

**City of Glendale  
Community Development Department  
Design Review Staff Report – Commercial/Industrial**

<b>Meeting/Decision Date:</b> October 7, 2019	<b>Address:</b> 328 North Orange Street
<b>Review Authority:</b> <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	<b>APN:</b> 5643020046
<b>Case Number:</b> PDR 1807661	<b>Applicant:</b> Nareg Khodadadi
<b>Prepared By:</b> Bradley Collin	<b>Owner:</b> Specialized Properties LLC

**Project Summary**

The applicant is proposing an addition of 2,275 square feet to an existing second story over an existing 6,700 square foot first floor in conjunction with a façade remodel. The property is approximately 7,750 square-feet in the DSP/MO (Downtown Specific Plan/Mid Orange District) Zone.

The proposed work includes:

- A 2,275 square foot office addition at the second floor.
- A second floor 870 square foot open patio would be located toward the west side of the building facing Orange Street.
- Adding horizontal wood siding to the exterior on both the first and second floors in combination with a smooth painted stucco finish.
- Adding new sliding doors facing the outdoor patio. (The sliding doors make up a majority of the front façade of the new office space addition).
- A new railing surrounding the proposed outdoor patio facing Orange Street.

**Existing Property/Background**

The project site is an approximately 7,750 square-foot lot with frontage on Orange Street. The lot was developed with an 8,962 square-foot, two-story commercial building in 1958. The building occupies the majority of the lot. It is setback about 15' from the eastern property line and about 5'-7" from the west property line. The existing rectangular building has stucco finish walls that face Orange Street and the alley. A new recessed storefront will reduce an approximately 110 square feet of the recently-established retail store with counter service restaurant on the ground floor. There are no proposed changes to the existing office uses on the ground; however an existing shell space will be improved to allow general office use in conjunction with the proposed addition. The building has no parking spaces and has been approved for a parking exception to allow the new second floor addition without providing parking. (Case No. PPPEX 1819140)

- The property is currently developed with a 6,700 square foot first floor used as a retail market and general offices.
- An existing shell space is located above the first floor that is approximately 2,262 square feet. No permits have been found showing this space to be used by prior businesses.

**Staff Recommendation**

Approve     Approve with Conditions     Return for Redesign     Deny

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**Last Date Reviewed / Decision**

- First time submittal for final review.  
 Other:

**Zone:** DSP/MO **Height District:** n/a

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

**Active/Pending Permits and Approvals**

- None
- Other: There is open building permit for the new office addition (BB 1800839) pending this approval.

**CEQA Status:**

- The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to Section 15301 of the State CEQA Guidelines because
- The project is exempt from CEQA review as a Class 3 "New Construction or Conversion of Small Structures" exemption pursuant to Section 15303 of the State CEQA Guidelines because
- The project is exempt from CEQA review as a Class 32 "Infill Development" exemption pursuant to Section 15332 of the State CEQA Guidelines because
- Other:

**Site Slope and Grading**

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

**DESIGN ANALYSIS**

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**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Location**

- yes    n/a    no

*If "no" select from below and explain:*

- Located at or near front property line
- Conforms to prevailing setbacks on the street
- Maintains appropriate sidewalk width

**Usable Open Space**

- yes    n/a    no

*If "no" select from below and explain:*

- Incorporates outdoor pedestrian space
- Integrated with design and overall context
- Appropriate relationship with adjoining properties

**Access and Parking**

- yes    n/a    no

*If "no" select from below and explain:*

- Parking location is appropriate to the site and its neighborhood context
- Appropriate pedestrian and vehicle access points
- Appropriate service and loading locations
- Landscape screening for street-facing parking

- Techniques employed to reduce stormwater runoff
- Decorative or colored paving to delineate pedestrian areas

The building has no parking spaces; however a Parking Exception was approved for the subject addition (Case No. PPPEX1819140)

**Landscape Design**

- yes    n/a    no

*If "no" select from below and explain:*

- Complementary to building design
- Appropriately sized and located

**Walls, Fences, and Retaining Walls**

- yes    n/a    no

*If "no" select from below and explain:*

- Minimize use whenever possible
- Use decorative material to complement building and/or landscape design
- Provide landscaping to minimize visual impact

**Screening**

- yes    n/a    no

*If "no" select from below and explain:*

- Mechanical equipment appropriately screened
- Trash bins appropriately located and screened

**Determination of Compatibility: Site Planning**

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- There is no proposed change to the site planning.
- A new 870 square-foot outdoor patio area (open space) will be located at the second floor roof area above the existing first floor adjacent to the Orange Street frontage on the west side of the building.
- New sliding doors will provide access from the second floor office space to the new patio. The doors will be movable and stackable to be recessed into the walls.
- A new awning will be placed above the sliding doors on the second floor to match the existing first floor awning.
- The new addition will be set back approximately 17' from the existing building edge on the Orange Street frontage.
- The location of the primary entrance on the ground facing Orange Street will remain unchanged.
- The alley will have similar façade improvements to match the elevation on Orange Street.

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**Massing and Scale**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Building Relates to its Surrounding Context**

- yes    n/a    no

*If "no" select from below and explain:*

- Appropriate proportions and transitions
- Articulation, solid/void balance, and open space relate to predominant pattern

**Building Relates to Existing Topography**

yes  n/a  no

*If "no" select from below and explain:*

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope to minimize height

**Consistent Architectural Concept**

yes  n/a  no

*If "no" select from below and explain:*

- Concept governs massing and height

**Scale and Proportion**

yes  n/a  no

*If "no" select from below and explain:*

- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located

**Massing**

yes  n/a  no

*If "no" select from below and explain:*

- Larger masses broken into separate volumes
- Long, unbroken street walls avoided
- Visual impact of larger building minimized

**Determination of Compatibility: Mass and Scale**

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The new façade does not substantially alter the massing and scale of the existing building.
- The new building appearance is consistent with the existing volume and scale of the surrounding commercial buildings.

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**Design and Detailing**

Are the following items satisfactory and compatible with the project site and surrounding area?

**Overall Design and Detailing**

yes  n/a  no

*If "no," explain:*

**Entryway**

yes  n/a  no

*If "no" select from below and explain:*

- Well integrated into design
- Location promotes pedestrian activity
- Design provides appropriate focal point

### **Storefronts and Windows**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Maximize transparency at ground floor
- 12-15' floor-to-floor height at ground-floor is encouraged
- Coordinate design with overall style of building
- Use durable materials for windows, such as aluminum or steel
- Locate security gates/grilles inside commercial spaces, preferably set back from storefront

### **Awnings and Canopies**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Integrate awnings and canopies into overall building design
- Avoid long treatments spanning multiple openings
- Back-lit awnings are not allowed

A separate sign permit and planning approval are required for proposed signs.

### **Lighting**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Light fixtures are appropriate to the building design
- Avoid over-lit facades; consider ambient light conditions when developing lighting scheme
- Utilize shielded fixtures to avoid light spillover onto adjacent properties

### **Finish Materials and Color**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Textures and colors reinforce design
- High-quality, durable materials used, especially facing the street
- Materials appropriately enhance articulation and façade hierarchies
- Wrap corners and terminate cladding appropriately
- Cladding is well detailed, especially at junctions between materials
- Foam trim, finished on site, is prohibited

### **Paving Materials**

**yes**    **n/a**    **no**

*If "no" select from below and explain:*

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

### Roof Forms

yes  n/a  no

If "no" select from below and explain:

- Configure roofline to provide visual interest and deemphasize mass
- Roof forms are consistent with overall design
- Continue roofs and parapets around building or terminate in logical manner

### Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The overall design is consistent with the intent of the Urban Design Standards and Guidelines of the Glendale Downtown Specific Plan.
- The design emphasizes pedestrian-friendly features, which will attract and reinforces pedestrian activity in Glendale's Orange Street.
- The proposed design improves the existing boxy appearance to an attractive contemporary style façade consistent with the variety of architectural styles of the surrounding buildings.
- The new façade's design and detailing are comprised of high quality materials and details.
- The existing masonry parapet wall facing the Orange Street frontage will be topped by new, shatter-proof glass panels acting as a guardrail.
- The combination of horizontal wood siding and smooth stucco finished walls will cover the surface of the ground floor and second floor walls on the Orange Street frontage as well as the alley frontage, at the rear.
- The proposed smooth stucco will have vertical score lines with half-inch aluminum reglets.
- Lighting includes a black, rectangular wall mounted wall sconce (east and west portions of the building) located on the first floor level at the wood siding and on either side of the entry at the alley.

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### Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follow:

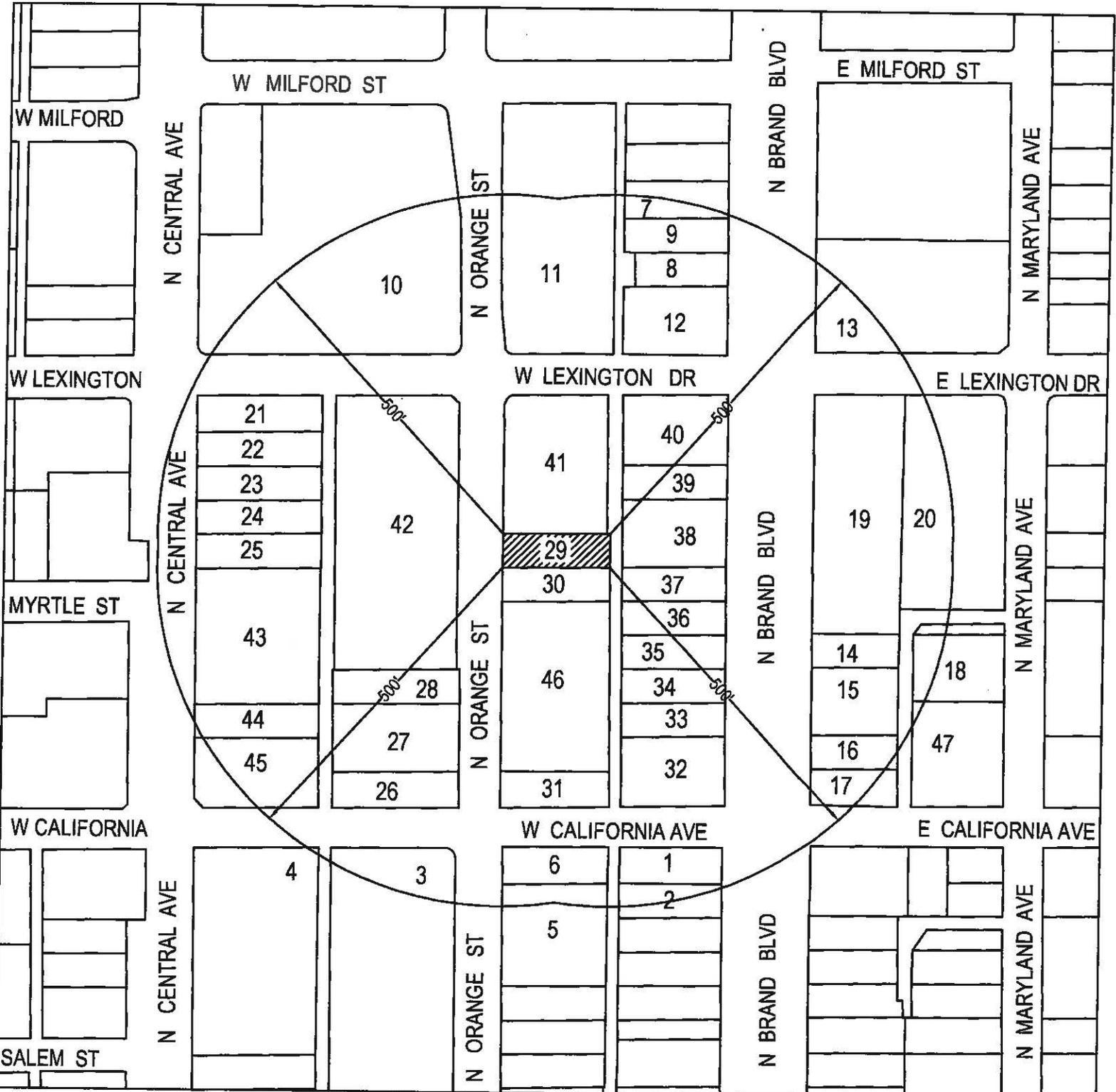
#### Conditions

1. Replace the chain link fence along the north side of the property, adjacent to Orange Street, with a screen that is the same height as the siding that matches architecturally and in color.
2. Remove the tree that is between the subject building and the parking structure.
3. Add two landscape planters at the front of the building on either side of the entry door. Plants within these planters should be drought tolerant or low water usage plants. The planters should be at least two feet wide, provided they remain on the subject property and do not extend over into the public right-of-way.

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### Attachments

1. Location Map
2. Photos of Existing Property
3. Reduced Plans
4. Color and Materials



*L. ocation* . MAP

**LEGEND**

MAILING LABEL #

SUBJECT PROPERTY(IES) #

SITE LOCATION: **328 N ORANGE ST.**  
**GLENDALE, CA 91203**

APN: **5643-020-046**

DATE: 04/09/2018

SCALE: 1"=200'

328 N Orange St  
Glendale, California



Google

Street View - Aug 2014



W Milford St



N Central /

Alex



OFFICE & RETAIL

IMAGE "A"

328 N Orange St

Glendale, California



Street View - Mar 2019

FARM DISTRICT  
— MARKETPLACE —

W Milford St

N Central Ave

Alex

Google

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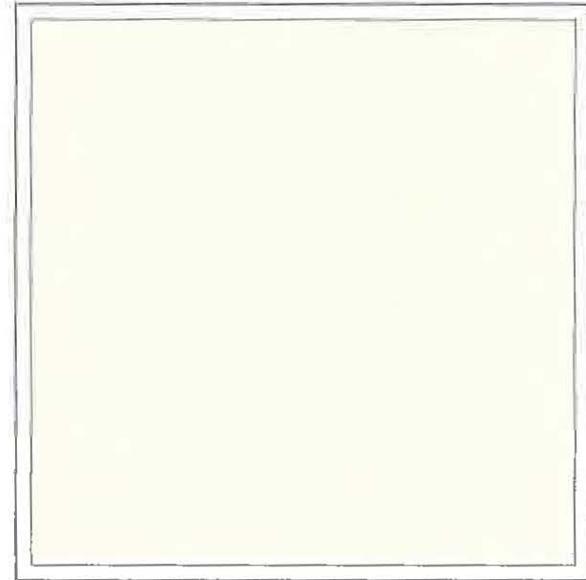






**WOOD SIDING:**

**NEW FINISH OF STUCCO: SMOOTH STUCCO  
COLOR: SILVERADO LA HABRA STUCCO**



**STUCCO & COLOR:**

**NEW FINISH OF STUCCO: SMOOTH STUCCO  
COLOR: SILVERADO LA HABRA STUCCO**

**ORANGE ST. NEW ADDITION**

**328 N. ORANGE ST.  
GLENDALE, CA 91203**

**DESIGNNRK  
213 N. ORANGE ST. STE: E GLENDALE, CA 91203**

# NEW OFFICE UNIT (SHELL ONLY)

## 328 N ORANGE ST. GLENDALE, CA 91203

### SCOPE OF WORK :

NEW 2,275 SQ. FT. SECOND FLOOR OFFICE UNIT TO EXT'G MULTI UNIT BUILDING.

### SITE MAP :



### CITY OF GLENDALE PLANNING NOTES :

"NO OAK, BAY OR SYCAMORE TREES ARE ON THE PROPERTY OR WITHIN 20 FEET OF THE PROPERTY"

RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES, REQUIRE SEPARATE PERMIT.

### SECURITY NOTES

ALL OPENINGS MARKED \* ARE SECURITY OPENINGS AND THE FOLLOWING NOTES SHALL APPLY.

- EACH TENANT IN A COMMERCIAL DEVELOPMENT SHALL BE KEYPED DIFFERENTLY THAN ANY OTHER TENANT UNDER THE SAME GENERAL PLAN. A CERTIFICATE FROM THE LOCK SUPPLIER DECLARING THAT ALL LOCKS SUPPLIED TO THE PROJECT ARE KEYPED SEPARATELY SHALL BE ACCEPTABLE AS COMPLYING WITH THE ABOVE REQUIREMENT.
- DOOR JAMBS SHALL HAVE A SOLID BACKING WITH NO VOIDS EXISTING BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF 8X (6) INCHES (153 MM) EACH SIDE OF THE STRIKE.
- IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN THE STUDS AT DOOR LOCK HEIGHT FOR THREE (3) STUD SPACES EACH SIDE OF THE DOOR OPENINGS. JAMBS SHALL HAVE SOLID BACKING AGAINST SOLE PLATES.
- CYLINDER GUARDS SHALL BE ATTACHED WITH 1/2" CONNECTING SCREWS, AND SHALL BE INSTALLED WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- DOOR STOPS OF IN-SWINGING DOORS SHALL BE INTEGRATED (RABBETED) WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.
- THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD FRAME DOORS SHALL BE CONSTRUCTED OF AT LEAST SIXTEEN (16) U.S. GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS, MINIMUM 2-1/2" IN LENGTH.

### PROJECT INFO:

LOT AREA	7,750 SQ. FT.
EXT'G BUILDING AREA - INCLUDING EXT'G 2ND. FL.	9,750 SQ. FT.
TOTAL FIRST FLOOR AREA:	6,700 SQ. FT.
UNIT A : MARKET (FIRST FLOOR)	4,425 SQ. FT.
UNIT B : OFFICE (FIRST FLOOR)	1,473 SQ. FT.
UNIT C : OFFICE (SECOND FLOOR)	2,262 SQ. FT.
COMMON AREA 'A':	453 SQ. FT.
COMMON AREA 'B':	830 SQ. FT.
COMMON AREA 'C':	FIRST FLOOR 164 SQ. FT. SECOND FLOOR 137 SQ. FT.

NEW UNIT D ADDITION (SECOND FLOOR):	2,275 SQ. FT.
NEW SECOND FLOOR OUTDOOR PATIO - NOT COVERED:	870 SQ. FT.
<b>TOTAL BUILDING AREA:</b>	<b>12,025 SQ. FT.</b>

### BUILDING DATA :

BUILDING USE	RETAIL & OFFICE
ROOF TOP DECK OCCUPANCY	B
2,275 / 100	23 OCCUPANT LOAD
ZONING	CBD
APN	5643-020-046
CONSTRUCTION TYPE	III-B
YEAR BUILT	1969
FIRE SPRINKLERS	YES
NUMBER OF STORIES	2
HIGH FIRE ZONE	NO

### APPLICABLE CODES :

PROJECT SHALL COMPLY W/ THE 2016 CBC, CMC, GEC, GPC, & CALIFORNIA FIRE CODE AS WELL AS THE 2017 GLENDALE BUILDING & SAFETY CODE, CBC SECTION 108.1.1

ALL ACCESSIBILITY DETAILS TO COMPLY WITH 2013 CBC

### LEGAL DESCRIPTION:

GLENDALE PARK TRACT LOT 28, BLK 7

### GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE, BEFORE COMMENCING WORK.  
**HE SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR OWNER.**

TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION. WHERE NO DETAILS ARE GIVEN, THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS AND/ OR CONFLICTS AMONG THE VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/ OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, BEFORE PROCEEDING WITH THE WORK SO INVOLVED.

REFERENCES TO THE A.S.T.M.'S AND THE UNIFORM BUILDING CODE, SHALL BE TO THE LATEST EDITIONS.

CONSTRUCTION WORK SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER TENANTS.

CONSTRUCTION OPERATION SHALL NOT BLOCK WALKWAYS, OR OTHER MEANS OF EGRESS.

### SHEET INDEX :

ARCHITECTURAL SHEETS:	
A0.1	COVER SHEET
A0.2	HANDICAP ACCESSIBILITY NOTES
A0.3	HANDICAP ACCESSIBILITY NOTES
A1.1	SITE PLAN
A2.1	PROPOSED FLOOR PLANS
A2.2	REFLECTED CEILING PLANS
A3.1	FRONT ELEVATIONS & SECTION

### ENGINEERING SHEETS:

S1.0	GENERAL NOTES
S1.01	GENERAL NOTES
S1.1	TYPICAL DETAILS - CONC.
S1.2	TYPICAL DETAILS - STEEL
S1.3	TYPICAL DETAILS - STEEL
S1.4	TYPICAL DETAILS - WOOD
S1.5	TYPICAL DETAILS - LIGHT GAGE
S2.1	EXT'G FIRST FLOOR PLAN
S2.1A	PARTIAL NEW FIRST FLOOR PLAN
S2.2	EXT'G FIRST FLOOR PLAN
S2.2A	EXT'G ROOF FRAMING PLAN W/ NEW OPENINGS
S2.2B	PARTIAL NEW SECOND FLOOR PLAN
S2.3A	PARTIAL NEW SECOND FLOOR PLAN
S3.1	EXT'G SECTIONS
S3.2	NEW SECTIONS
S3.2	NEW SECTIONS
S4.1	MOMENT FRAME ELEVATION
S4.2	MOMENT FRAME ELEVATION
SHEET 1	MOMENT FRAME NOTES
SHEET 2	MOMENT FRAME NOTES
SHEET 3	MOMENT FRAME NOTES

### NOTES

OBTAIN A SEPARATE PERMIT & APPLICATION FOR THE FOLLOWING :

- MECHANICAL, ELECTRICAL AND PLUMBING
- ALL SIGNAGE - SIGN PERMIT IS REQUIRED

### BEST MANAGEMENT PRACTICE FOR CONST. ACTIVITIES

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

### PROJECT INFORMATION :

**PROJECT LOCATION**  
328 ORANGE ST.  
GLENDALE, CA 91203

**PROJECT DESIGNER**  
NAREG R. KHODADADI  
DESIGNNRK  
213 N. ORANGE ST. STE: E  
GLENDALE, CA 91203  
OFFICE : 818.823.7286  
FAX : 888.424.8125  
E-MAIL : INFO@DESIGNNRK.COM

**ELECTRICAL ENGINEER :**  
HENRY ABRARI  
1713 STANDARD AVE.  
GLENDALE, CA 91201  
EMAIL : MAIL@ABRARI.COM  
MOBIL : 818.487.0330  
OFFICE : 818.858.1900  
FAX : 818.958.1911

**MECHANICAL ENGINEERING :**  
VAZGEN OHANIAN, P.E.  
CREATIVE DESIGN MECHANICAL ENGINEERS  
336 NORTH CENTRAL AVE  
SUITE 108  
GLENDALE, CA 91203  
OFFICE : 818.507.7522

**STRUCTURAL ENGINEER**  
ERKEL / GREENFIELD  
500 N. BRAND BLVD. STE: 1180  
GLENDALE, CA 91203  
OFFICE : 818.838.8041  
FAX : 818.838.8045

**OWNER INFORMATION**  
ORANGE ST. LLC  
213 ORANGE ST.  
GLENDALE, CA 91208

### PARKING

TOTAL PARKING REQUIRED FOR  
2ND. FLOOR EXT'G AREA 2,282 SQ. FT. (OFFICE) & NEW ADDITION  
AREA 2,275 SQ. FT. (OFFICE).

TOTAL AREA W/ COMMON AREAS : 5,465 SQ. FT.  
TOTAL PARKING REQUIRED : 11 SPACES

### CITY OF GLENDALE FIRE DEPT NOTES:

1. **ADDRESS NUMBERS:** EXAPPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 8 INCHES (152 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES (12.7MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.

2. **FIRE EXTINGUISHERS:** EPROVIDE A FIRE EXTINGUISHER (MIN. 2A-10BC) WITHIN A RECESSED OR SEMI-RECESSED CABINET WITHIN 75 FEET TRAVEL DISTANCE FROM ALL POINTS IN THE OCCUPANCY; THE TOP OF THE EXTINGUISHER SHALL BE MOUNTED ON A HOOK WITHIN THE CABINET (ELEVATED OFF CABINET FLOOR); THE TOP OF THE EXTINGUISHER CABINET SHALL BE NO HIGHER THAN 48 INCHES (1219 MM) ABOVE THE FLOOR; EXTINGUISHER SHALL BE PLACED IN A EASILY ACCESSIBLE LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE.

3. **FIRE ALARM EXISTING SYSTEM :** EXTEND/MODIFY THE EXT'G BUILDINGS AUTOMATIC SPRINKLER SYSTEM TO PROVIDE COMPLETE SPRINKLER PROTECTION THROUGHOUT THE ADDITION OR REMOVED AREA OF WORK. ALTERATION TO THE FIRE SPRINKLER SYSTEM SHALL BE APPROVED UNDER SEPARATE PERMIT. PLANS AND PERMIT APPLICATION SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT BY THE CONTRACTOR IN POSSESSION OF THE U.L. CERT. OF THE BUILDING.

4. **EMERGENCY LIGHTING:** EMERGENCY LIGHTING SHALL COMPLY W/ THE PROVISIONS OF 2016 CBC-1006. THE MEANS OF EGRESS ILLUMINATION SHALL NOT BE LESS THAN 1-FOOT CANDLE AT THE WALKING SURFACE LEVEL. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELEC. SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL AREAS PER CODE.

5. **EXIT SIGNS:** EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL, BE ILLUMINATED AT ALL TIMES AND COMPLY WITH PROVISIONS OF THE 2017 CBC 1011.

6. **FIRE SPRINKLERS:** FOR TENANT IMPROVEMENT PROJECTS, NEW AUTOMATIC FIRE SPRINKLER SYSTEM TO PROVIDE COMPLETE SPRINKLER PROTECTION THROUGHOUT THE ADDITION OR REMODELED AREA OF WORK. ALTERATIONS TO THE FIRE SPRINKLER SYSTEM SHALL BE APPROVED UNDER SEPARATE PERMIT. PLANS AND PERMIT APPLICATION SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.

7. **DOOR OPERATIONS:** ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT. THE UNLATCHING OF ANY EXIT DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION.

8. **LOCKS AND LATCHES:** THE LOCKING DEVICE FOR THE MAIN EXTERIOR EXIT DOOR(S) SHALL BE READILY DISTINGUISHABLE AS LOCKED. DOOR SHALL ALSO HAVE A VISIBLE DURABLE SIGN STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS ONE INCH HIGH ON CONTRASTING BACKGROUND (ABOVE THE DOOR); POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR." (AS APPLICABLE.)

9. **FIRE PERMITS :** THE FOLLOWING PERMITS ARE REQUIRED FROM THE FIRE DEPT.

- FIRE SPRINKLER
- FIRE ALARM

REQUIRES FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE LISTED BELOW. FOR ALL INSPECTIONS, CALL 818-548-4810

- OVERHEAD SPRINKLER ROUGH INSPECTION (PRIOR TO COVERING ANY PIPING)
- FIRE ALARM ROUGH INSPECTION (PRIOR TO COVERING ANY WIRING/CONDUIT).
- FIRE SPRINKLER FINAL
- FIRE ALARM FINAL

REVISIONS:

Δ -

213 n. orange st. ste: e  
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COVER SHEET

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DATE: 08/2016

DRAWN BY: NRK

JOB NO. 16027

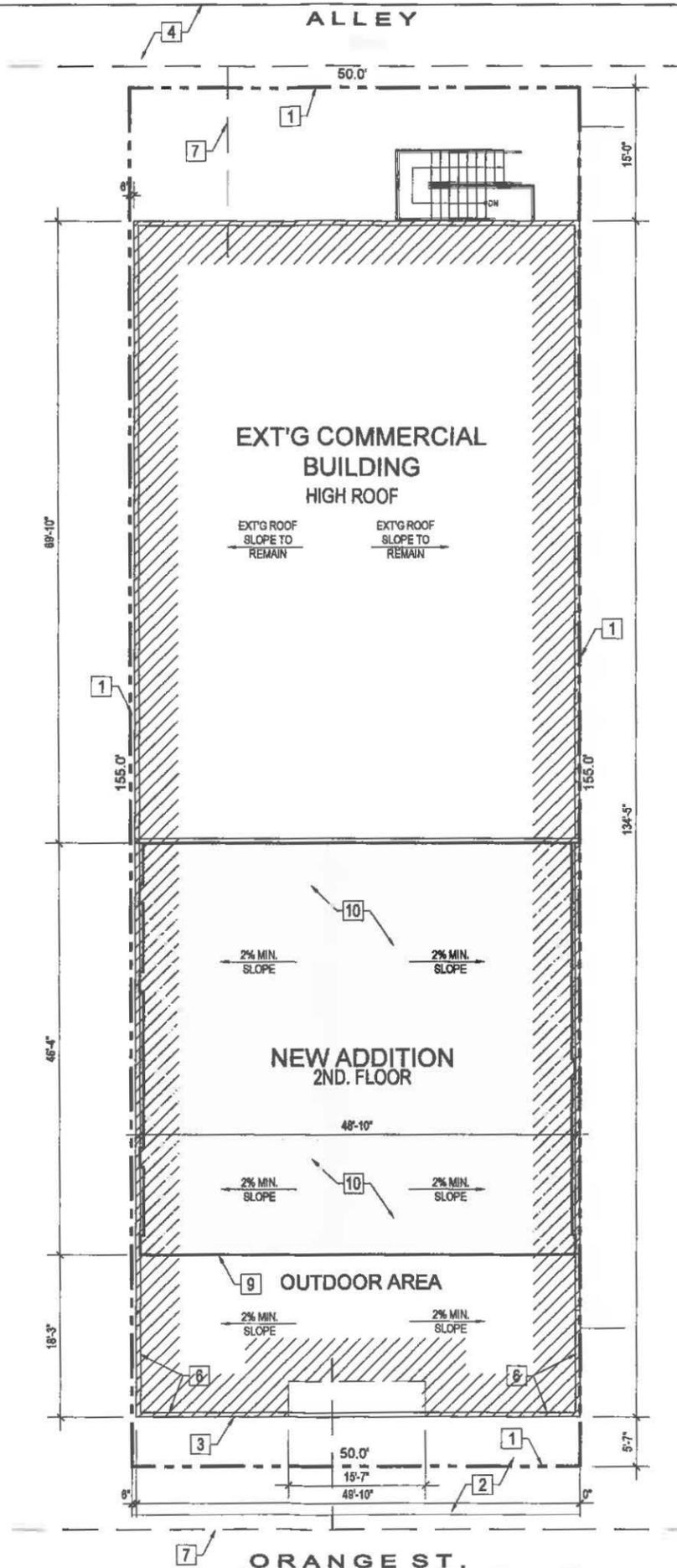
SHEET NO.

A0.1

6/19/16

**A1 COOL ROOF CHART**

CHRC PROD. ID.	MANUFACTURER, BRAND MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI	
				INITIAL	3 YRS	INITIAL	3 YRS	INITIAL	3 YRS
0620-0007	HENRY COMPANY, HENRY® 287 SOLAR-FLEX® WHITE ROOF COATING FIELD-APPLIED COATINGS, ACRYLIC		BRIGHT WHITE	0.86	0.72	0.88	0.82	108	87



**SITE PLAN KEYED NOTES:**

1. PROPERTY LINE
2. EXT'G SIDEWALK
3. EXT'G BUILDING LINE
4. EXT'G REAR ALLEY
5. EXT'G HVAC UNITS
6. EXT'G PARAPET WALL
7. ADA PATHWAY
8. NEW FREE STANDING WALL 6'-8" HT.
9. NEW BUILDING LINE
10. NEW TORCH DOWN CLASS 'A' ROOFING  
GAF - ICC ESR #1274  
SEE CHART A
11. NEW 1500 GAL. GREASE INTERCEPTOR

- EXT'G BUILDING AREA
- 2ND. FL. ADDITION

REVISIONS:  
10-18-18

213 N. Orange St. Ste. 101  
Glendale, CA 91203  
818.673.7286 o.  
888.424.8125 f.  
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**designNRK**  
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commercial  
design

**SITE PLAN**  
**COMMERCIAL T.I.**  
328 N. ORANGE ST. GLENDALE, CA 91203

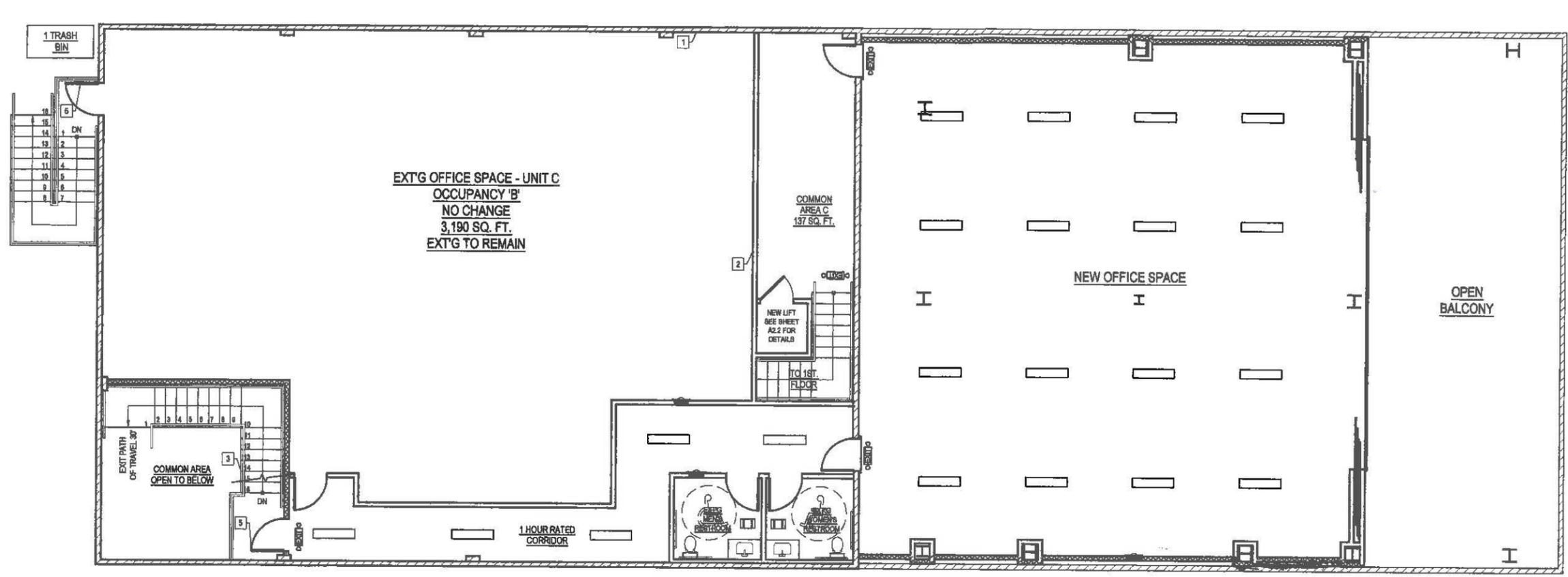
DATE: 06/2018  
DRAWN BY: NRK  
JOB NO. 16027

SHEET NO.  
**A1.1**

**ROOF PLAN & SITE PLAN**  
SCALE: 1/8" = 1'-0"



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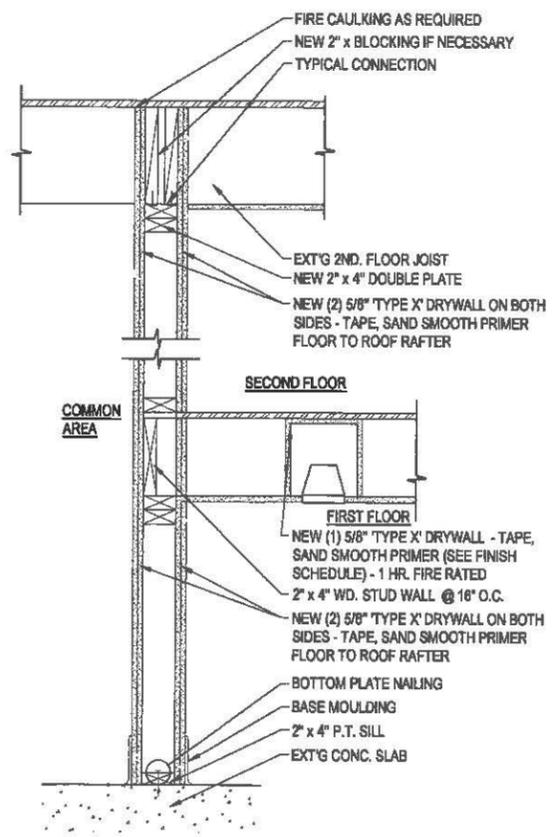


**PROPOSED SECOND FLOOR RCP**  
SCALE: 3/16" = 1'-0"

**REVISIONS:**  
 5-4-17

213 N. Orange St. Ste. e  
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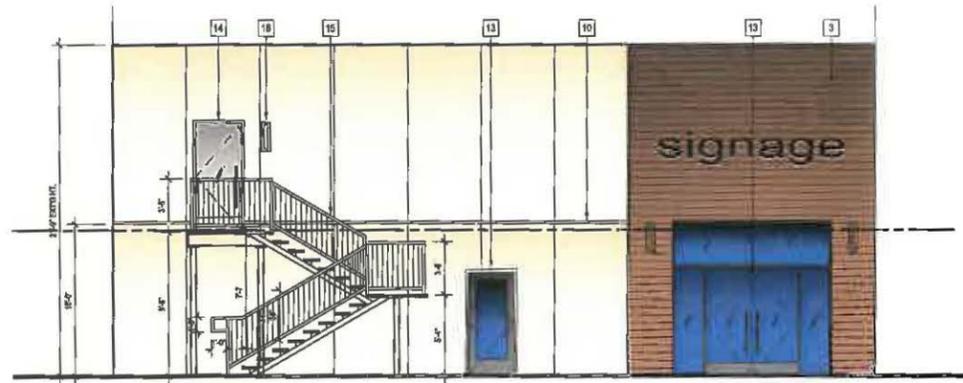
**INTERIOR WALL DETAIL - 1**  
SCALE: NTS

**GENESIS VERTICAL LIFT**  
ENCLOSURE AND SHAFTWAY MODELS

The Genesis Vertical Lift fits inside a vertical riser that is built by others in accordance to Garavento Lift specifications. The system consists of a drive mast, passenger platform and doors or gates. This shaftway can be completely enclosed, rough like an elevator shaftway, or it can be open at the upper landing. A variety of doors and gates are available.

Shaftway Size	Platform Width	Platform Length	Platform Depth	Platform Height
Standard (36" x 36")	36" (914mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (48" x 36")	48" (1219mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (60" x 36")	60" (1524mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (72" x 36")	72" (1829mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (84" x 36")	84" (2134mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (96" x 36")	96" (2439mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (108" x 36")	108" (2744mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (120" x 36")	120" (3049mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (132" x 36")	132" (3354mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (144" x 36")	144" (3659mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (156" x 36")	156" (3964mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (168" x 36")	168" (4269mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (180" x 36")	180" (4574mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (192" x 36")	192" (4879mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (204" x 36")	204" (5184mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (216" x 36")	216" (5489mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (228" x 36")	228" (5794mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (240" x 36")	240" (6099mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (252" x 36")	252" (6404mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (264" x 36")	264" (6709mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (276" x 36")	276" (7014mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (288" x 36")	288" (7319mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (300" x 36")	300" (7624mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (312" x 36")	312" (7929mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (324" x 36")	324" (8234mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (336" x 36")	336" (8539mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (348" x 36")	348" (8844mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (360" x 36")	360" (9149mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (372" x 36")	372" (9454mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (384" x 36")	384" (9759mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (396" x 36")	396" (10064mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (408" x 36")	408" (10369mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (420" x 36")	420" (10674mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (432" x 36")	432" (10979mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (444" x 36")	444" (11284mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (456" x 36")	456" (11589mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (468" x 36")	468" (11894mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (480" x 36")	480" (12199mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (492" x 36")	492" (12504mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (504" x 36")	504" (12809mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (516" x 36")	516" (13114mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (528" x 36")	528" (13419mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (540" x 36")	540" (13724mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (552" x 36")	552" (14029mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (564" x 36")	564" (14334mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (576" x 36")	576" (14639mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (588" x 36")	588" (14944mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (600" x 36")	600" (15249mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (612" x 36")	612" (15554mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (624" x 36")	624" (15859mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (636" x 36")	636" (16164mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (648" x 36")	648" (16469mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (660" x 36")	660" (16774mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (672" x 36")	672" (17079mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (684" x 36")	684" (17384mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (696" x 36")	696" (17689mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (708" x 36")	708" (17994mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (720" x 36")	720" (18299mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (732" x 36")	732" (18604mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (744" x 36")	744" (18909mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (756" x 36")	756" (19214mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (768" x 36")	768" (19519mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (780" x 36")	780" (19824mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (792" x 36")	792" (20129mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (804" x 36")	804" (20434mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (816" x 36")	816" (20739mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (828" x 36")	828" (21044mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (840" x 36")	840" (21349mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (852" x 36")	852" (21654mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (864" x 36")	864" (21959mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (876" x 36")	876" (22264mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (888" x 36")	888" (22569mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (900" x 36")	900" (22874mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (912" x 36")	912" (23179mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (924" x 36")	924" (23484mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (936" x 36")	936" (23789mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (948" x 36")	948" (24094mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (960" x 36")	960" (24399mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (972" x 36")	972" (24704mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (984" x 36")	984" (25009mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (996" x 36")	996" (25314mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1008" x 36")	1008" (25619mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1020" x 36")	1020" (25924mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1032" x 36")	1032" (26229mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1044" x 36")	1044" (26534mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1056" x 36")	1056" (26839mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1068" x 36")	1068" (27144mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1080" x 36")	1080" (27449mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1092" x 36")	1092" (27754mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1104" x 36")	1104" (28059mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1116" x 36")	1116" (28364mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1128" x 36")	1128" (28669mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1140" x 36")	1140" (28974mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1152" x 36")	1152" (29279mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1164" x 36")	1164" (29584mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1176" x 36")	1176" (29889mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1188" x 36")	1188" (30194mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1200" x 36")	1200" (30499mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1212" x 36")	1212" (30804mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1224" x 36")	1224" (31109mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1236" x 36")	1236" (31414mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1248" x 36")	1248" (31719mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1260" x 36")	1260" (32024mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1272" x 36")	1272" (32329mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1284" x 36")	1284" (32634mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1296" x 36")	1296" (32939mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1308" x 36")	1308" (33244mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1320" x 36")	1320" (33549mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1332" x 36")	1332" (33854mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1344" x 36")	1344" (34159mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1356" x 36")	1356" (34464mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1368" x 36")	1368" (34769mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1380" x 36")	1380" (35074mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1392" x 36")	1392" (35379mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1404" x 36")	1404" (35684mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1416" x 36")	1416" (35989mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1428" x 36")	1428" (36294mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1440" x 36")	1440" (36599mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1452" x 36")	1452" (36904mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1464" x 36")	1464" (37209mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1476" x 36")	1476" (37514mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1488" x 36")	1488" (37819mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1500" x 36")	1500" (38124mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1512" x 36")	1512" (38429mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1524" x 36")	1524" (38734mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1536" x 36")	1536" (39039mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1548" x 36")	1548" (39344mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1560" x 36")	1560" (39649mm)	36" (914mm)	36" (914mm)	36" (914mm)
Standard (1572" x 36")	1572" (39954mm)	36" (914mm)	36" (914mm)	36" (914mm)



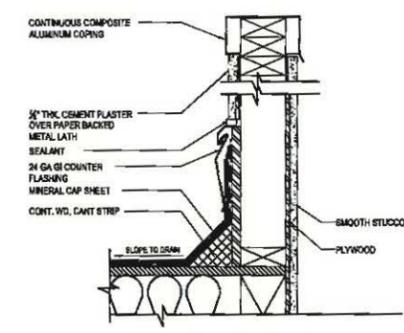


**REAR ELEVATION**

SCALE : 3/16" = 1'-0"

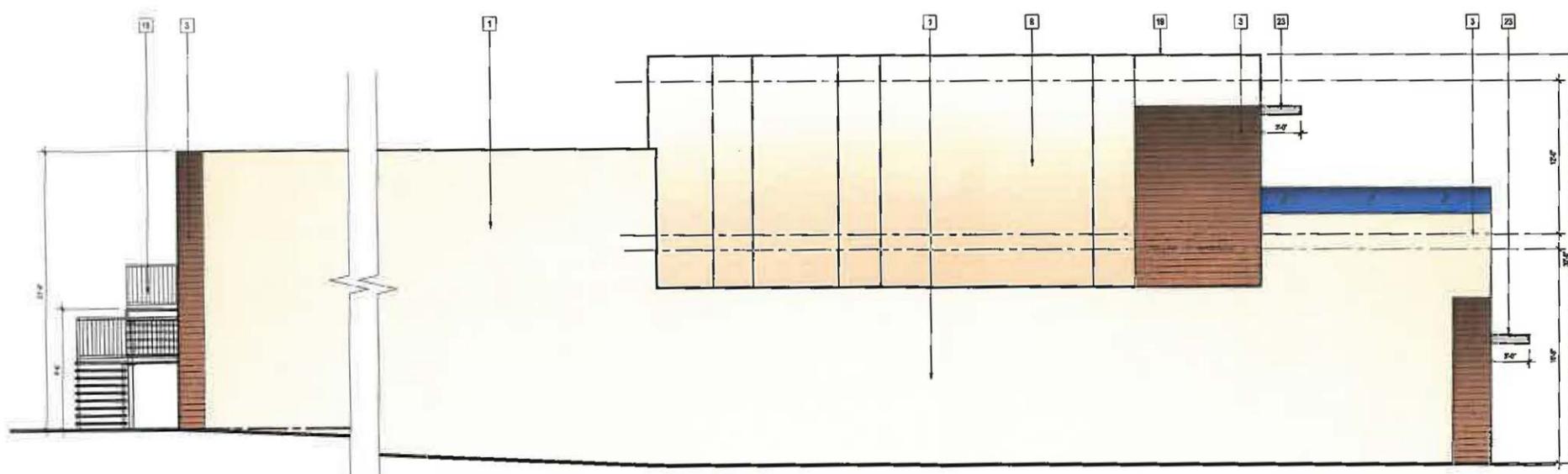
**ELEVATION KEYED NOTES**

1. EXT'G CONCRETE WALL - SMOOTH STUCCO
2. EXT'G STOREFRONT & NEW DOORS W/ CLEAR ANODIZED FRAME
3. EXT'G 5' WOOD SIDING OR COMPOSITE WOOD SIDING
4. EXT'G CONC. AWNING TO REMAIN
5. NEW EXTENSION OF EXT'G WALL - NEW 7/8" SMOOTH STUCCO
6. EXT'G 6' W. DOUBLE ENTRY DOORS
7. NEW 1/2" ALUMINUM STUCCO LINES
8. NEW SECOND FLOOR WALL - SMOOTH STUCCO
9. NEW STOREFRONT SLIDER GLASS DOOR
10. NEW 1" ALUMINUM STUCCO LINES
11. NEW MAIN ELEC. PANEL LOCATION
12. EXT'G INTERIOR BUILDING ROOF LINE
13. EXT'G ENTRY DOORS TO REMAIN
14. NEW 3' WIDE ENTRY DOOR
15. NEW STAIRS WITH RAILING
16. NEW WALL MOUNTED LIGHT FIXTURE
17. NEIGHBORING BUILDING LINE
18. NEW CONC. AWNING
19. NEW PARAPET (SEE DETAIL)
20. NEW TEMPERED GLASS GUARDRAIL
21. NEW VINYL SCREEN FENCE TO MATCH WOOD COLOR
22. EXT'G TREE TO BE REMOVED
23. ALUMINUM CAP TO WRAP EXT'G AWNING & NEW AWNING



**PARAPET DETAIL**

SCALE : NTS



**SIDE ELEVATION**

SCALE : 3/16" = 1'-0"

REVISIONS:


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**designNRK**  
residential +  
commercial  
design

PROPOSED EXTERIOR ELEVATIONS  
**COMMERCIAL T.I.**  
328 N. ORANGE ST. GLENDALE, CA 91203

DATE: 07/2016  
DRAWN BY: NRK  
JOB NO. 16027

SHEET NO.  
**A3.2**

9/6/19