

**City of Glendale
Community Development Department
Design Review Staff Report – Single Family**

Meeting/Decision Date: November 7, 2019	Address: 4320 Maryland Avenue
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5606-010-032
Case Number: PDR1914508	Applicant: Mi Kyung Jung
Prepared By: Minjee Hahm, Planning Associate	Owner: Rara Kang and Brian Hjelle

Project Summary

The applicant is proposing to demolish an existing, detached, one-car garage and covered front entry, and construct a new, attached, two-car garage, a new covered front entry, and a 945 square-foot, one-story addition at the rear of an existing, one story, 850 square-foot, single family dwelling located on a 6,028 square-foot lot in the R1 (FAR District II) Zone.

Existing Property/Background

The subject property is a 6,028 square-foot lot on Maryland Avenue. Located in the R1 (FAR District II) Zone, the property is improved with an existing, one-story, 850 square-foot, single-family dwelling with covered front entry, constructed in 1949, with a detached, 261 square-foot garage.

The existing residence is set back approximately 26 feet, 5 feet, 45 feet, and 13 feet from the western (street front), northern, eastern (rear), and southern property lines, respectively. There is one protected oak tree on site. Per the comments received from the City Arborist Technician, the existing oak tree is outside of the construction zone of the proposed addition and will receive minimal to no impact from the proposed construction. The project, as proposed, is supportable by Forestry, on the condition that the protected oak tree remains inaccessible to all construction activity.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R1 FAR District: II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because the project involves an addition to an existing dwelling and the resulting total area will be less than 2,500 square-feet.
 The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 of the State CEQA Guidelines because
 Other:

Site Slope and Grading

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

Comparison of Neighborhood Survey:

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	5,860 sq. ft.	5,350 sq. ft. - 8,630 sq. ft.	6,028 sq. ft.
Setback	25.40 ft.	18 ft. - 50 ft.	25 ft.
House size	1,144.40 sq. ft.	734 sq. ft. - 2,464 sq. ft.	1,795 sq. ft.
Floor Area Ratio	0.23	0.12 - 0.34	0.29
Number of stories	1 and 2-story	1 and 2-story	1-story

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

- yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography

The proposed addition to the rear and the new garage are appropriately sited and meets setback requirements. The existing covered front entry will be demolished and replaced to have a gabled roof form. However, the proposed covered front entry is located in the front setback area of 25 feet. Since posts for covered entryways are not permitted in the front setback area, it will have to be relocated. To accomplish this, the projection of the entire porch roof must be decreased to address the setback issue while also allowing the porch to have a balanced and proportional design. As a condition of this approval, the porch will be redesigned to meet the setback requirements and provide a balanced, proportional design.

Garage Location and Driveway

- yes n/a no

If "no" select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

- yes n/a no

If "no" select from below and explain:

- Complementary to building design

- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

- yes n/a no

If "no" select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The location of the proposed addition will meet the required interior setbacks. It will be located to the rear of the existing residence. The addition will decrease the existing rear interior setback from 45 feet to 9 feet 3 inches, but will still comply with the required interior setback. The prevailing side interior setbacks will remain unchanged.
- The existing, one-car garage will be demolished for a new, two-car garage, which will be fully integrated and attached to the dwelling. The new garage will maintain its previous 4 foot interior setback, which is compliant with the required interior setback requirement. The surrounding neighborhood features a combination of attached and detached garages; therefore, the proposed attached garage is appropriate. Since the location of the new garage will remain unchanged, it will continue to use the existing driveway on site.
- The addition and new garage are appropriately sited and meets setback requirements. The existing covered front entry will be demolished and replaced to have a gabled roof form. However, the proposed covered front entry is located in the front setback area of 25 feet. Since posts for covered entryways are not permitted in the front setback area, it will have to be relocated. To accomplish this, the projection of the entire porch roof must be decreased to address the setback issue while also allowing the porch to have a balanced and proportional design. As a condition of this approval, the porch will be redesigned to meet the setback requirements and provide a balanced, proportional design.
- The proposed project is supportable by Forestry, on the condition that the protected oak tree remains inaccessible to all construction activity. The project shall require an Indigenous Tree Permit, which can be obtained from Forestry during plan check.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

- yes n/a no

If "no" select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall massing of the project will be compatible with the adjacent dwellings in terms of scale and proportion. The proposed addition and the new, attached garage will maintain the existing height of the dwelling at approximately 14 feet.
- The proposed addition and the new, attached garage will have hipped roof forms, to be consistent with the existing building design and concept.
- The existing shed roof for the covered front entry will be demolished for a new gable roof. Since the rest of the dwelling will maintain hipped roof forms, the gabled entryway will be emphasized and create visual interest.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

The existing covered front entry will be demolished and replaced to have a gabled roof form. Since the rest of the dwelling will maintain hipped roof forms, the gabled entryway will be emphasized and create visual interest. However, the proposed covered front entry is located in the front setback area of 25 feet. Since posts for covered entryways are not permitted in the front setback area, it will have to be relocated. To accomplish this, the projection of the entire porch roof must be decreased to address the setback issue while also allowing the porch to have a balanced and proportional design. As a condition of this approval, the porch will be redesigned to meet the setback requirements and provide a balanced, proportional design.

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

While the rendered perspective shows recessed placement for both the existing and proposed windows, the proposed elevations and window schedule do not clearly indicate the recess. As a condition of this approval, the proposed windows will be constructed with recessed placement to match the rendered perspective with wooden sills and trim. Revised elevations showing existing sills and trims to remain and a vertical window section shall be required prior to plan check submittal.

Privacy

yes n/a no

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors used in hillside areas

Color and materials for the addition include asphalt roof shingles; light-colored stucco; and light-colored wooden siding and faux stone veneer band applied at the street and southern interior facing façades. The faux stone veneer base band proposed to be applied at the street and southern interior facing façades is conditioned to be lowered to meet at the bottom of the existing wood sills.

Paving Materials

yes n/a no

If "no" select from below and explain:

- Decorative material at entries/driveways

- Permeable paving when possible
- Material and color related to design

Equipment, Trash, and Drainage

- yes n/a no

If "no" select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

The proposed plans and rendered perspective do not show the locations of existing and proposed gutters and downspouts. As a condition of this approval, existing and proposed locations of the gutters and downspouts will be provided on revised plans for staff review and approval prior to plan check submittal.

Ancillary Structures

- yes n/a no

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The proposed windows will be an appropriate combination of fixed, sliding, awning, single-hung, and double-hung windows. While the rendered perspective shows recessed placement for both the existing and proposed windows, the proposed elevations and window schedule do not clearly indicate recessed placement for all windows. As a condition of this approval, the proposed windows will be constructed with recessed placement to match the rendered perspective with wooden sills and trim. Revised elevations showing existing sills and trims to remain and a vertical window section shall be required prior to plan check submittal.
- While the rendered perspective shows recessed placement for both the existing and proposed windows, the recessed placement is unclear in elevation drawings. Windows will be conditioned to be constructed with a recessed placement to match the rendered perspective with wooden sills and trim. Revised elevations showing existing sills and trims to remain and a vertical window section shall be required prior to plan check submittal.
- The existing covered front entry will be demolished and replaced to have a gabled roof form. Since the rest of the dwelling will maintain hipped roof forms, the gabled entryway will be emphasized and create visual interest. However, the proposed covered front entry is located in the front setback area of 25 feet. Since posts for covered entryways are not permitted in the front setback area, it will have to be relocated. To accomplish this, the projection of the entire porch roof must be decreased to address the setback issue while also allowing the porch to have a balanced and proportional design. As a condition of this approval, the porch will be redesigned to meet the setback requirements and provide a balanced, proportional design.
- The single family dwelling will remain as a Minimal Traditional style home at the project's completion by using matching materials and colors for the addition.
- Color and materials for the addition include asphalt roof shingles; light-colored stucco; and light-colored wooden siding and faux stone veneer band applied at the street and southern interior facing

façades. The faux stone veneer base band proposed to be applied at the street and southern interior facing façades is conditioned to be lowered to meet at the bottom of the existing wood sills. Overall, the proposed color and materials will complement and match the simple style of the existing building.

- The proposed plans and rendered perspective do not show the locations of existing and proposed gutters and downspouts. Staff will require existing and proposed locations of the gutters and downspouts to be provided on revised plans for staff review and approval prior to plan check submittal.

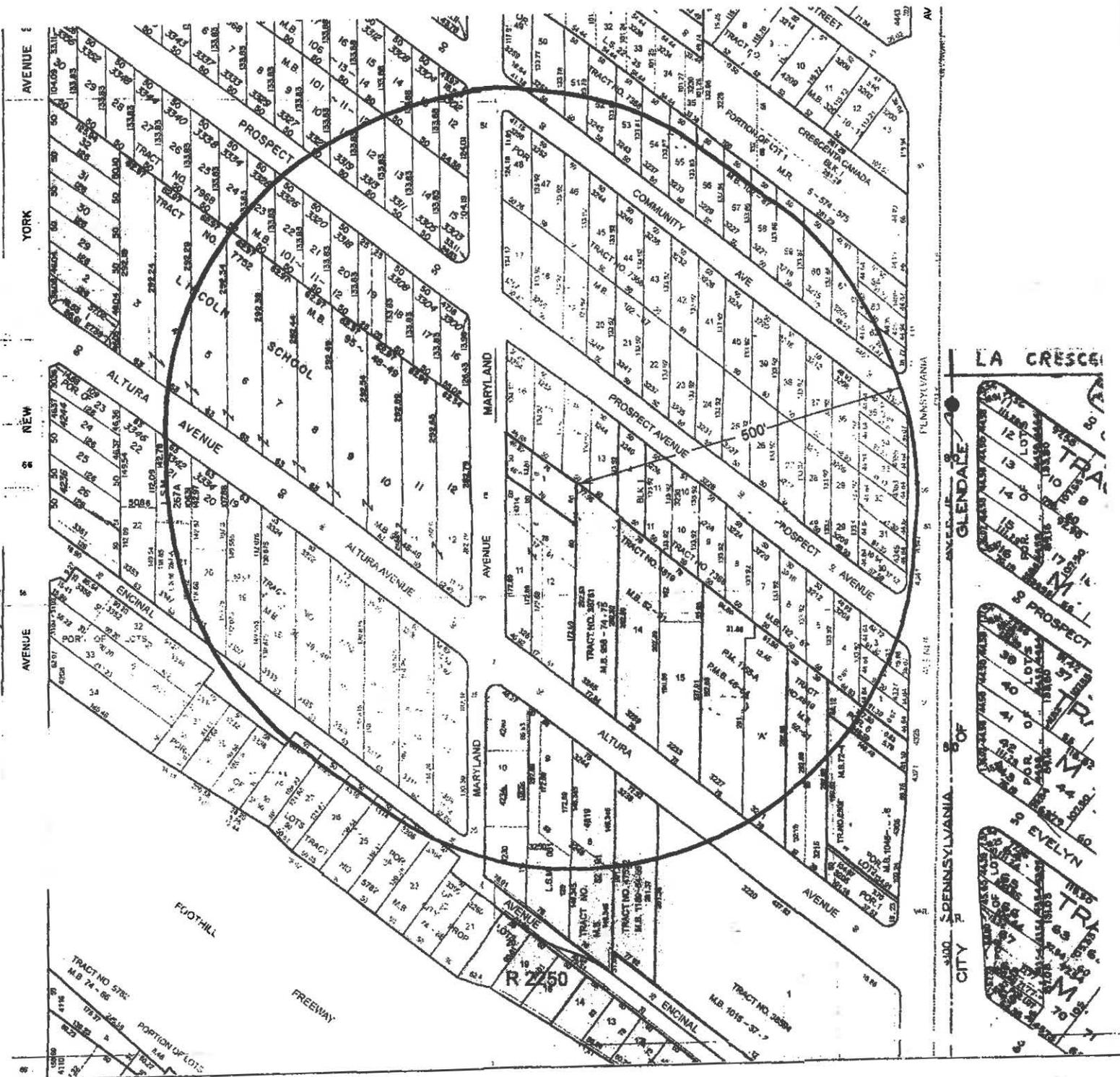
Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project **with the following conditions**:

1. Revise plans and rendered perspective to show existing and proposed locations of gutters and downspouts for staff review and approval prior to plan check submittal.
2. Proposed windows are to be constructed with a recessed placement to match the rendered perspective with wooden sills and trim. Revised elevations clearly showing recessed placement for existing and proposed windows and a vertical window section drawing of the windows placed into the walls shall be provided prior to plan check submittal.
3. The faux stone veneer base band applied at the street and southern interior facing façades will be lowered to meet at the bottom of the existing wood sills.
4. The covered front entry will be redesigned to meet the setback requirements and provide a balanced, proportional design.
5. The protected oak tree shall remain inaccessible to all construction activity. The proposed project will require an Indigenous Tree Permit, which can be obtained from Forestry during plan check.

Attachments

1. Location Map
2. Neighborhood Survey
3. Reduced Plans with Photos of Existing Property
4. Forestry Comments



LOCATION

4320 N. MARYLAND AVE.
 LA CRESCENTA CA 91214
 APN: 5606-010-032

500' Radius

Property Owner: BRIAN HJELEE & RARA KANG
 Prepared by Williams Land Use Services ~ phone 818-542-4109



1"=200'

4320 Maryland Avenue, Glendale, CA 91214 ~ Design Review Survey List ~ Within 300 Linear Feet of Subject Property & Contiguous

PHOTO KEY	ADDRESS	ASSESSOR'S PARCEL NO.	HEIGHT IN STORIES	ROOF MATERIAL	APPROX. SETBACK	FLOOR AREA	LOT AREA	F. A. R.
1	3300 Altura Ave.	5606013025	2	composition	25'	2,004	5,860	.34
2	Lincoln Elementary	5606012900	2	composition	0'	0	0	0
3	3300 Prospect Ave.	5606012032	1	composition	18'	848	5,350	.16
4	3303 Prospect Ave.	5606021014	1	composition	50'	734	5,880	.12
5	3257 Prospect Ave.	5606009023	1	composition	25'	1,634	5,360	.30
6	3254 Prospect Ave.	5606010062	2	composition	18'	2,464	5,360	.46
7	3252 Prospect Ave.	5606010061	1	composition	25'	925	5,360	.17
8	3248 Prospect Ave.	5606010060	2	composition	25'	815	5,360	.15
10	4314 Maryland Ave.	5606010033	1	composition	25'	1,400	6,000	.23
11	3261 Altura Ave.	5606010031	1	tile	25'	1,516	8,630	.18
12	3245 Altura Ave.	CONDOS	3	composition	0'	0	0	0
13	4340 Altura Ave.	5606011046	2	composition	18'	1,108	5,440	.20
TOTAL	----	----	19	----	254'	11,444	58,600	2.31
Average			1.4		25.4	1,144.40	5,860	.23

9 Subject Project	4320 Maryland Ave.	5606010032	1	composition	25	1,795	6,028	.29
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Note: Subject property not included in the average lot and floor areas, properties not in R1 zone and school use excluded from FAR calculation. 3254 Prospect has 2 units and is included in calculation. Floor areas are combined 1852+612 for a total of 2464 s.f.

RARA KANG RESIDENCE ADDITION

4320 MARYLAND AVE. GLENDALE, CA 91214



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CONSULTANT

PROJECT

RARA KANG RESIDENCE ADDITION
 4320 MARYLAND AVE.
 GLENDALE, CA 91214

REVISION

NO.	DATE	DESCRIPTION

STAMP

SHEET TITLE

COVER SHEET

JOB No. 26-19
DATE JULY 2018
SCALE No. AS SHOWN
DRAWN BY MJ
SHEET NO.

G0.01

SHEET INDEX

ARCHITECTURAL

G0.01	COVER SHEET
G0.10	SITE PHOTOGRAPHS
G0.11	SITE PHOTOGRAPHS
G0.12	SITE PHOTOGRAPHS
1	TOPOGRAPHIC SURVEY
A1.01	ADJACENT PROPERTY/PROPOSED SITE PLAN
A2.001	EXISTING/DEMO FLOOR PLAN
A2.002	EXISTING/DEMO ROOF PLAN
A2.003	EXISTING/DEMO ELEVATIONS
A2.01	PROPOSED FLOOR PLAN
A2.02	PROPOSED ROOF PLAN
A3.01	RENDERED PERSPECTIVE
A3.02	RENDERED PERSPECTIVE
A4.01	BUILDING ELEVATIONS (COLORED)
A4.02	BUILDING SECTIONS
A6.01	DOOR & WINDOW SCHEDULE

BUILDING DATA

PROJECT ADDRESS:	4320 MARYLAND AVE. GLENDALE, CA 91214
OCCUPANCY GROUP:	R-3
OCCUPANCY USE:	SINGLE FAMILY DWELLING
TYPE OF CONSTRUCTION:	TYPE V-B
YEAR BUILT:	1949
SPRINKLER:	NO
BUILDING AREA:	LOT AREA: 6,028 S.F.
	(EXISTING)
	(E) MAIN HOUSE: 850 S.F.
	(E) DETACHED 1-CAR GARAGE: 281 S.F.
	TOTAL: 1,111 S.F.
	(NEW ADDITION)
	MAIN HOUSE: 845 S.F.
	GARAGE: 174 S.F.
	TOTAL: 1,119 S.F.
	(PROPOSED)
	MAIN HOUSE: 1,795 S.F.
	ATTACHED 2-CAR GARAGE: 435 S.F.
	TOTAL: 2,230 S.F.
FLOOR AREA RATIO: (TABLE 30.11-B)	REQUIRED: DISTRICT II: 0.40 FOR THE 1ST 10,000 S.F. OF LOT AREA AND 0.10 FOR THE PORTION OF LOT AREA THEREAFTER
	PROVIDED: 1,795 S.F. / 6,028 S.F. = 0.29 < 0.40
LOT COVERAGE: (TABLE 30.11-B)	REQUIRED: 40%, INCLUDING ALL RESIDENTIAL AND ACCESSORY BUILDINGS
	PROVIDED: 2,386 S.F. / 6,028 S.F. = 39.8% < 40%
BUILDING HEIGHT (TABLE 30.11-B)	REQUIRED: SHALL NOT EXCEED 25 FEET
	PROVIDED: APPROX. 12'-6" < 25' (SEE ELEVATIONS @ A4.01)
SETBACKS: (TABLE 30.11-B)	REQUIRED:
	STREET FRONT: 25'-0"
	STREET SIDE: 8'-0"
	INTERIOR: 4'-0"
	(BUILDING AND STRUCTURES PERMITTED AFTER MAY 2, 1991)
	PROVIDED:
	STREET FRONT: 25'-0" (EXISTING)
	INTERIOR: 4'-0" (SIDE)
	INTERIOR: 8'-0" (REAR)
PARKING: (TABLE 30.32-A)	REQUIRED: DWELLING UNITS IN THE R1 ZONE 0-3,499 S.F.: 2 SPACES
	PROVIDED: ATTACHED 2-CAR PARKING GARAGE
PERMANENTLY LANDSCAPED OPEN SPACE: (TABLE 30.11-B)	REQUIRED: 40% MIN. OF THE LOT AREA 6,028 S.F. X 40% = 2,411.2 S.F.
	PROVIDED: 2,535 S.F. > 2,411.2 S.F. (SEE SITE PLAN, A1.01)

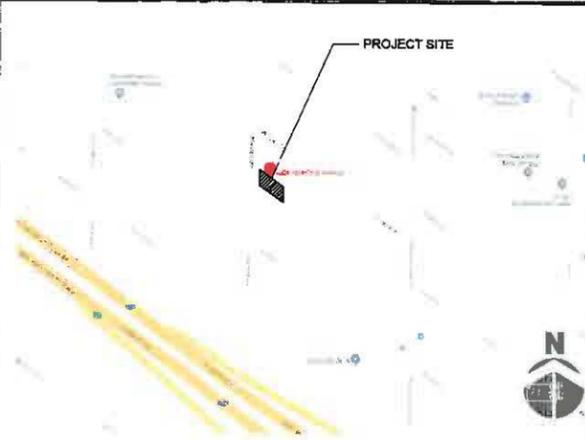
PROJECT DIRECTORY

<u>OWNER</u>	<u>ARCHITECT</u>
RARA KANG	GRACE PARTNERSHIP, INC.
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	HECIENDA HEIGHTS, CA 91745
	PH: 626 333 8507
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PROJECT INFORMATION

PROJECT ADDRESS:	4320 MARYLAND AVE. GLENDALE, CA 91214
SCOPE OF WORK:	1,119 S.F. ADDITION TO AN EXISTING SINGLE FAMILY DWELLING
ASSESSOR PARCEL (APL):	5606010032
ZONING:	R1 II
ZONE DESCRIPTION:	LOW DENSITY RESIDENTIAL FAR DIST II
LOT AREA:	6,028 S.F.
NUMBER OF STORIES:	1 STORY
TYPE OF CONSTRUCTION:	TYPE V-B
FIRE SPRINKLER:	NO
APPLICABLE CODE:	2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA EXISTING BUILDING CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA GREEN BUILDING CODE 2016 CALIFORNIA ENERGY CODE

VICINITY MAP





VIEW 1



VIEW 2



VIEW 3



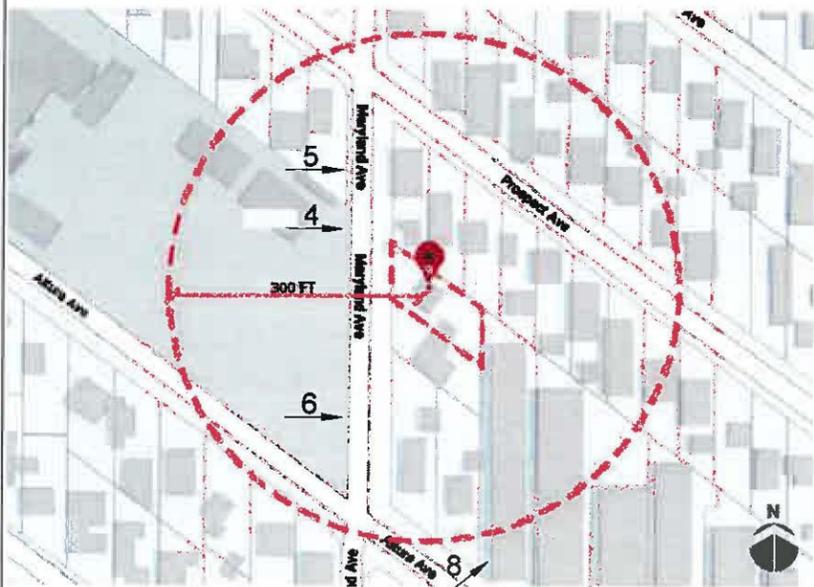
VIEW 4



VIEW 5



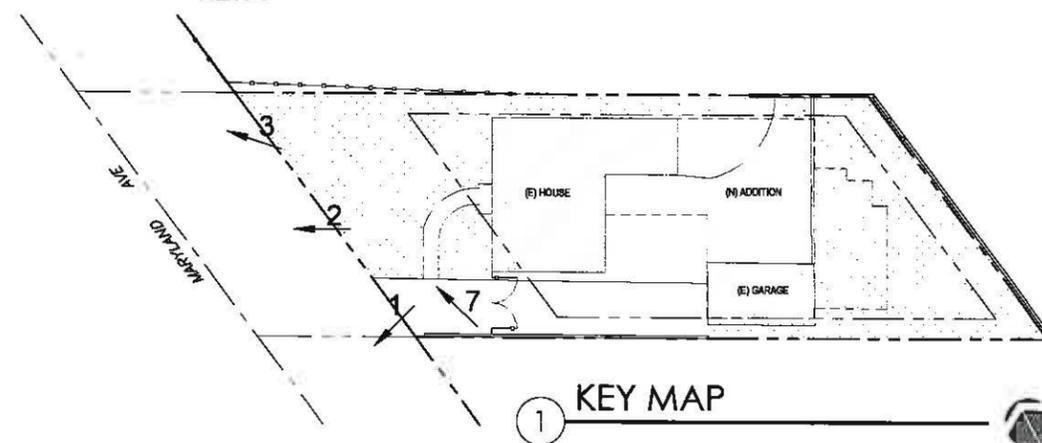
VIEW 6



VIEW 7



VIEW 8



1 KEY MAP



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CONSULTANT

PROJECT

**RARA KANG
RESIDENCE ADDITION**
4320 MARYLAND AVE.
GLENDALE, CA 91214

REVISION

NO.	DATE	DESCRIPTION

STAMP

SHEET TITLE

SITE PHOTOGRAPHS

JOB No. 25-8

DATE JULY 2018

SCALE No. AS SHOWN

DRAWN BY MJ

SHEET NO.

G0.10



VIEW 1



VIEW 2



VIEW 3



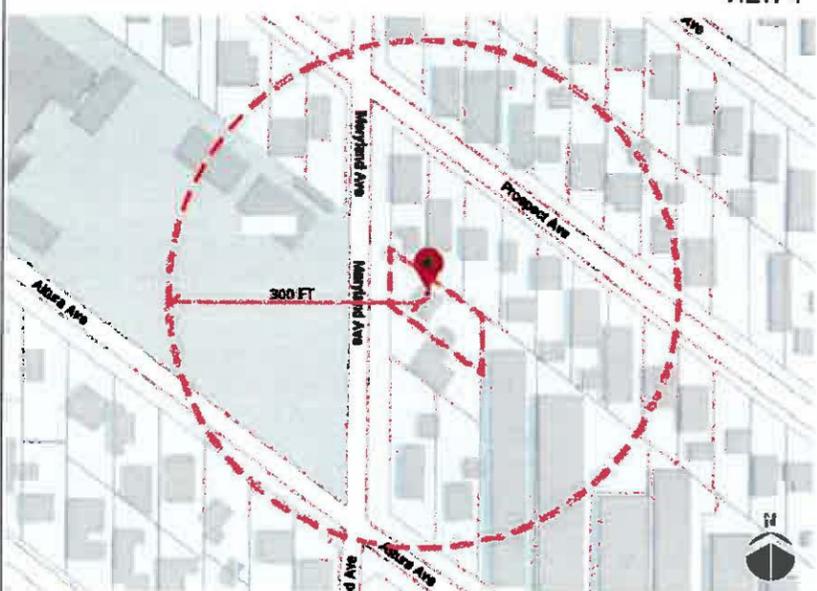
VIEW 4



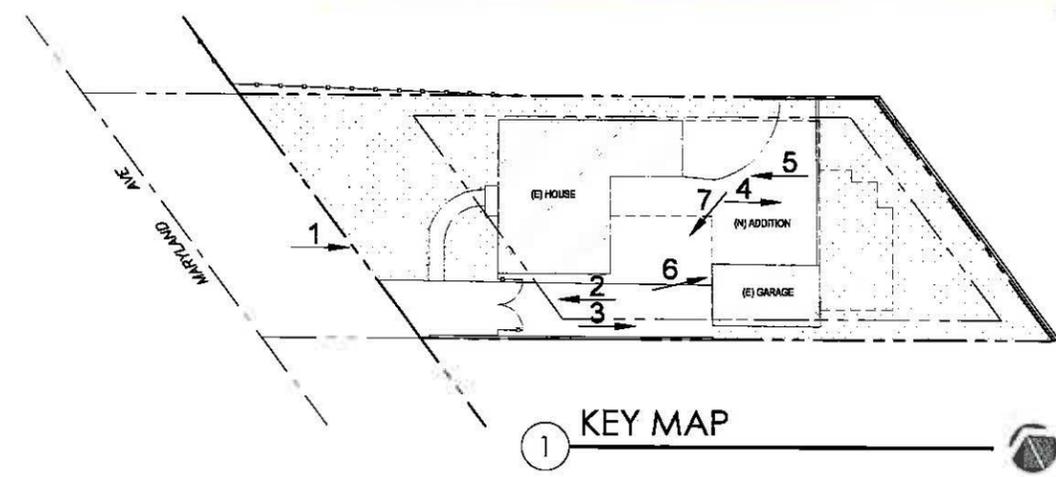
VIEW 5



VIEW 6



VIEW 7



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PROJECT NO. 2018-07-01
DATE: 07/20/18
SCALE: AS SHOWN
DRAWN BY: MJ
SHEET NO.:

CONSULTANT

PROJECT

**RARA KANG
RESIDENCE ADDITION**
4320 MARYLAND AVE.
GLENDALE, CA 91214

REVISION

NO.	DATE	DESCRIPTION

STAMP

SHEET TITLE

SITE PHOTOGRAPHS

JOB No. 25-B
DATE JULY 2018
SCALE No. AS SHOWN
DRAWN BY MJ
SHEET NO.

G0.11



VIEW 1



VIEW 2



VIEW 3



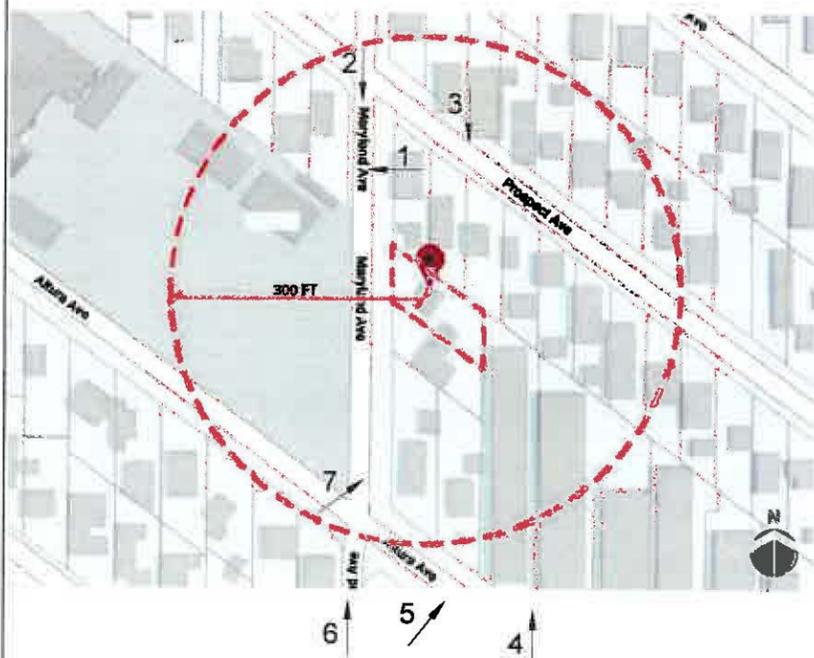
VIEW 4



VIEW 5



VIEW 6



VIEW 7



VIEW 8



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PROJECT NO. 2017-001
PROJECT NAME: RARA KANG RESIDENCE ADDITION
CLIENT: RARA KANG
DATE: 01/18/2018
SCALE: AS SHOWN
DRAWN BY: MLI
CHECKED BY: MLI
APPROVED BY: MLI

CONSULTANT

PROJECT

RARA KANG RESIDENCE ADDITION
4320 MARYLAND AVE.
GLENDALE, CA 91214

REVISION

NO.	DATE	DESCRIPTION

STAMP

SHEET TITLE

SITE PHOTOGRAPHS

JOB NO. 2017-001
DATE 01/18/2018
SCALE AS SHOWN
DRAWN BY MLI
CHECKED BY MLI
APPROVED BY MLI

SHEET NO.

G0.12



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CONSULTANT

PROJECT

**RARA KANG
RESIDENCE ADDITION**
4320 MARYLAND AVE.
GLENDALE, CA 91214

REVISION

NO.	DATE	DESCRIPTION

STAMP

SHEET TITLE

EXISTING/DEMO
FLOOR PLANS

JOB NO.

DATE

SCALE

DRAWN BY

SHEET NO.

A2.001

WALL TYPE LEGEND

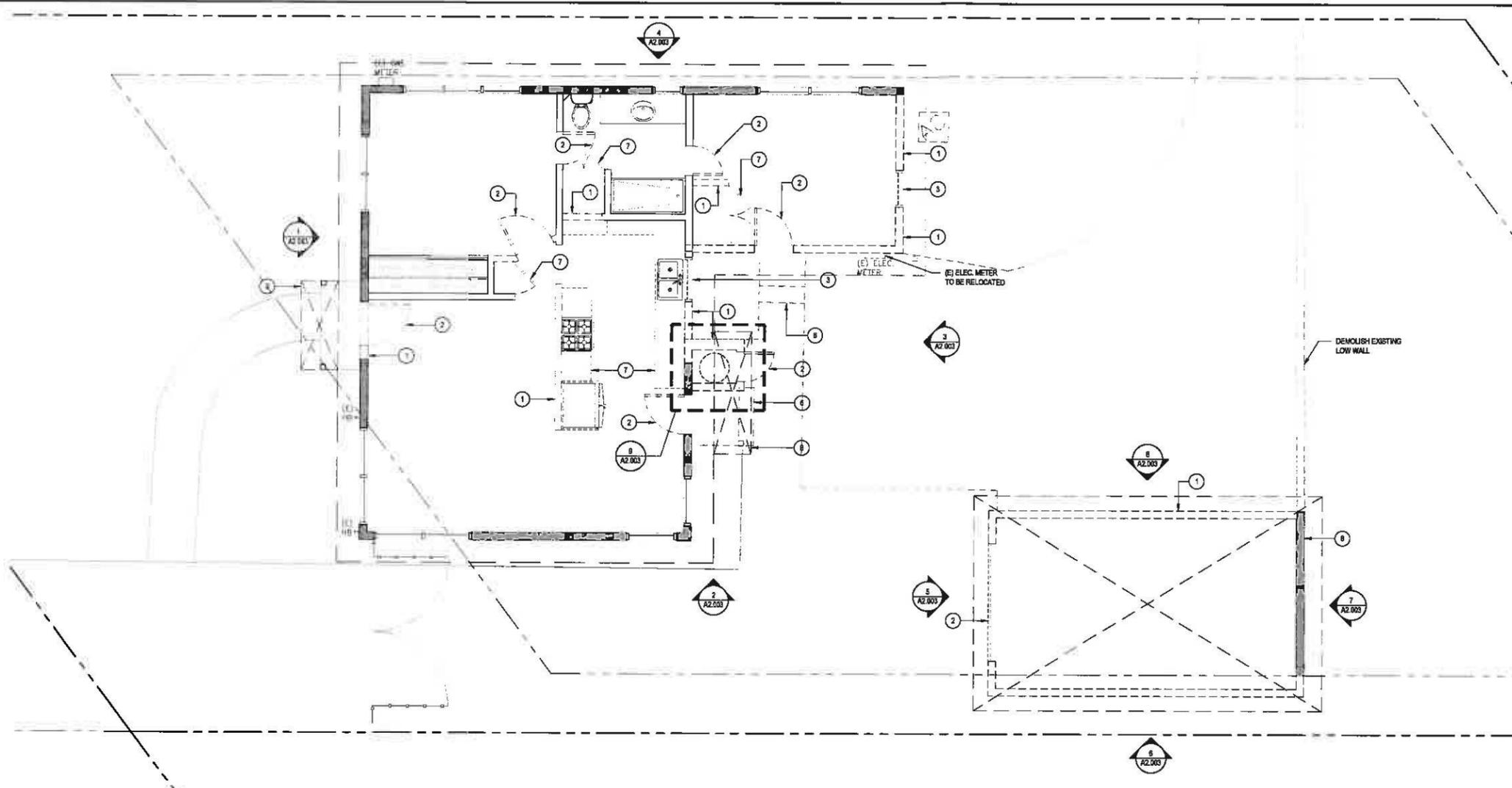
- WALL TO BE DEMOLISHED
- (E) EXTERIOR WALL
- NOT USED
- (I) INTERIOR WALL
- NOT USED
- NOT USED
- NOT USED

DEMO PLAN NOTES

- WHEN DOING DEMOLITION:
- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION WORK.
 - REMOVE ALL PARTITIONS AND DOORS AS SHOWN DASHED, PATCH AND REPAIR DEMO SCAR AT FLOOR AND ADJACENT WALLS.
 - REMOVE FLOOR AND WALL FINISHED THROUGH OUT U.O.N. PATCH DEMO SCAR ON WALL FROM BASE. PATCH AND PREPARE FLOOR TO RECEIVE NEW FLOORING.
 - ANYTHING THAT WILL NOT BE REUSED MAY NOT BE ABANDONED. ALL UNUSED ITEMS (INCLUDING BUT NOT LIMITED TO CONDUITS, PIPING, WIRING, EQUIPMENT, HANGERS, DUCTWORKS, ETC.) MUST BE REMOVED TO ITS POINT OF ORIGIN AND SPACE BROUGHT BACK TO ITS ORIGINAL CONDITION.
 - ANY NEW EQUIPMENT, FIXTURES, ETC. THAT TENANT WILL BE REUSING MUST BE REFURBISHED TO "LIKE NEW" CONDITION.
 - ALL PIPE LINES WILL REQUIRE TO REDIRECT TO UNITS WATER & SEWER.

DEMO PLAN KEY NOTES

- ① EXISTING WALL TO BE DEMOLISHED
- ② EXISTING DOOR TO BE DEMOLISHED
- ③ EXISTING OPENING/WINDOW TO BE DEMOLISHED
- ④ EXISTING FIXTURE TO BE DEMOLISHED
- ⑤ EXISTING WALL TO BE MODIFIED FOR NEW OPENING/WINDOW
- ⑥ EXISTING CONC. WORK TO BE DEMOLISHED
- ⑦ EXISTING MILLWORK TO BE DEMOLISHED
- ⑧ EXISTING ROOF TO BE DEMOLISHED



EXISTING/DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



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WE DESIGN, WE CONSTRUCT, WE MANAGE.
OUR DESIGN AND CONSTRUCTION SERVICES ARE PROVIDED TO CLIENTS THROUGHOUT THE U.S. AND ABROAD. WE ARE A LEAN ORGANIZATION AND WE ARE COMMITTED TO EXCELLENCE IN EVERYTHING WE DO. WE ARE A TEAM AND WE ARE PROUD OF OUR WORK. WE ARE A PART OF THE COMMUNITY AND WE ARE COMMITTED TO MAKING A POSITIVE IMPACT. WE ARE A LEADER IN OUR FIELD AND WE ARE COMMITTED TO STAYING THAT WAY. WE ARE A PART OF THE FUTURE AND WE ARE COMMITTED TO MAKING IT A BETTER ONE.

CONSULTANT

DEMO PLAN NOTES

- WHEN DOING DEMOLITION:
1. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION WORK.
 2. REMOVE ALL PARTITIONS AND DOORS AS SHOWN DASHED, PATCH AND REPAIR DEMO SCAR AT FLOOR AND ADJACENT WALLS.
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DEMOLITION CALCULATION

(E) ROOF AREA	
MAIN HOUSE	1,383 S.F.
GARAGE	336 S.F.
TOTAL	1,422 S.F.
DEMOLISHED (E) ROOF AREA	
MAIN HOUSE	36 S.F.
GARAGE	339 S.F.
TOTAL	375 S.F. (26.3% + 23.9%)
(E) ROOF AREA TO REMAIN	
MAIN HOUSE	1,347 S.F.
GARAGE	0 S.F.
TOTAL	1,347 S.F. (95.0% + 0%)

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**RARA KANG
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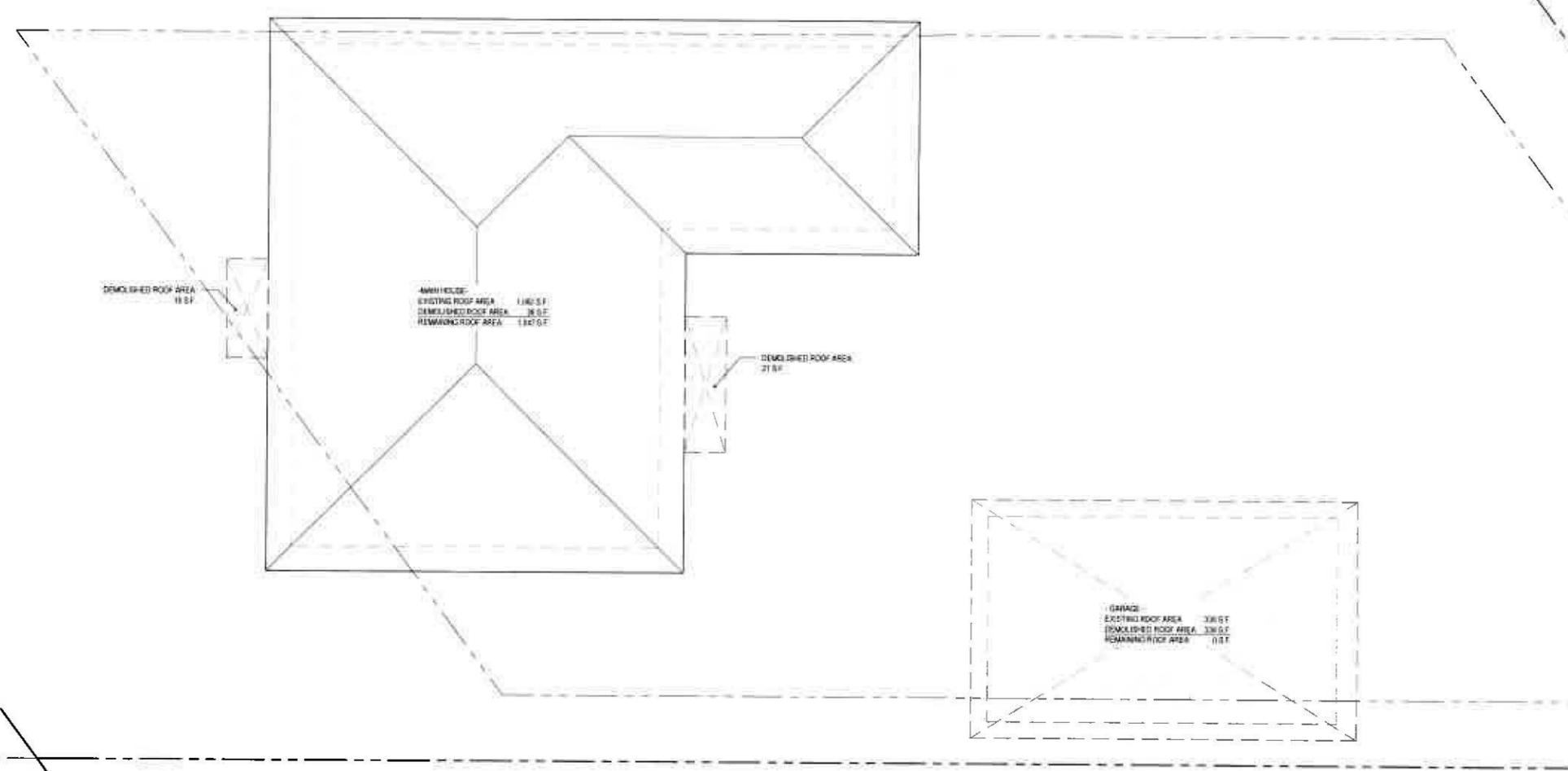
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EXISTING/DEMO
ROOF PLANS

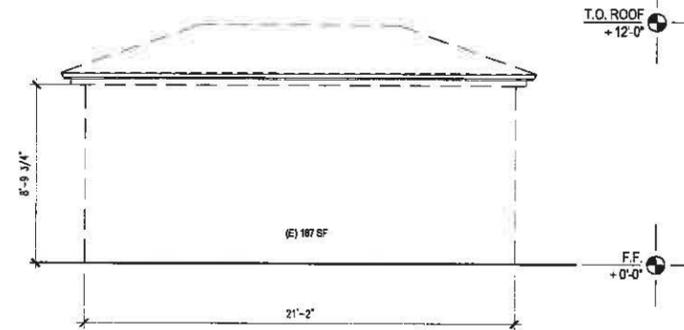
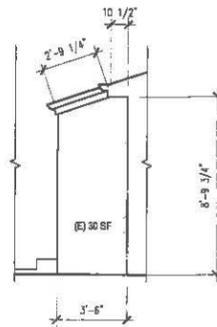
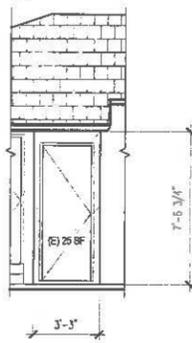
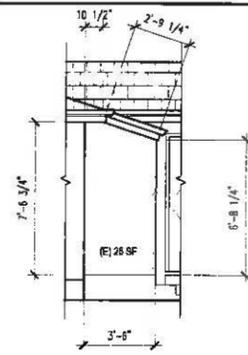
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DATE JULY 2018
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SHEET NO.

A2.002

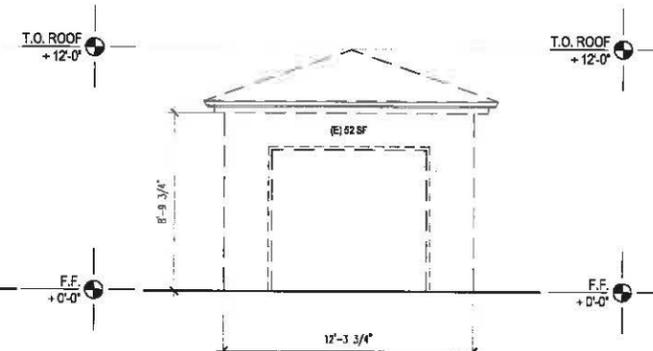
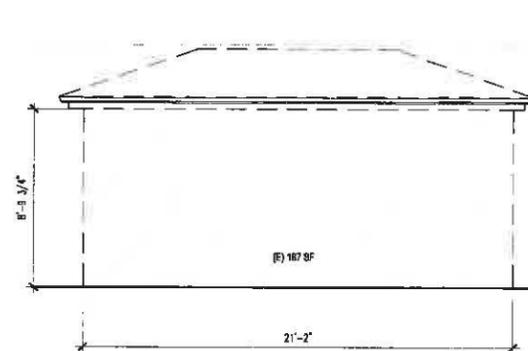
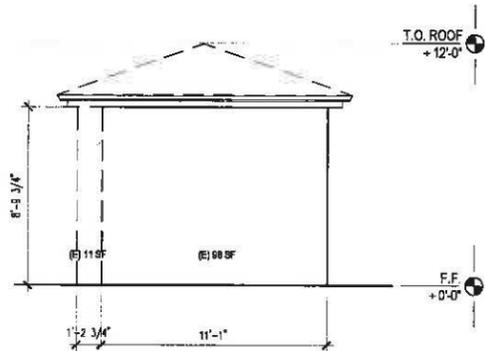


1 EXISTING/DEMO ROOF PLAN
SCALE: 1/4" = 1'-0"



9 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

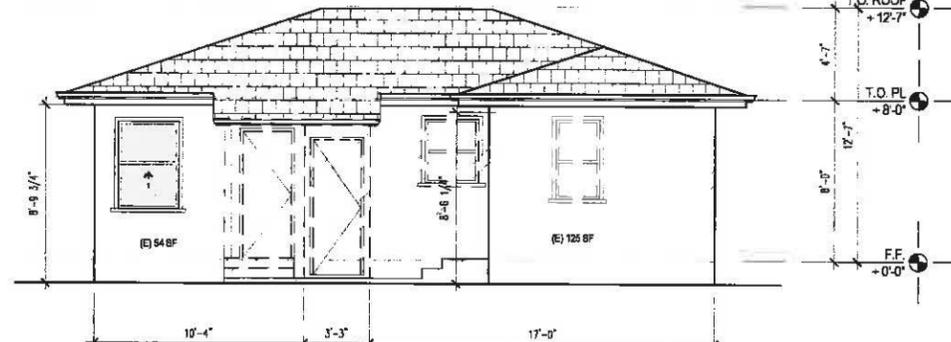
8 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



7 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

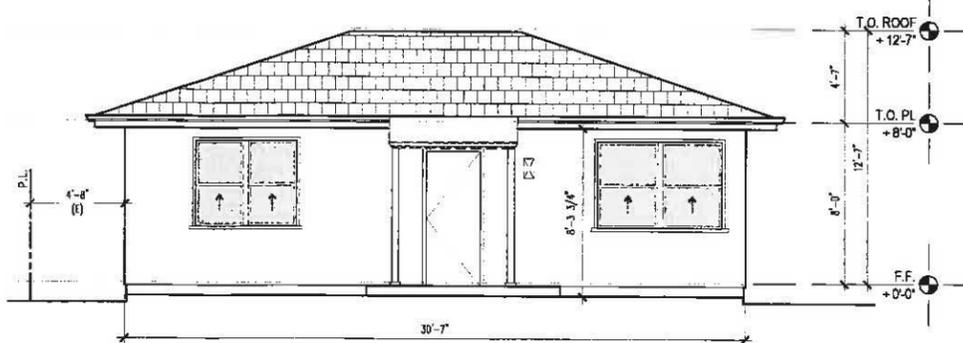
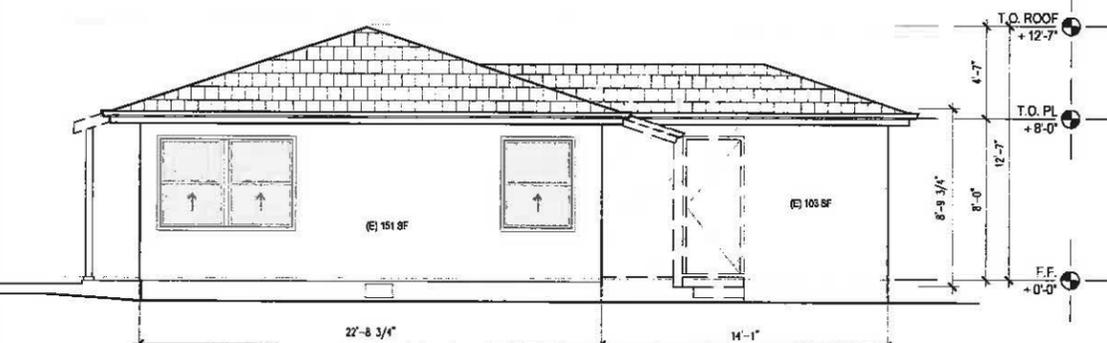
6 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

5 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



4 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

3 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

1 (E) BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

DEMO PLAN NOTES

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DEMOLITION CALCULATION

ELEVATION #	(E) WALL TO REMAIN	(E) WALL TO DEMOLISH
1	180 S.F.	-
2	151 S.F.	103 S.F.
3	54 S.F.	125 S.F.
4	266 S.F.	-
5	-	52 S.F.
6	-	187 S.F.
7	266 S.F.	11 S.F.
8	-	187 S.F.
9	-	81 S.F.
TOTAL	749 S.F.	748 S.F.

TOTAL DEMOLITION % CALCULATION
748 / 1,485 = 49% < 50%



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SHEET TITLE

EXISTING/DEMO ELEVATIONS

JOB No. 25-B

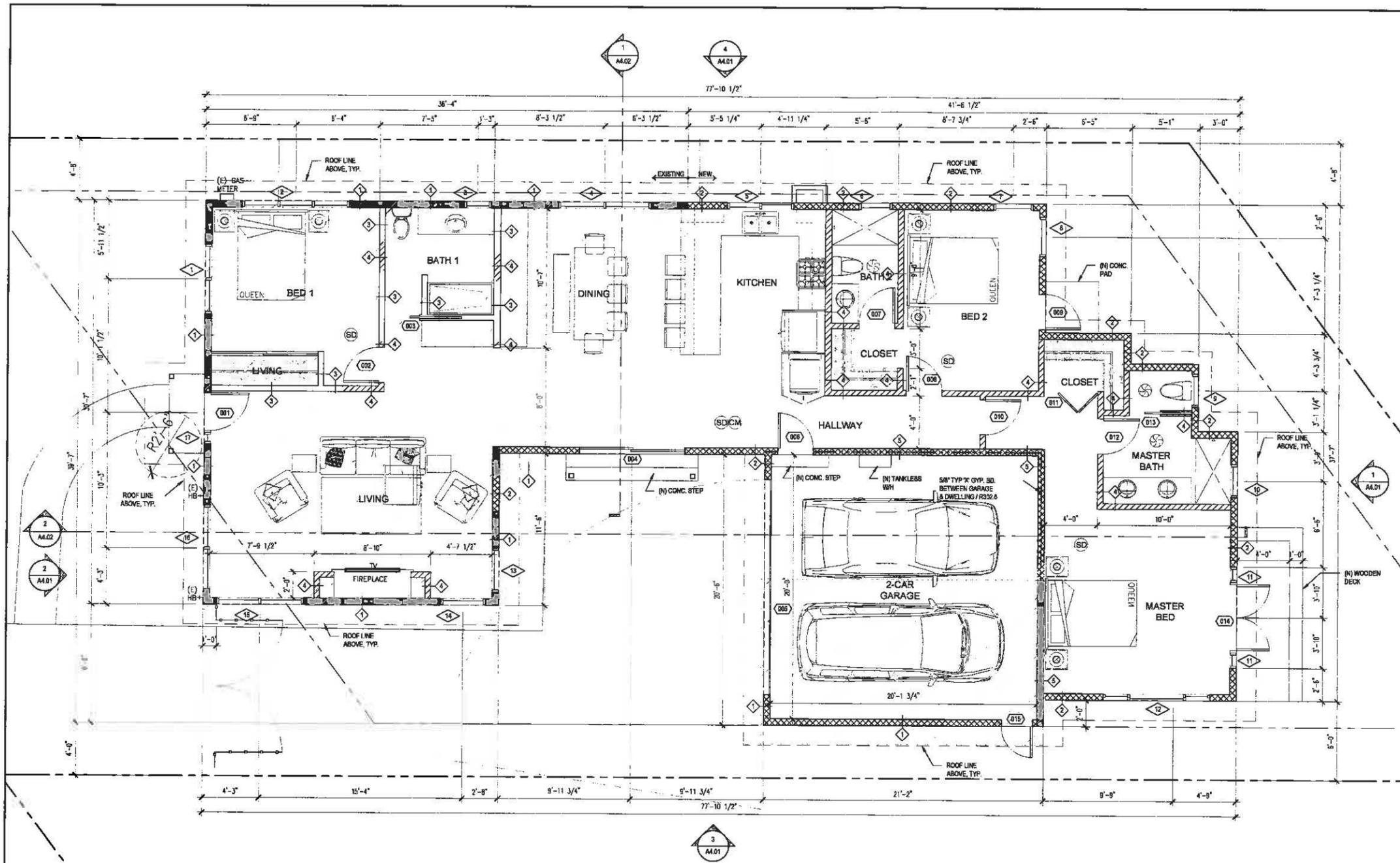
DATE JULY 2018

SCALE No. AS SHOWN

DRAWN BY MJ

SHEET NO.

A2.003



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

- 1 WALL TO BE DEMOLISHED
- 2 (E) EXTERIOR WALL
- 3 (N) EXTERIOR WALL - SEE DETAIL, 2/A8.01
- 4 (E) INTERIOR WALL
- 5 (N) INTERIOR WALL - SEE DETAIL, 1/A8.01
- 6 1 HR. RATED WALL WHERE INDICATED - 5/8" TYPE 'X' GYP. BD. BETWEEN GARAGE & DWELLING PER F302.6 - SEE DETAIL, 2/A8.01

FLOOR PLAN LEGEND

- SD SMOKE DETECTOR HARDWIRED W/ BATTERY BACKUP.
- CO CARBON MONOXIDE DETECTOR 50 CFM MIN. DIRECTLY EXHAUST TO OUTSIDE OF BUILDING.
- EF EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING, AND FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FLOOR PLAN NOTES

1. PROVIDE INSULATION AS PER ENERGY ANALYSIS. (NEW AND ALTERED/EXPOSED EXISTING CONSTRUCTION) EXTERIOR WALLS: R-19 ROOF: R-30 *VERIFY ALL INSULATION WITH T24 REPORT
2. HARDWIRED INTERCONNECTED SMOKE DETECTORS WITH A BATTERY BACK-UP ARE REQUIRED. DETECTORS TO SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREA, CENTRALLY LOCATED IN CORRIDORS GIVING ACCESS TO EACH SLEEPING ROOM ON EACH STORY AND LOCATED IN CLOSE PROXIMITY TO THE STAIRWAY WHEN SLEEPING AREA IN ON SECOND LEVEL.
3. PROVIDE CARBON MONOXIDE ALARM OUTSIDE OF EACH BEDROOM AND ON EACH LEVEL INCLUDING BASEMENT. (420.4)
4. PROVIDE EMERGENCY ESCAPE IN EVERY SLEEPING ROOM. ESCAPE IS TO BE DIRECTLY TO EXTERIOR, OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. ESCAPE WINDOWS SHALL HAVE NET CLEAR OPENABLE AREA OF 5.7 SQ.FT., MIN. NET CLEAR OPENABLE HEIGHT OF 24" AND WIDTH OF 20" AND SHALL HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.
5. PROVIDE A MECHANICAL VENTILATION SYSTEM IN BATHROOMS CONTAINING A BATHTUB AND/OR SHOWER, LAUNDRY ROOM. (1203.1)
6. ALL PLUMBING FITTINGS AND FIXTURES MUST MEET STANDARDS IN CALGREEN TABLE 4.303.3
7. ENSURE PROTECTION AND COVERING OF DUCT OPENINGS DURING STORAGE AND CONSTRUCTION. 4.504.1 CGBSC
8. LOW VOC ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEM, LOW FORMALDEHYDE WOOD, LOW VOC RESILIENT FLOORING. 4.504.2 CGBSC
9. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. 4.505.3 CGBSC.
10. BATHROOM EXHAUST FANS MUST BE ENERGY STAR AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS THE FAN IS PART OF A WHOLE HOUSE VENTILATION SYSTEM. IT MUST BE CONTROLLED BY A READILY ACCESSIBLE HUMIDISTAT WHICH RANGES FROM 50 TO 80 PERCENT RELATIVE HUMIDITY RANGE. 4.508.1 CGBSC
11. PROVIDE PIPE INSULATION ON ALL EXPOSED AND ACCESSIBLE HOT WATER PIPES CONNECTED TO A NEW WATER HEATER PER THE CALIFORNIA ENERGY CODE, SMC 8.106.055. HVAC SYSTEM MUST BE SIZED AND DESIGNED WITH ACCA MANUALS J, D, AND S. 4.507.2 CGBSC
12. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2
13. PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT (MIN. 4" DIA.) TO THE OUTSIDE AND EQUIP WITH A BACK-DRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO 14FT. WITH 2 ELBOWS. (CMC 504.3)
14. PROVIDE 100 SQ. IN. OF MAKEUP AIR TO LAUNDRY ROOM PER CMC 205 AND 504.3.1



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REVISION

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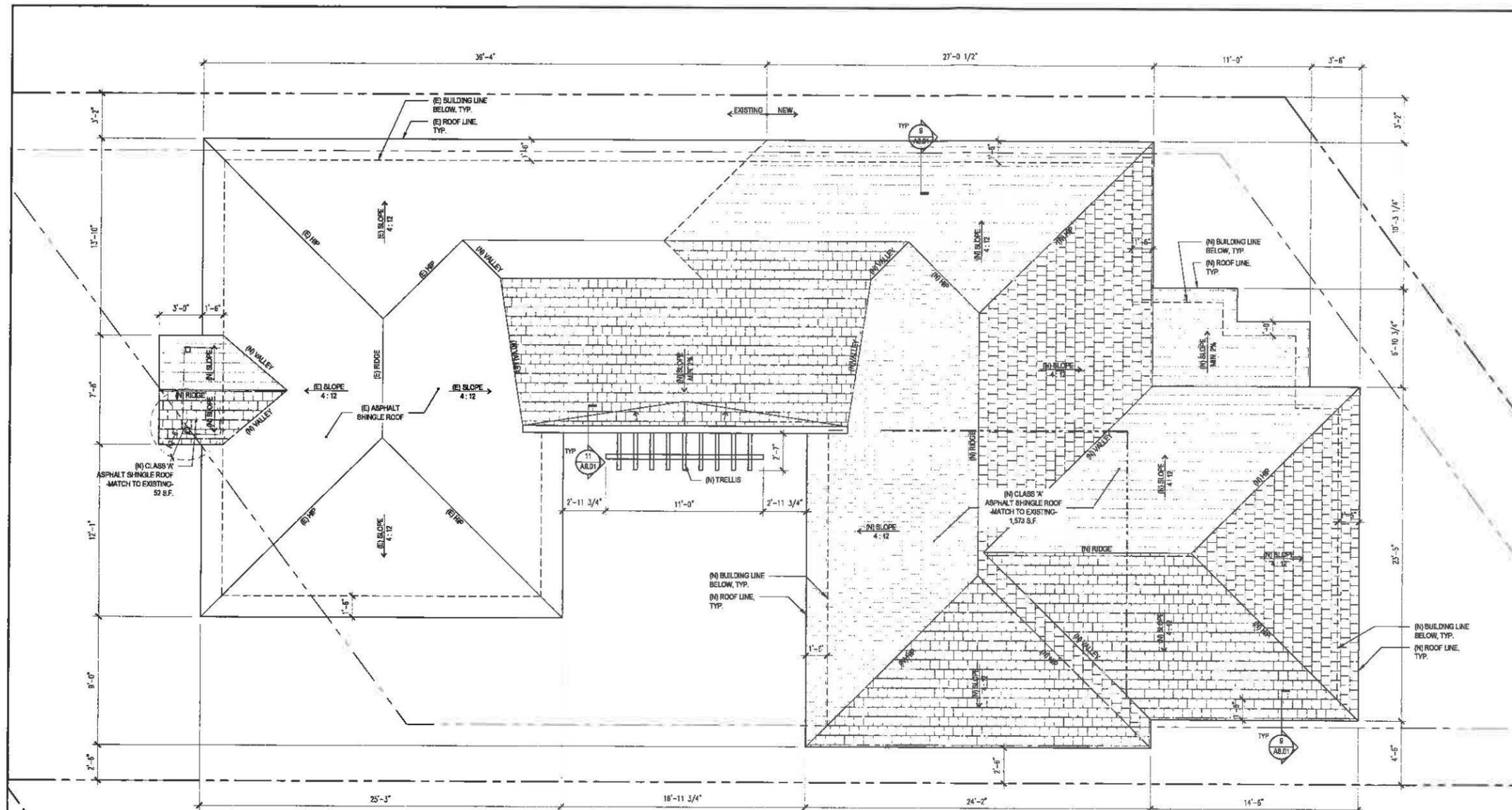
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PROPOSED FLOOR PLANS

JOB No. 25-5
DATE JULY 2018
SCALE No. AS SHOWN
DRAWN BY MJ
SHEET NO.

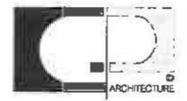
A2.01



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES

1. PLUMBING & HEATING ROOF VENTS AND ATTIC VENTS TO BE LOCATED ON INSIDE ROOF PITCH, OUT OF STREET VIEW (IF POSSIBLE).
2. 50% OF THE REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.
3. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED OF ROOF SHEATHING.
4. A MIN. OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND UNDERSIDE OF ROOF SHEATHING.
5. ATTIC VENT TOTAL SHALL BE A MIN. 1/150 SQ. FT. OF THE ATTIC AREA. OPENING SHALL BE AS EQUALLY SPACED AS POSSIBLE AND AS CLOSE TO CORNERS AS PRACTICAL TO PROVIDE ADEQUATE ATTIC CROSS VENTILATION. VENT OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MIN. 1/4" OPENING.
6. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. R806.2



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PROPOSED ROOF PLANS

JOB No. 20-08
DATE JULY 2018
SCALE No. AS SHOWN
DRAWN BY JLD
SHEET NO.

A2.02



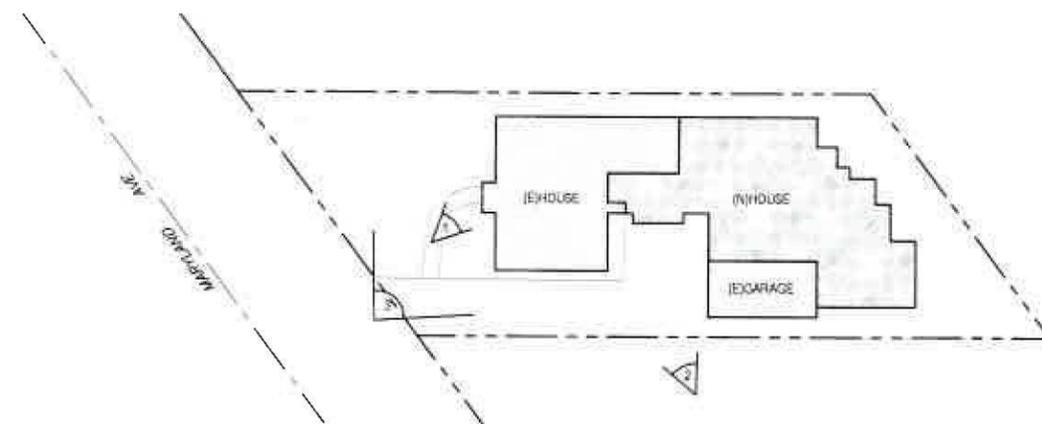
4 VIEW 3



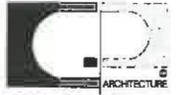
2 VIEW 1



3 VIEW 2



1 KEY MAP



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JOB NO. 25-8
DATE JULY 2016
SCALE NO. AS SHOWN
DRAWN BY AL
SHEET NO.

A3.01



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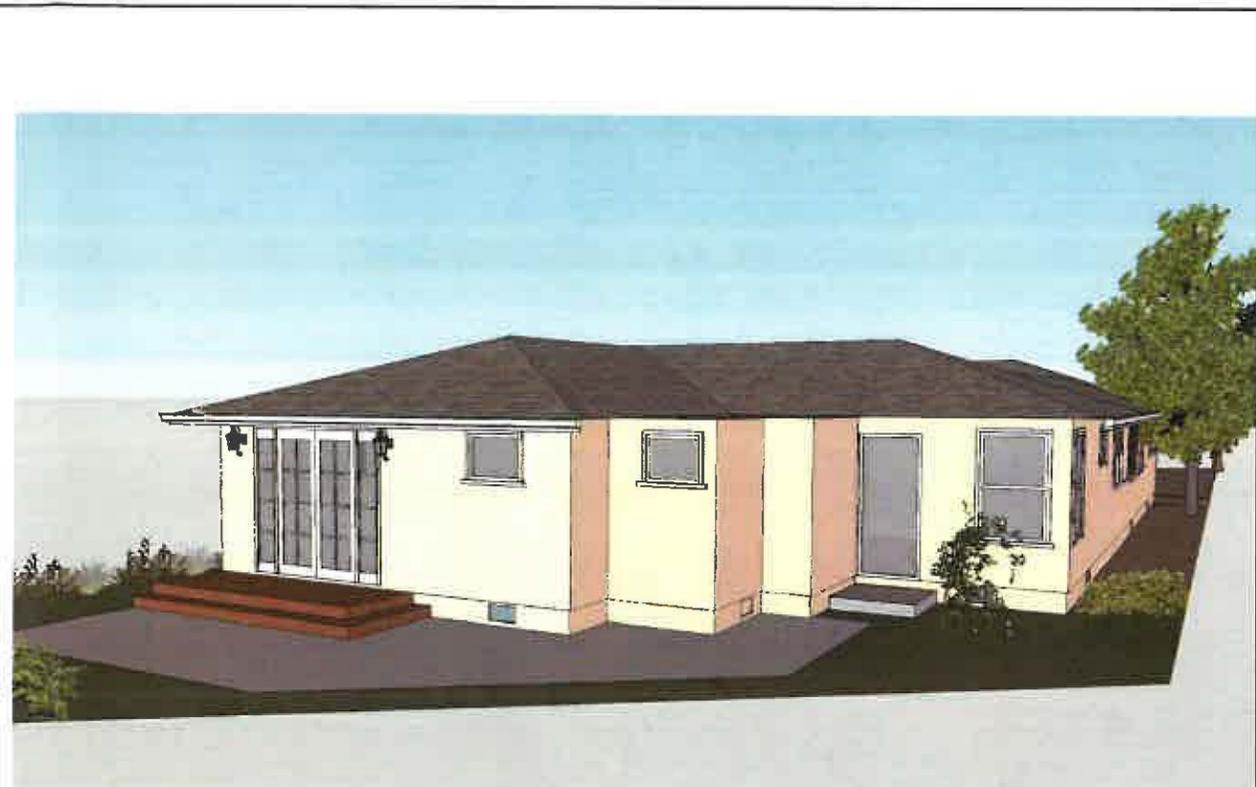
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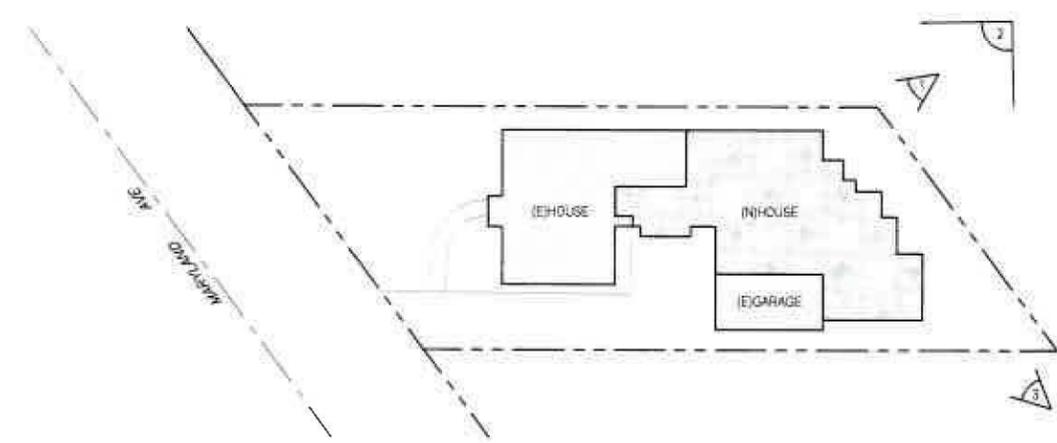
4 VIEW 3



2 VIEW 1



3 VIEW 2



1 KEY MAP

MATERIAL TYPE LEGEND

- SHINGLE ROOF
 BRAND: OWENS- ROOF SHINGLES
 MODEL: DURATION PREMIUM
 COLOR: SUNRISE
- WOOD SIDING
 BRAND: JAMES HARDIE
 MODEL: WOOD SIDING
 COLOR: MATCH TO STUCCO PAINT COLOR
- STUCCO
 BRAND: BENJAMIN MOORE
 MODEL: TUCSON TAN
 COLOR: 114
- STONE
 BRAND: NEXT STONE
 MODEL: FAUX STONE VENEER
 COLOR: KENTUCKY GRAY
- WINDOW FRAME
 BRAND: VALSPAR
 COLOR: SEM-GLOSS PERFECT WHITE LATEX PAINT

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REVISION
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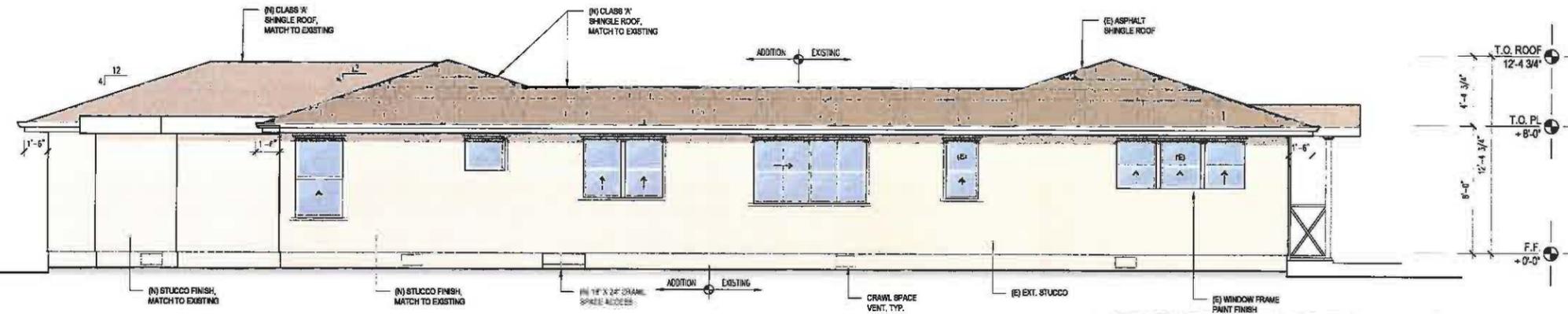
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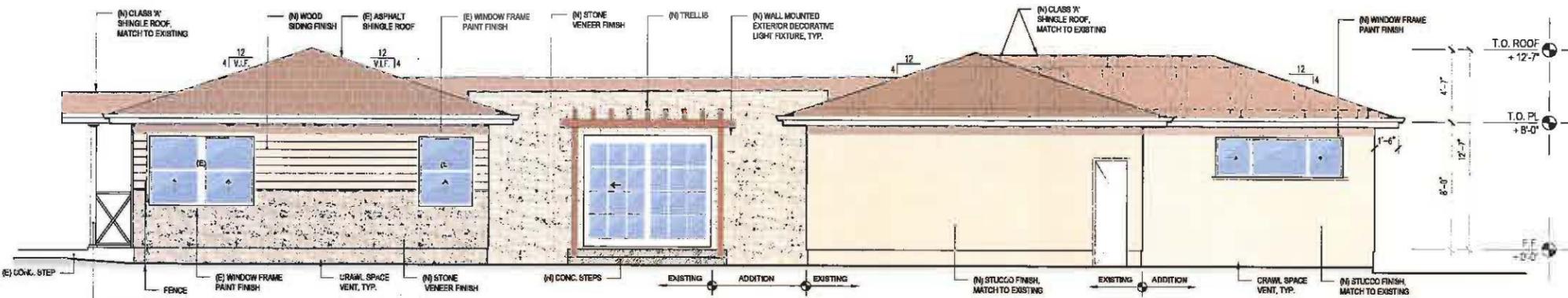
BUILDING ELEVATIONS

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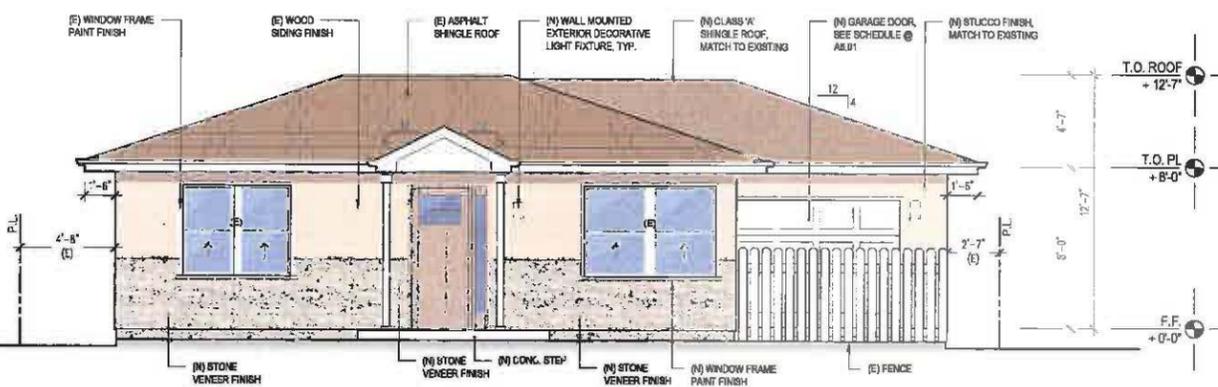
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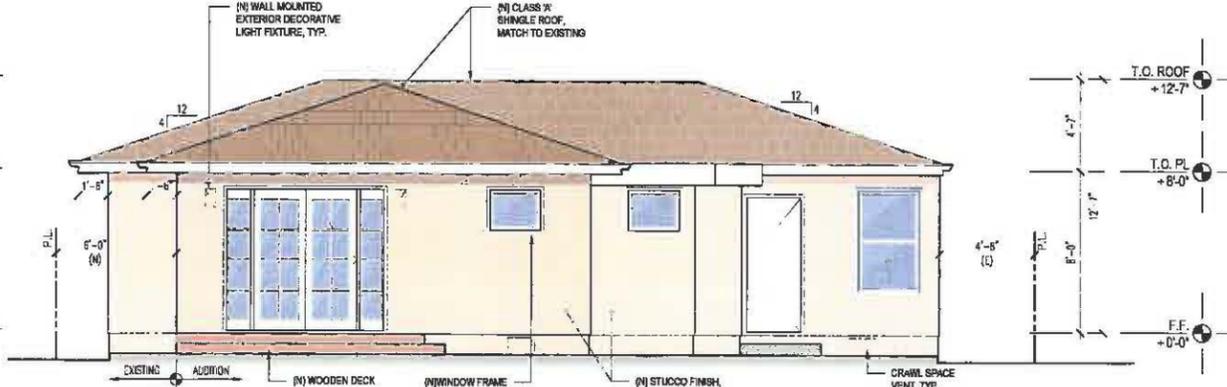
4 NORTH BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"



3 SOUTH BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"



2 WEST BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"



1 EAST BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"



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BUILDING SECTIONS

JOB No. 25-B

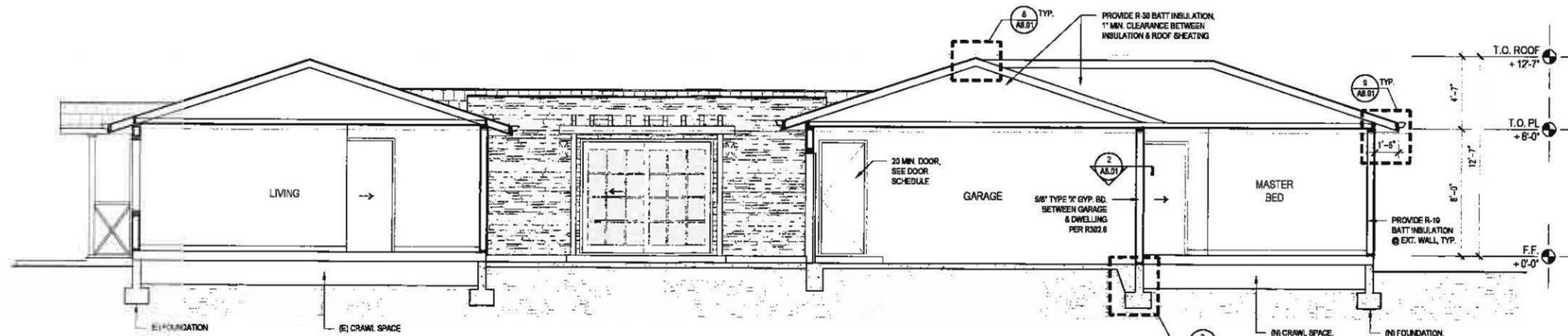
DATE JULY 2018

SCALE No. AS SHOWN

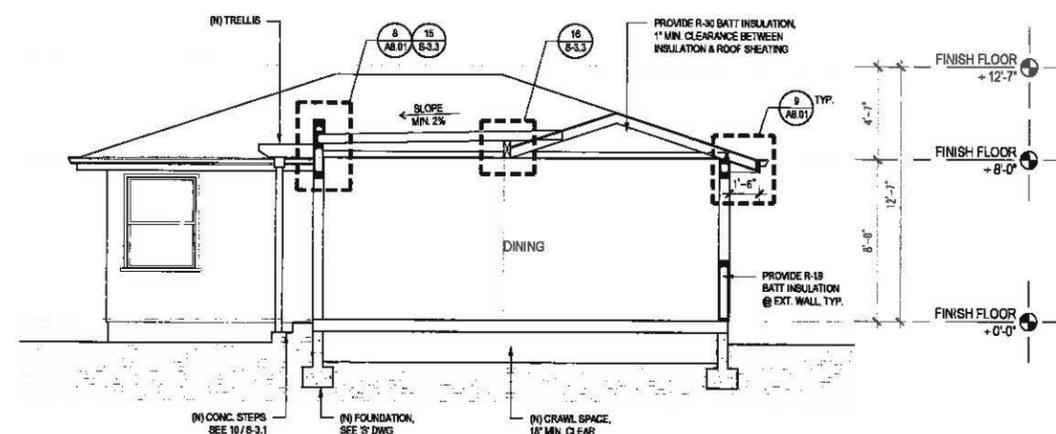
DRAWN BY MJ

SHEET NO.

A4.02



2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"

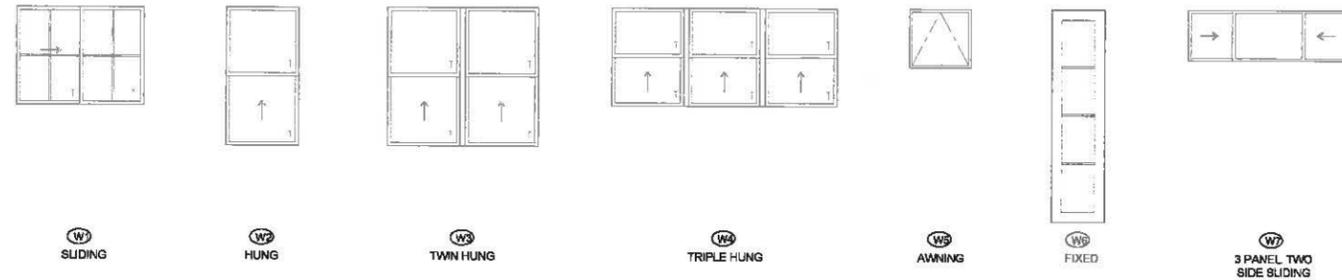
DOOR AND WINDOW NOTES

- ALL NEW EXTERIOR WINDOWS AND DOOR SHALL COMPLY WITH SEC. R327 VERY FIRE HAZARD ZONE
 - ALL EXTERIOR DOORS INCLUDING GLAZED DOORS (SLIDERS) AND GARAGE DOORS MUST HAVE EXTERIOR GLAZING THAT IS NON-COMBUSTIBLE, IGNITION RESISTANT OR FIRE RATED.
 - GLAZING IN GARAGE VEHICLE DOORS IS NOW REGULATED AND MUST DUAL PANE TEMPERED, R327.8.2.
- EMERGENCY EGRESS OPENINGS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, MIN. 20" CLEAR HT., 20" CLEAR WIDTH, 44" MAX. TO SILL, R327.8.2.1
- CONTRACTOR SHALL MEASURE OPENING SIZE PRIOR TO INSTALL DOORS & WINDOWS.
- ALL EXTERIOR WINDOWS AND EXTERIOR DOOR SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING.
- THRESHOLD AT DOORWAYS SHALL NOT EXCEED .75 INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR .5 INCH FOR OTHER DOORS, RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN .25 INCH AT DOORWAYS THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL, (50 PERCENT SLOPE).

WINDOW SCHEDULE

WINDOW NUMBER	ROOM NAME	QUANTITY	TYPE	SIZE			WINDOW			DETAIL			HARDWARE	VISIBLE FROM THE STREET? Y/N	EXTERNAL GRID? (SOL) Y/N	BEDROOM? Y/N	ENERGY EFFICIENT? Y/N	TEMPERED GLASS? Y/N	FIRE HAZARD	OPERATION	REMARKS
				WIDTH	HEIGHT	S.H.	GLAZING	FRAME	FINISH	HEAD	JAMB	SILL									
W1	BED 1	1	W3	5'-3"	4'-8"	2'-6"	DUAL PANE TEMP.	WOOD (BLOCK)	PAINT	-	-	-	-	YES	N/A	YES	YES	NO	TWIN HUNG	EXISTING	
W2	BED 1	1	W4	8'-0"	3'-0"	4'-0"	DUAL PANE TEMP.	WOOD	PAINT	-	-	-	-	NO	N/A	YES	YES	NO	TRIPLE HUNG	EXISTING	
W3	BATH 1	1	W2	2'-0"	3'-8"	3'-4"	DUAL PANE TEMP.	WOOD	PAINT	-	-	-	-	NO	N/A	NO	YES	NO	HUNG	EXISTING	
W4	DINING	1	W1	7'-0"	4'-0"	3'-0"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	YES	NO	YES	NO	SLIDING	UV PROTECTION LOW E SOLAR BAN 60	
W5	KITCHEN	1	W3	5'-0"	3'-8"	3'-4"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	N/A	NO	YES	NO	TWIN HUNG	UV PROTECTION LOW E SOLAR BAN 60	
W6	BATH 2	1	W5	2'-8"	2'-0"	5'-0"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	N/A	NO	YES	NO	AWNING	UV PROTECTION LOW E SOLAR BAN 60	
W7	BED 2	1	W2	3'-0"	5'-0"	2'-0"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	N/A	YES	YES	NO	HUNG	UV PROTECTION LOW E SOLAR BAN 60	
W8	BED 2	1	W2	3'-0"	5'-0"	2'-0"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	N/A	YES	YES	NO	HUNG	UV PROTECTION LOW E SOLAR BAN 60	
W9	MASTER TOILET	1	W6	2'-8"	2'-0"	5'-0"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	N/A	NO	YES	NO	AWNING	UV PROTECTION LOW E SOLAR BAN 60	
W10	MASTER BATH	1	W6	2'-8"	2'-0"	5'-0"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	N/A	NO	YES	NO	AWNING	UV PROTECTION LOW E SOLAR BAN 60	
W11	MASTER BED	2	W8	1'-2"	6'-8"	0"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	-	-	NO	YES	YES	YES	NO	FIXED	UV PROTECTION LOW E SOLAR BAN 60	
W12	MASTER BED	1	W7	6'-0"	2'-8"	4'-8"	DUAL PANE TEMP.	WOOD	PAINT	2/A8.01	2/A8.01	1/A8.01	-	NO	N/A	YES	YES	NO	3 PANEL TWO SIDE SLIDING	UV PROTECTION LOW E SOLAR BAN 60	
W13	LIVING	1	W2	3'-4"	4'-8"	2'-8"	DUAL PANE TEMP.	WOOD	PAINT	-	-	-	-	NO	N/A	NO	YES	NO	HUNG	EXISTING	
W14	LIVING	1	W2	3'-4"	4'-8"	2'-8"	DUAL PANE TEMP.	WOOD	PAINT	-	-	-	-	NO	N/A	NO	YES	NO	HUNG	EXISTING	
W15	LIVING	1	W3	6'-6"	4'-8"	2'-8"	DUAL PANE TEMP.	WOOD	PAINT	-	-	-	-	NO	N/A	NO	YES	NO	TWIN HUNG	EXISTING	
W16	LIVING	1	W3	6'-6"	4'-8"	2'-8"	DUAL PANE TEMP.	WOOD (BLOCK)	PAINT	-	-	-	-	YES	N/A	NO	YES	NO	TWIN HUNG	EXISTING	
W17	ENTRY	1	W6	10'	6'-8"	0"	DUAL PANE TEMP.	WOOD (BLOCK)	PAINT	-	-	-	-	YES	YES	NO	YES	NO	FIXED	UV PROTECTION LOW E SOLAR BAN 60	

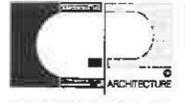
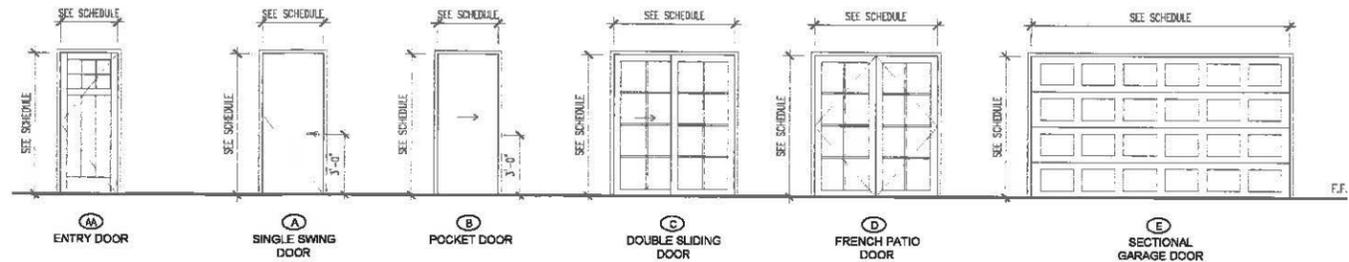
WINDOW TYPE



DOOR SCHEDULE

DOOR NUMBER	ROOM NAME	QUANTITY	DOOR				TYPE OF OPERATION	FRAME		DETAIL			HARDWARE	EXTERNAL GRID? Y/N	ENERGY EFFICIENT? Y/N	TEMPERED GLASS? Y/N	FIRE HAZARD ZONE? Y/N	REMARKS	
			TYPE	DOOR SIZE	THICKNESS	MATERIAL		FINISH	MATERIAL	FINISH	HEAD	JAMB							SILL
001	ENTRY	1	AA	2'-10" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	-	-	8/A8.02	KEYED ENTRANCE	YES	YES	YES	NO	CUSTOM ENTRY DOOR
002	BED 1	1	A	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	-	-	3/A8.02	KEYED DEADBOLT	NO	YES	N/A	NO	
003	BATH 1	1	B	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SLIDING	WOOD	PAINT	-	-	8/A8.02	PRIVACY	NO	YES	N/A	NO	
004	DINING	1	C	8'-0" X 7'-0"	1 3/4"	GLASS	TEMP.	SLIDING	WOOD	PAINT	-	-	-	KEYED ENTRANCE	YES	YES	YES	NO	UV PROTECTION LOW 3 SOLAR BAN 60
005	GARAGE	1	E	16'-0" X 7'-0"	1 3/4"	STEEL	PAINT	ROLL UP	WOOD	PAINT	12/A8.02	11/A8.02	13/A8.02	PRIVACY	NO	YES	N/A	NO	
006	GARAGE	1	A	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	-	-	3/A8.02	KEYED ENTRANCE	NO	YES	N/A	NO	20 MIN FIRE RATED & SELF LATCHING DEVICE SECTION R302.5.1
007	BATH 2	1	A	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	-	-	3/A8.02	PRIVACY	NO	YES	N/A	NO	
008	BED 2	1	A	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	-	-	3/A8.02	KEYED DEADBOLT	NO	YES	N/A	NO	
009	BED 2	1	A	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	8/A8.02	5/A8.02	4/A8.02	PRIVACY	NO	YES	N/A	NO	
010	MASTER BED	1	A	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	-	-	3/A8.02	KEYED DEADBOLT	NO	YES	N/A	NO	
011	MASTER CLOSET	1	B	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	FOLDING	WOOD	PAINT	-	-	-	PULL	NO	YES	N/A	NO	
012	MASTER BATH	1	A	2'-8" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	-	-	3/A8.02	PRIVACY	NO	YES	N/A	NO	
013	MASTER TOILET	1	B	2'-4" X 6'-8"	1 3/4"	WOOD	PAINT	SLIDING	WOOD	PAINT	-	-	-	PRIVACY	NO	YES	N/A	NO	
014	MASTER BED	1	D	5'-0" X 6'-8"	1 3/4"	GLASS	TEMP.	SWING	WOOD	PAINT	-	-	-	KEYED DEADBOLT	YES	YES	YES	NO	UV PROTECTION LOW 3 SOLAR BAN 60
015	GARAGE	1	A	2'-4" X 6'-8"	1 3/4"	WOOD	PAINT	SWING	WOOD	PAINT	8/A8.02	5/A8.02	-	KEYED ENTRANCE	NO	YES	N/A	NO	

DOOR TYPE



GRACE PARTNERSHIP, INC.
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1520 HOLLYWOOD BLVD., #301
LOS ANGELES, CA 90028
T 213.387.7738
F 323.380.7222
E INFO@GRACEINC.COM

CONSULTANT

PROJECT

RARA KANG RESIDENCE ADDITION
4320 MARYLAND AVE.
GLENDALE, CA 91214

REVISION

NO.	DATE	DESCRIPTION

STAMP

SHEET TITLE

DOOR & WINDOW SCHEDULE

JOB No. 25-2
DATE JULY 2018
SCALE No. AS SHOWN
DRAWN BY MJ
SHEET NO.

A6.01

**INTER-DEPARTMENTAL COMMUNICATION
PROJECT CONDITIONS AND COMMENTS**

Project

Address: 4320 Maryland Ave

Project

Case No.: PDRNRAF1914508

If project comments are not received by the due date, it will be assumed that your department has no comments.

NOTE: Your comments should address, within your area of authority, concerns and potentially significant adverse physical changes to the environment regarding the project. You may also identify code requirements specific to the project, above and beyond your normal requirements. Applicant will be informed early in the development process. You may review complete plans, maps and exhibits in our office, MSB Room 103. We appreciate your consideration and look forward to your timely comments. Please do not recommend APPROVAL or DENIAL. For any questions, please contact the Case Planner ASAP, so as not to delay the case processing.

COMMENTS:

This office DOES NOT have any comment.

This office HAS the following comments/conditions. (See attached Dept. Master List)

Date: 8-12-19

Print Name: Katherine Williams

Title: Arborist Technician Dept. Public Works, Forestry Tel.:x3402

a. ADDITIONAL COMMENTS:

1.

8-12-19

It appears that a protected oak tree is located on the subject property. Further comments from Forestry will be suspended until complete and current information is submitted indicating the presence or absence of indigenous trees. Glendale Municipal Code requires all persons who apply for development permits or entitlements to submit an accurate plan showing exact locations of each protected indigenous tree on the subject property and on adjoining properties whose trunks or branches are located twenty (20) feet outside the subject property line. **Guidelines for submission of entitlements, development permits or preliminary plan reviews report can be found at www.glendaletrees.org.**

Upon submittal of requested information, plan shall be reviewed by Forestry section for compliance relative to the Indigenous Tree Ordinance.

9-11-19

Applicant has provided the requested information to Forestry. There is one protected oak tree on site. This tree is outside of the construction zone of the proposed addition and will receive minimal to no impact from the proposed construction. The project, as proposed, is supportable by Forestry, on the condition that the protected oak tree remains inaccessible to all construction activity. The proposed project will require an Indigenous Tree Permit, which can be obtained from Forestry during plan check.