



CITY OF GLENDALE, CALIFORNIA
Community Development
Planning

633 E. Broadway, Suite 103
Glendale, CA 91206-4311
Tel. (818) 548-2140 Fax (818) 240-0392
glendaleca.gov

October 23, 2019

Oaken Babakhanian
6854 Foothill Boulevard
Tujunga, CA 91042

**RE: Design Review PDR1914341
333 West Acacia Avenue**

Dear Mr. Babakhanian:

The Director of Community Development will render a final decision on or after **November 6, 2019**, for the following project:

PROJECT DESCRIPTION: The applicant is proposing to demolish the existing detached garage and construct an attached 2-car garage to the existing 1,000 square-foot, one-story house (and add 324 square feet of living area), and construct a new 1,439 square-foot, 2-story unit and attached 2-car garage at the rear of the 7,000 square-foot lot, zoned R2250 (Medium Density Residential) Zone.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

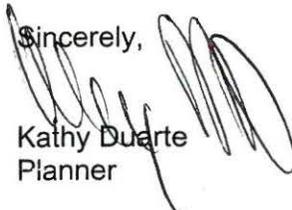
For more information or to submit comments, please contact the case planner, Kathy Duarte, at 818-937-8163 or kduarte@glendaleca.gov.

Comments must be received prior to **November 6, 2019**, in order to be considered by the Director.

DECISION: A decision letter will be posted online on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>. You may also request notification of the decision when the decision is rendered.

Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available at the Permit Services Center, 633 E. Broadway, Room 101, Glendale, CA 91206 or online at <http://www.glendaleca.gov/appeals>.

Sincerely,


Kathy Duarte
Planner

**City of Glendale
Community Development Department
Design Review Staff Report – Multi-Family**

Meeting/Decision Date: November 6, 2019 **Address:** 333 West Acacia Avenue

Review Authority: DRB ADR HPC CC **APN:** 5696024024

Case Number: PDR1914341

Applicant: Oksen Babakhanian

Prepared By: Kathy Duarte

Owner: Robert Khachakian

Project Summary

The applicant is proposing to demolish an existing detached garage to add 324 square feet of living space and an attached 2-car garage onto an existing 1,000 square-foot, one-story house; and to construct a new 1,439 square-foot, 2-story unit and attached 2-car garage at the rear of the 7,000 square-foot lot, zoned R2250 (Medium Density Residential) Zone.

The proposed work includes:

- Demolishing the existing 242 square-foot detached garage;
- Remodeling the interior of the existing 1,000 square-foot front unit, and adding 120 square feet to the front and 184 square feet to the rear;
- Constructing a new 420 square-foot attached garage for the front unit; and
- Constructing a new 1,439 square-foot, 2-story unit and attached 441 SF, 2-car garage.

Existing Property/Background

The subject site contains a 1-story, 1,000 square-foot house built in 1920 that was not identified as a historic resource in the South Glendale Historic Resource Survey. The street front setback of the house at approximately 23 feet is consistent with the neighboring properties. An existing 242 square-foot detached garage is located on the east side of the property with access from a driveway along West Acacia Avenue. On the adjacent property to the west is an 8-unit, 2-story apartment building; and the property to the east has two 1-story units.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

- First time submittal for final review.
 Other:

Zone: R2250 - Medium Density Residential

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

- None
 Other:

CEQA Status:

- The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because
 The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 of the State CEQA Guidelines because the project is a 2nd dwelling unit in a residential zone.

- The project is exempt from CEQA review as a Class 32 "Infill Development" exemption pursuant to Section 15332 of the State CEQA Guidelines because
- Other:

Site Slope and Grading

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:

- 50% or greater current average slope:

DESIGN ANALYSIS

Site Planning

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

- yes n/a no

If "no" select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street

Yards and Usable Open Space

- yes n/a no

If "no" select from below and explain:

- Outdoor space integrated into site design and acknowledges adjacent development
- Common space easily accessible from all units
- Appropriate separation/screening from residential units
- Discrete seating and amenity areas allow for multiple users

Garage Location and Driveway

- yes n/a no

If "no" select from below and explain:

- Garage fully integrated into overall structure
- Driveway and curb-cut widths minimized
- Grade-level garages and parking, if allowed, are appropriately screened from the street
- Decorative paving complements building design
- Stairs and lifts to subterranean garages incorporated into the design of the project

Provide decorative paving in the street front setback and a sample of the driveway paving material for staff's approval.

Landscape Design

- yes n/a no

If "no" select from below and explain:

- Complementary to building design
- Maintain existing trees when possible
- Provide landscaping adjacent to driveways and garages
- 20% of planting at above-grade common spaces is within 9 inches of finish floor
- Above-grade tree wells are at least 6 inches higher than box size of tree

Walls and Fences

yes n/a no

If "no" select from below and explain:

- Appropriate style/color/material for building design
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Existing chain link fence shall be replaced with a wood fence. Design and details to be reviewed by staff.

Equipment, Trash, and Drainage

yes n/a no

If "no" select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- All screening integrated with overall building and/or landscape design
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades

Lighting

yes n/a no

If "no" select from below and explain:

- Light fixtures are appropriate to the building and/or landscape design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

Provide all exterior light locations and cut sheets for staff's approval.

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The front unit will remain appropriately situated in line with adjacent properties and the 2nd unit is appropriately located at the rear of the property.
- The air conditioning unit is not located in a setback area.
- The landscape and hardscape are complementary to the building design.
- The driveway location will remain toward the east side of the property in keeping with the neighborhood pattern. However staff recommends a decorative paving material, preferably permeable, be applied that staff reviews and approves.
- Applicant shall replace the existing chain link fence with a wood fence, with proposed details submitted for staff review and approval.
- Applicant to submit light fixture locations and cut sheets for review and approval by staff.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes n/a no

If "no" select from below and explain:

- Relates to predominant pattern through appropriate proportions and transitions
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If "no" select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If "no" select from below and explain:

- Concept governs massing and height

Scale and Proportion

yes n/a no

If "no" select from below and explain:

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms

yes n/a no

If "no" select from below and explain:

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The small additions to the street-fronting house are single story and in proportion with the existing house.
- The proposed massing and scale of the new two-story unit is appropriate as it is in keeping with the neighborhood setbacks, as well as the mix of single- and multi-dwelling units.
- The second floor of the rear unit is setback from the first floor to provide appropriate distance from the adjacent neighbors; and the second story balcony at the front helps break up the overall massing and provide a consistent architectural concept.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing

yes n/a no

If "no" select from below and explain:

- Design is compatible with neighborhood context
- Design is stylistically consistent

- Employs consistent vocabulary of forms and materials while expressing architectural variety
- Cladding materials and

Entryway

yes n/a no

If "no" select from below and explain:

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows

yes n/a no

If "no" select from below and explain:

- Appropriate to overall design
- Overall window pattern appropriate to style
- Window operation appropriate to style
- Recessed/flush window appropriate to style and/or location
- Openings are well detailed

Privacy

yes n/a no

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/roof decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality materials, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

Paving Materials

yes n/a no

If "no" select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Staff is requiring as a condition of approval to provide a driveway paving sample, preferably permeable, for review and approval.

Ancillary Structures

yes n/a no

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates, fences, and/or walls complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The traditional style architecture is consistent throughout both units.
- The stone wainscot on the front house provides high-quality materials facing the street and "wraps" the building corners.
- The silver gray color of the stucco, hardie board vertical siding, fascia, white window frames/trim and sills and gray roof are appropriate for the style of the house and the residences in the neighborhood.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

Conditions

1. Provide all exterior light fixture locations and cut sheet for staff review.
2. Replace the existing chain link fencing with wood fence approved and reviewed by staff.
3. Provide decorative paving, preferably permeable, at the driveway using a staff approved material.

Attachments

1. Location Map
2. Neighborhood Survey and Photos
3. Reduced Plans

OKS'N ASSOCIATES INC.
CONSULTING STRUCTURAL ENGINEERS

Tel (818) 273-9980
Fax (818) 273-9982
eE-mail: oksnse@pacbell.net
Web: www.oksn-associates.com

6854 FOOTHILL BLVD.
TUJUNGA, CA 91042

PROJECT LOCATION:

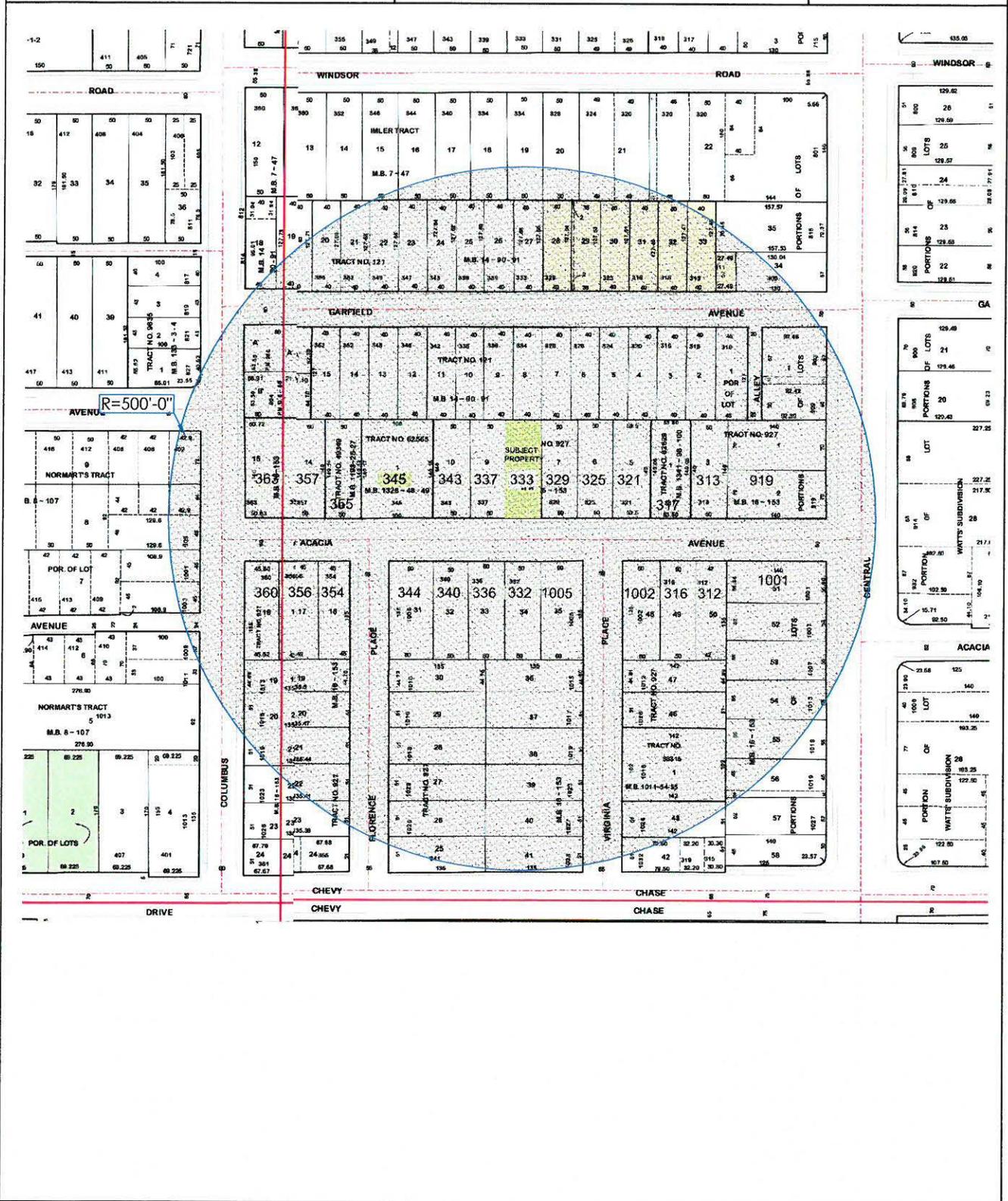
333 W ACACIA, Glendale, CA 91204

JOB: 2018-054

SHEET: LOCATION MAP

SC: 1"=200'

DATE: 07-18-2019



129.82	26
128.69	25
129.57	24
129.66	23
128.68	22
128.61	21

129.48	21
129.46	20
120.43	19
227.25	18
227.22	17
217.52	16
217.1	15
217.1	14
217.1	13
217.1	12
217.1	11
217.1	10
217.1	9
217.1	8
217.1	7
217.1	6
217.1	5
217.1	4
217.1	3
217.1	2
217.1	1

129.48	21
129.46	20
120.43	19
227.25	18
227.22	17
217.52	16
217.1	15
217.1	14
217.1	13
217.1	12
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217.1	2
217.1	1

129.48	21
129.46	20
120.43	19
227.25	18
227.22	17
217.52	16
217.1	15
217.1	14
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217.1	9
217.1	8
217.1	7
217.1	6
217.1	5
217.1	4
217.1	3
217.1	2
217.1	1

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333 W ACACIA, Glendale, CA 91204

JOB: 2018-054

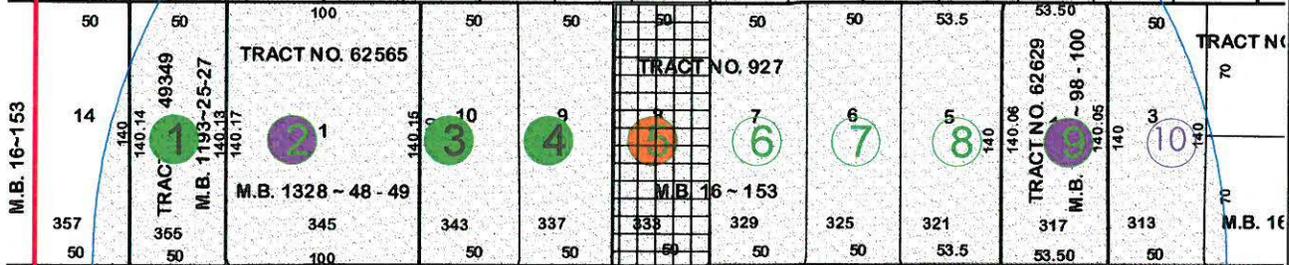
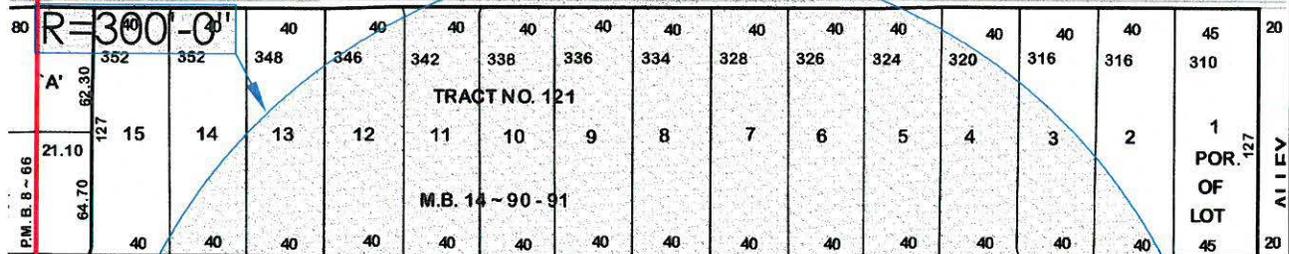
SHEET: PHOTOGRAPHS

SC: 1"=100'

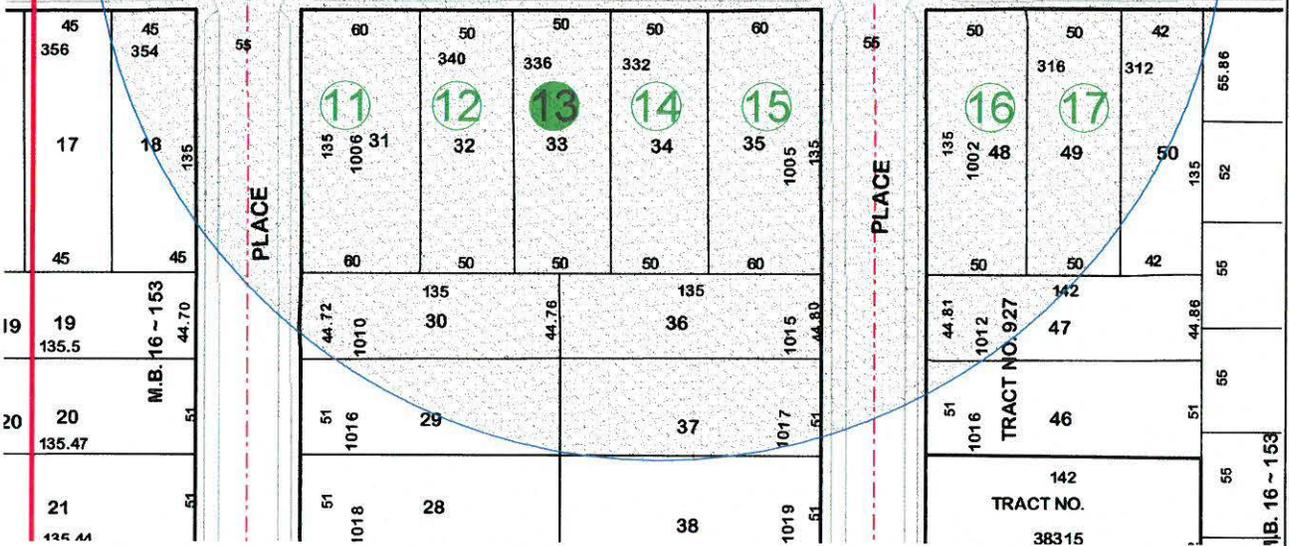
DATE: 07-18-2019

355	353	349	347	343	339	339	333	329	2	323	319	315	313	57
40	40	40	40	40	40	40	40	40	38	40	40	40	40	27.49

GARFIELD AVENUE

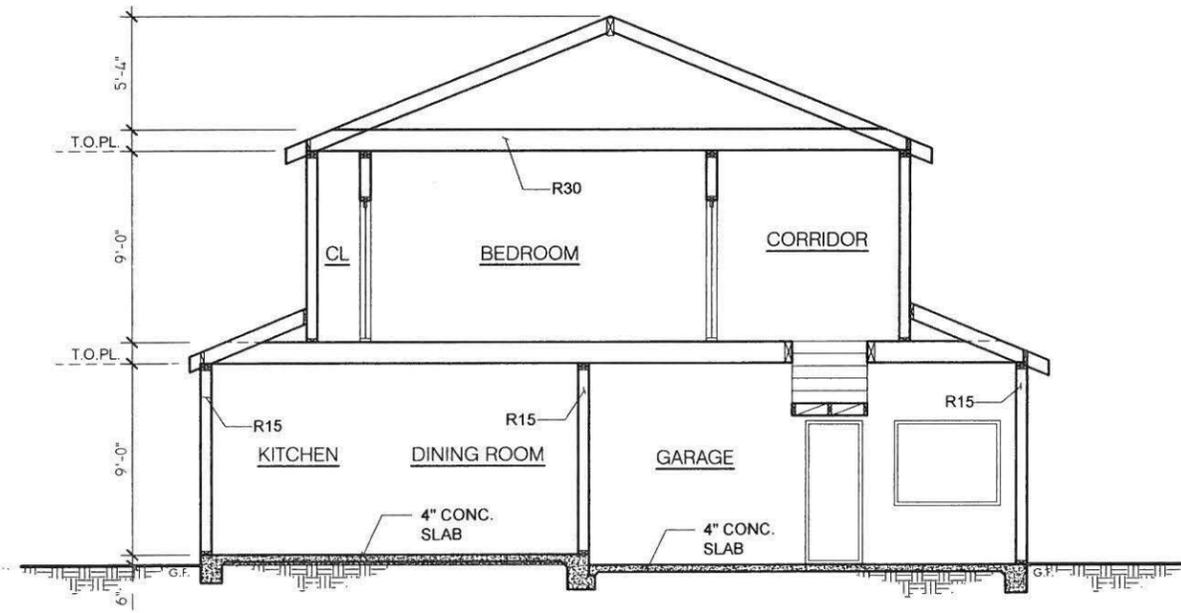


ACACIA AVENUE

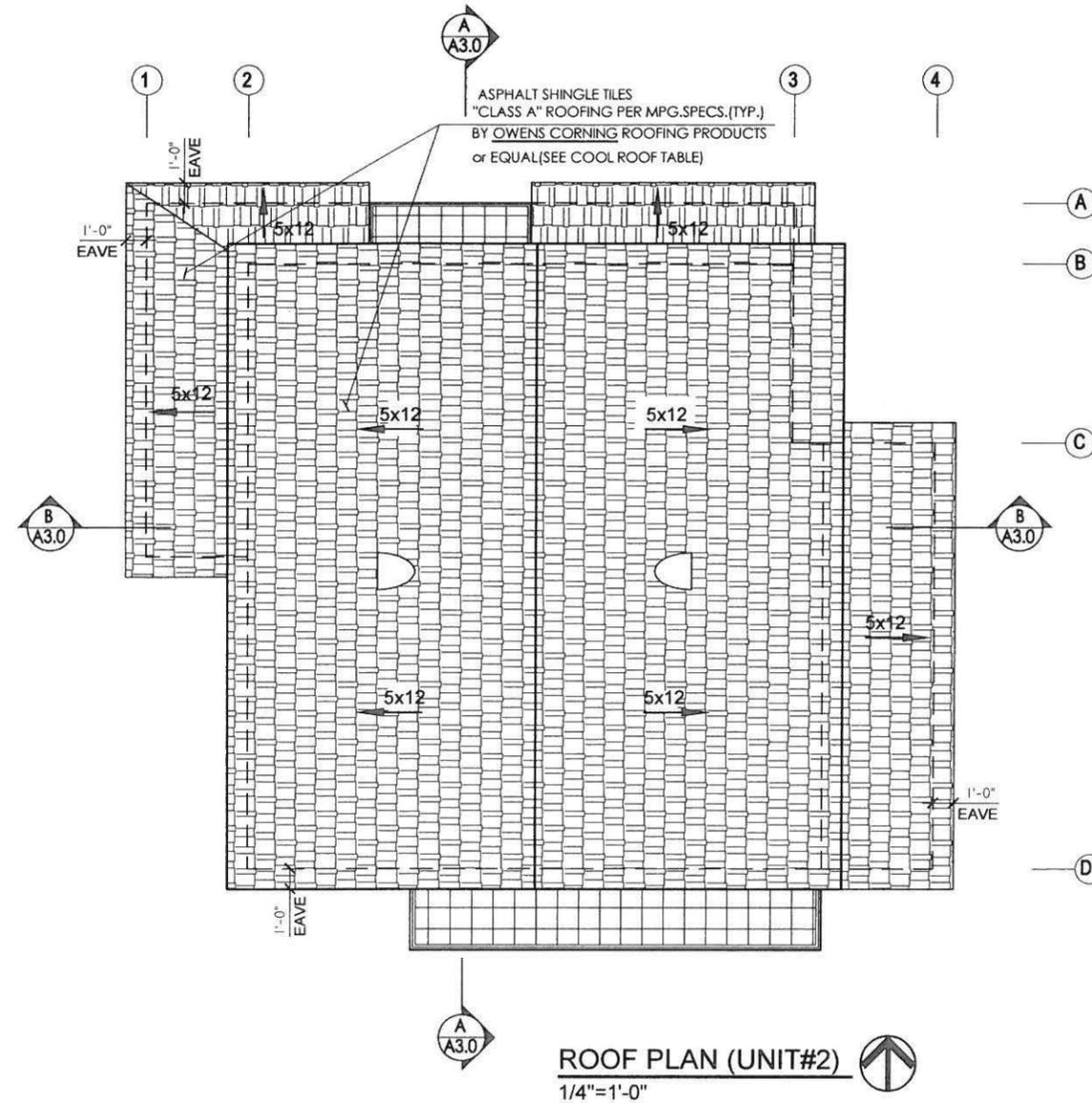


LEGEND:

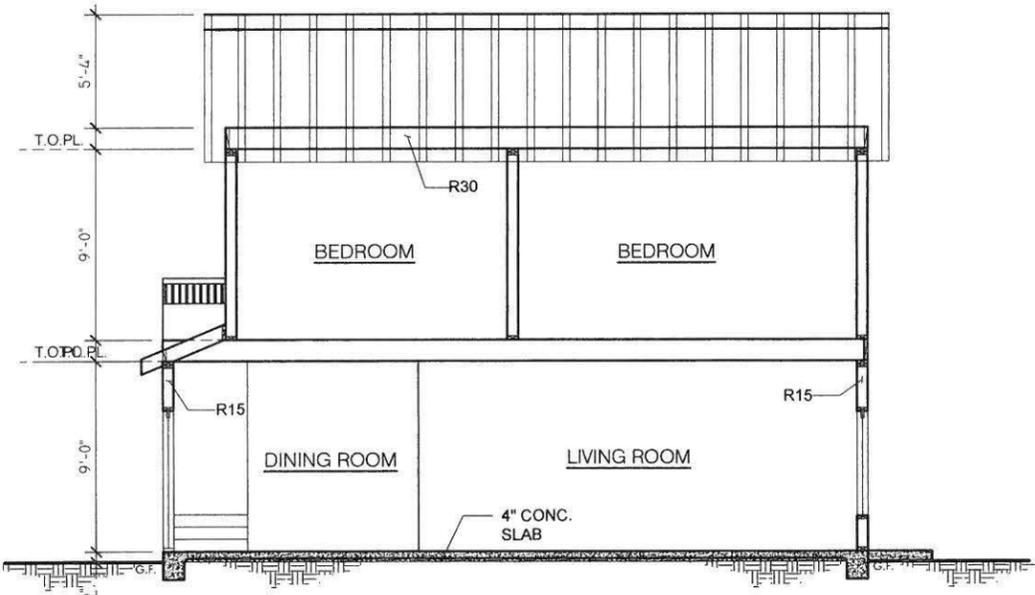
	SUBJECT PROPERTY
	RESIDENTIAL PROPERTY
	RESIDENTIAL 2 STORY PROPERTY
	RESIDENTIAL 2 STORY PROPERTY
	COMMERCIAL PROPERTY



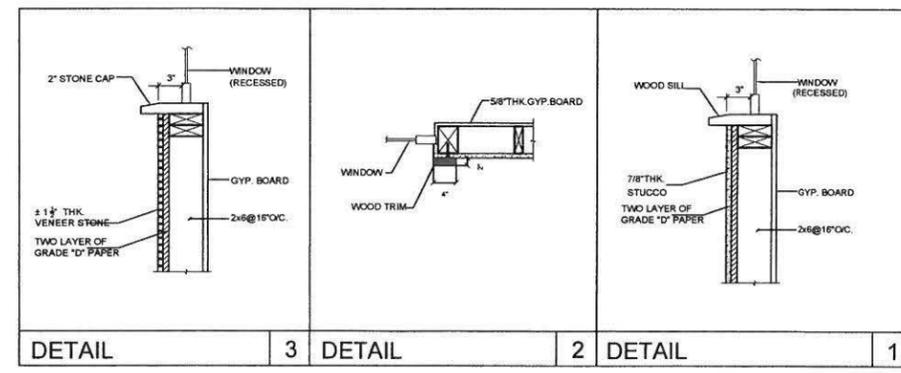
SECTION B-B
1/4"=1'-0"



ROOF PLAN (UNIT#2)
1/4"=1'-0"



SECTION A-A
1/4"=1'-0"



DETAIL 3 3 DETAIL 2 2 DETAIL 1 1

REVISIONS	BY

OWNER:
ROBERT KHACHIKIAN

ARCHITECT/ DESIGNER:
OKSN ASSOCIATES, INC.

PROJECT:
333 W A CACIA AVE
GLENDALE, CA 91204

DESCRIPTION:
ADDITION TO EXISTING AND NEW 2 STORY BUILDING

DRAWING TITLE: PROPOSED ROOF PLAN & SECTIONS (UNIT #2)

OKSN ASSOCIATES, INC.
CONSULTING STRUCTURAL ENGINEERS & DESIGNERS

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e-mail: oksnse@pacbell.net
web: www.oksn-associates.com

6854 FOOTHILL BLVD.
TULUNGA, CA 91042

DRAWN BY:

CHECKED BY: OKB

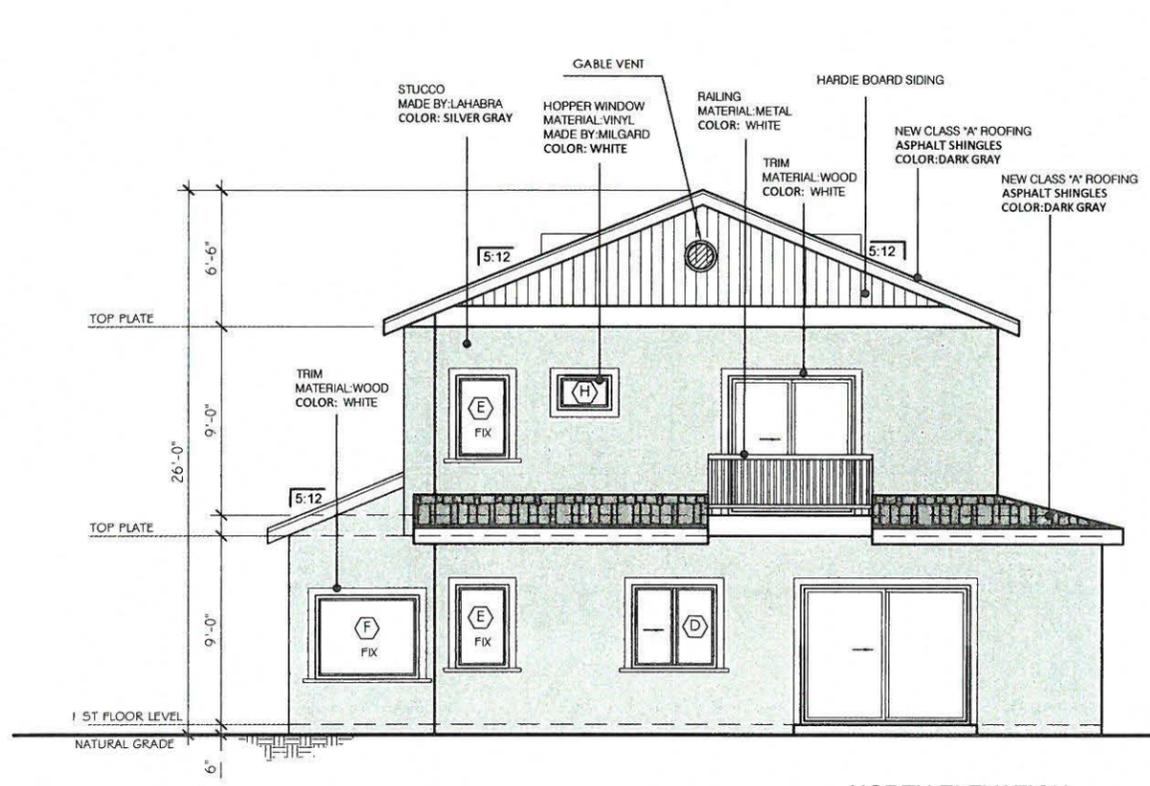
DATE: 07-18-2019

SCALE: AS NOTED

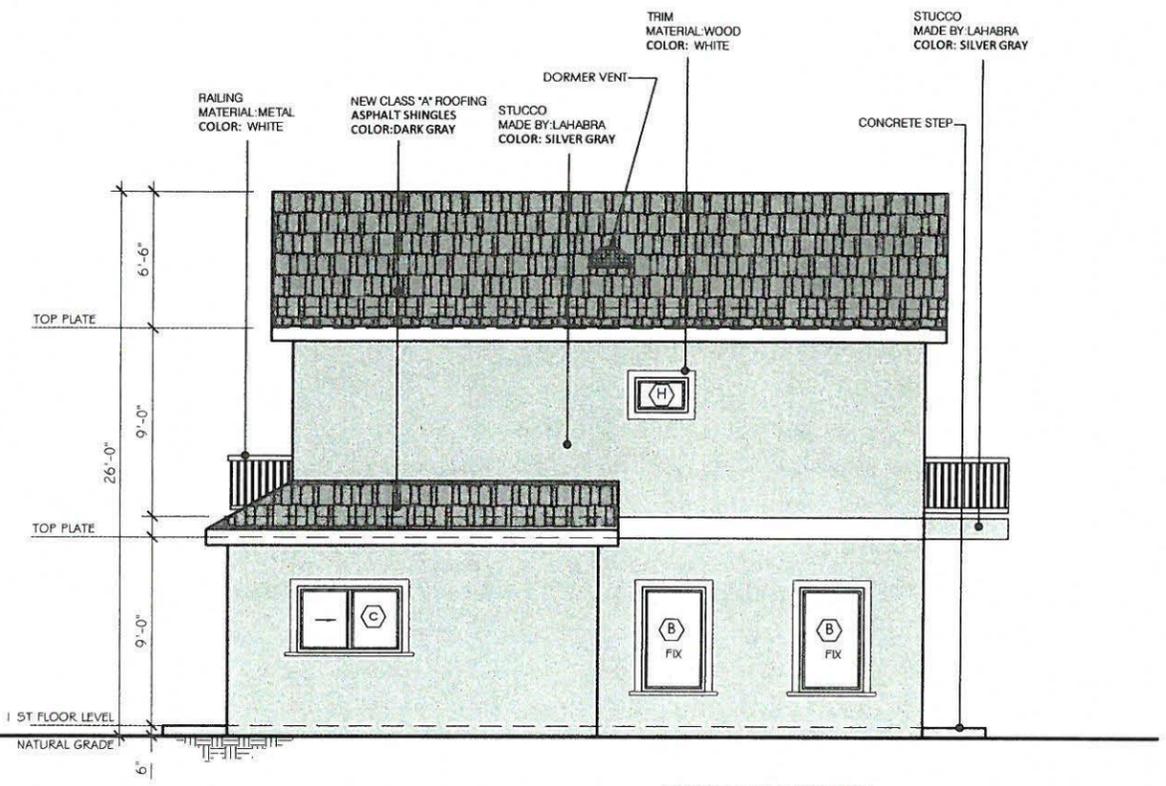
JOB NO.: 2018-054

SHEET:

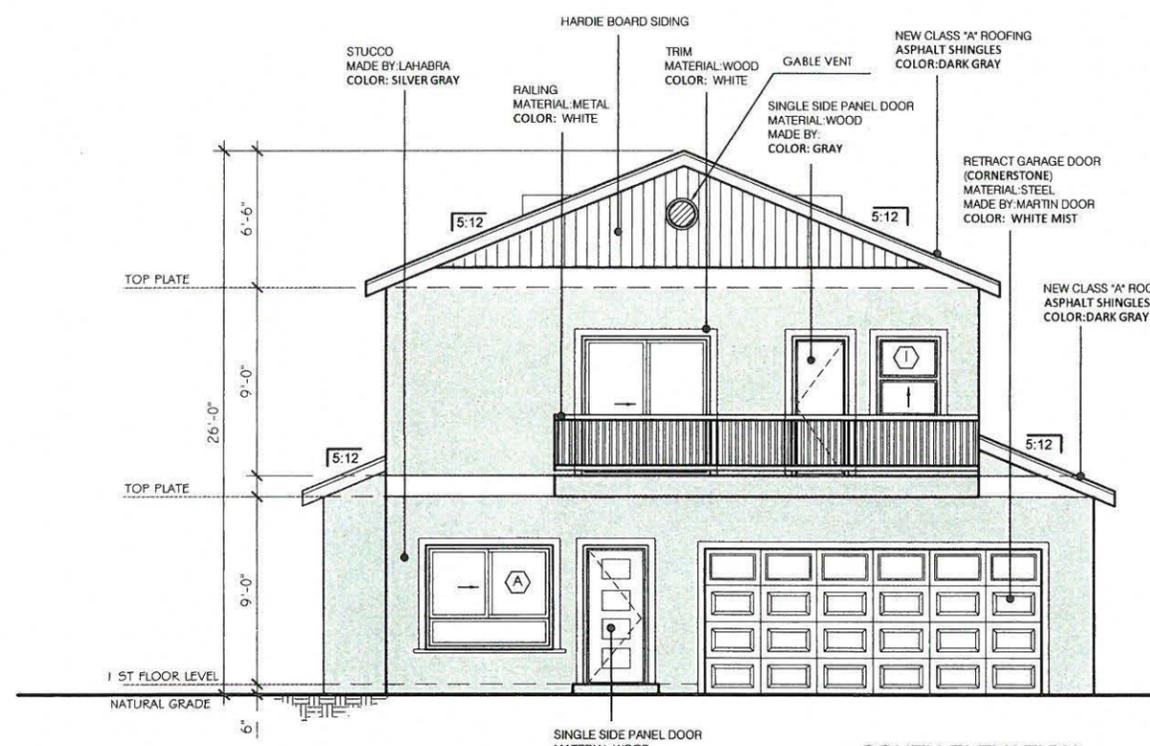
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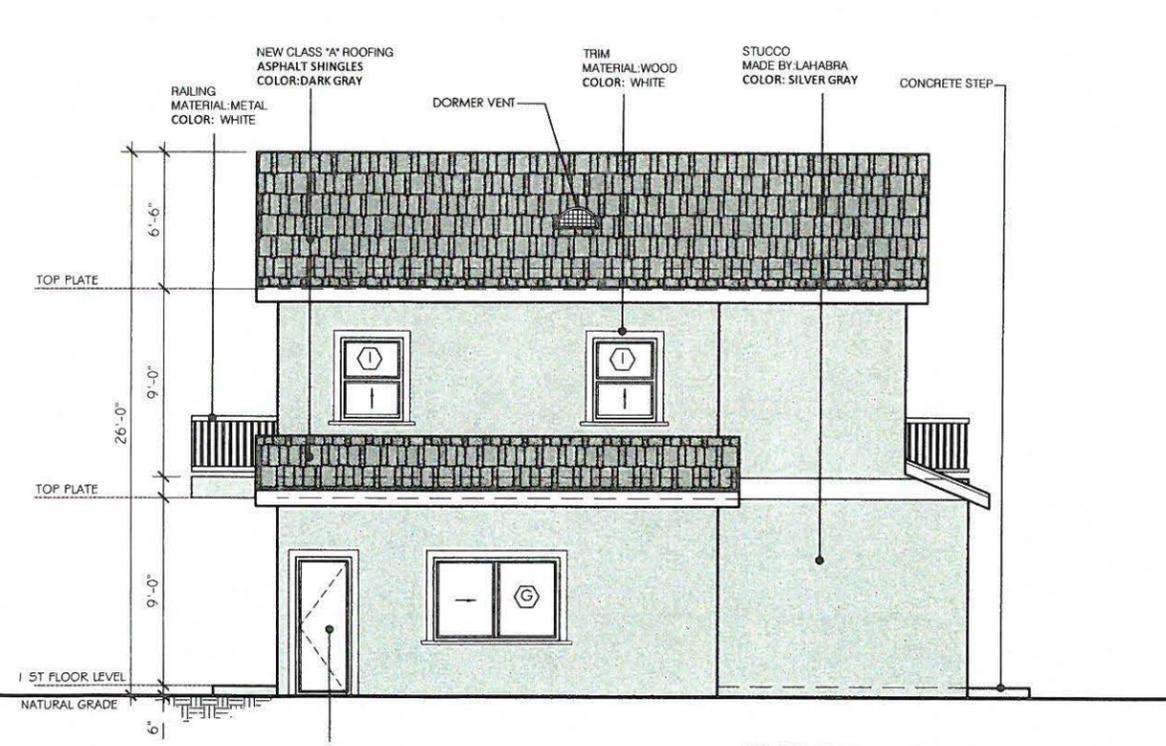
NORTH ELEVATION
3/16"=1'-0"



WEST ELEVATION
3/16"=1'-0"



SOUTH ELEVATION
3/16"=1'-0"



EAST ELEVATION
3/16"=1'-0"

ATTIC VENTILATION
 REQUIRED 955 SQ.FT./ 150= 6.4 SQ.FT.
 PROVIDED
 2-GABLE VENT(3.4 SQ.FT.)+2-12"x24" (3.2 SQ.FT.) DORMER VENT =6.6 SQ.FT.

STUCCO MADE BY LAHABRA COLOR: SILVER GRAY

ASPHALT SHINGLES MADE BY: OAKRIDGE OR SIMILAR COLOR: Estate Gray

REVISIONS	BY

OWNER:
ROBERT KHACHAKIAN

ARCHITECT/ DESIGNER:
OKSN ASSOCIATES, INC.

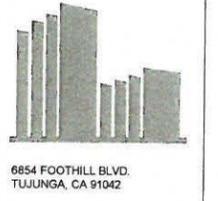
PROJECT:
333 W A CACIA AVE
GLENDALE, CA 91204

DESCRIPTION:
ADDITION TO EXISTING AND NEW 2 STORY BUILDING

DRAWING TITLE: PROPOSED ELEVATIONS (UNIT #2)

OKSN ASSOCIATES, INC.
CONSULTING STRUCTURAL ENGINEERS & DESIGNERS

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e-mail: oksnse@pacbell.net
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DRAWN BY:

CHECKED BY: OKB

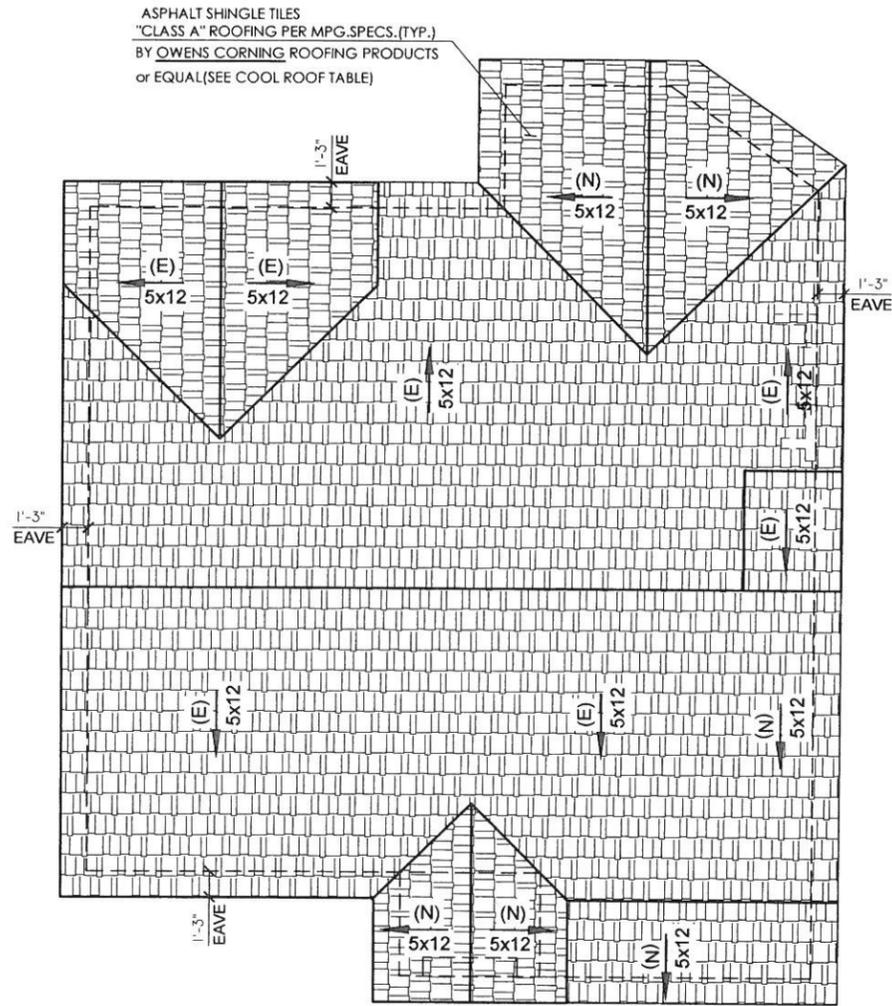
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SCALE: AS NOTED

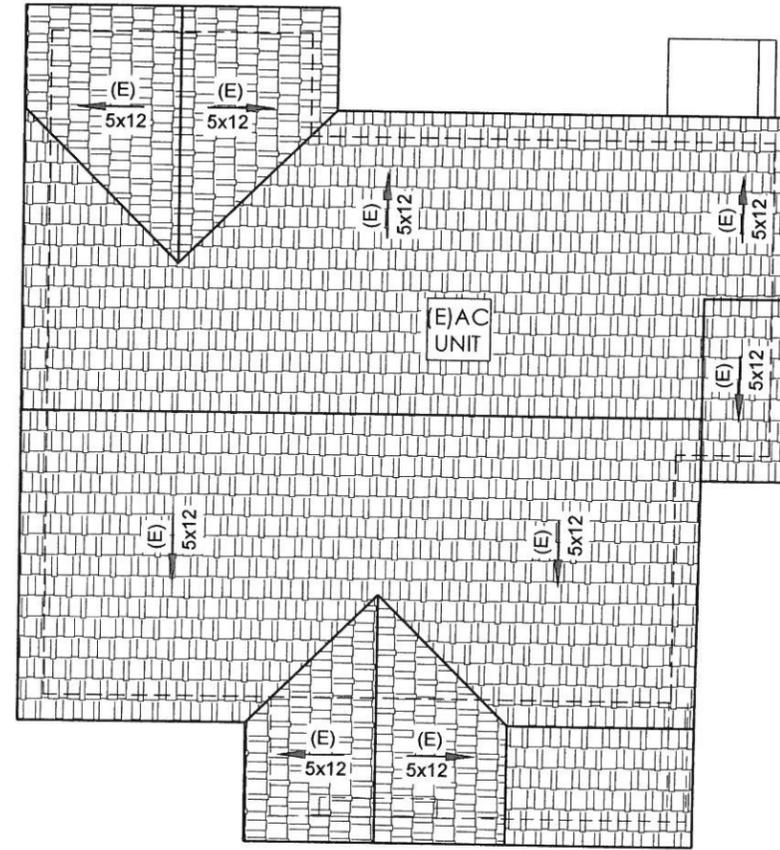
JOB NO.: 2018-054

SHEET:

A4.0



NEW ROOF PLAN
1/4"=1'-0"



EXISTING ROOF PLAN
1/4"=1'-0"



ASPHALT SHINGLE TILES
"CLASS A" ROOFING PER MPG.SPECS.(TYP.)
BY OWENS CORNING ROOFING PRODUCTS
OR EQUAL(SEE COOL ROOF TABLE)

REVISIONS	BY

OWNER:
ROBERT KHACHAKIAN

ARCHITECT/ DESIGNER:
OKSN ASSOCIATES, INC.

PROJECT:
333 W A CACIA AVE
GLENDALE, CA 91204

DESCRIPTION:
ADDITION TO EXISTING AND NEW 2 STORY BUILDING

DRAWING TITLE: EXISTING AND PROPOSED ROOF PLAN (UNIT#1)

OKSN ASSOCIATES, INC.
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6854 FOOTHILL BLVD.
TUJUNGA, CA 91042

DRAWN BY:
CHECKED BY: OKB
DATE: 07-18-2018
SCALE AS NOTED
JOB NO.: 2018-054
SHEET:

A6.0

