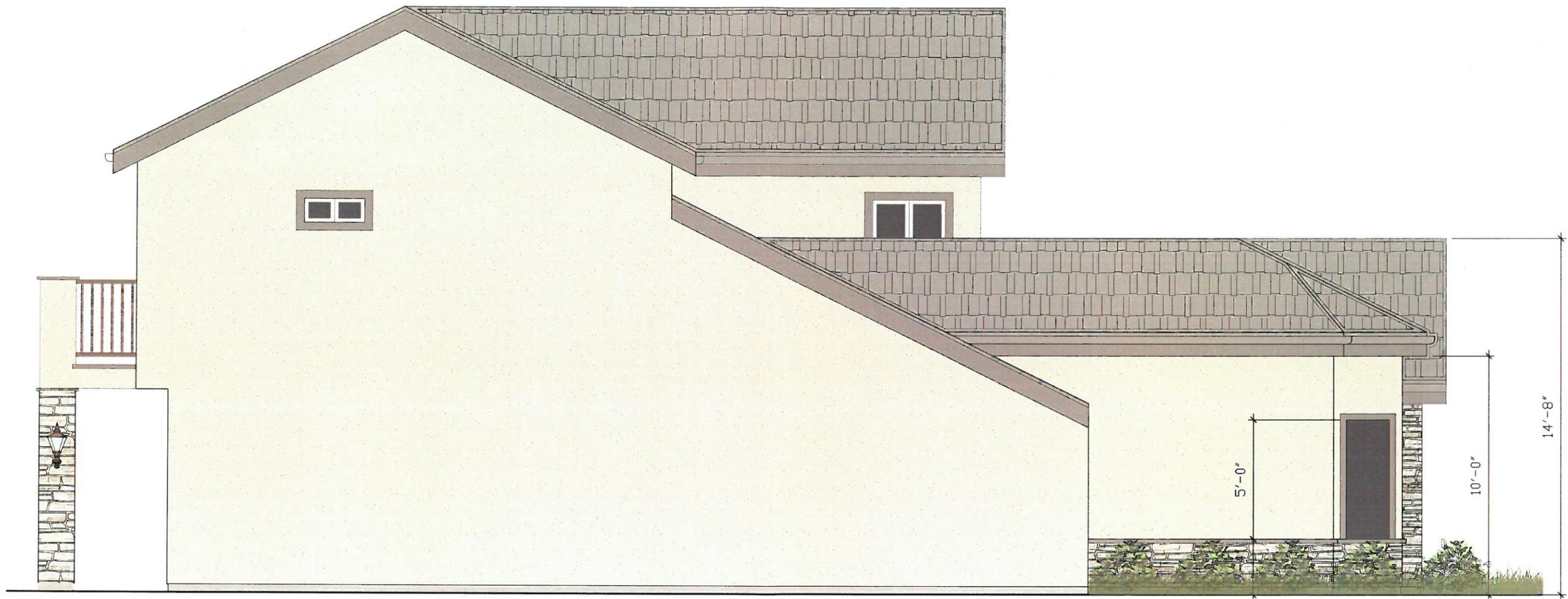
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2019 JAN 25 AM 7:38



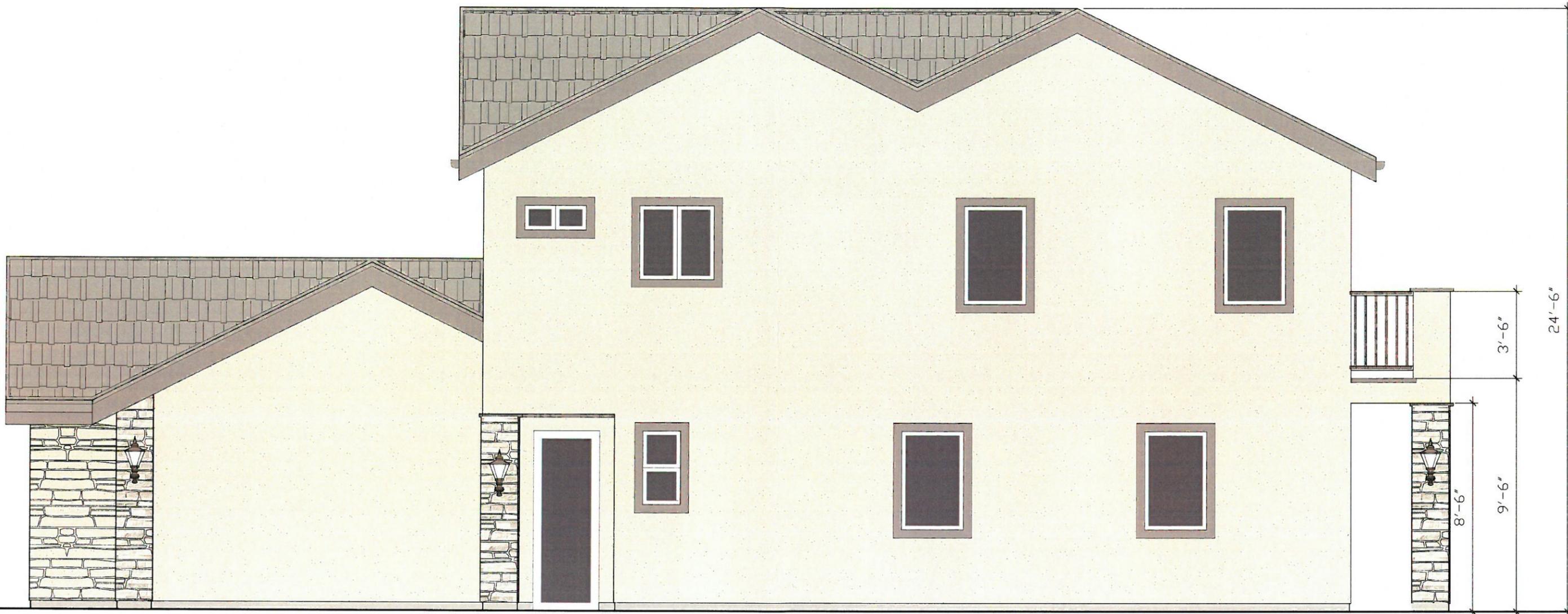
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SCALE: 1/4"=1'-0"



SIDE ELEVATION

SCALE: 1/4"=1'-0"

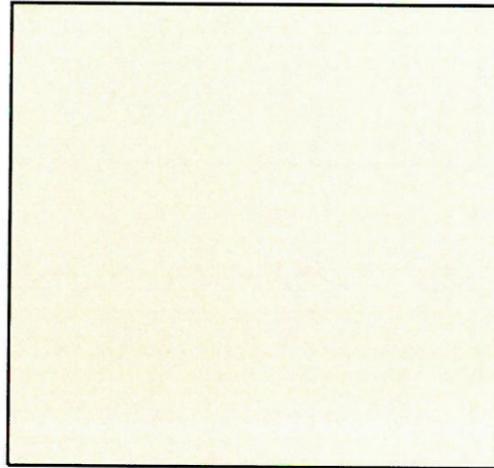


SIDE ELEVATION

SCALE: 1/4"=1'-0"

3036 EMERALD ISLE DR, GLENDALE EXTERIOR MATERIAL LEGEND

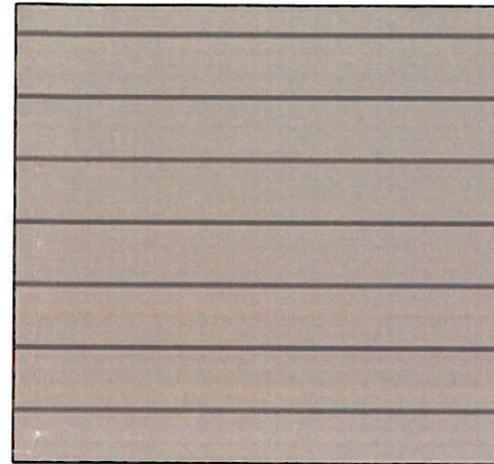
1. TYPICAL EXTERIOR WALL FINISH – 7/8" EXTERIOR CEMENT PLASTER OVER PAPER BACKED METAL LATH. LAHABRA STUCCO OR EQUAL, SANTA BARBARA SMOOTH FINISH, HAND APPLIED. COLOR– MESA VERDE
2. STANDARD FLAT CONCRETE TILE – EAGLE ROOFING – BELAIR – COLOR – GRAY RANGE
3. CORBELS
4. STONE VENEER – BOARDWALK – EL DORADO STONE
5. RAISED PANEL WOOD GARAGE DOOR
6. WOOD SIDING – COLOR -TAUPE



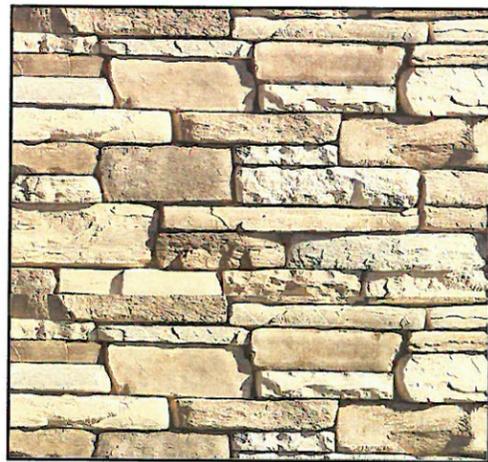
1 EXTERIOR WALLS
-LA HABRA STUCCO
-SANTA BARBARA SMOOTH FINISH
- COLOR - MESA VERDE



2 FLAT CONCRETE TILE
- EAGLE ROOFING
- MODEL - BELAIR
- COLOR - GRAY RANGE



6 WOOD SIDING
- COLOR -TAUPE



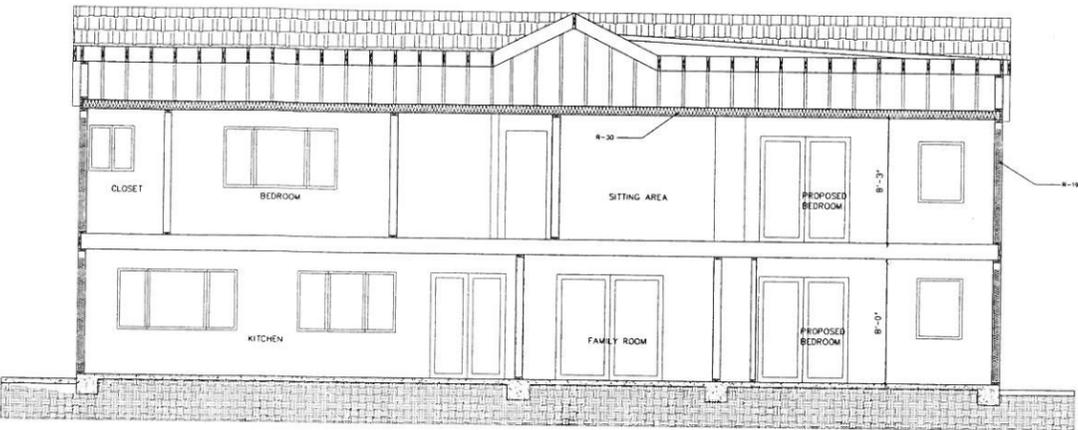
4 STONE VENEER
-COLOR/TYPE - BOARDWALK
-EL DORADO STONE



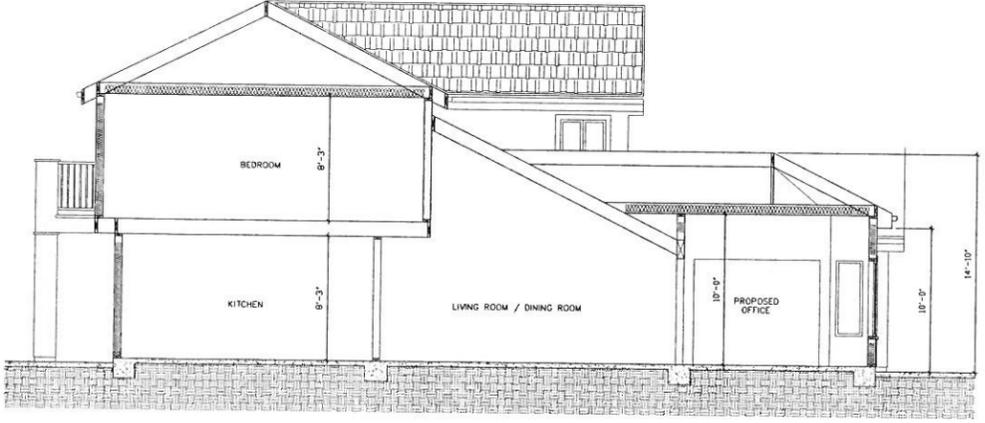
5 GARAGE DOOR
- RAISED WOOD PANEL W/ LITES
- WHITE

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SECTION A
SCALE: 3/16"=1'-0"



SECTION B
SCALE: 3/16"=1'-0"



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TWO STORY
REMODEL & ADDITION

Project Address:
3036 EMERALD ISLE DR
GLENDALE, CA 91206

Contents:
SECTIONS &
WINDOW & DOOR
SCHEDULES

Scale:



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- REVISION xx-xx-xx
- REVISION xx-xx-xx
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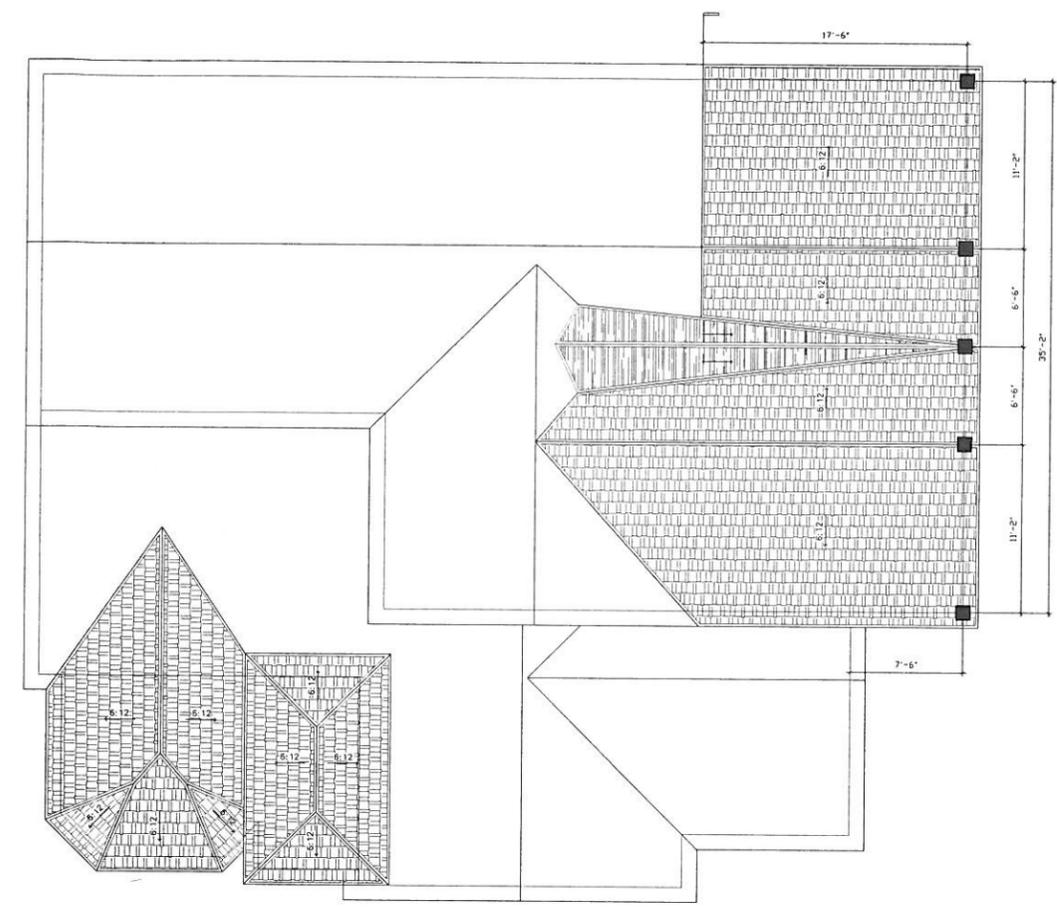
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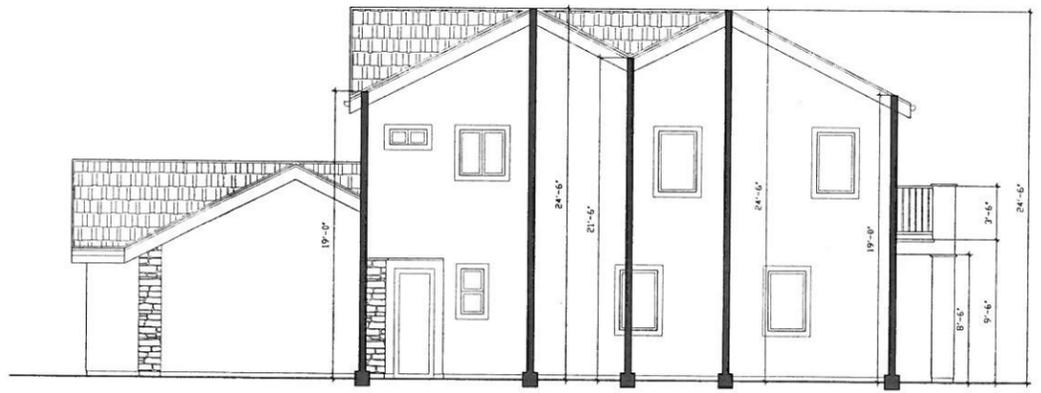


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- REVISION XX-XX-XX
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A-7



ROOF NOTES: **TEMPORARY FRAME PLAN - ROOF PLAN**
SCALE: 3/16"=1'-0"



TEMPORARY FRAME PLAN - SIDE ELEVATION
SCALE: 3/16"=1'-0"



TEMPORARY FRAME PLAN - FRONT ELEVATION
SCALE: 3/16"=1'-0"