

**City of Glendale
Community Development Department
Design Review Staff Report – Single Family**

Meeting/Decision Date: January 9, 2020	Address: 1638 Virden Drive
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5652-016-011
Case Number: PDR1920586	Applicant: Henrik Nazarian
Prepared By: Minjee Hahm, Planning Associate	Owner: Henrik Nazarian

Project Summary

The applicant is proposing to construct a 690 square-foot, one-story addition at the front and remodel the façade of an existing, two-story, 1,358 square-foot single-family dwelling located on a 9,323 square-foot lot in the R1R (FAR District III) Zone.

Existing Property/Background

The subject property is a 9,323 square-foot, upsloping lot on the southern side of Virden Drive. Located in the R1R (FAR District III) Zone, the property is improved with an existing, two-story, 1,358 square-foot, single-family dwelling (constructed in 1965) with an attached 400 square-foot garage.

The current residence is centrally located on an existing flat pad that was previously graded during the period the neighborhood was originally developed. The residence is set back approximately 28 feet, 25 feet, 19 feet, and 21 feet from the northern (street front), eastern, southern (rear), and western property lines, respectively. There is an existing pool in the western portion of the property. No protected tree species have been identified on or near the site. The project does not include any new grading, as the addition will be sited on the existing flat pad, and will comply with all current Zoning Code requirements and Design Guidelines.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R1R FAR District: III

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the project involves an addition to an existing dwelling and the resulting total area will be less than 2,500 square-feet.
 The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines because .
 Other:

Site Slope and Grading

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

Comparison of Neighborhood Survey:

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	16,985 sq. ft.	8,000 sq. ft. - 42,750 sq. ft.	9,323 sq. ft.
Setback	39.35 ft.	11 ft. - 155 ft.	17.83 ft.
House size	2,227.61 sq. ft.	1,737 sq. ft. - 3,499 sq. ft.	2,448 sq. ft.
Floor Area Ratio	0.16	0.05 - 0.34	0.26
Number of stories	2-story	1 and 2-story	2-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

- yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

Garage Location and Driveway

- yes n/a no

If "no" select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

- yes n/a no

If "no" select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes n/a no

If "no" select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The current single-family dwelling is sited on an existing flat pad that was previously graded and centrally located on the property. The project does not include any new grading, as the addition will also be sited on a remaining portion of that flat pad. Therefore, the proposed addition to the existing dwelling does not propose any significant alterations to the existing site planning.
- The proposed addition will be located at the front (northern elevation) of the existing residence. The 690 square-foot, one-story addition includes a new foyer, a powder room, and an extended living room and bedroom. While the new addition does extend the building footprint closer to the street front property line along Virden Drive, the new street front setback and eastern interior setback will comply with the required setback requirements. The prevailing southern and western interior setbacks will remain as-is.
- The project will feature 5,411 square-feet (58%) of landscaped area, where a minimum of 40% is required in the R1R zone.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes n/a no

If "no" select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall massing of the project will be compatible with the adjacent dwellings in terms of scale and proportion. The proposed one-story addition will not affect the existing overall height of the dwelling.
- The massing of the house is broken up by changes in façade planes and the utilization of shed roof forms to avoid an overbearing presence on the street or toward the immediate neighbors.
- The proposed addition will have shed roof forms, which will extend out from the existing 3:12 hipped roof on the first floor. The roof pitches of the new roof will vary between 3:12 above the newly extended living room and 2:12 above the new foyer. The proposed roof form is appropriate for the proposed façade change, building design, and concept. The shed roof will complement the existing gabled roof (second-story) and the hipped roof (first-story), which will remain as-is.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design

- Placement appropriate to style
- Recessed in wall, when appropriate

Privacy

- yes n/a no

If “no” select from below and explain:

- Consideration of views from “public” rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

- yes n/a no

If “no” select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors used in hillside areas

Color and materials for the addition include asphalt roof shingles and light-colored stucco to match the existing, and a portion of wood siding and faux stone cladding applied at the street facing (northern) façade. Overall, the proposed color and materials will be appropriate for the proposed addition and façade change of the existing dwelling. However, the proposed plans and elevations do not show logical termination of the proposed wood siding. Staff will require revised plans to show that the wood siding will be wrapped around the corner and terminated appropriately.

Paving Materials

- yes n/a no

If “no” select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Equipment, Trash, and Drainage

- yes n/a no

If “no” select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

The proposed plans and rendered perspective do not show the locations of existing and proposed gutters and downspouts. As a condition of this approval, existing and proposed locations of the gutters and downspouts will be provided on revised plans for staff review and approval prior to plan check submittal.

Ancillary Structures

- yes n/a no

If “no” select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The surrounding neighborhood features a mix of architectural styles. The proposed minor façade remodel from minimal traditional to modern is compatible with the neighborhood context.
- The proposed entryway is well integrated into the overall design and avoids a sense of monumentality by serving as the middle, focal piece that connects the garage and the living area. The new double entry doors will be tucked out of public view, facing south.
- The new windows will be bronze finished vinyl with wooden sill and frame. Those visible from the street will be recessed into the wall opening, while those not visible from the street will be flush with the wall opening. The new windows will be a combination of sliding and fixed windows.
- Color and materials for the addition include asphalt roof shingles and light-colored stucco to match the existing, and a portion of wood siding and faux stone cladding applied at the street facing (northern) façade. Overall, the proposed color and materials will be appropriate for the addition and façade change of the existing dwelling. However, the proposed plans and elevations do not show logical termination of the proposed wood siding. Staff will require revised plans to show that the wood siding will wrap around corner onto the west elevation and terminate appropriately.
- The proposed plans and rendered perspective do not show the locations of existing and proposed gutters and downspouts. Staff will require the necessary documentation for staff review and approval prior to plan check submittal.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project **with the following conditions**:

1. Revise plans and rendered perspective to show that the proposed wood siding at the street-facing elevation will wrap around the corner onto the west elevation and terminate appropriately.
2. Revise plans and elevations to show existing and proposed locations of gutters and downspouts for staff review and approval prior to plan check submittal.

Attachments

1. Location Map
2. Neighborhood Survey with Photos of Existing Property
3. Reduced Plans



1638 VIRDEN DRIVE, GLENDALE CA

1" = 200'

LOCATION MAP



Neighborhood Survey - 1638 VIRDEN DRIVE

	Address	Building Size (ft ²)	Lot Size (ft ²)	FAR	Setback (ft)	Stories
Subject Property	1638 Virden Dr	2,448	9,323	0.26	17.83	2
1	1600 Virden Dr	2,460	10,430	0.24	90	2
2	1601 Virden Dr	2,587	42,750	0.06	100	2
3	1604 Virden Dr	1,813	8,000	0.23	20	2
4	1606 Virden Dr	2,126	17,980	0.12	41	2
5	1611 Virden Dr	1,670	33,090	0.05	17	2
6	1612 Virden Dr	1,670	9,540	0.18	40	2
7	1620 Virden Dr	3,499	36,860	0.09	154	2
8	1626 Virden Dr	1,738	28,540	0.06	155	2
9	1627 Virden Dr	2,043	18,430	0.11	11	1
10	1630 Virden Dr	2,055	8,900	0.23	18	1
11	1635 Virden Dr	2,339	9,200	0.25	15	1
12	1647 Virden Dr	2,145	14,400	0.15	15	1
13	1650 Virden Dr	1,737	27,460	0.06	32	2
14	1666 Virden Dr	1,670	32,190	0.05	28	2
15	1674 Virden Dr	1,738	15,360	0.11	34	2
16	1900 Crestshire Dr	2,445	13,060	0.19	28	2
17	1901 Crestshire Dr	2,145	12,030	0.18	20	1
18	1910 Crestshire Dr	2,445	16,130	0.15	23	2
19	1911 Crestshire Dr	2,545	9,968	0.26	30	2
20	1920 Crestshire Dr	2,197	16,270	0.14	27	1
21	1921 Crestshire Dr	2,262	12,860	0.18	31	2
22	1930 Crestshire Dr	2,033	11,710	0.17	30	2
23	1931 Crestshire Dr	2,674	11,520	0.23	24	2
24	1936 Crestshire Dr	2,460	16,450	0.15	32	2
25	1942 Crestshire Dr	2,460	12,860	0.19	26	2
26	1945 Crestshire Dr	3,194	9,340	0.34	27	2
27	1950 Crestshire Dr	1,738	9,860	0.18	34	2
28	1980 Sherer Ln	2,091	26,560	0.08	33	2
29	1981 Sherer Ln	2,895	10,050	0.29	24	2
30	1986 Sherer Ln	1,737	16,060	0.11	34	2
31	1999 Sherer Ln	2,445	8,700	0.28	27	2
Neighborhood Average (exc. Subject Property)		2227.61	16,985.74	0.16	39.35	1.81

Subject Property: 1638 Virden Dr





1) 1611 Virden Dr



2) 1612 Virden Dr



3) 1626 Virden Dr



4) 1627 Virden Dr



5) 1630 Virden Dr



6) 1635 Virden Dr



7) 1647 Virden Dr



8) 1650 Virden Dr



9) 1666 Virden Dr



10) 1910 Crestshire Dr



11) 1920 Crestshire Dr



12) 1930 Crestshire Dr



13) 1936 Crestshire Dr



14) 1942 Crestshire Dr



PROJECT RENDERING



LEGAL DESCRIPTION

Tract TR 26437 LOT: 11

ZONING R-1-R III

TYPE OF DWELLING VB

STORIES 2

APN # 5652-016-011

LOT AREA 9,323 SQ. FT.

OCCUPANCY USE B

FIRE ZONE NO

FIRE SPREINKLER NO

Building Area

(E) TOTAL 1,758.0 SQ. FT.

(N) ADDITION 690.0 SQ. FT.

MAX. ALLOWED FAR: 9,323.0 X 45% = 4,195.35 SQ.FT.

FAR: (E) HOUSE 1,338.0 SQ.FT. + (E) GARAGE 400 SQ.FT. (EXEMPT) + (N) ADDITION 690 SQ.FT. = 2,048.0 SQ.FT.

MAX. ALLOWED LOT COVERAGE: 9,323.0 X 40% = 3,729.2 SQ.FT.

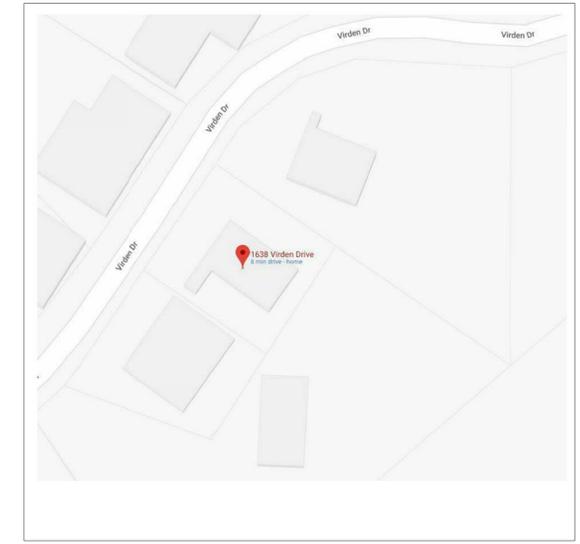
LOT COVERAGE: (E) HOUSE 1,338.0 SQ.FT. + (E) GARAGE 400 SQ.FT. + (N) ADDITION 690 SQ.FT. = 2,448.0 SQ.FT.

(E) LANDSCAPE AREA 5,411.0 SQ.FT. 58%

(N) LANDSCAPE AREA 4,721.0 SQ.FT. 50%

Sheet List	
Sheet Number	Sheet Name
A-00	COVER SHEET
A-01	SCHEDULES
A-02	SITE PLAN
A-03	FIRST FLOOR PLAN(S)
A-03.1	FIRST FLOOR DEMO
A-03.2	SECOND FLOOR PLAN
A-04	(E) ELEVATIONS
A-05	(N) ELEVATIONS
A-05.1	COLORED ELEVATIONS
A-05.2	LONG AND SHORT SECTIONS
A-06	3D ELEVATIONS

VICINITY MAP



PROJECT DESCRIPTION

(N) 690 SQ.F.T OF ADDITION TO AN (E) 1,758.0 SQ.FT. SFD W/ INTERIOR ALTERATION

ARCHITECTURAL ABBREVIATIONS

ABV	ABOVE	FE	FIRE EXTINGUISHER	RV	ROOF VENT
AC	ACOUSTIC	FEC	FIRE EXTINGUISHER CABINET	SCH	SCHEDULE
ACT	ACOUSTICAL TILE CEILING	FF	FINISHED FLOOR	SCWD	SOLID CORE WOOD DOOR
ADJ	ADJUSTABLE	FIN	FINISH	SECT	SECTION
AFF	ABOVE FINISH FLOOR	FLR	FLOOR	SF	SQUARE FOOT
ALT	ALTERNATE	FT	FOOT or FEET	SIM	SIMILAR
ALUM	ALUMINUM	GA	GAUGE	SPEC	SPECIFICATION
ARA	AREA OF RESCUE ASSISTANCE	GL	GLASS	SS	STAINLESS STEEL
BD	BOARD	GWB	GYPSTUM WALL BOARD	STD	STANDARD
BLDG	BUILDING	GYP	GYPSTUM	STND	STAINED
BLK	BLOCK	HT or HGT	HEIGHT	STL	STEEL
BOT	BOTTOM	HCWD	HOLLOW CORE WOOD DOOR	STOR	STORAGE
B.O.	BOTTOM OF	HDWE	HARDWARE	STRUC	STRUCTURAL
BS	BOTH SIDES	HM	HOLLOW METAL	T&G	TONGUE & GROOVE
C/C	CENTER TO CENTER	HMBL	HOLLOW METAL BORROWED LITE	TEMP	TEMPERED or TEMPORARY THICK(NESS)
CAB	CABINET	HORIZ	HORIZONTAL	THK	THICK(NESS)
CJ	CONTROL JOINT	ID	INSIDE DIAMETER	TOM	TOP OF MASONRY
CL	CENTER LINE	INSUL	INSULATION	TOS	TOP OF STEEL
CLG	CEILING	LAM	LAMINATED	TYP	TYPICAL
CLR	CLEAR	MATL	MATERIAL	UNO	UNLESS NOTED OTHERWISE
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	VAR	VARIES
CONC	CONCRETE	MECH	MECHANICAL	VB	VAPOR BARRIER or VINYL BASE
COL	COLUMN	MFR	MANUFACTURER	VCT	VINYL COMPOSITION TILE
CONT	CONTINUOUS	MIN	MINIMUM	VCWD	VINYL CLAD WOOD
CPT	CARPET	MO	MASONRY OPENING	VERT	VERTICAL
CT	CERAMIC TILE	MT	METAL THRESHOLD	VIF	VERIFY IN FIELD
CTR	COUNTER	NIC	NOT IN CONTRACT	VPAB	VAPOR PERMEABLE AIR BARRIER
DET	DETAIL	NO	NUMBER	w/	WITH
DIM	DIMENSION	NOM	NOMINAL	WC	WATER CLOSET
DN	DOWN	NTS	NOT TO SCALE	WD	WOOD
DR	DOOR	OC	ON CENTER	WWF	WELDED WIRE FABRIC
DWG(S)	DRAWING(S)	OD	OUTSIDE DIAMETER		
EA	EACH	OPP	OPPOSITE		
EF	EXHAUST FAN	PMF	PRE MOLDED FILLER		
EJ	EXPANSION JOINT	PLAM	PLASTIC LAMINATE		
ELEC	ELECTRICAL	PRT	PRESSURE TREATED		
ELEV	ELEVATION	PT	PORCELAIN TILE		
EQ	EQUAL	PTD	PAINTED		
EQUIP	EQUIPMENT	RB	RUBBER BASE		
EWC	ELECTRIC WATER COOLER	REINF	REINFORCING		
EXP	EXPANSION	REQ'D	REQUIRED		
EXST	EXISTING	RM	ROOM		
EXT	EXTERIOR	RO	ROUGH OPENING		
FD	FLOOR DRAIN				

DRAWING NOTES

- DO NOT SCALE THE DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS RELATED TO THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH EITHER FABRICATION OR INSTALLATION OF THE WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD EXISTING CONDITIONS PROHIBIT EXECUTION OF THE DESIGN INTENT OF THE DRAWINGS. ANY ADDITIONAL WORK, INCLUDING DEMOLITION AND REMOVAL RESULTING FROM THE FAILURE TO NOTIFY THE ARCHITECT, WILL BE AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT OF A CONFLICT OR DISCREPANCIES IN THE DRAWINGS, THE PRIORITY OF INTERPRETATION SHALL BE: SCHEDULES, NOTES, LARGE SCALE DRAWINGS (IE: DETAILS), SMALL SCALE DRAWINGS (IE: FLOOR PLANS, ELEVATIONS).
- ARCHITECTURAL DRAWINGS SHALL HAVE PRECEDENCE OVER ALL OTHER DRAWINGS UNLESS NOTICE IS GIVEN BY THE ARCHITECT. THE ORDER OF PRECEDENCE SHALL BE: ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL.

LEGEND

	EXISTING WALLS		WOOD BLOCKING
	NEW WALLS		BRICK VENEER
	DEMOLISHED WALLS		STORM DRAIN FLOW
	4" INTERIOR PARTITION		
	6" EXTERIOR WALL		
	6" CMU MASONRY WALL		
	12" CONCRETE FOUNDATION		
	EARTH		
	STEEL		

ANNOTATION SYMBOLS

	BUILDING GRID LINES		REVISION NUMBER REVISION CLOUD (CLOUD AROUND REV. OPTIONAL)
	WINDOW SYMBOL		SHADED PORTION IS SIDE CONSIDERED
	DOOR SYMBOL		MEASUREMENT LOCATION
	DETAIL / AREA DETAIL REF.		WORK, CONTROL OR DATUM POINT
	INTERIOR ELEVATION		EXT. ELEVATION/SECTION
	NORTH ARROW		WALL TYPE SYMBOL
	FAN		ROOM IDENTIFICATION
			SMOKE DETECTOR

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91208

PROJECT TITLE:
ADDITION / ALTERATION

THE DRAWINGS AND SPECIFICATIONS AND DESIGNS REPRESENTED HEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE BISTREND, AND NO PART THEREOF SHALL BE USED OR REPRODUCED FOR ANY PURPOSE OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE BISTREND.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOBSITE AND REPORT ANY DISCREPANCIES TO BISTREND.

PAGE TITLE:
COVER SHEET

PROJECT NUMBER: 00000118
DATE: 12/05/2018
DRAWN BY: EDGAR M.
CHECKED BY: Checker

A-00

Window Schedule																				
Window Number	Quantity	Width	Height	Existing Material	New Material	Visible From The Street	Operation	Existing / New	Phase Demolished	New Frame Type	External Grid	Keep Existing Sill & Frame	Build New Sill & Frame	Edge Detail	Bedroom	Energy Efficient	Tempered Glass	Fire Hazard Zone	Window Within 18 in Of Floor or 40 in Of Door	
1	6	2' - 0"	6' - 0"		Vinyl	Yes Partially	Fixed Windows	New Construction	None	Block Frame	No	No	Yes	Recessed South Only	No	Yes	No	No	No	No
2	2	2' - 6"	3' - 0"	Vinyl		No	Horizontal Sliding Windows	1 Existing to Demo	1 New	Block Frame	No	Yes on Existing / No	Yes for New	Flushed	No	Yes	Yes	No	Yes	Yes
3	1	4' - 0"	4' - 0"	Vinyl		No	Horizontal Sliding Windows	Existing	New Construction	Block Frame	No	No	No	Flushed	No	Yes	No	No	No	No
4	2	6' - 0"	4' - 0"	Vinyl		No	Horizontal Sliding Windows	Existing	None	Block Frame	No	Yes	No	Flushed	Yes	Yes	Yes	No	No	No
5	1	4' - 0"	3' - 0"	Vinyl		No	Horizontal Sliding Windows	Existing	None	Block Frame	No	Yes	No	Flushed	No	Yes	No	No	No	No
6	1	10' - 0"	6' - 0"	Vinyl		No	Fixed Windows	Existing	New Construction	Block Frame	No	No	No	Flushed	No	Yes	No	No	No	No
7	1	4' - 0"	6' - 5"	Vinyl		No	Double-Hung Windows	Existing	None	Block Frame	No	Yes	No	Flushed	No	Yes	No	No	No	No
8	1	6' - 0"	3' - 0"	Vinyl		No	Horizontal Sliding Windows	Existing	None	Block Frame	No	Yes	No	Flushed	No	Yes	No	No	No	No
9	2	5' - 10"	3' - 0"	Vinyl		Yes	Horizontal Sliding Windows	Existing	None	Block Frame	No	Yes	No	Flushed	Yes	Yes	No	No	No	No
10	1	8' - 0"	4' - 0"	Vinyl		No	Horizontal Sliding Windows	Existing	None	Block Frame	No	Yes	No	Flushed	Yes	Yes	No	No	No	No
11	1	3' - 0"	2' - 6"	Vinyl		No	Horizontal Sliding Windows	Existing	None	Block Frame	No	Yes	No	Flushed	Yes	Yes	No	No	No	No
12	3	5' - 0"	1' - 6"	Vinyl		Yes Partially	Fixed Windows	New Construction	None	Block Frame	No	No	Yes	Recessed South Only	No	Yes	1 Yes	No	No	No
13	1	4' - 0"	2' - 0"	Vinyl		Yes	Fixed Window	New Construction	None	Block Frame	No	No	Yes	Recessed South Only	No	Yes	Yes	No	Yes	Yes
14	1	1' - 10"	4' - 7"	Vinyl		No	Unit Skylights	New Construction	None	Block Frame	No	No	Yes	Flushed	No	Yes	No	No	No	No
15	1	6' - 0"	1' - 6"	Vinyl		No	Horizontal Sliding Windows	New Construction	None	Block Frame	No	No	Yes	Flushed	No	Yes	Yes	No	No	No
17	1	5' - 0"	2' - 0"	Vinyl		Yes	Horizontal Sliding Windows	Existing	None	Block Frame	No	Yes	No	Flushed	No	Yes	Yes	No	No	No

Grand total: 26

Door Schedule							
Type Mark	Type	Count	Family	Width	Height	Phase Created	Phase Demolished
1	30" x 80"	7	Single-Flush	2' - 6"	6' - 8"	Existing	None
1	30" x 80"	1	Single-Flush	2' - 6"	6' - 8"	New Construction	None
2	36" x 80"	1	Single-Flush	3' - 0"	6' - 8"	Existing	None
3	96" x 80"	1	Door-Double-Sliding	8' - 0"	6' - 8"	Existing	None
4	32" x 80"	1	Door-Opening	0' - 0"	0' - 0"	Existing	New Construction
5	32" x 80"	3	Single-Flush	2' - 8"	6' - 8"	Existing	New Construction
5	32" x 80"	5	Single-Flush	2' - 8"	6' - 8"	New Construction	None
6	48" x 80"	3	Door-Interior-Double-Sliding-2_Panel-Wood	4' - 0"	6' - 8"	Existing	New Construction
7	192" x 84"	1	Door-Garage-Flush_Panel	16' - 0"	7' - 0"	Existing	None
8	60" x 82"	1	Swedoor_JW_exterior_door_Classic_Puccini_double_inswing_1.0	5' - 0"	6' - 10"	Existing	New Construction
9	59" x 96"	1	Swedoor_JW_exterior_door_Classic_Puccini_double_inswing_1.0	4' - 11"	8' - 0"	New Construction	None

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PROJECT TITLE:
 ADDITION /
 ALTERATION

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PAGE TITLE:

SCHEDULES

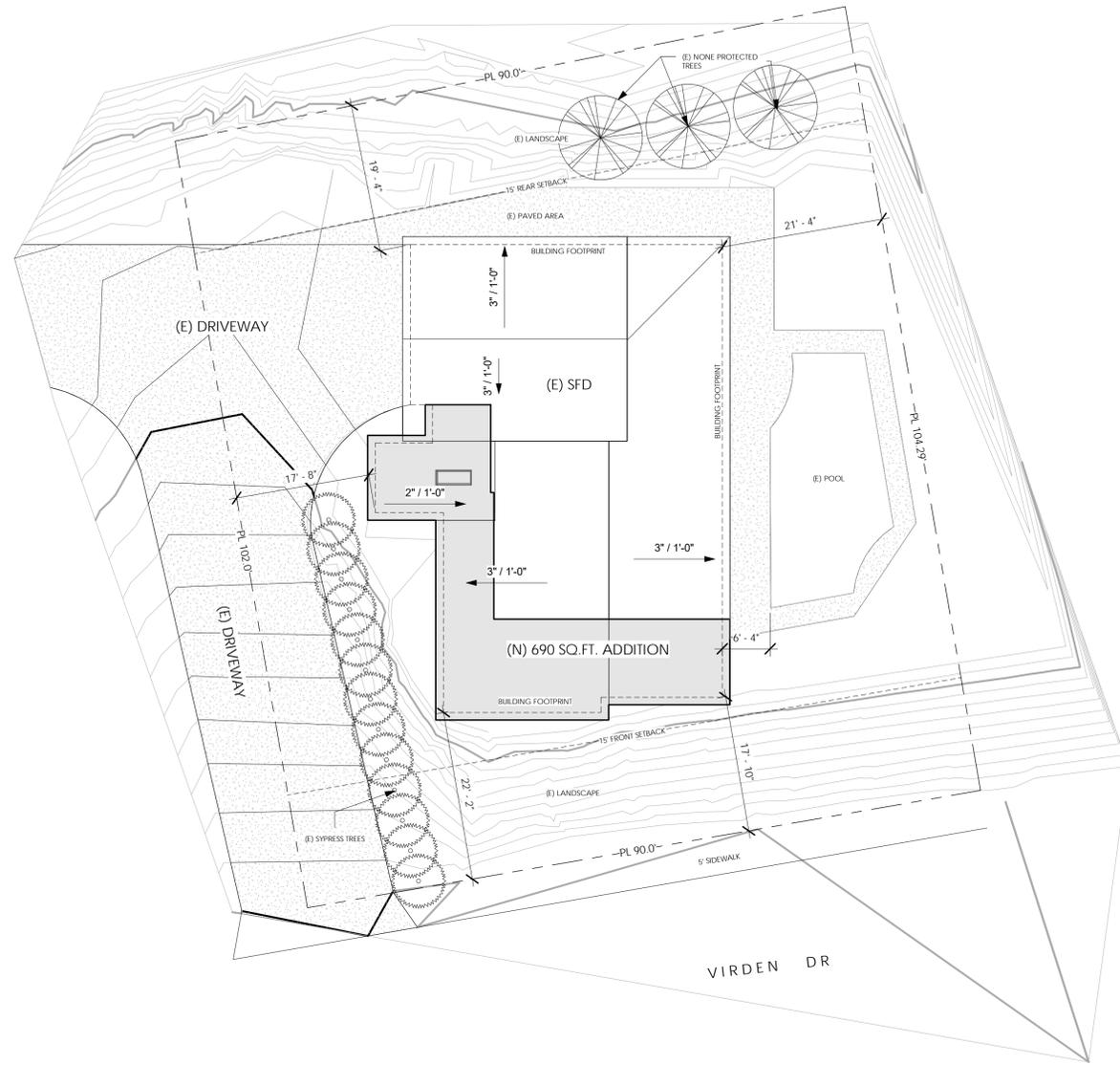
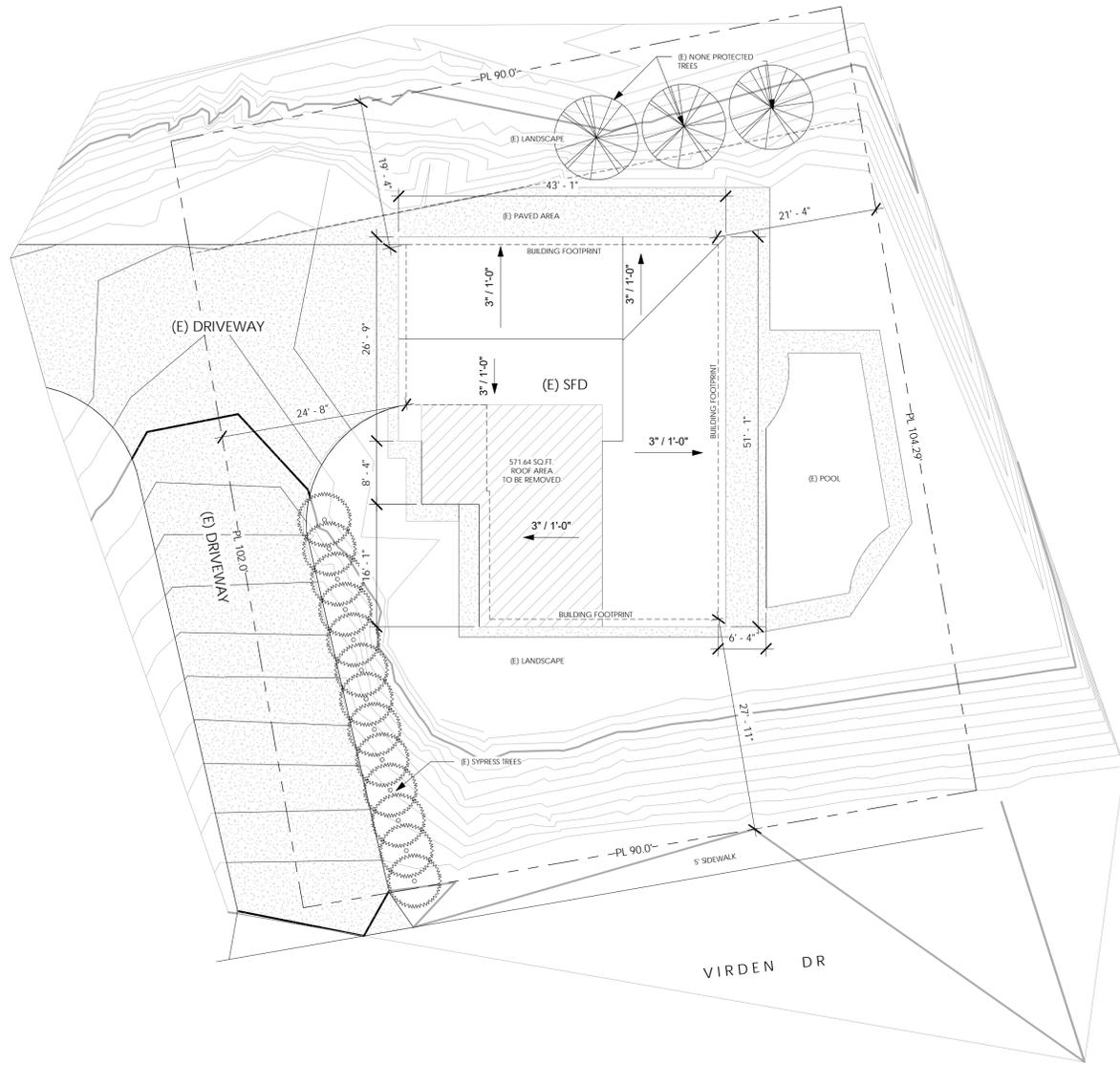
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DATE: **12/05/2018**

DRAWN BY: **Author**

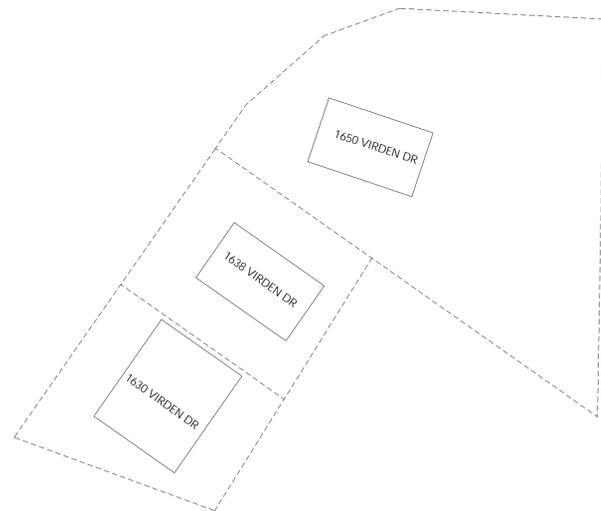
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A-01



1 SITE PLAN
3/32" = 1'-0"

2 SITE PLAN (N)
3/32" = 1'-0"



DEMO CALCULATIONS:

TOTAL ROOF AREA	2,157.95 SQ.FT.
ROOF AREA BEING REMOVED	571.64 SQ.FT. (26%)
TOTAL EXTERIOR WALL AREA	1,829.39 SQ.FT.
WALL AREA BEING REMOVED	369.09 SQ.FT. (20%)

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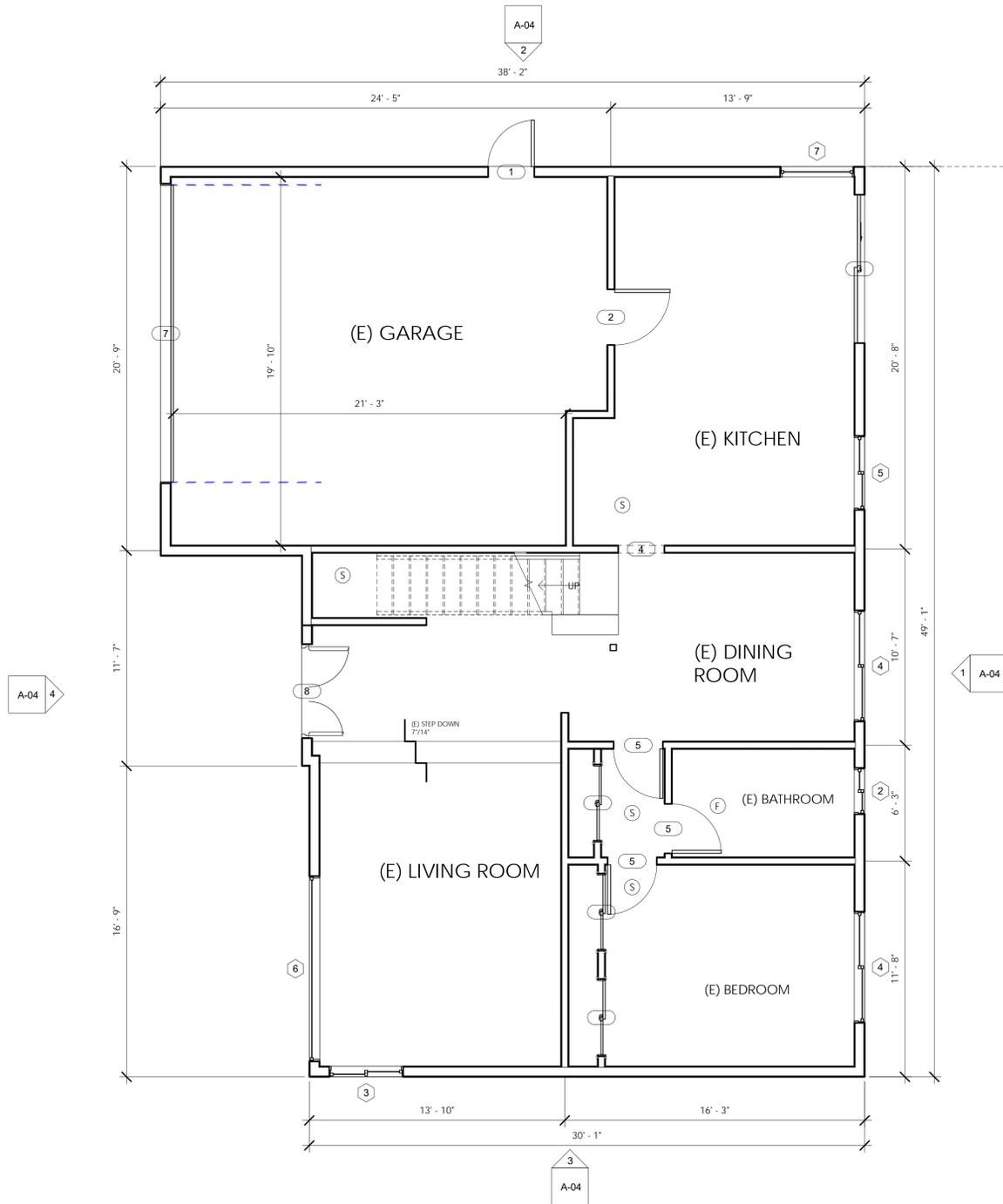
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PAGE TITLE:
SITE PLAN

PROJECT NUMBER: **00000118**
DATE: **12/05/2018**
DRAWN BY: **Author**
CHECKED BY: **Checker**

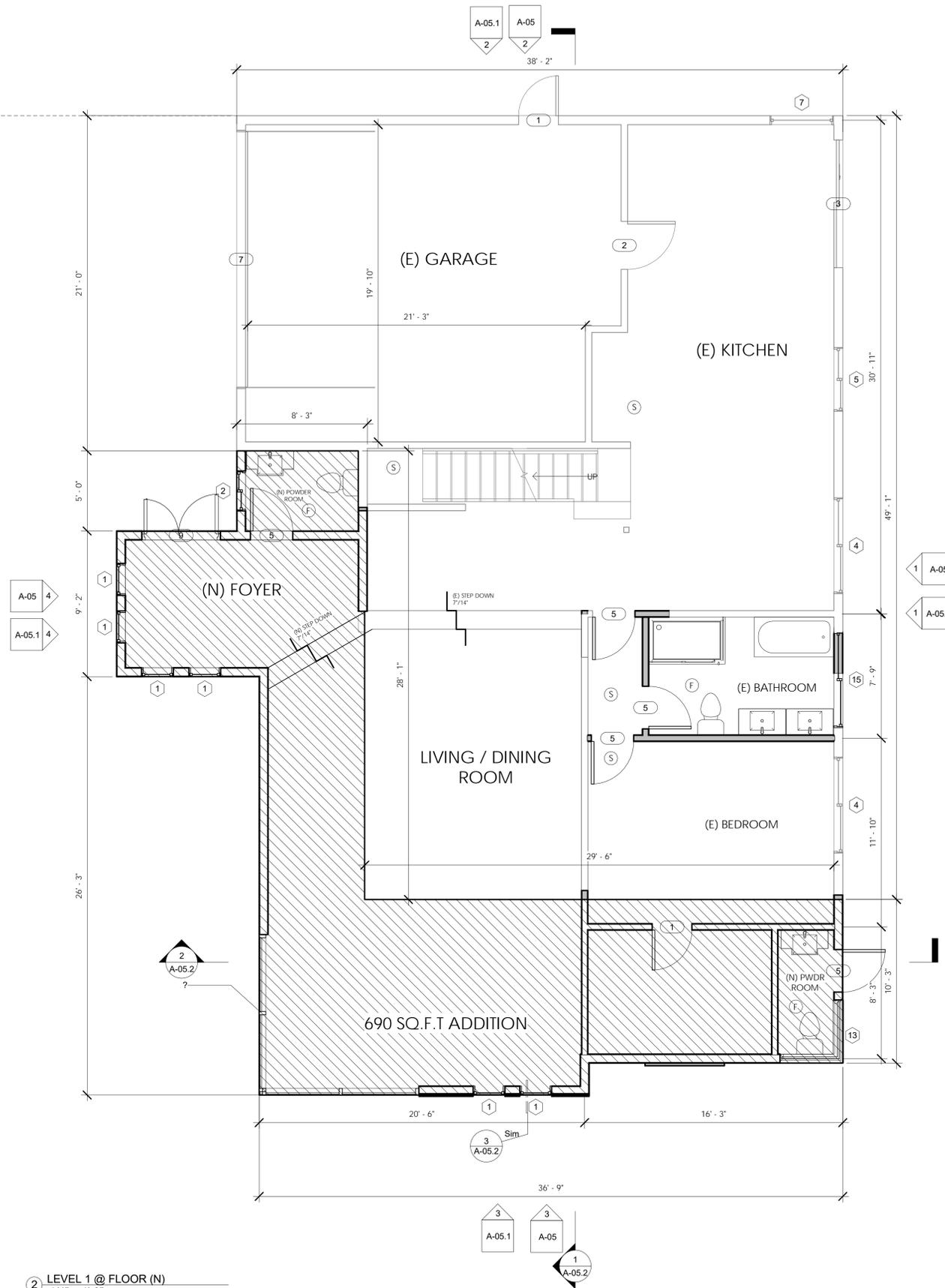
A-02



① LEVEL 1 @ FLOOR
1/4" = 1'-0"

WALL LEGEND

	EXISTING WALLS		WOOD BLOCKING
	NEW WALLS		BRICK VENEER
	DEMOLISHED WALLS		STORM DRAIN FLOW
	4" INTERIOR PARTITION		
	6" EXTERIOR WALL		
	6" CMU MASONARY WALL		
	12" CONCRETE FOUNDATION		
	EARTH		
	STEEL		



② LEVEL 1 @ FLOOR (N)
1/4" = 1'-0"

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PROJECT TITLE:
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SCALED DIMENSIONS. THE
CONTRACTOR SHALL VERIFY
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ON THE JOBSITE AND REPORT
ANY DISCREPANCIES TO
BISTREND.

PAGE TITLE:
FIRST FLOOR
PLAN(S)

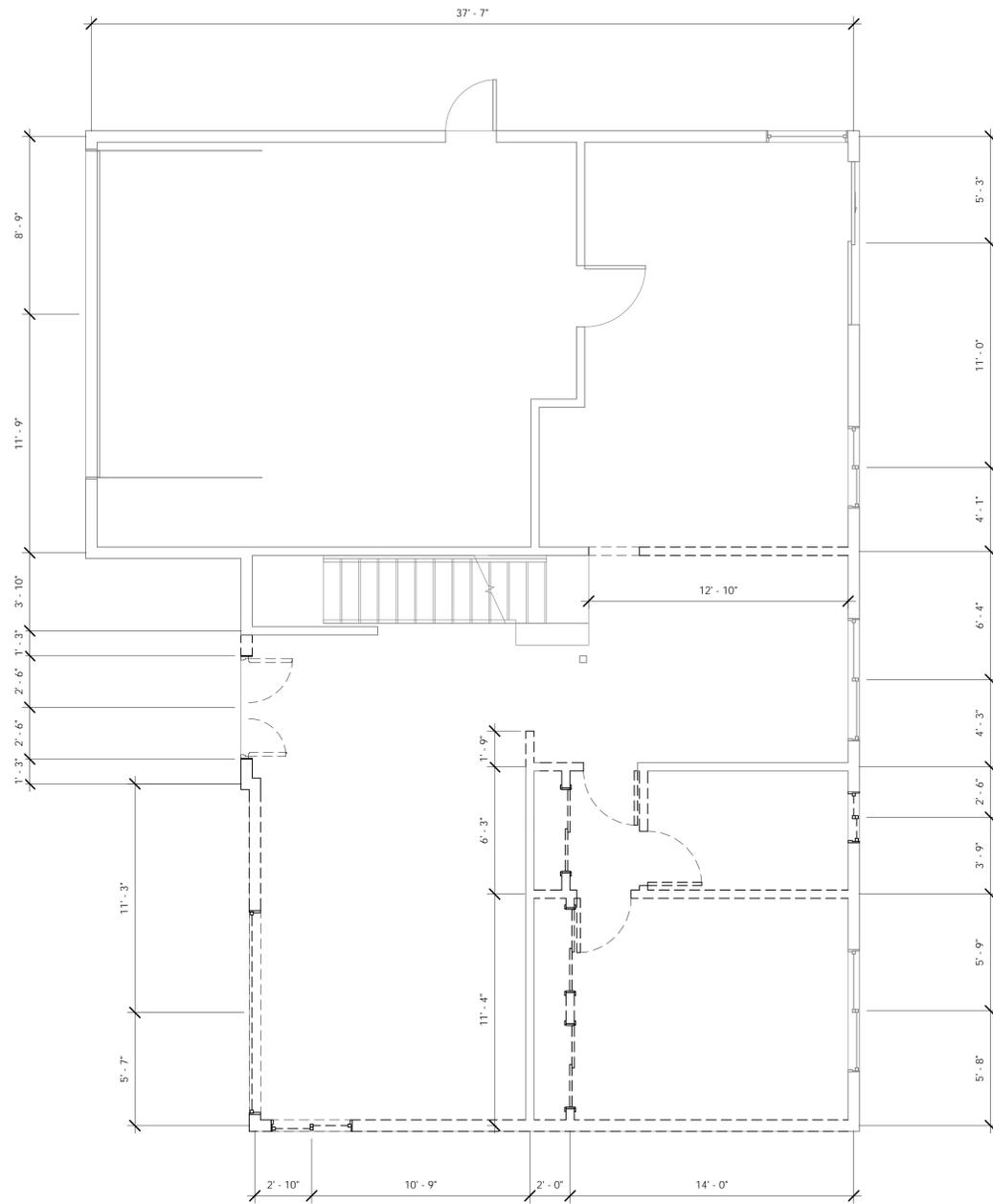
PROJECT NUMBER: 00000118

DATE: 12/05/2018

DRAWN BY: Author

CHECKED BY: Checker

A-03



① LEVEL 1 @ FLOOR (N) DEMO
1/4" = 1'-0"

WALL LEGEND

	EXISTING WALLS		WOOD BLOCKING
	NEW WALLS		BRICK VENEER
	DEMOLISHED WALLS		STORM DRAIN FLOW
	4" INTERIOR PARTITION		
	6" EXTERIOR WALL		
	6" CMU MASONARY WALL		
	12" CONCRETE FOUNDATION		
	EARTH		
	STEEL		

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PAGE TITLE:
FIRST FLOOR
DEMO

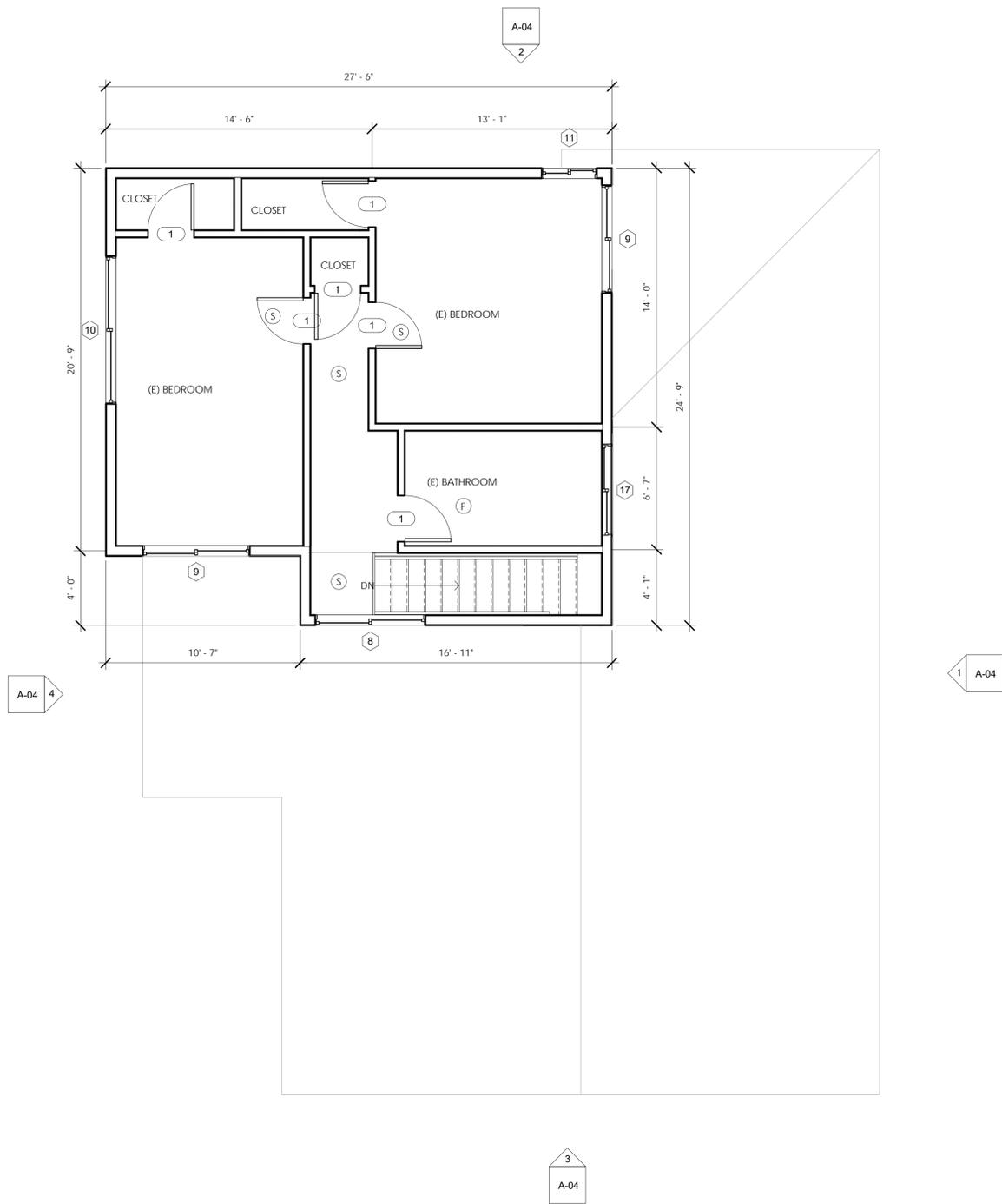
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A-03.1



1 LEVEL 2 @ FLOOR
1/4" = 1'-0"

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PAGE TITLE:
SECOND FLOOR
PLAN

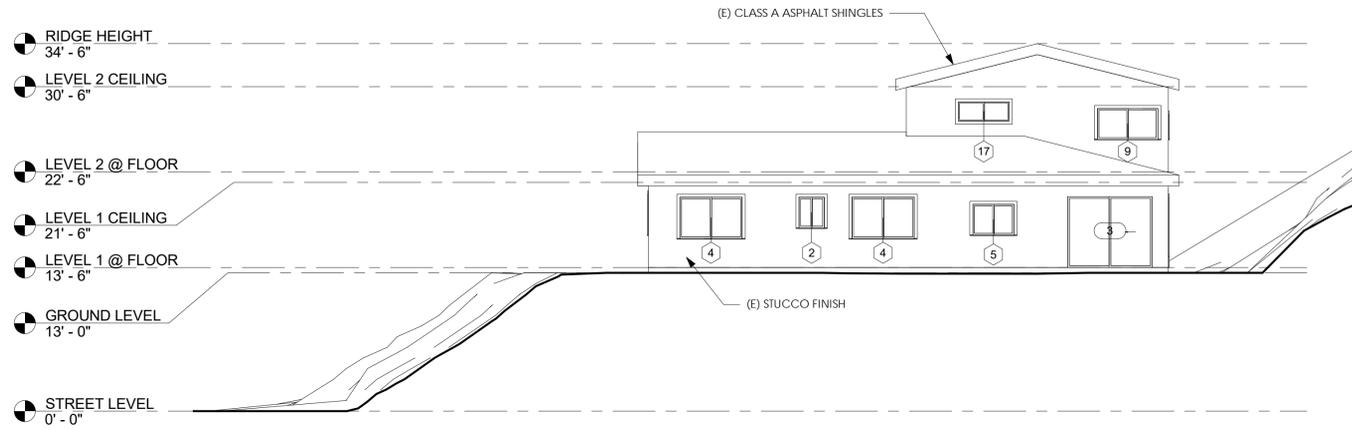
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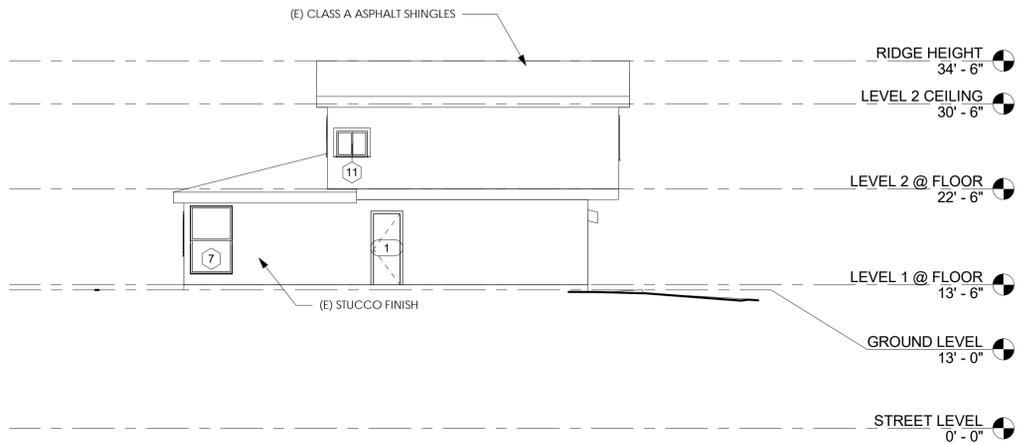
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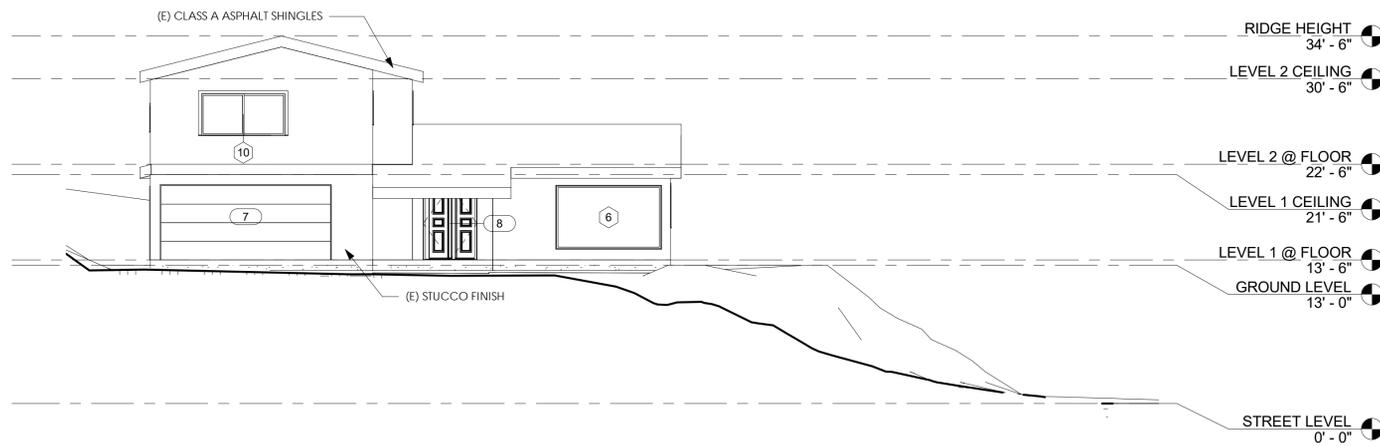
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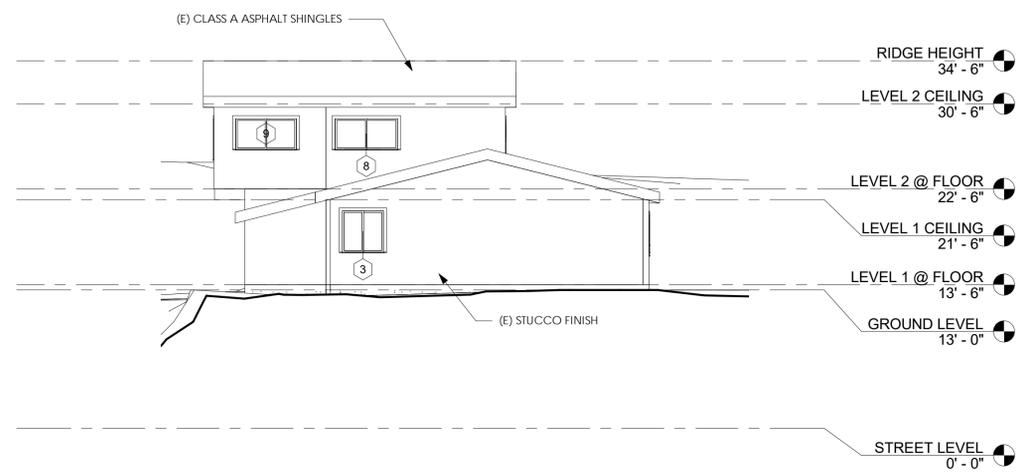
1 West
1/8" = 1'-0"



2 South
1/8" = 1'-0"



4 East
1/8" = 1'-0"



3 North
1/8" = 1'-0"

NOTE: EXISTING AND NEW MATERIAL FOR THE FINISH IS STUCCO

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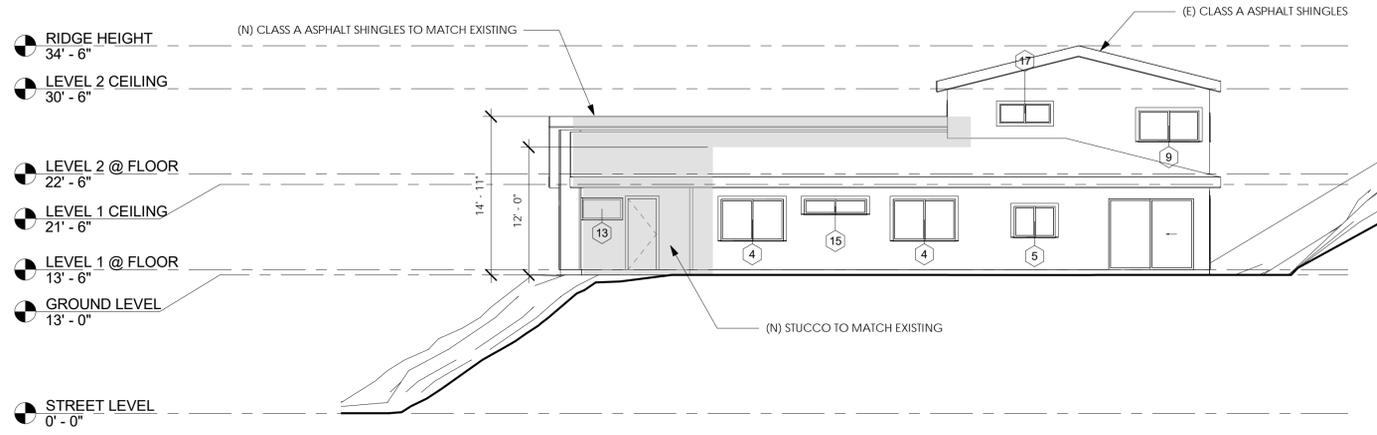
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PAGE TITLE:
(E) ELEVATIONS

PROJECT NUMBER: **00000118**
DATE: **12/05/2018**
DRAWN BY: **Author**
CHECKED BY: **Checker**

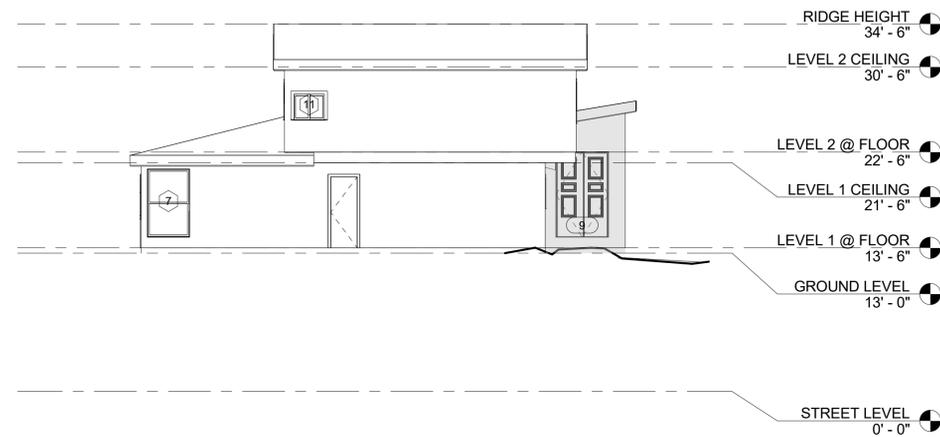
A-04



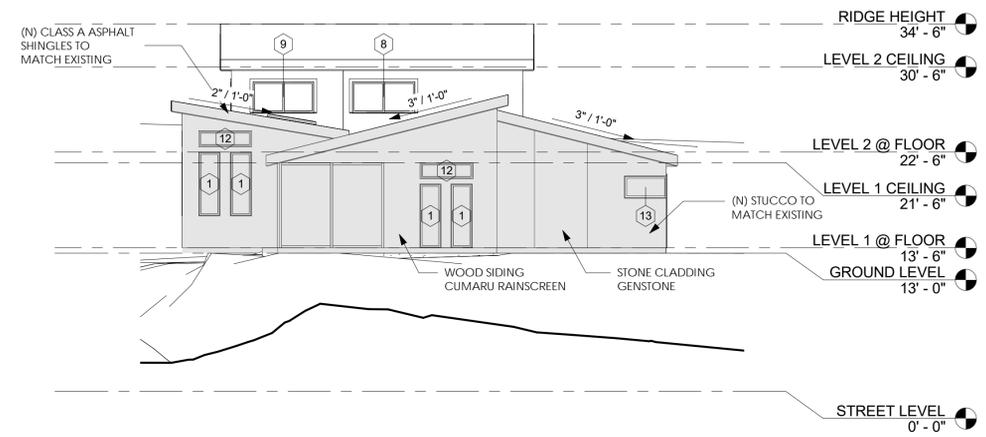
1 West (N)
1/8" = 1'-0"

ROOFING MATERIAL/SPECS
 MANUFACTURER: MALARKEY ROOFING
 COLOR: BURLWOOD
 SOLAR REFLECTANCE: 0.17
 THERMAL EMITTANCE: 0.92
 SRI VALUE: 18
 PRODUCT ID: 0850-0043
 ESR: 3150

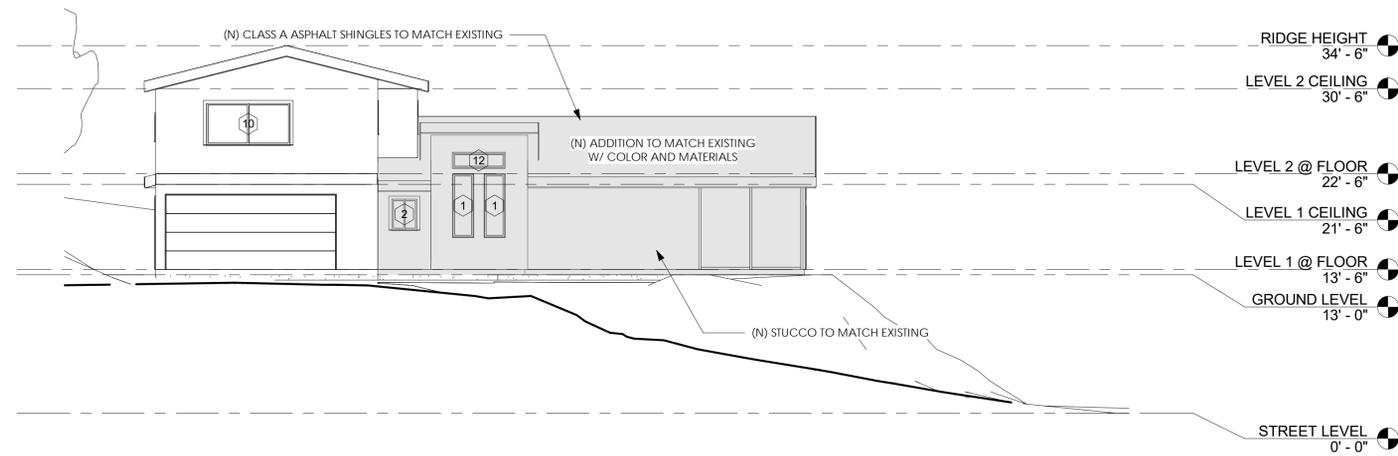
EXTERIOR MATERIALS:
 ASPHALT SHINGLES (SEE ROOFING MATERIAL)
 STUCCO BOSTON CREAM (#595 BASE A) OR MATCH EXISTING
 WOOD SIDING CUMARU RAINSCREEN (4/5" X 6") OR APPROVED EQUIVALENT
 STONE CLADDING GENSTONE STACKED STONE IRON ORE 12 IN. X 42 IN. FAUX STONE SIDING PANEL OR APPROVED EQUIVALENT



2 South (N)
1/8" = 1'-0"



3 North (N)
1/8" = 1'-0"



4 East (N)
1/8" = 1'-0"

NOTE: EXISTING AND NEW MATERIAL FOR THE FINISH IS STUCCO

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PROJECT TITLE:
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 ALTERATION

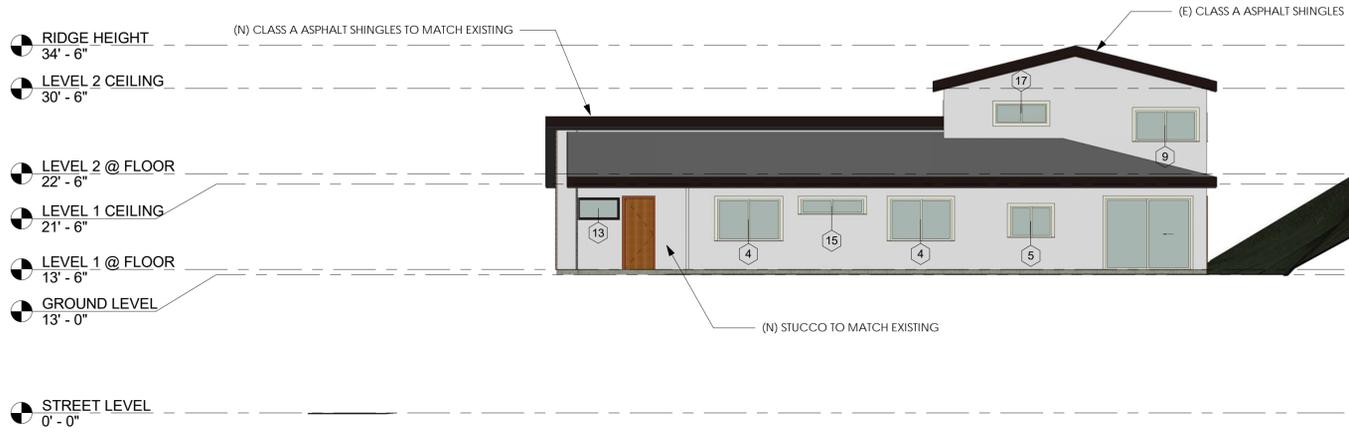
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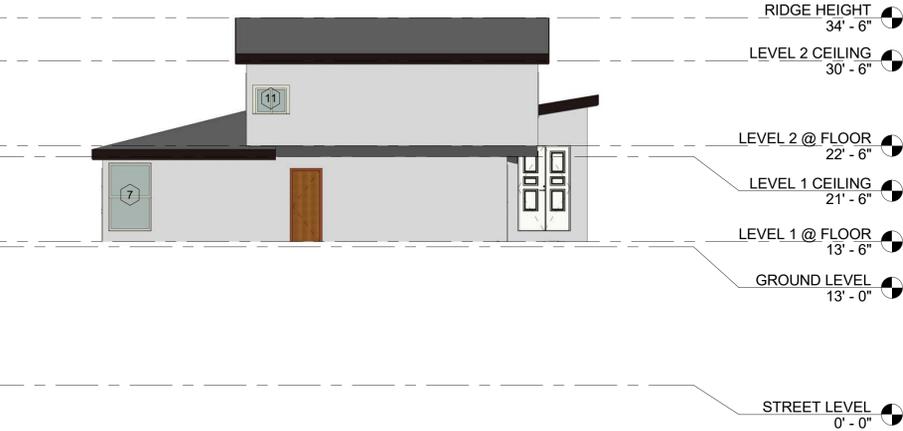
PAGE TITLE:
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PROJECT NUMBER: 00000118
DATE: 12/05/2018
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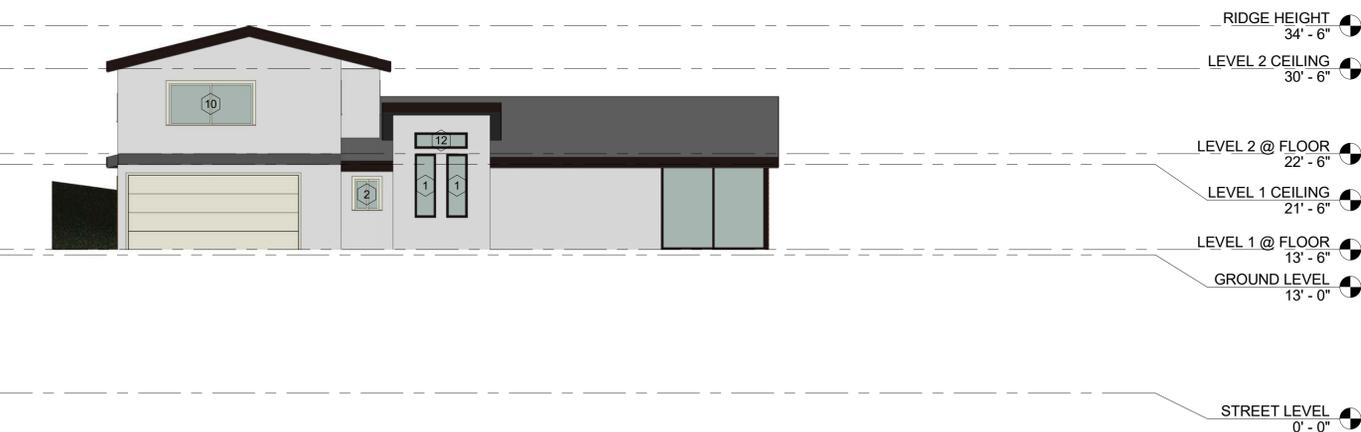
A-05



1 West (N) COLORED
1/8" = 1'-0"



2 South (N) COLORED
1/8" = 1'-0"



4 East (N) COLORED
1/8" = 1'-0"

ROOFING MATERIAL/SPECS
 MANUFACTURER: MALARKEY ROOFING
 COLOR: BURLWOOD
 SOLAR REFLECTANCE: 0.17
 THERMAL EMITTANCE: 0.92
 SRI VALUE: 18
 PRODUCT ID: 0850-0043
 ESR: 3150

EXTERIOR MATERIALS:

ASPHALT SHINGLES (SEE ROOFING MATERIAL)
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3 North (N) COLORED
1/8" = 1'-0"

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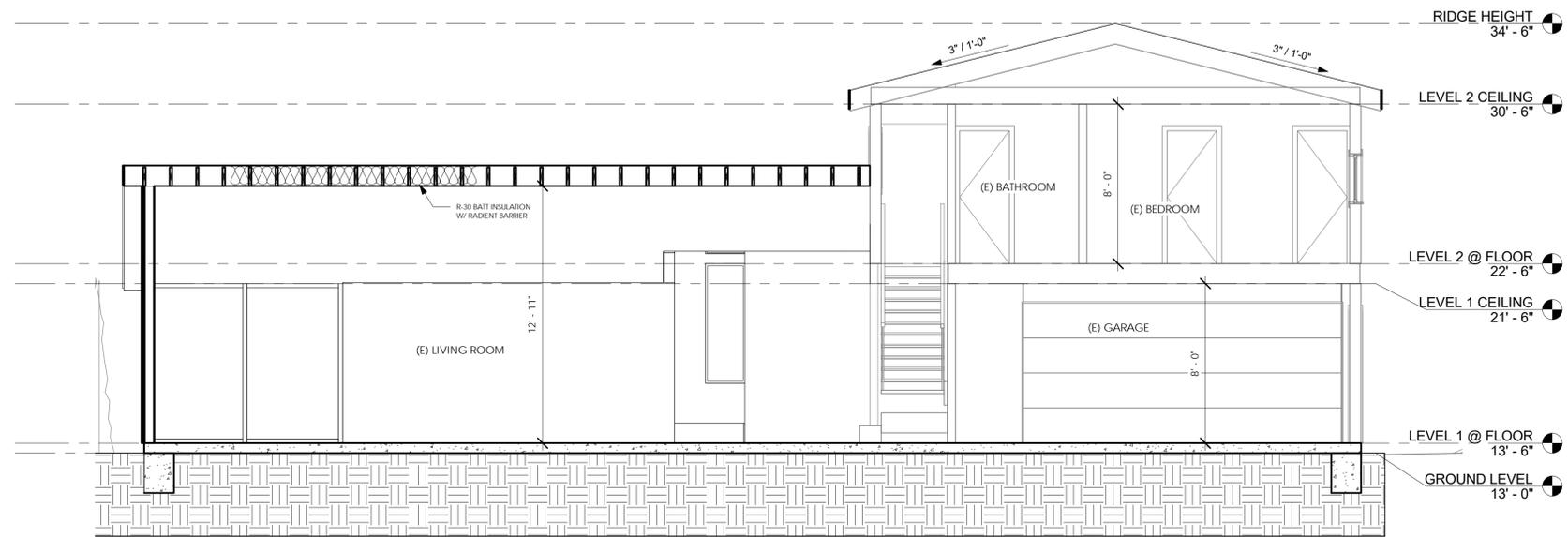
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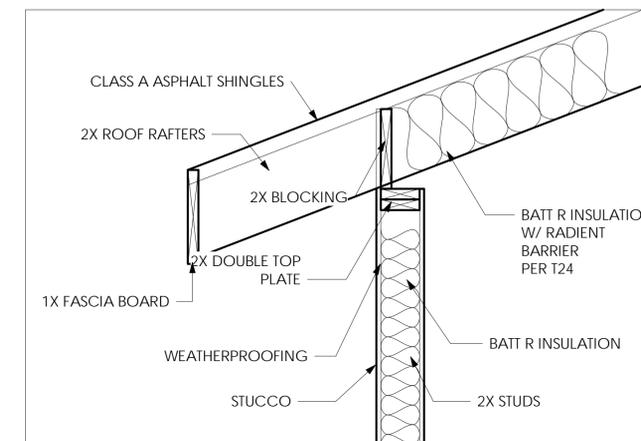
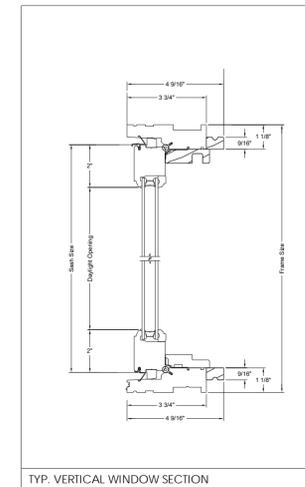
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PROJECT NUMBER: 00000118
DATE: 12/05/2018
DRAWN BY: Author
CHECKED BY: Checker

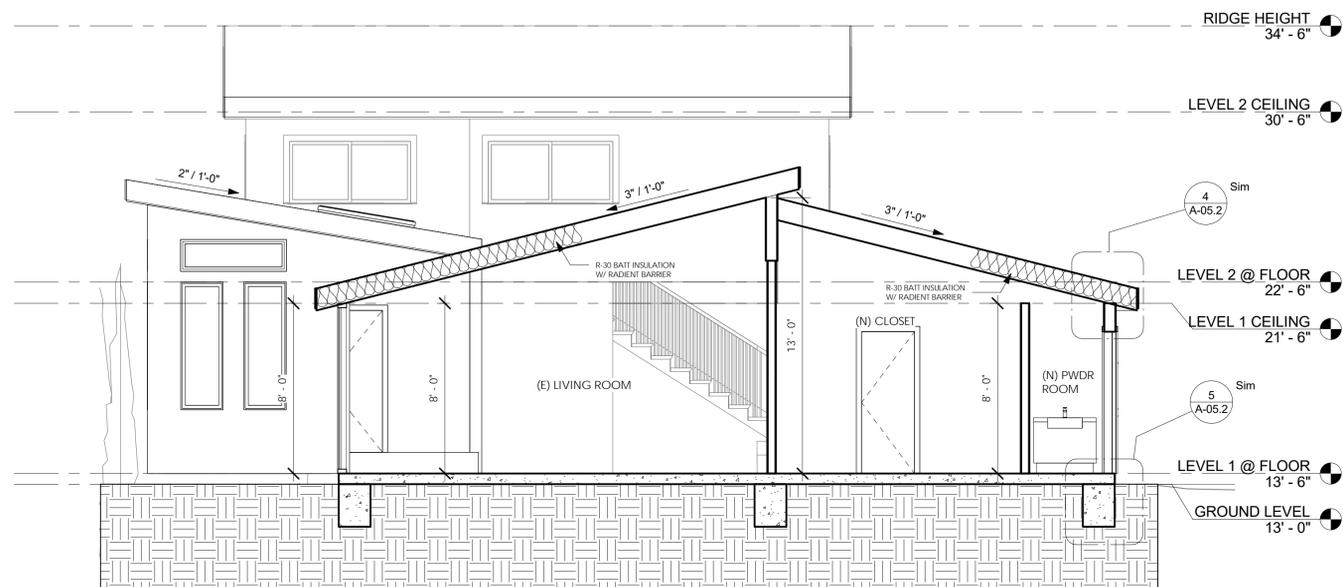
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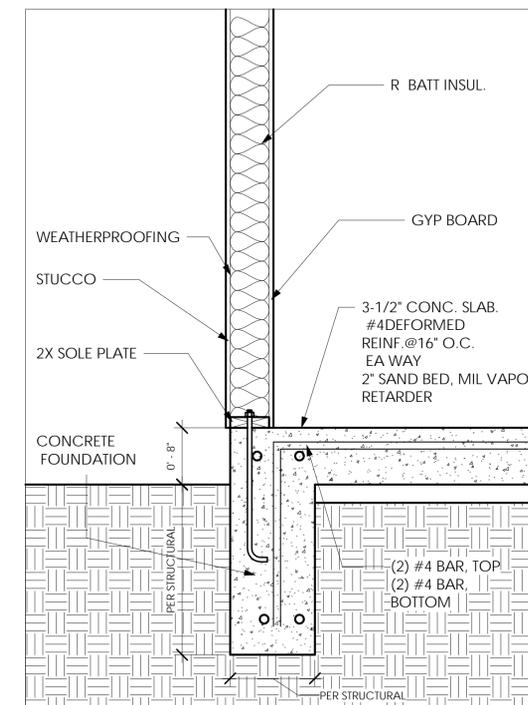
1 LONG SECTION
1/4" = 1'-0"



4 VAULTED CEILING DETAIL
1" = 1'-0"



2 SHORT SECTION
1/4" = 1'-0"



5 SLAB ON GRADE
1" = 1'-0"

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PAGE TITLE:
LONG AND
SHORT
SECTIONS

PROJECT NUMBER: 00000118

DATE: 12/05/2018

DRAWN BY: Author

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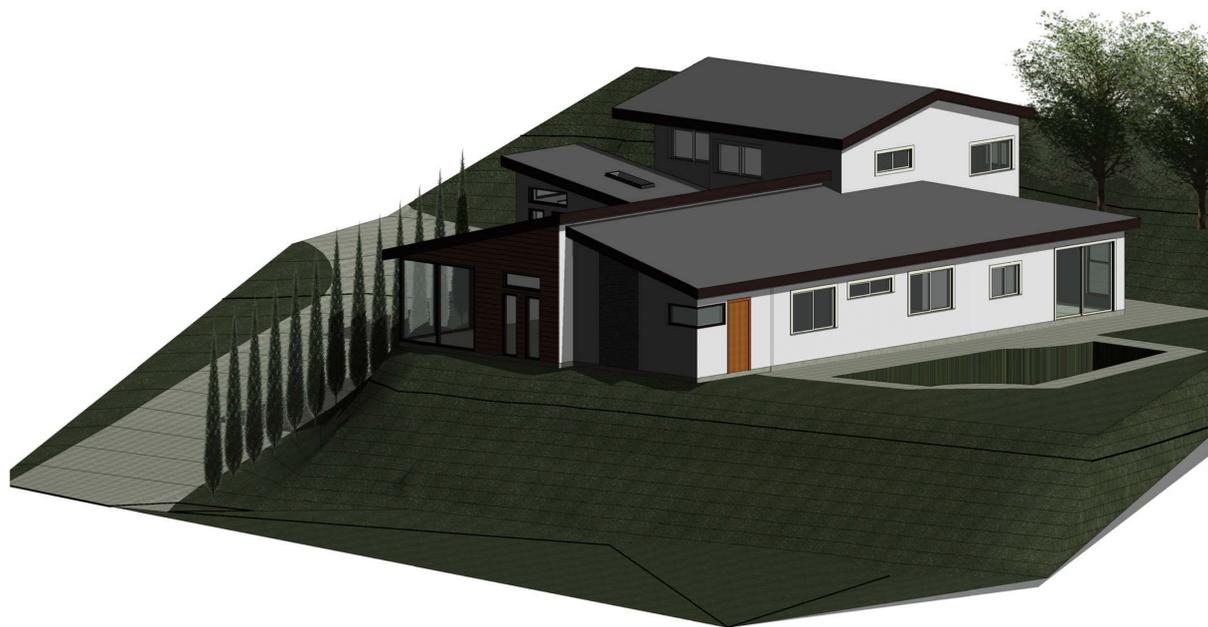
A-05.2



① SOUTH WEST ELEVATION



② SOUTH EAST ELEVATION



③ NORTH WEST ELEVATION



④ NORTH EAST ELEVATION

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PAGE TITLE:
 3D ELEVATIONS

PROJECT NUMBER: 00000118
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DRAWN BY: Author
CHECKED BY: Checker

A-06