

**City of Glendale
Community Development Department
Design Review Staff Report – Single Family**

Meeting/Decision Date: December 18, 2019	Address: 3235 Kirkham Drive
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5603-001-038
Case Number: PDR 1917014	Applicant: Curtis Ro
Prepared By: Danny Manasserian, Planning Assistant	Owner: Boris Arutyunyan

Project Summary

The applicant is proposing to add a total of 930 SF to an existing 1,948 SF, one-story, single family house on a 19,491 SF lot zoned R1R (District II) on Kirkham Drive. The addition will match the existing house in terms of architectural style and materials.

The proposed work includes:

- Adding 100 SF to the front, 293 SF to the west elevation, and 537 to the east elevation of the home (total addition 930 SF)
- Enlarging the front entry, new family room, new bedroom, providing two additional bathrooms and two new walk-in closets
- Façade remodel

Existing Property/Background

The project site is a 19,491 SF lot with 100' of frontage on 3235 Kirkham Drive. The site is developed with a 1,948 SF one-story, traditional style, single-family home with a 2-car garage, constructed in 1975. The improved portion of the lot is flat, with the natural hillside rising at the rear.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R1R **FAR District:** III

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines.
 The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines.
 Other:

Site Slope and Grading

None proposed

- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

Comparison of Neighborhood Survey:

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	14,434 SF	9,666 - 19,987 SF	19,491 SF
Setback	20'	12 - 28'	23'
House size	2,336 SF	1,271 - 2,549 SF	2,878 SF
Floor Area Ratio	0.17	0.1 - 0.33	0.15
Number of stories	1-2	1 - 2	1

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Equipment location and screening

Garage Location and Driveway

yes n/a no

If "no" select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

yes n/a no

If "no" select from below and explain:

- Complementary to building design
- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes n/a no

If "no" select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

The existing iron fence located on the west side of the lot is not in keeping with the City's design guidelines and will be replaced. A new gate on the east side of the front façade is proposed. Appropriate conditions will be added to insure appropriate gate locations and design.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The addition will be split between three areas and will slightly alter the existing footprint of the house. The site plan will remain consistent with those of nearby houses in the area.
- No new landscaping is proposed. The amount of existing landscaping on the lot is sufficient in terms of code standards and complementing the building design.
- Since the existing iron fence is not in keeping with the City's design guidelines, a condition will be added calling for a fence and gate with an appropriate design set back 1-2 feet from the corner of the house. A new gate is proposed on the east side of the front façade. A similar condition will be added to set the gate 1-2 feet behind the existing wall. The front yard will maintain its open appearance towards the street since the gates will be located outside of the street front setback.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes n/a no

If "no" select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms

- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed additions are appropriately proportioned and fit in with the existing one-story homes as they are sensitive to height, roofline, and mass and scale.
- There will be no change in the overall existing height of the house.
- The proposed addition adds mass to the existing dwelling but is mitigated by providing articulated volumes at the front; therefore, the architectural concept is consistent.
- The addition will not look massive since the combination of its low height, articulated massing, and material pallet are consistent with other homes in the area.
- The new roof forms will reinforce the overall building design by having the same pitch of 1:3.7 as the existing. The orientation of the existing gabled roof form and the new gabled roof form provides visual interest and scale and proportion to the structure.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate
- Articulation appropriate to style

Privacy yes n/a no*If "no" select from below and explain:*

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color yes n/a no*If "no" select from below and explain:*

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors used in hillside areas

Paving Materials yes n/a no*If "no" select from below and explain:*

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Equipment, Trash, and Drainage yes n/a no*If "no" select from below and explain:*

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades
- Downspouts appropriately located

The gutters and downspouts are not shown on the drawings. A condition of approval is added requiring revised elevation drawings that show the location of the gutters and downspouts.

Ancillary Structures yes n/a no*If "no" select from below and explain:*

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate to the site and its surroundings for the following reasons:

- The proposed addition will be architecturally consistent with the existing traditional style of the house.
- All existing windows on the house will be replaced with fiberglass, nail-in construction, sliding windows. All new windows on the addition will match, which will be appropriate to the style and period of the house.
- The front addition will be stucco with a stone base, keeping consistency with the existing house. A gray color will be used to paint the existing house and match the addition. A clay tile roof will be installed to match the existing roof.

- Stone veneer will replace the existing brick at the front façade to provide additional texture and enhance the overall appearance, and will terminate at appropriate locations.
- Based on the traditional style of the home, the proposed walkway paving material (concrete) will relate to the overall architectural design of the building. There will be no change to the existing driveway material.

Recommendation / Draft Record of Decision

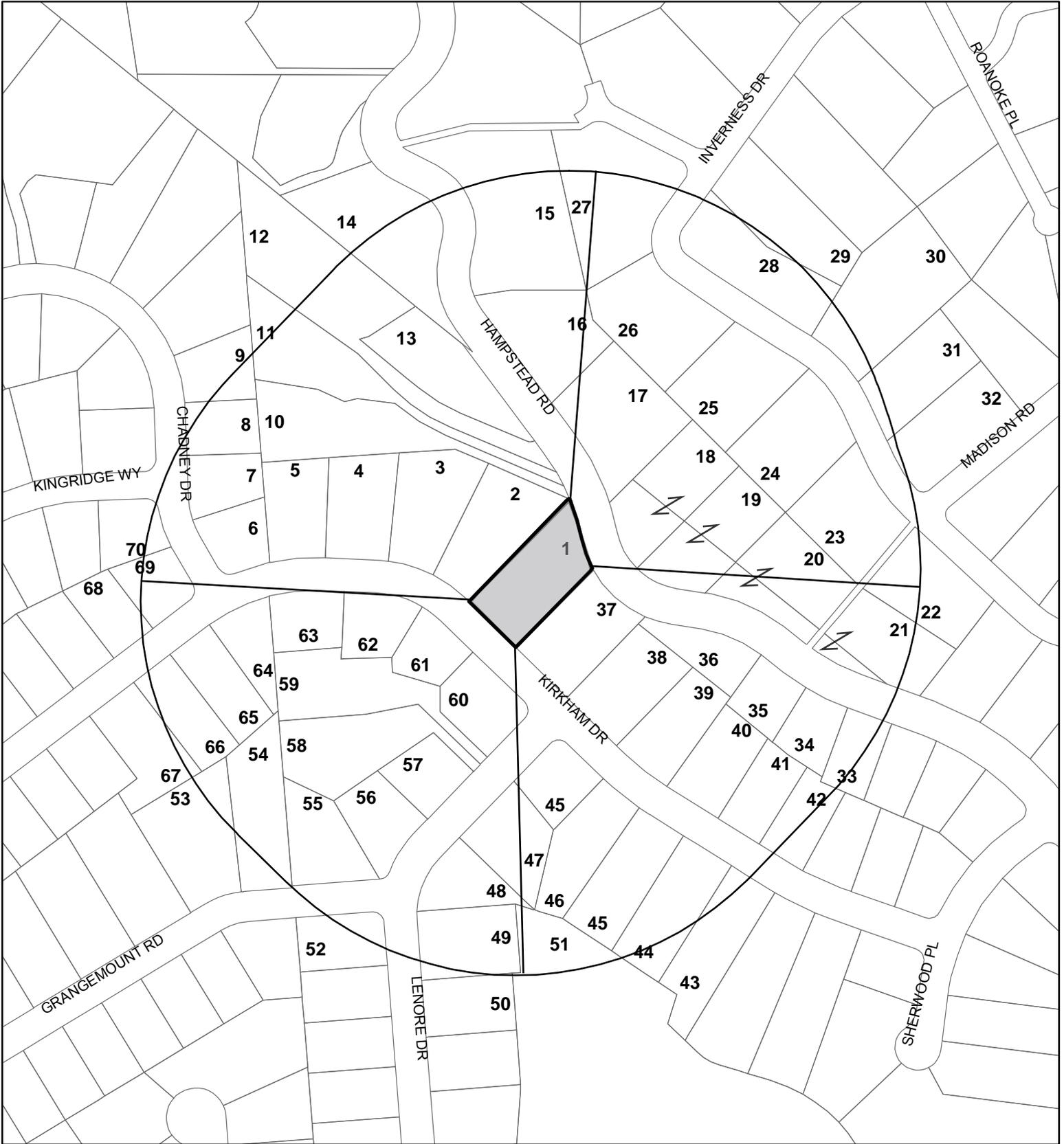
Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follows:

Conditions

1. Location of existing fence and gate to be set back 1-2 feet from the corner of the house and shall meet the City's design guidelines.
2. New gate on the east side of front façade shall be set back 1-2 feet from the corner of the house.
3. Revise elevation drawings to show location of gutters and downspouts.

Attachments

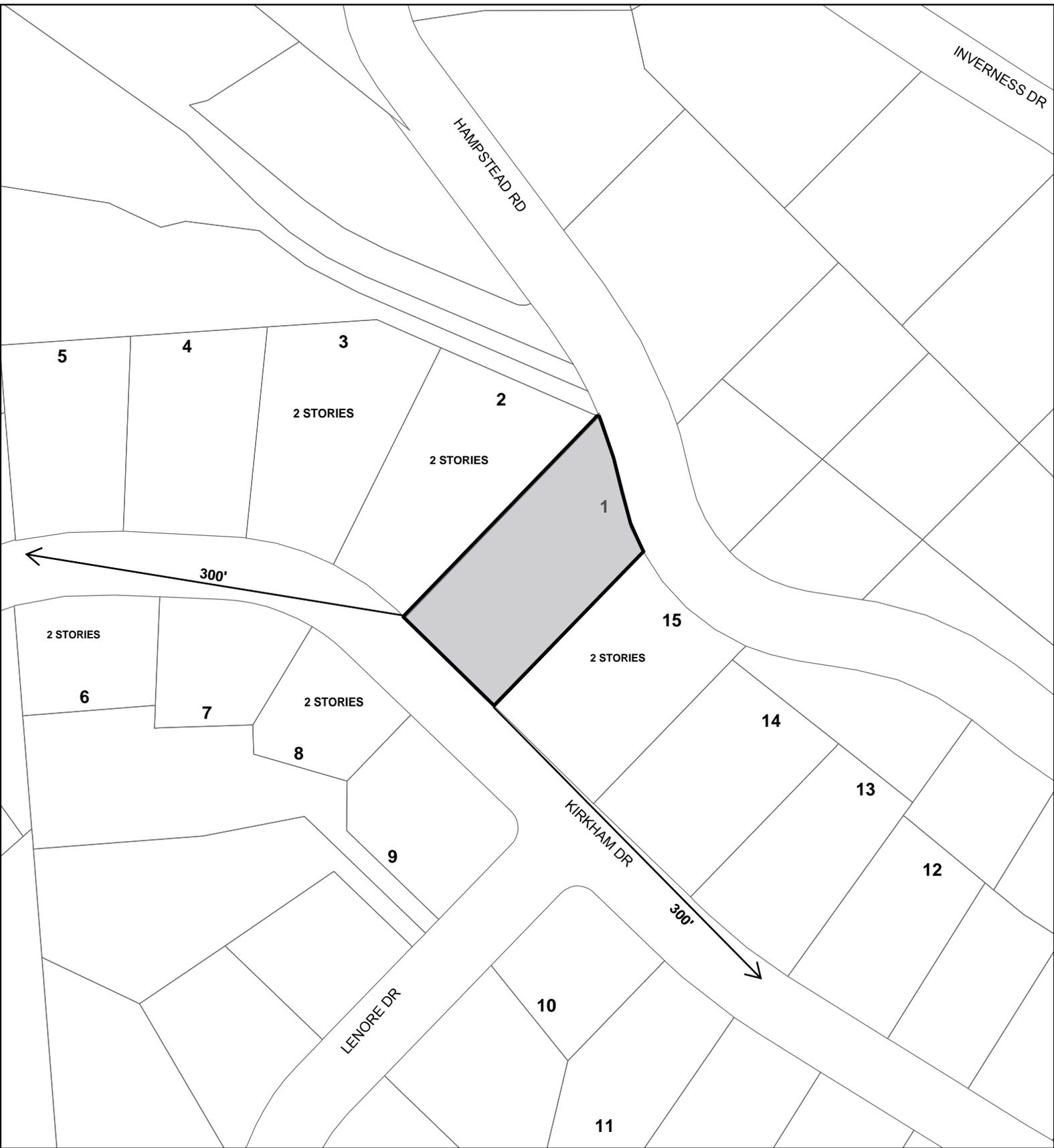
1. Location Map
2. Neighborhood Survey
3. Photos of Existing Property
4. Reduced Plans



LOCATION MAP
 3235 KIRKHAM DR
 GLENDALE, CA 91206
 APN: 5658-022-019
 500' RADIUS
 DATE: 06-10-2019

SCALE: 1" = 200'





SCALE: 1" = 100'

VICINITY & PHOTO SURVEY MAP
3235 KIRKHAM DR
GLENDALE, CA 91206
APN: 5658-022-019
300' RADIUS
DATE: 06-15-2019



Photo 1 – 3235 Kirkham Dr



Photo 2 – 3229 Kirkham Dr



Photo 3 – 3223 Kirkham Dr



Photo 4 – 3217 Kirkham Dr



Photo 5 – 3209 Kirkham Dr



Photo 6 – 3206 Kirkham Dr



Photo 7 – 3218 Kirkham Dr



Photo 8 – 3224 Kirkham Dr



Photo 9 – 2223 Lenore Dr



Photo 10 – 2222 Lenore Dr



Photo 11 – 3258 Kirkham Dr



Photo 12 – 3267 Kirkham Dr



Photo 13 – 3259 Kirkham Dr



Photo 14 – 3251 Kirkham Dr



Photo 15 – 3243 Kirkham Dr



Property Photos





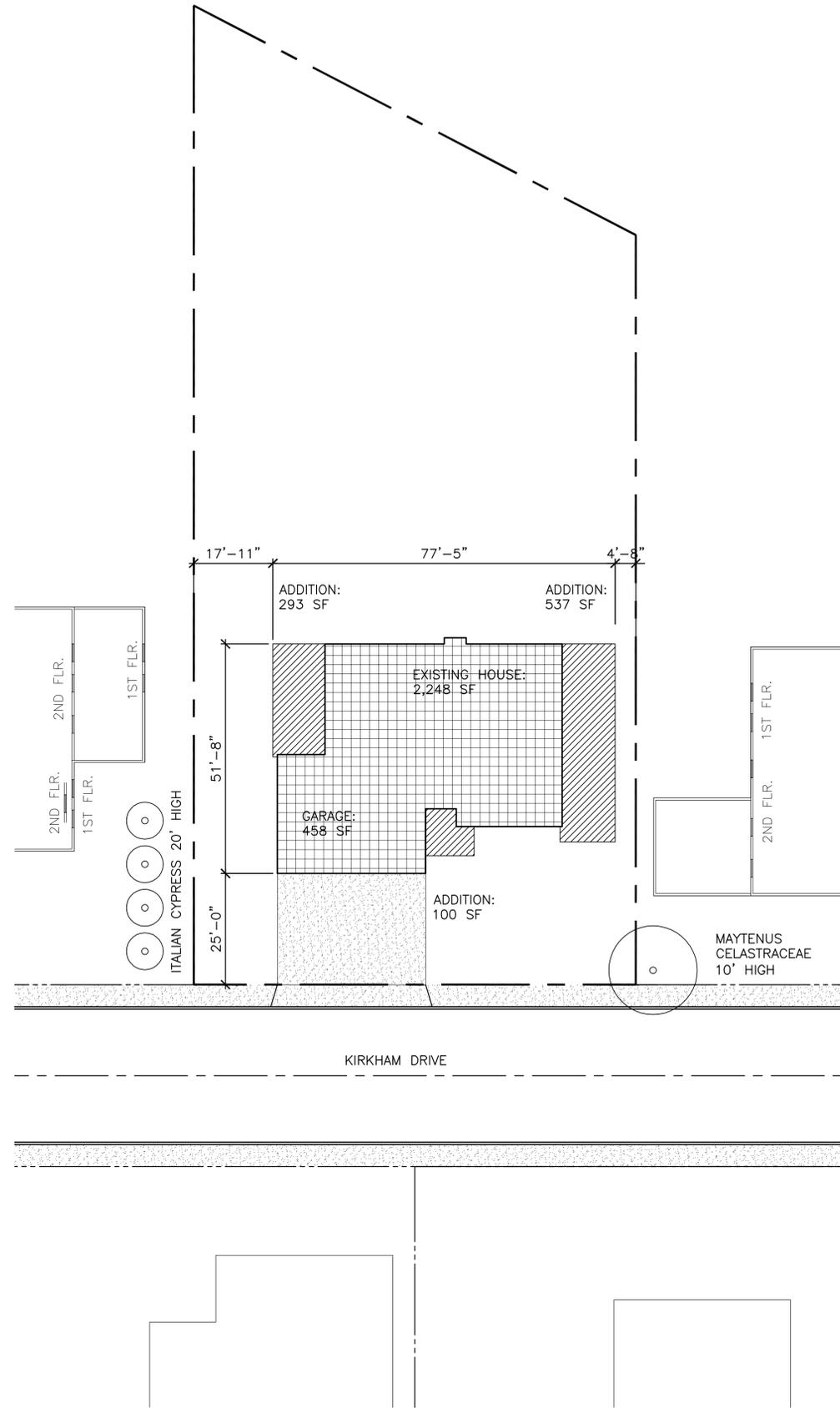


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PROJECT DATA

TOTAL LOT: 19,491 SF

BUILDING AREA

EXISTING BUILDING: 2,248 SF
NEW ADDITION: 930 SF
TOTAL BUILDING AREA: 3,178 SF

EXISTING GARAGE: 458 SF
TOTAL BUILDING AREA: 3,636 SF

LOT COVERAGE: $3,636 / 19,491 = 18.7\%$
FLOOR AREA RATIO: $3,178 / 19,491 = 16.3\%$

LANDSCAPE AREA: $10,025 / 19,491 = 51\%$

**KIRKHAM
RESIDENCE
RENOVATION**

3235 KIRKHAM DRIVE
GLENDALE, CA 91206

ISSUE

PLANNING SUBMIT
8/7/2019

SITE PLAN

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KIRKHAM RESIDENCE RENOVATION

3235 KIRKHAM DRIVE
GLENDALE, CA 91206

ISSUE
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8/7/2019

FLOOR PLAN

drawn	MS	scale	1/4" = 1'-0"
checked	CR	job no.	19333
approved		date	3/1/2019

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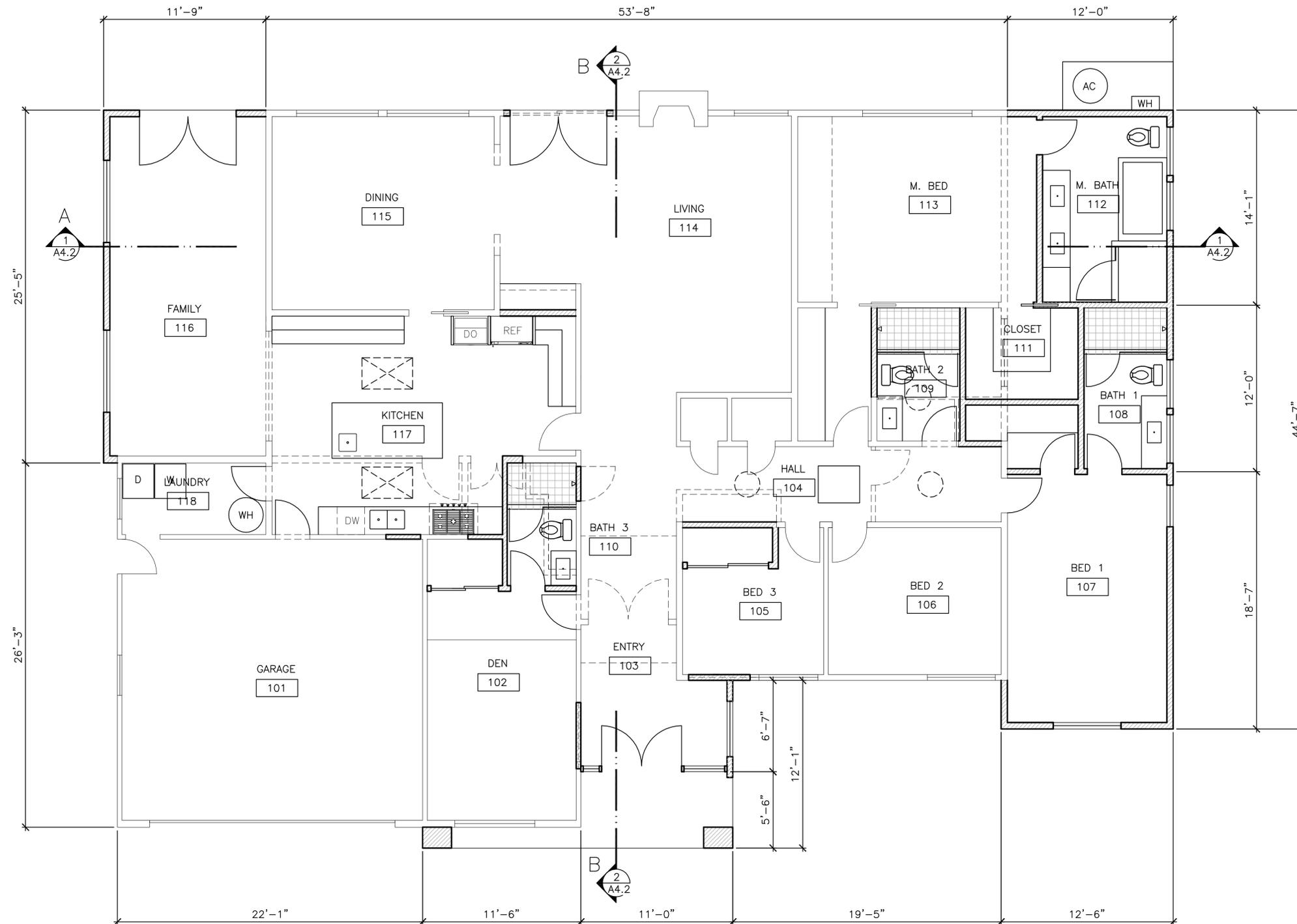
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PLAN LEGEND

-  NEW WALL
-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED

GENERAL NOTES

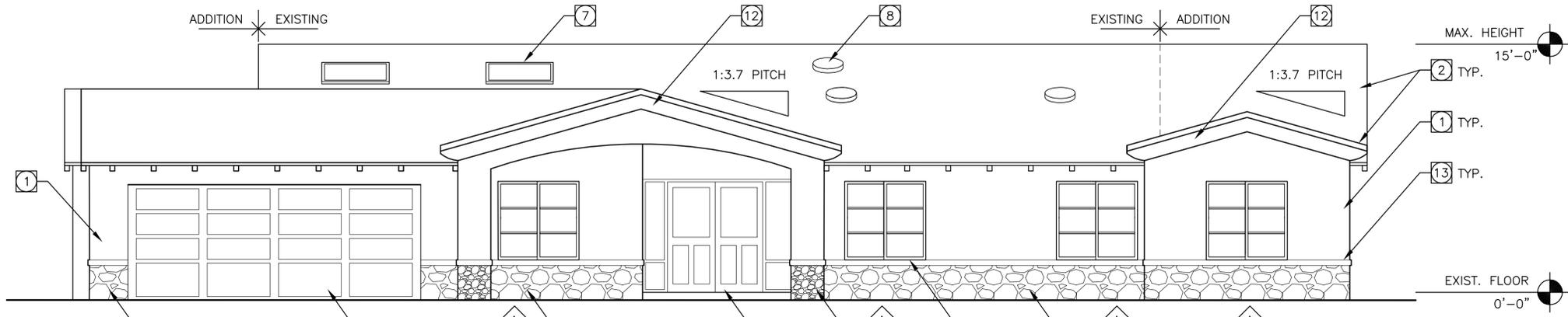
KEYNOTES



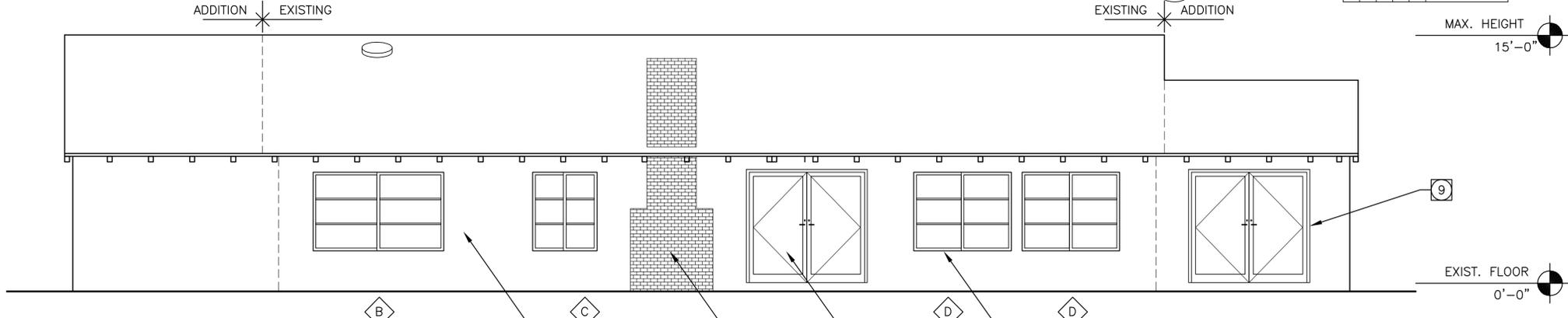
1 FLOOR PLAN
A3.1 1/4" = 1'-0" 0 5' 10'



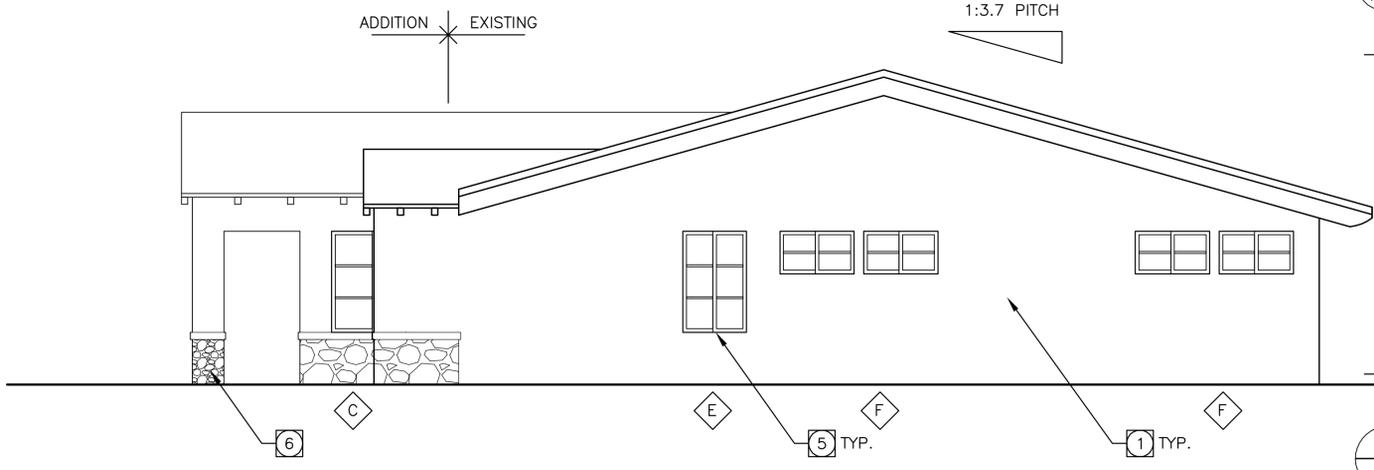
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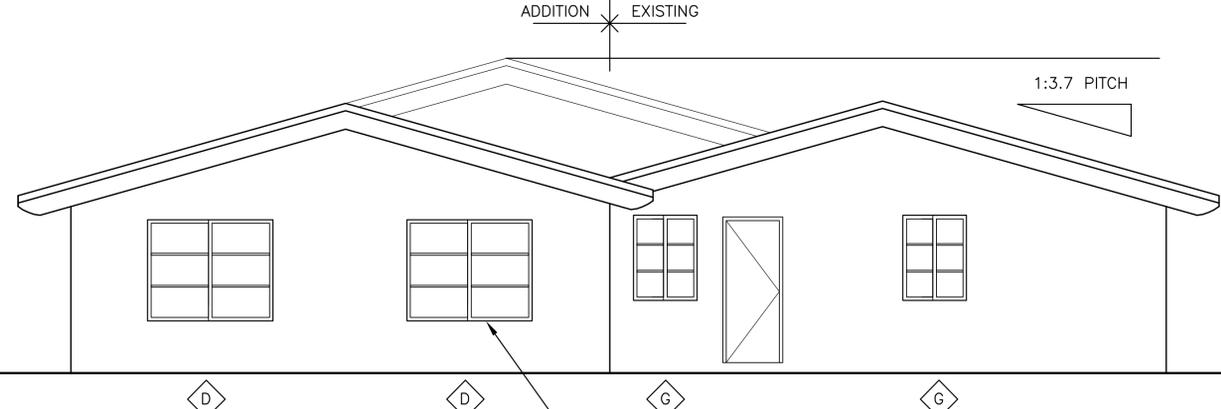
1 SOUTH ELEVATION
A4.1 1/4" = 1'-0" 0 5' 10'



2 NORTH ELEVATION
A4.1 1/4" = 1'-0" 0 5' 10'



3 EAST ELEVATION
A4.1 1/4" = 1'-0" 0 5' 10'



4 WEST ELEVATION
A4.1 1/4" = 1'-0" 0 5' 10'

GENERAL NOTES

KEYNOTES

- 1 PAINTED STUCCO
- 2 NEW & EXISTING CLAY TILE ROOF. NEW ROOF PITCH TO MATCH EXISTING. TYP.
- 3 NEW WOOD ENTRANCE DOOR W/SIDE LITES
- 4 EXISTING GARAGE DOOR
- 5 NEW FIBERGLASS WINDOW (PAINTABLE) WITH INSULATED DOUBLE GLAZING. REPLACE ALL EXISTING WINDOWS
- 6 NATURAL STONE
- 7 NEW SKYLIGHT W/INSULATED DOUBLE GLAZING
- 8 NEW SKYLIGHT DOME W/INSULATED DOUBLE GLAZING
- 9 NEW SWING DOORS W/INSULATED DOUBLE GLAZING
- 10 EXISTING FIREPLACE CHIMNEY
- 12 WOOD FASCIA BOARD, PAINTED.
- 13 STONE CAP

WINDOW SCHEDULE

NO	SIZE (W X H)	KEY NOTES
A	5'-0" X 4'-9"	1, 4
B	8'-0" X 4'-9"	1, 4
C	4'-0" X 4'-9"	1
D	6'-0" X 4'-9"	1
E	3'-0" X 4'-9"	1
F	3'-6" X 2'-0"	1
G	3'-0" X 4'-0"	1

WINDOW GENERAL NOTES

1. ALL WINDOWS TO BE REPLACED WITH FIBERGLASS FRAME (PAINTABLE) W/LOW-E DOUBLE GLAZING (0.32 MAX. U-FACTOR & 0.25 MAX. SOLAR SHGC), COLOR WHITE.
2. ALL WINDOWS TO HAVE EXTERNAL SIMULATED WINDOW DIVIDERS.

WINDOW KEY NOTES

1. SLIDING WINDOW
2. CASEMENT WINDOW
3. FIXED WINDOW
4. EGRESS
5. OBSCURE GLASS



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KIRKHAM RESIDENCE RENOVATION

3235 KIRKHAM DRIVE
GLENDALE, CA 91206

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8/7/2019
PLANNING REVISION
9/25/2019

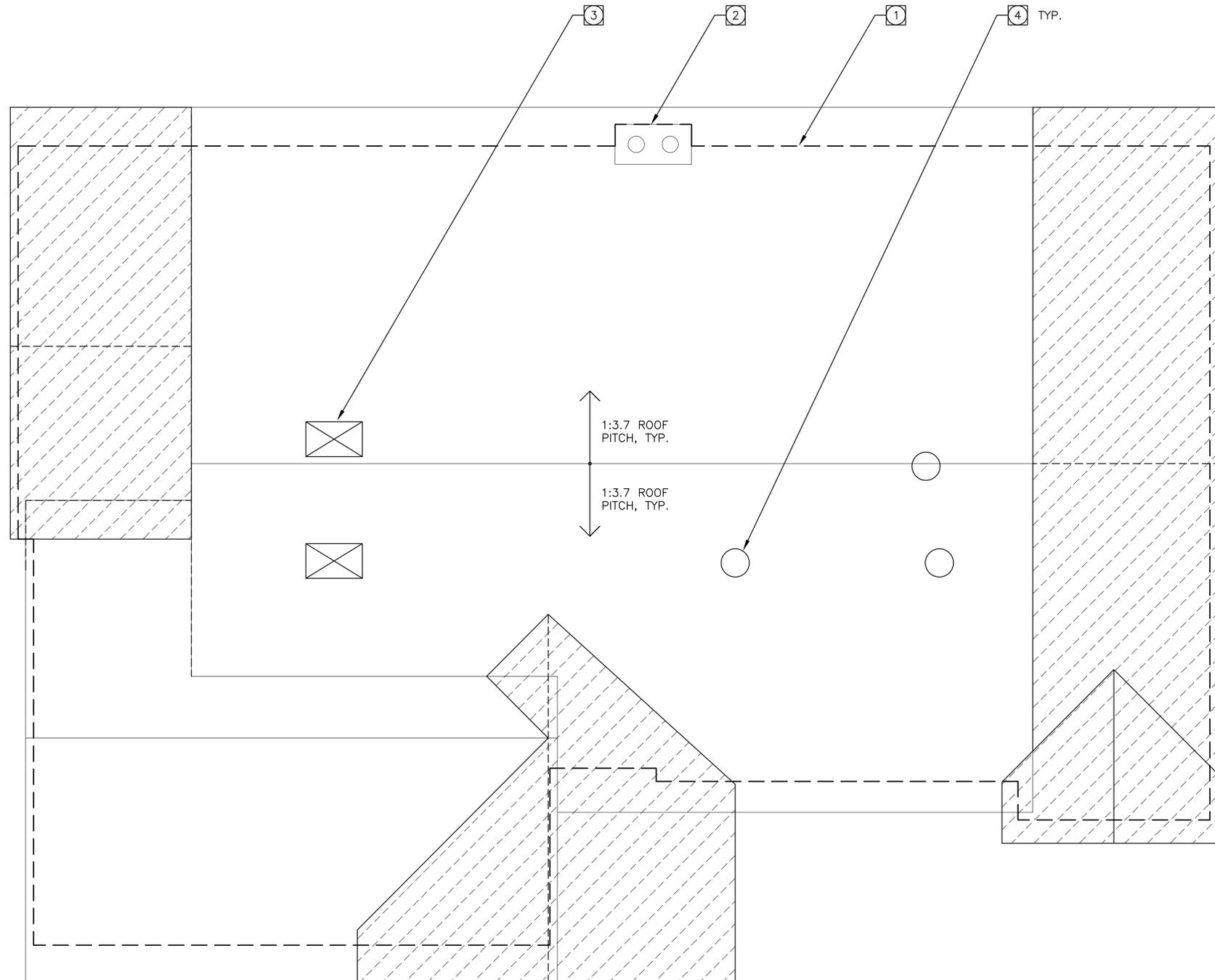
EXTERIOR ELEVATIONS

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approved	date
	3/1/2019

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ROOF LEGEND

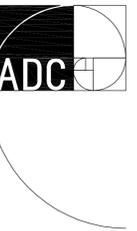
-  NEW ROOF
-  EXISTING ROOF TO REMAIN

GENERAL NOTES

1. RED CLAY ROOF TILE (CLASS A RATING) TYP.

KEYNOTES

- ① OUTLINE OF EXISTING & PROPOSED BUILDING
- ② EXISTING CHIMNEY
- ③ NEW SKYLIGHT
- ④ NEW SKYLIGHT TUBE



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ROOF PLAN

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GENERAL NOTES



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RESIDENCE
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3235 KIRKHAM DRIVE
GLENDALE, CA 91206

ISSUE

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8/7/2019

BUILDING
SECTIONS

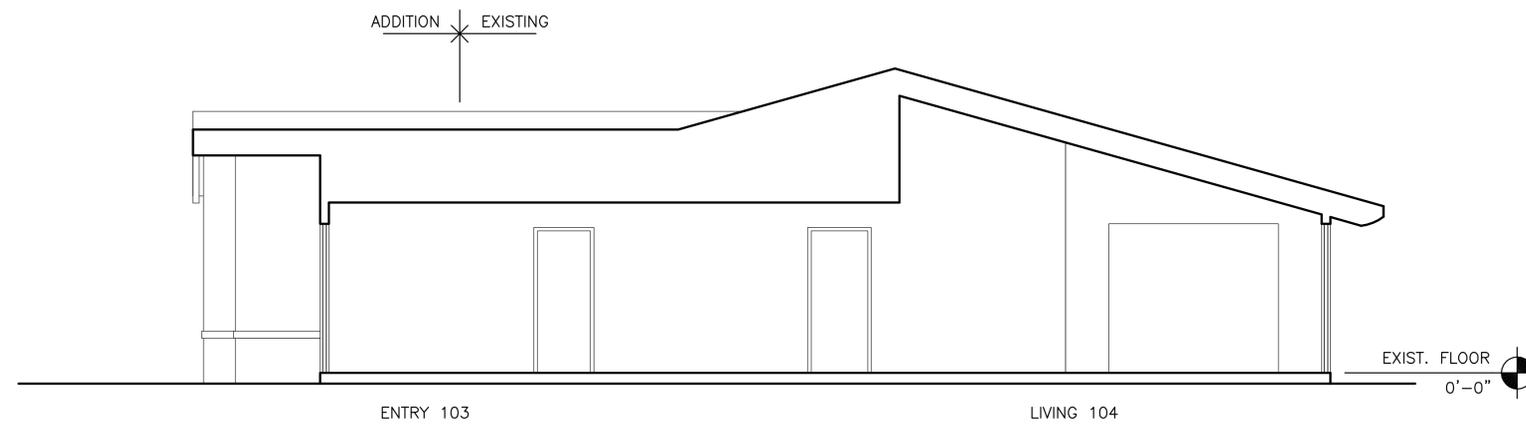
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1 SECTION A-A
A4.2 1/4" = 1'-0" 0 5 10'



2 SECTION B-B
A4.2 1/4" = 1'-0" 0 5 10'