

**City of Glendale  
Community Development Department  
Design Review Staff Report – Multi-Family**

<b>Meeting/Decision Date:</b> December 18, 2019	<b>Address:</b> 1115 Sonora Avenue
<b>Review Authority:</b> <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	<b>APN:</b> 5623-009-012
<b>Case Number:</b> PDR 1916717	<b>Applicant:</b> Art Barsegian
<b>Prepared By:</b> Danny Manasserian	<b>Owner:</b> Vardan Zeynalyan

**Project Summary**

The applicant is proposing to demolish 1,028 SF of an existing 1,528 SF front house and add 1,153 SF to the existing one-story house (built in 1925), located on an 8,350 SF lot with two residential units. No changes are proposed to the existing two-story unit at the rear with an attached garage or to the existing detached garage, serving the front unit. The property is located in the R-2250 (Medium Density Residential) zone.

The proposed work includes:

- To demolish 1,028 SF of the front unit and add back 1,153 SF
- New 24 SF front entry porch

**Existing Property/Background**

The site is currently developed with two living units; a one story 1,523 SF structure with a detached two-car garage at the front and a two story 1,300 SF structure with an attached two-car garage at the rear. There is an existing driveway along the west side of the property, which provides access to both garages.

**Staff Recommendation**

Approve     Approve with Conditions     Return for Redesign     Deny

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**Last Date Reviewed / Decision**

First time submittal for final review.  
 Other:

**Zone:** R2250 - Medium Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

None  
 Other:

**CEQA Status:**

- The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines because the proposed addition to the existing structure will not result in an increase of more than 2,500 square feet of floor area.
- The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines because .
- The project is exempt from CEQA review as a Class 32 “Infill Development” exemption pursuant to Section 15332 of the State CEQA Guidelines because .
- Other:

**Site Slope and Grading**

None proposed

- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

## DESIGN ANALYSIS

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### Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

#### Building Location

yes    n/a    no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

#### Yards and Usable Open Space

yes    n/a    no

If "no" select from below and explain:

- Outdoor space integrated into site design and acknowledges adjacent development
- Common space easily accessible from all units
- Appropriate separation/screening from residential units
- Discrete seating and amenity areas allow for multiple users

#### Garage Location and Driveway

yes    n/a    no

If "no" select from below and explain:

- Garage fully integrated into overall structure
- Driveway and curb-cut widths minimized
- Grade-level garages and parking, if allowed, are appropriately screened from the street
- Decorative paving complements building design
- Stairs and lifts to subterranean garages incorporated into the design of the project

#### Landscape Design

yes    n/a    no

If "no" select from below and explain:

- Complementary to building design
- Maintain existing trees when possible
- Provide landscaping adjacent to driveways and garages
- 20% of planting at above-grade common spaces is within 9 inches of finish floor
- Above-grade tree wells are at least 6 inches higher than box size of tree

#### Walls and Fences

yes    n/a    no

If "no" select from below and explain:

- Appropriate style/color/material for building design
- Perimeter walls treated at both sides

- Retaining walls minimized
- Appropriately sized and located

**Equipment, Trash, and Drainage**

yes    n/a    no

*If “no” select from below and explain:*

- Equipment screened and well located
- Trash storage out of public view
- All screening integrated with overall building and/or landscape design
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

A designated trash area is not clearly depicted on the site plan. A condition is added requesting to clearly show a proposed location for trash areas for both units.

**Lighting**

yes    n/a    no

*If “no” select from below and explain:*

- Light fixtures are appropriate to the building and/or landscape design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The property currently provides code-required parking for both units. An attached two-car garage serves the two-story unit at the rear while a detached two-car garage serves the one-story residential unit at the front. No changes are proposed to the existing rear unit. The 1,153 SF addition to the front residential unit will be integrated with the existing site conditions and relate to the existing rear unit and surrounding properties in the neighborhood.
- The addition is designed for compatibility with the rear unit.
- The proposed landscaping is complementary to the development of the site, with new drought tolerant landscaping. The 423 SF common outdoor area is located behind the detached two-car garage serving the front unit.
- Access to both garages for the front and rear unit will be from the existing driveway located on the west side of the property.
- The applicant has not provided a location for the trash enclosures on the site plan. A condition is added requesting to clearly show a proposed location for trash areas for both units.

**Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**

yes    n/a    no

*If “no” select from below and explain:*

- Relates to predominant pattern through appropriate proportions and transitions
- Impact of larger building minimized

**Building Relates to Existing Topography**

yes    n/a    no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

### **Consistent Architectural Concept**

yes    n/a    no

If "no" select from below and explain:

- Concept governs massing and height

### **Scale and Proportion**

yes    n/a    no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

### **Roof Forms**

yes    n/a    no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

## **Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The roof design, building mass, and proportions are of a consistent style and are compatible with the existing rear unit and the neighborhood context.
- The one-story addition will provide appropriate setbacks to avoid being overbearing towards adjacent properties.
- The building's one-story mass and overall height of 20'-2" fits well with the remaining unit on-site and the surrounding one and two story buildings in the neighborhood.
- The location of the addition appropriately respects the prevailing setback on Sonora Avenue.
- The redesigned facade of the front unit will consist of varying forms with a combination of stucco and wood siding with contrasting colors. The front entry porch that is set in adds interest and relief to the building profile and helps minimize a boxy outline.
- The fixed window located above the front door helps break up the mass of the front façade. By having a window located above the door, the front porch will not look top-heavy.
- The existing front unit has a flat roof, while the new addition will feature a shed roof with a 4:12 pitch, similar to the roof style of the rear unit.

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## **Design and Detailing**

Are the following items satisfactory and compatible with the project site and surrounding area?

### **Overall Design and Detailing**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Design is compatible with neighborhood context
- Design is stylistically consistent
- Employs consistent vocabulary of forms and materials while expressing architectural variety
- Cladding materials and

### **Entryway**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

### **Windows**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Appropriate to overall design
- Overall window pattern appropriate to style
- Window operation appropriate to style
- Recessed/flush window appropriate to style and/or location
- Openings are well detailed

### **Privacy**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Consideration of views from “public” rooms and balconies/roof decks
- Avoid windows facing adjacent windows

### **Finish Materials and Color**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Textures and colors reinforce design
- High-quality materials, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

### **Paving Materials**

**yes**    **n/a**    **no**

*If “no” select from below and explain:*

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

### Ancillary Structures

yes    n/a    no

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates, fences, and/or walls complement primary structure

### Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The contemporary design of the addition is appropriate for the neighborhood context.
- The proposed finish materials, stucco in an off white color, and fiber cement horizontal siding in a dark brown color are appropriate for the proposed style.
- Brown vinyl windows are proposed to compliment the cladding materials. A window schedule was not provided so a staff condition is included to provide a window schedule indicating nail-in windows and a vertical window section for final staff approval.
- The roof material of the shed roof is a composition shingle in a dark brown color.

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### Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

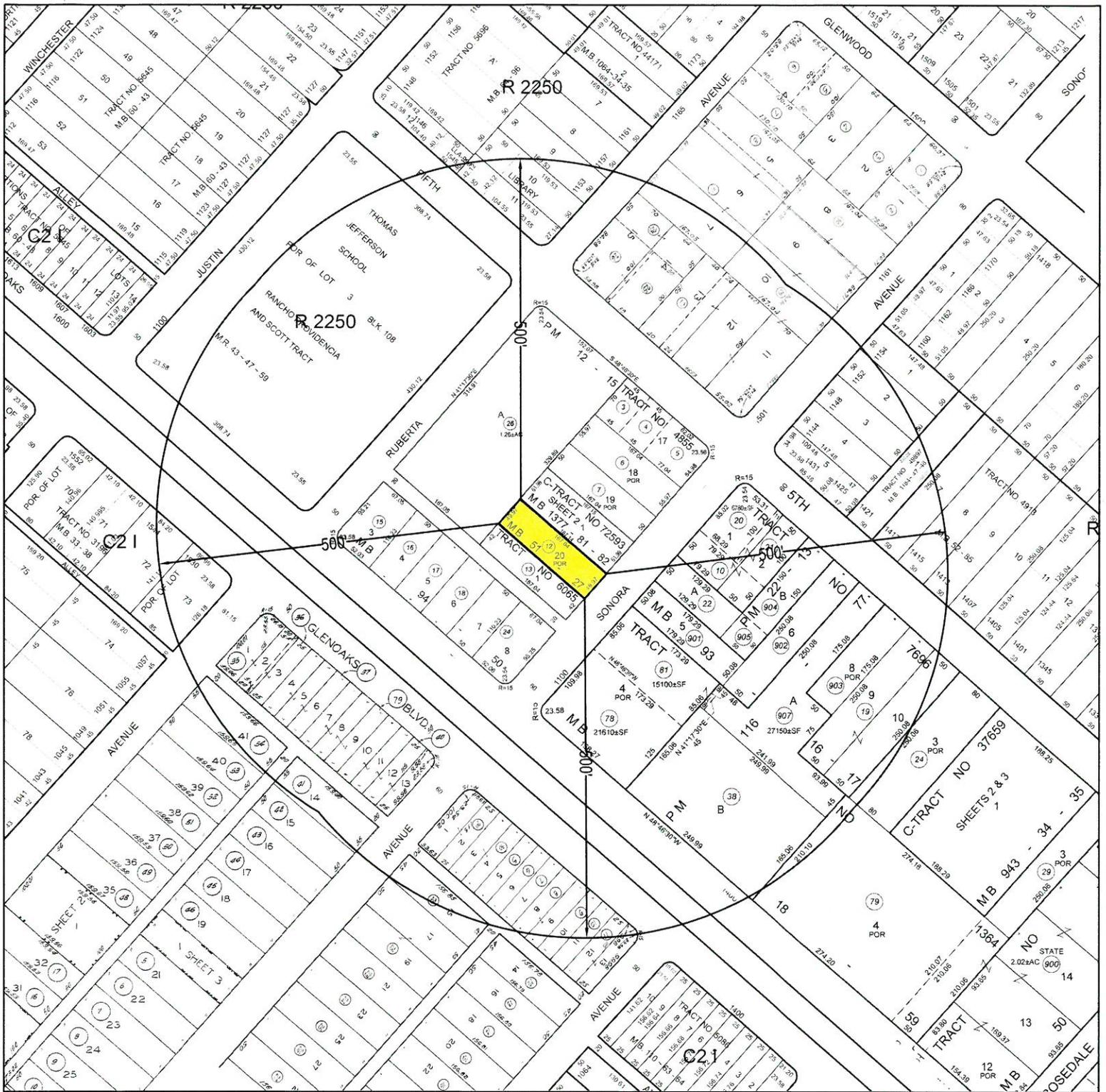
#### Conditions

1. Clearly show proposed location for trash areas for both units.
2. Provide a window schedule and vertical window section to ensure all windows are nail-in to match the unit at the rear.

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### Attachments

1. Location Map
2. Neighborhood Survey
3. Photos of Existing Property
4. Reduced Plans



# LOCATION MAP

## LEGEND

SUBJECT PROPERTY(IES) 

SITE LOCATION: 1115 SONORA AVE  
GLENDALE, CA 91201

APN: 5623-009-012



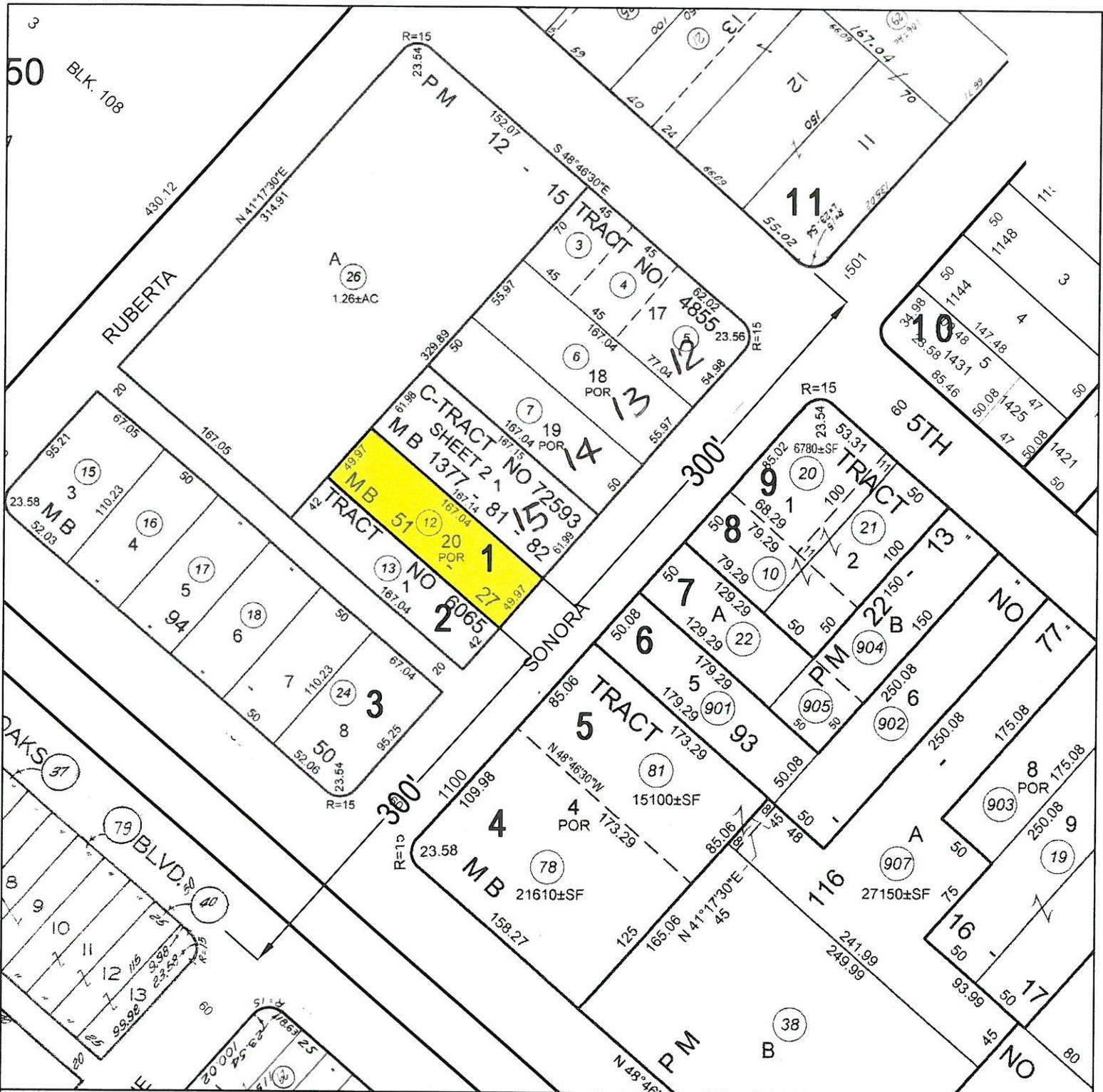
SCALE: 1"=200'

DATE: Aug 18, 2019

PREPARED BY:



409 W. BROADWAY  
GLENDALE CA, 91204  
(818) 409-8921



# PHOTOGRAPHIC SURVEY MAP

## LEGEND

PHOTO LABEL #

SUBJECT PROPERTY(IES)

SITE LOCATION: 1115 SONORA AVE  
GLENDALE, CA 91201

APN: 5623-009-012

DATE: Aug 18, 2019



SCALE: 1"=100'

PREPARED BY:



409 W. BRAODWAY  
GLENDALE CA, 91204  
(818) 409-8921



1. 1115 SONORA AVE



2. 1113 SONORA AVE



3. 1501 W GLENOAKS BLVD



4. 1427 W GLENOAKS BLVD



5. 1110 SONORA AVE



6. 1116 SONORA AVE



7. 1120SONORA AVE



8. 1122SONORA AVE



9. 1430 5TH ST



10. 1431 5TH ST



11. 1151 5TH ST



12. 1131 SONORA AVE



13. 1127 SONORA AVE



14. 1125 SONORA AVE



15. 1119 SONORA AVE

# Property Photos







**SCOPE OF WORK:**

- DEMO 1,053 SQ.FT. OF EXISTING 1,528 SQ.FT. DWELLING UNIT (LIVING, DINING, KITCHEN, 2 BEDROOMS, AND 1 BATH)
- 1,125 SQ.FT. ADDITION TO DWELLING UNIT, NEW LIVING ROOM, DINING ROOM, KITCHEN, 2 BEDROOMS, AND 2 BATH.
- NEW 24 SQ.FT. COVERED FRONT PATIO

**NOTES:** THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW.

**APPLICABLE CODES:** 2016 CRC (AND/OR 2016CBC), 2016 CPC, 2016 CMC, 2016 CEC, 2016 CEnC, 2016 CGSBC, AND 2017 GBSC (GLENDALE'S BUILDING STANDARDS CODE).

**ZONING NOTES:**

- NO NEW ROOFTOP EQUIPMENT IS ALLOWED.
- RETAINING WALLS, POOLS, SPAS, JACUZZIS, BOUNDARY WALLS, FENCES, TRELIS, PATIO COVERS REQUIRE A SEPARATE PERMIT.

**NOTES:**

- INSTALL AUTOMATIC FIRE SPRINKLER SYSTEM IN ENTIRE UNIT 115 SONORA AVE

APN#	5623-009-012
CONSTRUCTION TYPE:	VB
OCCUPANCY:	R3
CA CLIMATE ZONE:	4
HIGH FIRE HAZARD ZONE:	NO
FIRE SPRINKLERS:	YES THROUGHOUT

AREA CALCULATIONS	
ZONING	R-2250
LOT SIZE	8,347 SQ.FT.
1115 SONORA AVE	
(E) DWELLING	1,528 SQ.FT.
DEMO AREA	1,053 SQ.FT.
REMAINING AREA	475 SQ.FT.
NEW ADDITION	1,125 SQ.FT.
NEW LIVING AREA (475+1,125)	1,600 SQ.FT.
EXISTING REAR COVERED PATIO	21 SQ.FT.
NEW FRONT COVERED PATIO	24 SQ.FT.
(E) 2-CARGARAGE	400 SQ.FT.
1115 A SONORA AVE	
EXISTING FIRST FLR	467 SQ.FT.
EXISTING SECOND FLR	952 SQ.FT.
EXISTING LIVING AREA	1,419 SQ.FT.
EXISTING ATTACHED GARAGE	400 SQ.FT.
EXISTING FRONT COVERED PATIO	105 SQ.FT.
EXISTING REAR COVERED PATIO	203 SQ.FT.
MISCELLANEOUS	
TOTAL FLOOR AREA: 1,600 (1115)+1,419 (1115 "A") = 3,019 SQ.FT. 3,019/8,347 =	36.16%
TOTAL LOT COVERAGE: 3,260/8,347 =	39.05%
EXISTING COMMON OUTDOOR AREA =	567 SQ.FT.
TOTAL LANDSCAPE AREA 2,443/8,347	29.26%
SHEET TITLE	REVISIONS
A-1 SITE PLAN	
A-2 EXISTING/DEMO FLOOR PLAN	
A-3 PROPOSED FLOOR PLAN	
A-3.1 WINDOW/DOOR SCHEDULE	
A-4 ELEVATIONS	
A-4.1 ELEVATIONS (COLORED)	
A-5 ROOF PLAN	

REVISION	DATE

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB PRIOR STARTING CONSTRUCTION AND THE OWNER, DESIGNER OR ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES, DO NOT SCALE DIMENSIONS, WHERE NO DIMENSIONS ARE PROVIDED, CONSULT WITH OWNER, DESIGNER, OR ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

Owner: VARDAN D ZEYNALYAN  
1115 SONORA AVE  
GLENDALE, CA 91201

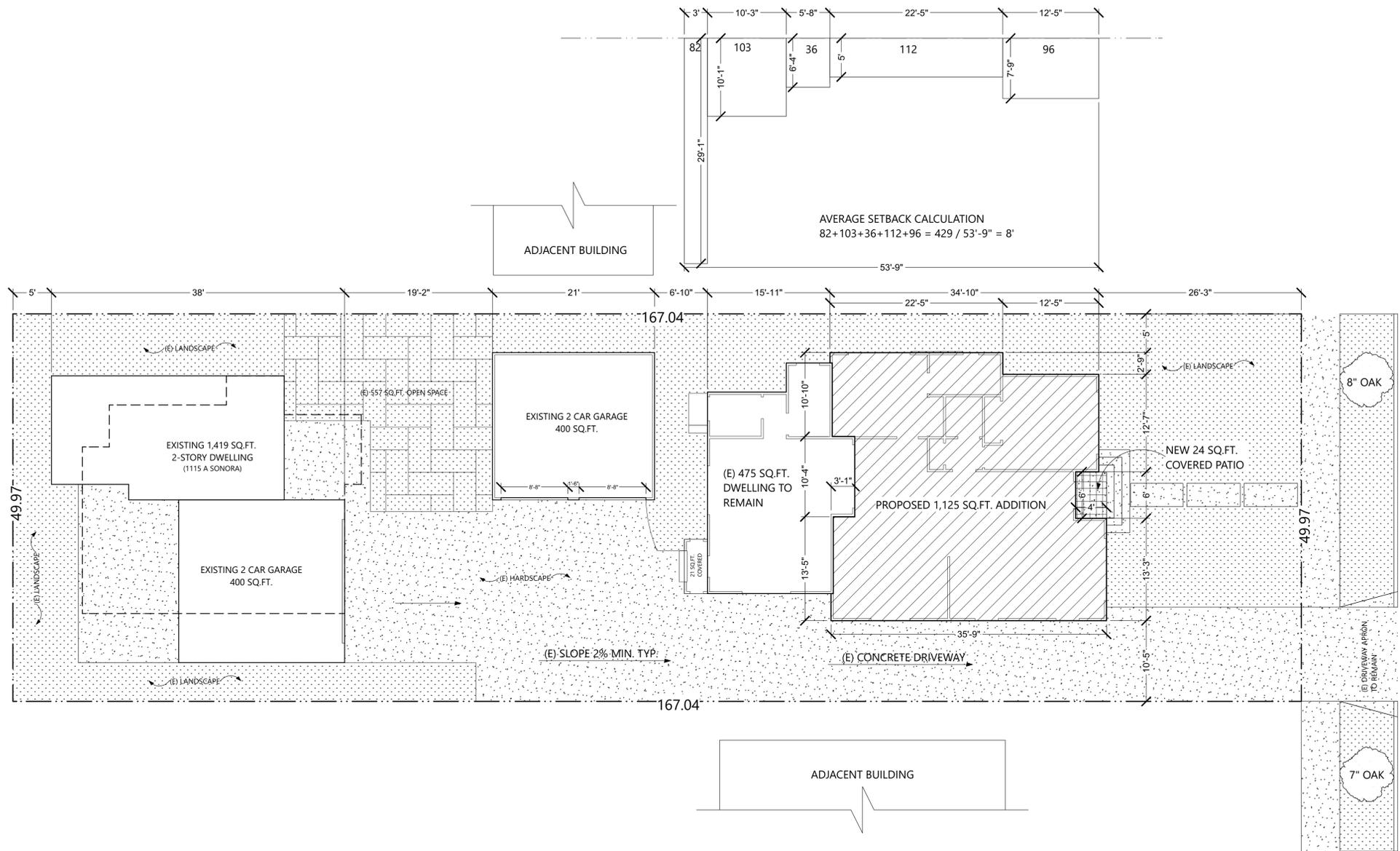
412 W. BROADWAY #206  
GLENDALE, CA 91204  
ARTTECH@GMAIL.COM  
TEL: 818.409.8921



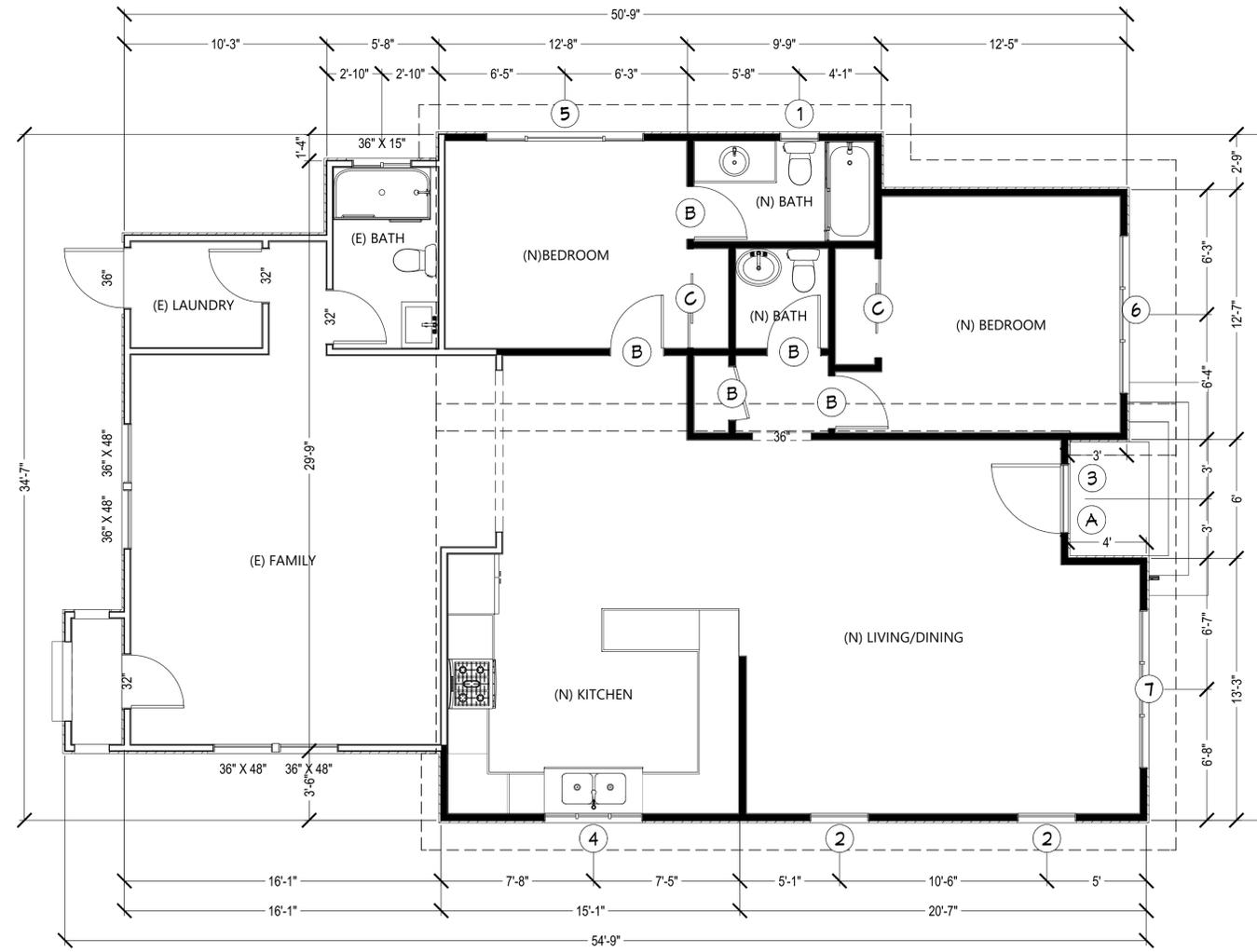
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DRAWN BY: A.B.

SHEET TITLE:  
SITE PLAN

SHEET NO:  
A-1







 **PROPOSED FLOOR PLAN**

REVISION	DATE

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**Owner: VARDAN D ZEYNALYAN**  
**1115 SONORA AVE**  
**GLENDALE, CA 91201**

412 W. BROADWAY #206  
 GLENDALE, CA 91204  
 ATTECHLA@GMAIL.COM  
 TEL: 818.409.8921



DATE: 12/2/2019  
 SCALE: 1/4"=1'-0"  
 DRAWN BY: A.B.  
 1115 SONORA

SHEET TITLE:  
**PROPOSED FLOOR PLAN**

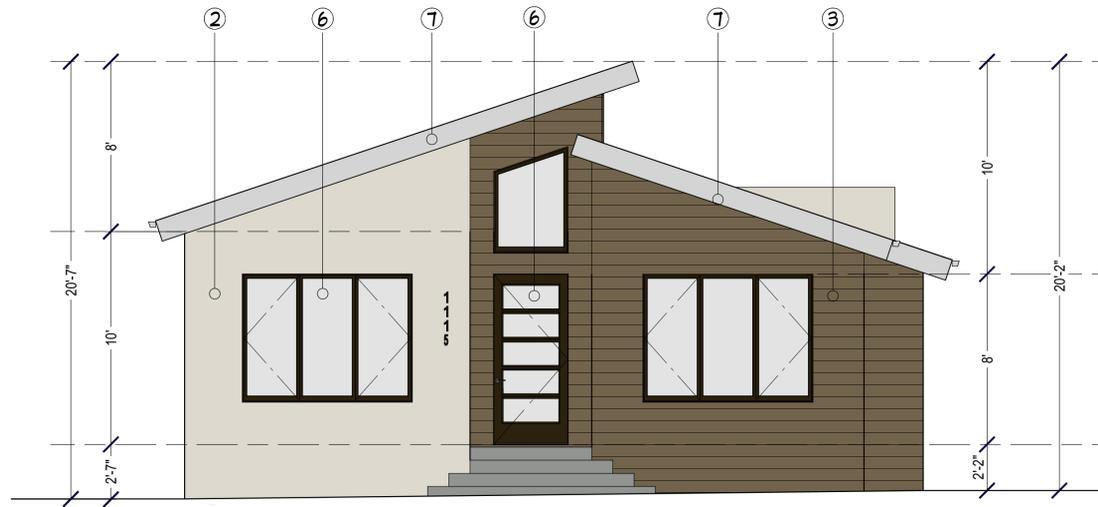
SHEET NO:  
**A-3**

SEE A-3.1 FOR WINDOW/DOOR SCHEDULE

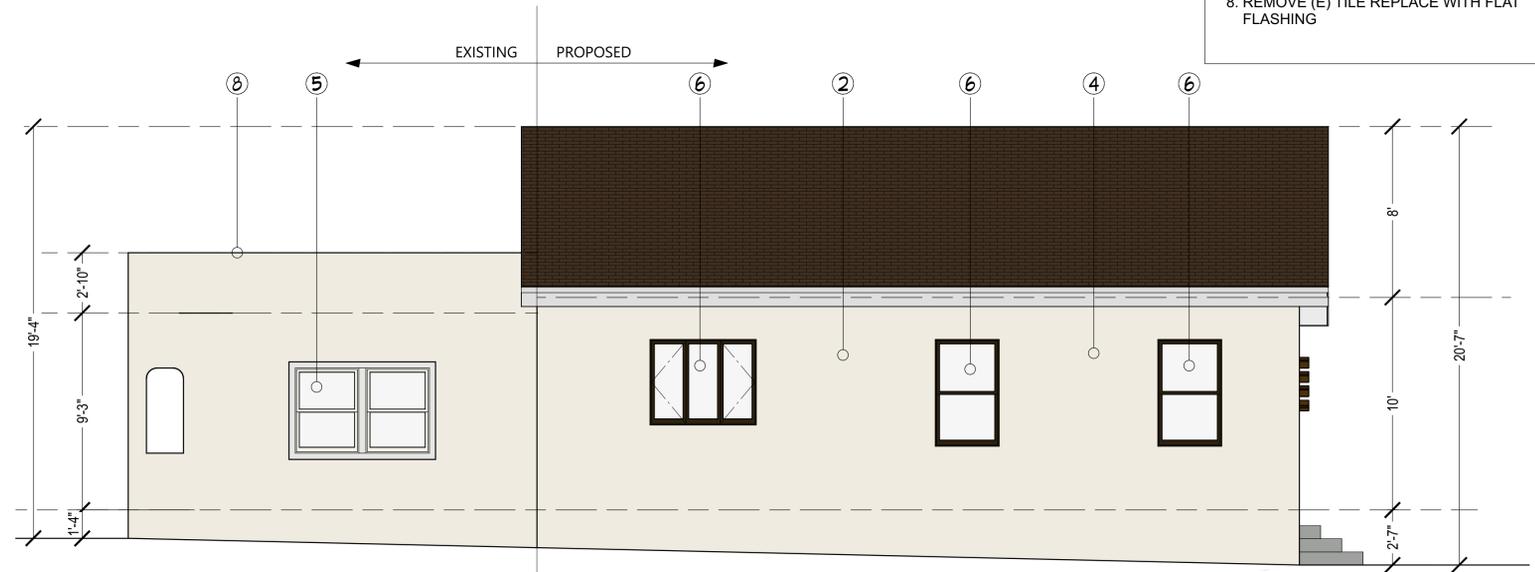
- ELEVATION KEYED NOTES: (#)**
1. EXISTING STUCCO
  2. NEW 7/8" STUCCO (COLOR MATCH EXISTING)
  3. JAMES HARDIE HARDIEPLANK LAP SIDING - COLONIAL SMOOTH - COLOR: TIMBER BARK
  4. COMP. SHINGLE BY OWENS CORNING TRUDEFINITION DURATION COOL - COLOR FOREST BROWN (CLASS "A")
  5. EXISTING WINDOWS & DOORS
  6. NEW FIBERGLASS WINDOWS & DOORS BY MILGARD - COLOR: BARK
  7. FASCIA - WHITE
  8. REMOVE (E) TILE REPLACE WITH FLAT FLASHING

REVISION	DATE

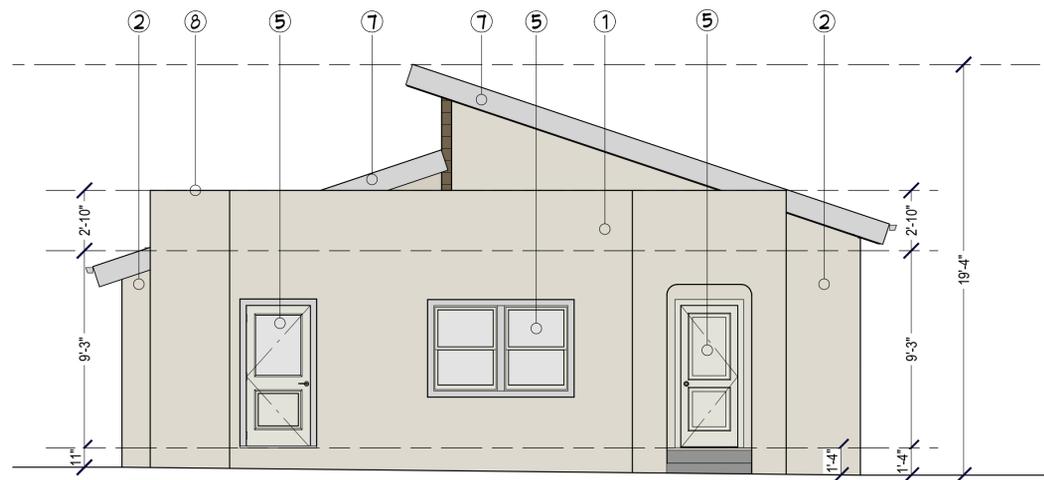
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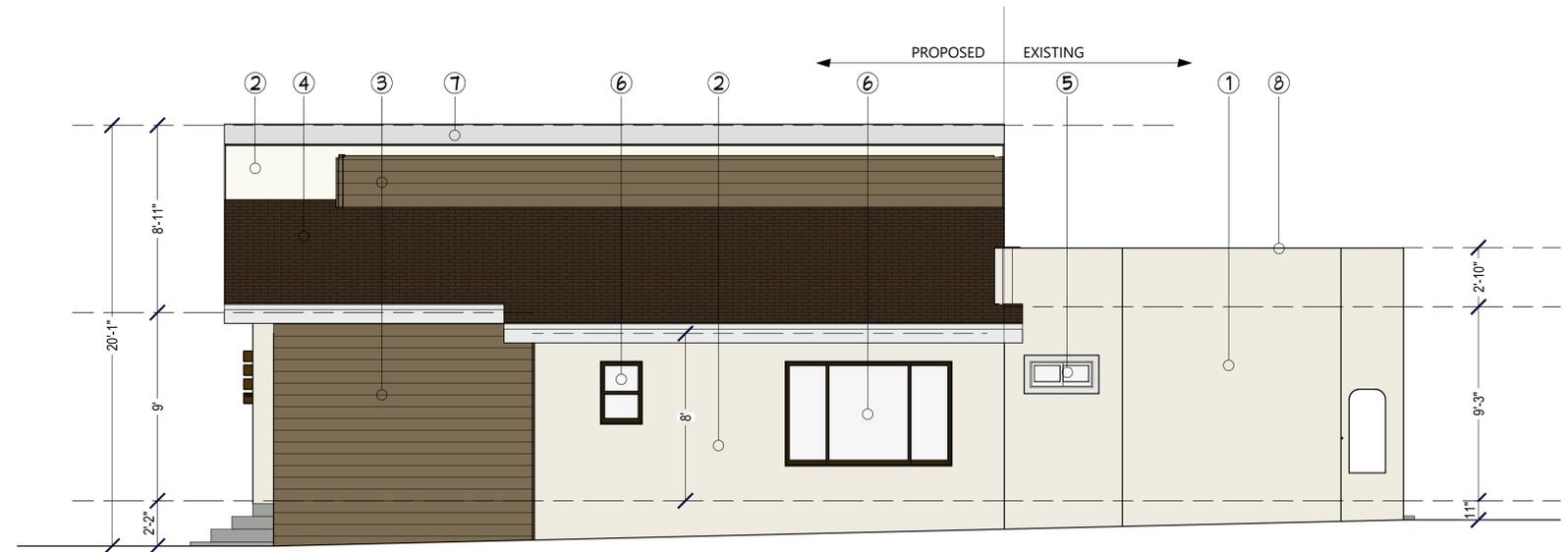
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

Owner: VARDAN D ZEYNALYAN  
 1115 SONORA AVE  
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DATE: 12/2/2019  
 SCALE: 1/4"=1'-0"  
 DRAWN BY: A.B.

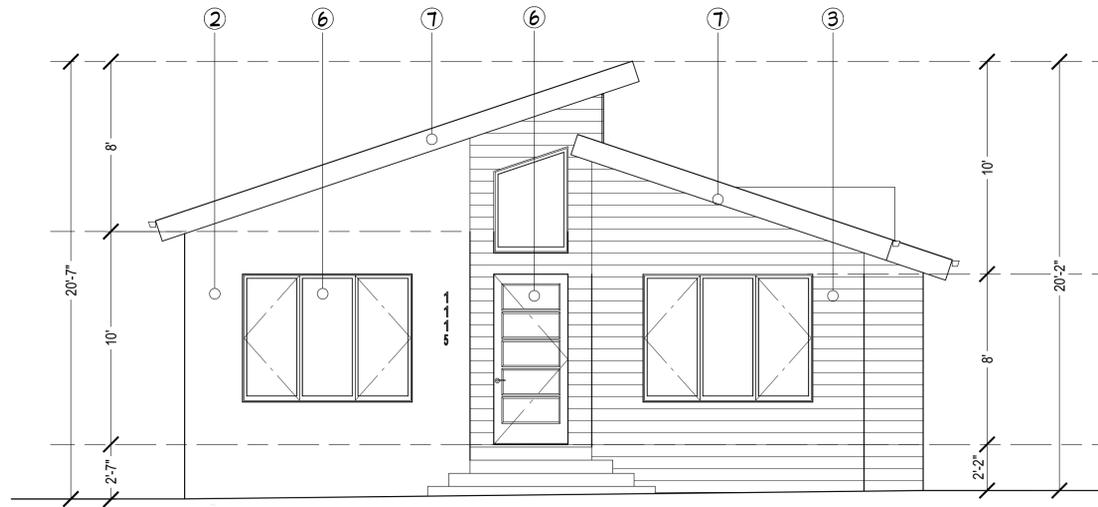
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 ELEVATIONS  
 COLORED

SHEET NO:  
 A-4.1

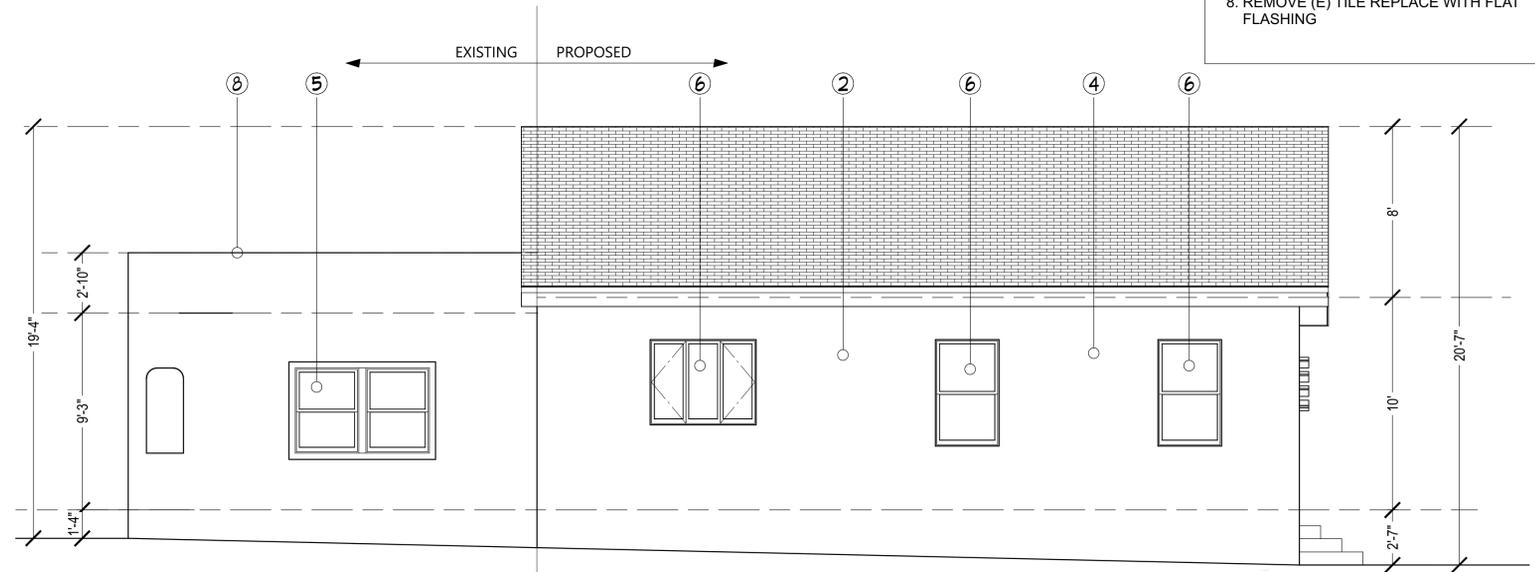
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REVISION	DATE

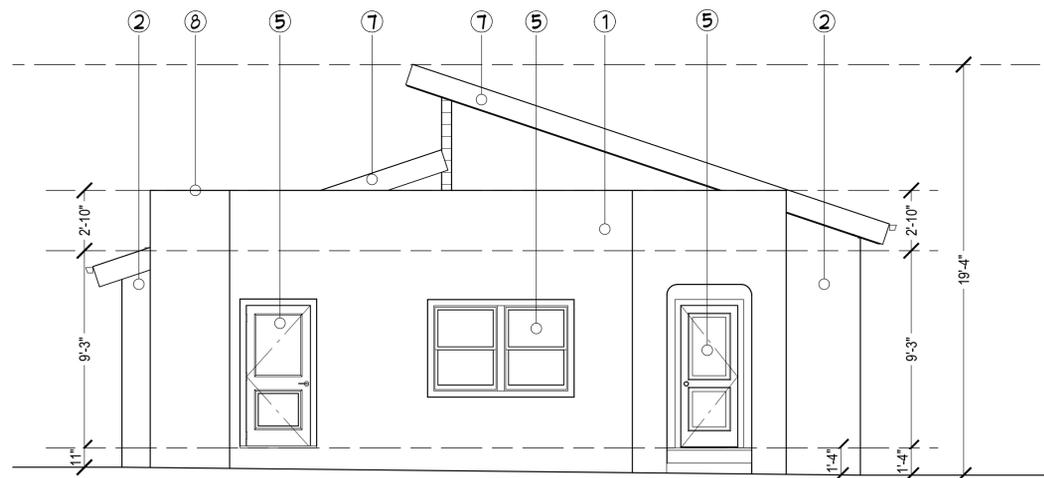
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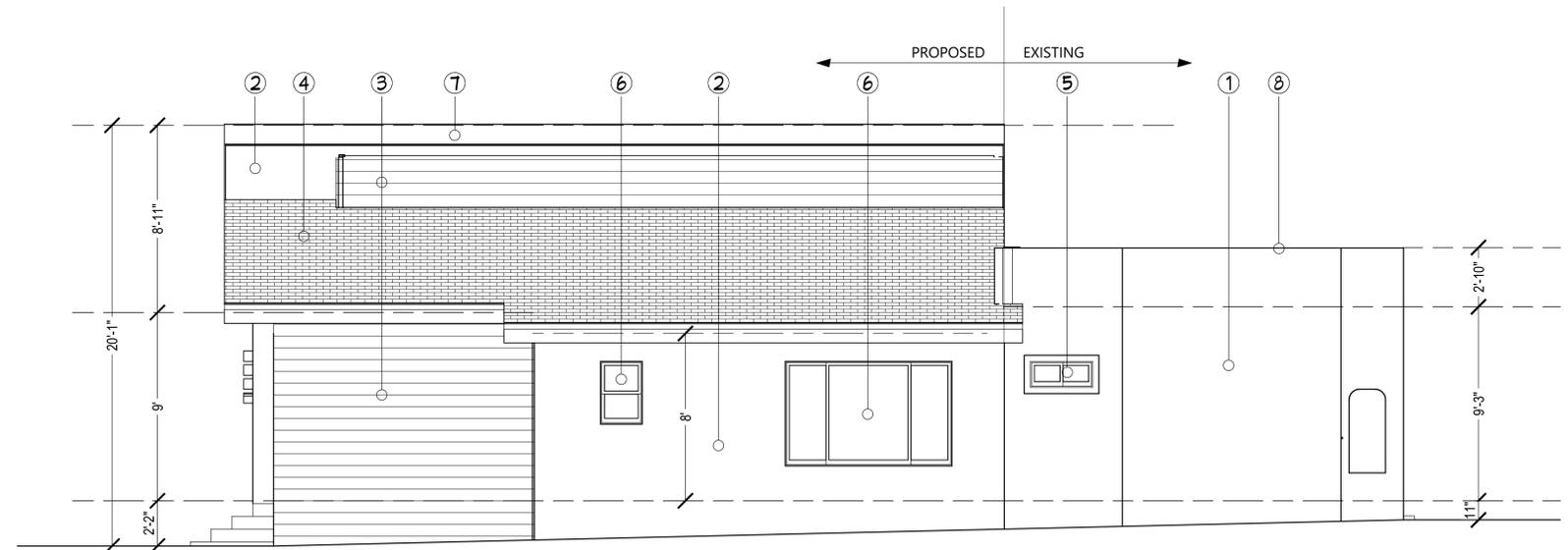
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

Owner: VARDAN D ZEYNALYAN  
 1115 SONORA AVE  
 GLENDALE, CA 91201

412 W. BROADWAY #206  
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 ATTECHLA@GMAIL.COM  
 TEL: 818.409.8921



DATE: 12/2/2019  
 SCALE: 1/4"=1'-0"  
 DRAWN BY: A.B.

SHEET TITLE:  
 ELEVATIONS

SHEET NO:  
 A-4

REVISION

NO	BY	DATE
△		
△		
△		
△		

**OWNER:** MR. VARDAN D ZEYNALYAN  
**PROJECT ADDRESS:** 1115 SONORA AVE GLENDALE CALIFORNIA 91201

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DATE

SCALE

ARCH DESIGNER

**Arttech design**

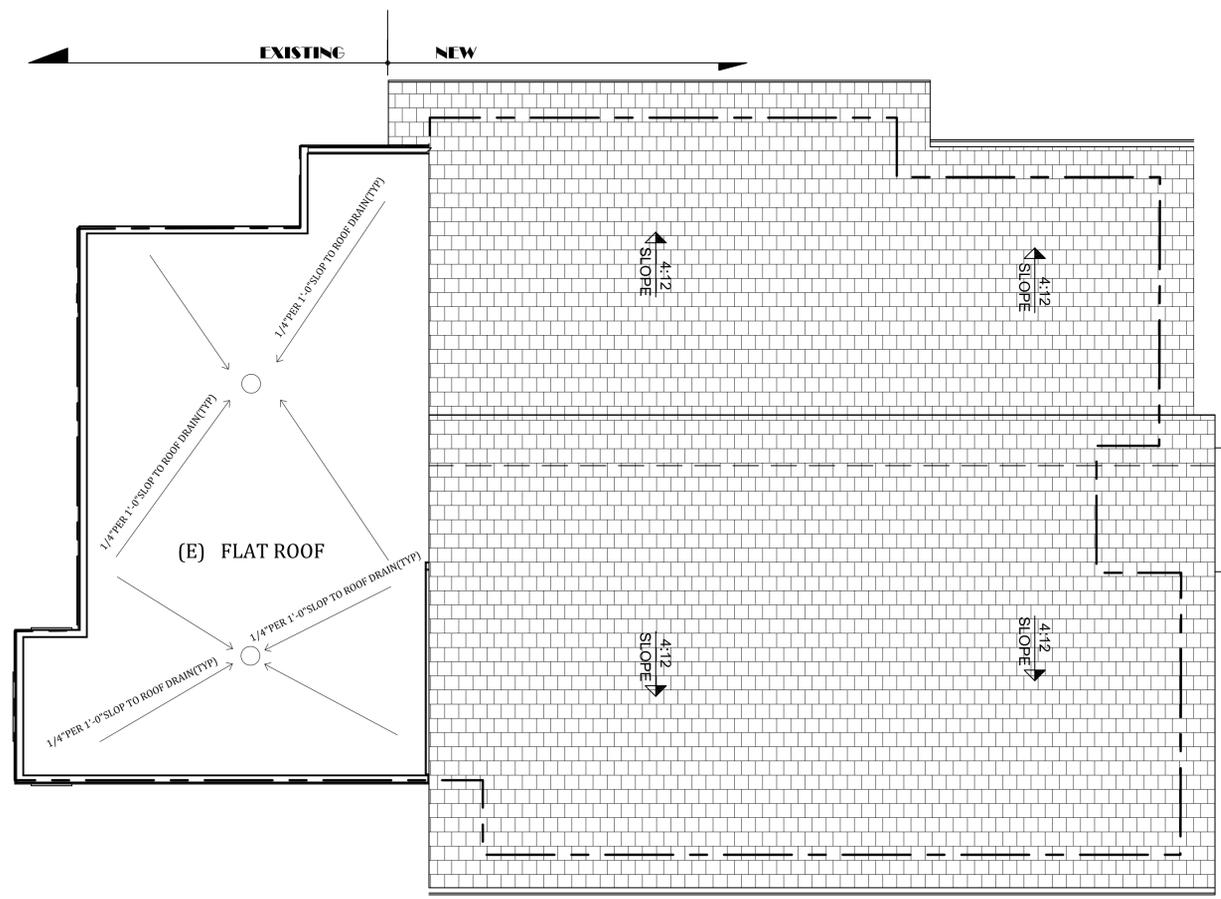
JOB

SHEET TITLE

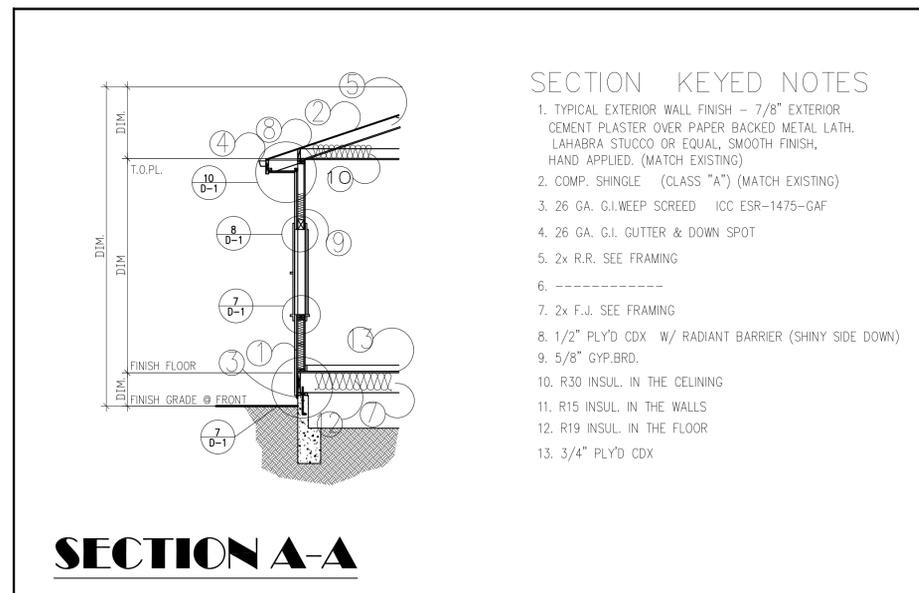
**ROOF PLAN**

SHEET NO

**A-5**



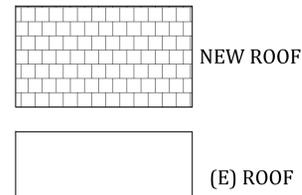
**ROOF PLAN**



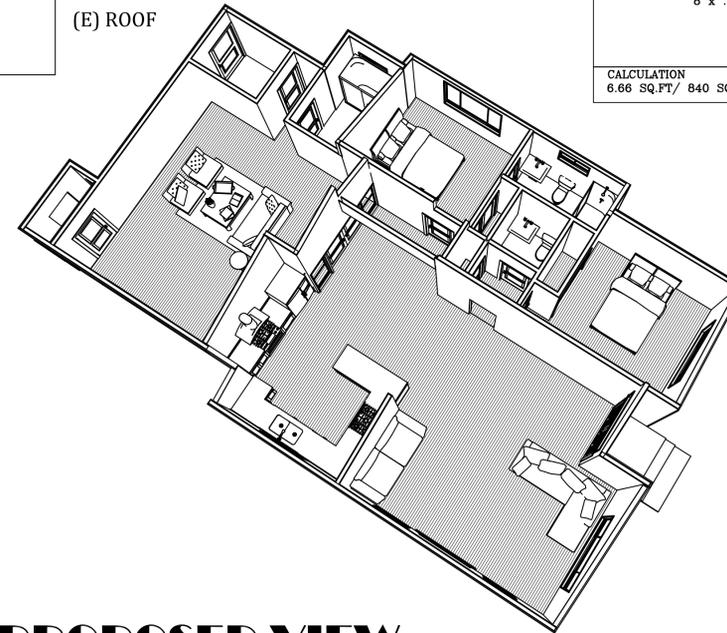
**SECTION A-A**

SECTION KEYED NOTES

1. TYPICAL EXTERIOR WALL FINISH - 7/8" EXTERIOR CEMENT PLASTER OVER PAPER BACKED METAL LATH. LAHABRA STUCCO OR EQUAL, SMOOTH FINISH, HAND APPLIED. (MATCH EXISTING)
2. COMP. SHINGLE (CLASS "A") (MATCH EXISTING)
3. 26 GA. G.I. WEEP SCREED ICC ESR-1475-GAF
4. 26 GA. G.I. GUTTER & DOWN SPOT
5. 2x R.R. SEE FRAMING
6. -----
7. 2x F.J. SEE FRAMING
8. 1/2" PLYD CDX W/ RADIANT BARRIER (SHINY SIDE DOWN)
9. 5/8" GYP.BRD.
10. R30 INSUL. IN THE CELING
11. R15 INSUL. IN THE WALLS
12. R19 INSUL. IN THE FLOOR
13. 3/4" PLYD CDX

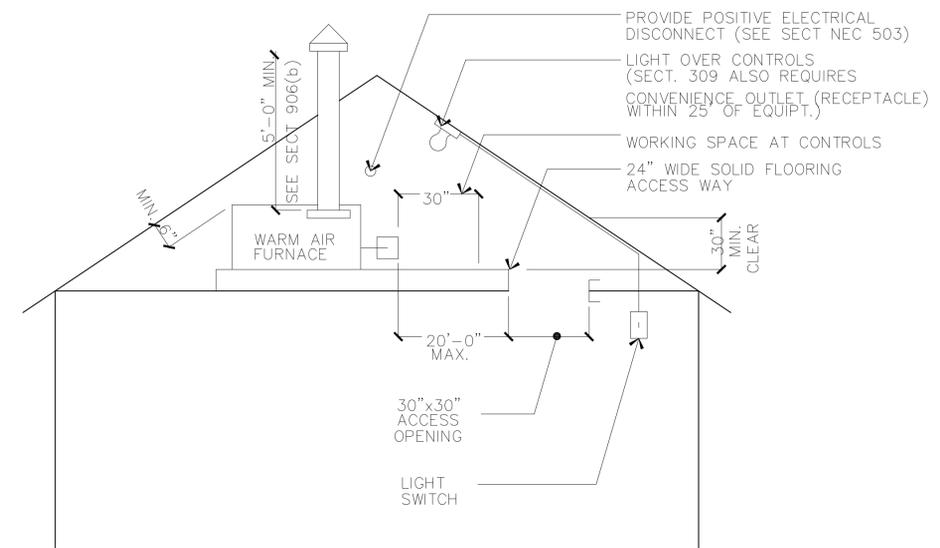


**PROPOSED VIEW**



**ATTIC VENTILATION :**

ATTIC AREA	840/150=5.6 SQ.FT.
8-DORMER VENT (D24 SIMPSON) GAL.CONSTRUCTION. 1/4 MESH SCREEN. 120 SQ. IN. (.833 SQ.FT.) OF NET FREE AREA EA. 8 x .833 SQ.FT. = 6.66 SQ.FT.	
CALCULATION	<b>1/126</b>
6.66 SQ.FT./ 840 SQ.FT.	



RELATED CODES SECTIONS: 309, 319

CENTRAL WARM-AIR FURNACES INSTALLED IN ATTICS MUST BE ACCESSIBLE FOR ROUTINE INSPECTION AND MAINTENANCE BY THE OWNER/OCCUPANT AND FOR SERVICE AND REPAIR AS NEEDED. CHANGING FILTERS, LUBRICATING MOTOR AND FAN BEARINGS, CHECKING BELT TENSIONS AND RELIGHTING THE PILOT FOLLOWING A SERVICE INTERRUPTION ARE NORMAL OWNER FUNCTIONS. ADEQUATE LIGHT, AN ELECTRICAL OUTLET, SAFE ACCESS WAY AND SUFFICIENT WORKING SPACE ON THE CONTROL SIDE ALL ENCOURAGE AND FACILITATE MAINTENANCE AND ALSO ENABLE RAPID EGRESS IN AN EMERGENCY.

**DETAIL "A"**

F.A.U. EQUIPMENT