

June 10, 2016

Applicant:

Hong Suk
2118 Crenshaw Boulevard
Los Angeles, CA 90016

**RE: 3041 Hermosa Avenue
Design Review PDR 1529121**

The Director of Community Development will render a final decision on or after **June 27, 2016**, for the following project:

PROJECT DESCRIPTION: The applicant is proposing to add 772 square feet to the rear of an existing 1,225 square foot one-story house. In addition, the existing 1-car garage will be converted to a 2-car garage and an on-grade deck will be added to the rear of the house. The property is located on a 5,000 square foot lot in the RI (Residential) Zone, Floor Area Ratio District II.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

For more information or to submit comments, please contact the case planner, Danny Manasserian, at 818-937-8159 or dmanasserian@glendaleca.gov.

Comments must be received prior to **June 27, 2016**, in order to be considered by the Director.

DECISION: A decision letter will be posted online on or after the date listed above and may be accessed online at: <http://www.glendaleca.gov/planning/decisions>. You may also request notification of the decision when the decision is rendered.

Should you wish to file an appeal of the decision, the appeal must be filed within 15 days of the date of the decision as shown on the decision letter. Appeal applications are available at the Permit Services Center, 633 E. Broadway, Room 101, Glendale, CA 91206 or online at <http://www.glendaleca.gov/appeals>.

Sincerely,



Danny Manasserian
Planning Assistant

**City of Glendale
Community Development Department
Design Review Staff Report – Single Family**

Meeting/Decision Date: June 27, 2016	Address: 3041 Hermosa Avenue
Review Authority: <input type="checkbox"/> DRB <input checked="" type="checkbox"/> ADR <input type="checkbox"/> HPC <input type="checkbox"/> CC	APN: 5610-006-040
Case Number: PDR 1529121	Applicant: Hong Suk
Prepared By: Danny Manasserian, Planning Assistant	Owner: Anness Lee

Project Summary

The applicant is proposing the reconfiguration of the existing interior space of 1,225 SF of a one-story, single family home, and the addition of 772 SF at the rear of the house to provide a new combination kitchen/living space, new master bedroom suite, rear yard deck, and conversion of the existing 1-car attached garage to a 2-car garage. Reconfiguration of the existing kitchen and 1-car garage to a 2-car garage will result in minor modifications to the street front facade. The addition at the rear of the house along with the reconfiguration of the rear yard will be modestly visible from the street. Also, a portion of the existing retaining wall at the front will be removed and the front yard re-graded to accommodate a new entry path.

The proposed work includes:

- The rear yard will be re-graded and a 3-foot high retaining wall will be removed to accommodate a 772 SF addition to the rear of the house for a new combination kitchen/living area, master bedroom suite, and a deck.
- Removal of an existing gazebo and jacuzzi to build a new 3-foot retaining wall along the rear of the property.
- Reconfiguration of the interior 1,225 SF to convert the existing kitchen and 1-car garage to a 2-car garage.
- Minor modifications to the front façade to accommodate a new 2-car garage door opening.
- A portion of the existing 3'-0" high retaining wall, adjacent to the street, will be removed, re-grading and landscaping of the front yard to provide a new entry path.

Existing Property/Background

The project site is a 5,000 SF lot with frontage on Hermosa Avenue. Currently, the site is developed with a 1,225 SF one-story, traditional style, single-family home with an attached 1-car garage. The existing lot is relatively flat at the front and slopes upwards towards the rear yard. The lot is rectangular in shape similar to other properties in the neighborhood.

Staff Recommendation

Approve Approve with Conditions Return for Redesign Deny

Last Date Reviewed / Decision

First time submittal for final review.
 Other:

Zone: R1 **FAR District:** II

Although this design review does not convey final zoning approval, the project has been reviewed for consistency with the applicable Codes and no inconsistencies have been identified.

Active/Pending Permits and Approvals

None
 Other:

CEQA Status:

- The project is exempt from CEQA review as a Class 1 “Existing Facilities” exemption pursuant to Section 15301 of the State CEQA Guidelines.
- The project is exempt from CEQA review as a Class 3 “New Construction or Conversion of Small Structures” exemption pursuant to Section 15303 of the State CEQA Guidelines.
- Other:

Site Slope and Grading

- None proposed
- Less than 50% current average slope and less than 1500 cubic yards of earth movement (cut and/or fill); no additional review required.
- 1500 cubic yards or greater of earth movement:
- 50% or greater current average slope:

Comparison of Neighborhood Survey:

	Average of Properties within 300 linear feet of subject property	Range of Properties within 300 linear feet of subject property	Subject Property Proposal
Lot size	4,929 SF	892 - 8969, SF	5,000 SF
Setback	24.7'	8 - 70'	21'
House size	1,256 SF	308 - 2,065 SF	1,586 SF
Floor Area Ratio	0.33	0.10 - 2.32	0.32
Number of stories	1.1	1 - 2	1

DESIGN ANALYSIS**Site Planning**

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Location

- yes n/a no

If “no” select from below and explain:

- Setbacks of buildings on site
- Prevailing setbacks on the street
- Building and decks follow topography
- Equipment location and screening

Garage Location and Driveway

- yes n/a no

If “no” select from below and explain:

- Predominant pattern on block
- Compatible with primary structure
- Permeable paving material
- Decorative paving

Landscape Design

- yes n/a no

If “no” select from below and explain:

- Complementary to building design

- Maintains existing trees when possible
- Maximizes permeable surfaces
- Appropriately sized and located

Walls and Fences

yes n/a no

If “no” select from below and explain:

- Appropriate style/color/material
- Perimeter walls treated at both sides
- Retaining walls minimized
- Appropriately sized and located

Determination of Compatibility: Site Planning

The proposed site planning is appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The new 772 square-foot addition will be located at the rear of the project site and will not have a visual impact on the existing street façade.
- There is no prevailing street front setback along Hermosa Avenue as it varies from 8’-0” to 70’-0”. The proposed addition will maintain the existing 21’-0” street front setback and 4-0” interior setbacks.
- The new two-car garage and garage door is consistent with the surrounding neighborhood with access remaining from Hermosa Avenue.
- The existing 3’-0” retaining wall located at the front, adjacent to the street, will be reduced by 18’-3” in length to accommodate the widened driveway, eliminating a portion of this non-conforming feature.
- A portion of the front yard will be re-graded to have an increasing slope and include stepping stones, leading to the main entrance, enhancing the appearance of the front yard.
- The rear yard will be re-graded and a 3-foot high retaining wall will be removed.

Massing and Scale

Are the following items satisfactory and compatible with the project site and surrounding area?

Building Relates to its Surrounding Context

yes n/a no

If “no” select from below and explain:

- Appropriate proportions and transitions
- Relates to predominant pattern
- Impact of larger building minimized

Building Relates to Existing Topography

yes n/a no

If “no” select from below and explain:

- Form and profile follow topography
- Alteration of existing land form minimized
- Retaining walls terrace with slope

Consistent Architectural Concept

yes n/a no

If “no” select from below and explain:

Concept governs massing and height

Scale and Proportion **yes** **n/a** **no***If “no” select from below and explain:*

- Scale and proportion fit context
- Articulation avoids overbearing forms
- Appropriate solid/void relationships
- Entry and major features well located
- Avoids sense of monumentality

Roof Forms **yes** **n/a** **no***If “no” select from below and explain:*

- Roof reinforces design concept
- Configuration appropriate to context

Determination of Compatibility: Mass and Scale

The proposed massing and scale are appropriate, as modified by any proposed conditions, to the site and its surroundings for the following reasons:

- The 772 square-foot, single-story addition’s height, roof pitches, building mass, and proportions are consistent with the existing house and surrounding neighborhood.
- The proposed addition will not change the overall height of 13’-6”.
- A portion of the existing roof overhang above the 1-car garage opening will be removed to provide a consistent eave line.
- The proposal will not change the existing mass and scale of the house as viewed from the street.

Design and Detailing

Are the following items satisfactory and compatible with the project site and surrounding area?

Overall Design and Detailing **yes** **n/a** **no****Entryway** **yes** **n/a** **no***If “no” select from below and explain:*

- Well integrated into design
- Avoids sense of monumentality
- Design provides appropriate focal point
- Doors appropriate to design

Windows **yes** **n/a** **no***If “no” select from below and explain:*

- Appropriate to overall design
- Placement appropriate to style
- Recessed in wall, when appropriate

Articulation appropriate to style

Privacy

yes n/a no

If "no" select from below and explain:

- Consideration of views from "public" rooms and balconies/decks
- Avoid windows facing adjacent windows

Finish Materials and Color

yes n/a no

If "no" select from below and explain:

- Textures and colors reinforce design
- High-quality, especially facing the street
- Respect articulation and façade hierarchy
- Wrap corners and terminate appropriately
- Natural colors used in hillside areas

Paving Materials

yes n/a no

If "no" select from below and explain:

- Decorative material at entries/driveways
- Permeable paving when possible
- Material and color related to design

Equipment, Trash, and Drainage

yes n/a no

If "no" select from below and explain:

- Equipment screened and well located
- Trash storage out of public view
- Downspouts appropriately located
- Vents, utility connections integrated with design, avoid primary facades
- Downspouts appropriately located

Downspout and gutter locations are not clearly identified on the proposed drawings.

Ancillary Structures

yes n/a no

If "no" select from below and explain:

- Design consistent with primary structure
- Design and materials of gates complement primary structure

Determination of Compatibility: Design and Detailing

The proposed design and detailing are appropriate to the site and its surroundings for the following reasons:

- The proposed addition to the existing single-family house is architecturally consistent with the existing traditional style of the house.
- All new windows will be vinyl, block frame, single-hung windows and will be recessed with wood frames and sills.
- A composition shingle roof will be installed in a beige color to match the existing house.

- The house will be refinished with smooth stucco to match the existing color and conditions, which is appropriate to the style.
- The entry way will be reconfigured to be parallel with the street by relocating and replacing the existing door towards the center of the front façade in a manner consistent with the style.
- A new walkway in the street-front setback will allow accessibility from the public right of way, will be permeable, and have a design appropriate to the front grade.
- Downspouts and gutters are not clearly identified on the proposed drawings. A condition of approval will be added to show downspout and gutter locations.
- The new driveway will be composed of stamped decorative concrete.

Recommendation / Draft Record of Decision

Based on the above analysis, staff recommends **approval** of the project with **conditions**, as follows:

Conditions

1. All new landscaping shall be drought tolerant.
2. Revise drawings to show downspout and gutter locations for staff review and approval.

Attachments

1. Location Map
2. Photos of Existing Property
3. Reduced Plans



LOCATION MAP

LEGEND

 SUBJECT PROPERTY(IES)

SITE LOCATION: 3041 HERMOSA AVE

APN: 5610-006-040

DATE: 12/11/2015



SCALE: 1"=200'

PREPARED BY:



409 W. BRAODWAY
 GLENDALE CA, 91204
 (818) 409-8921



SINGLE RESIDENTIAL HOUSE

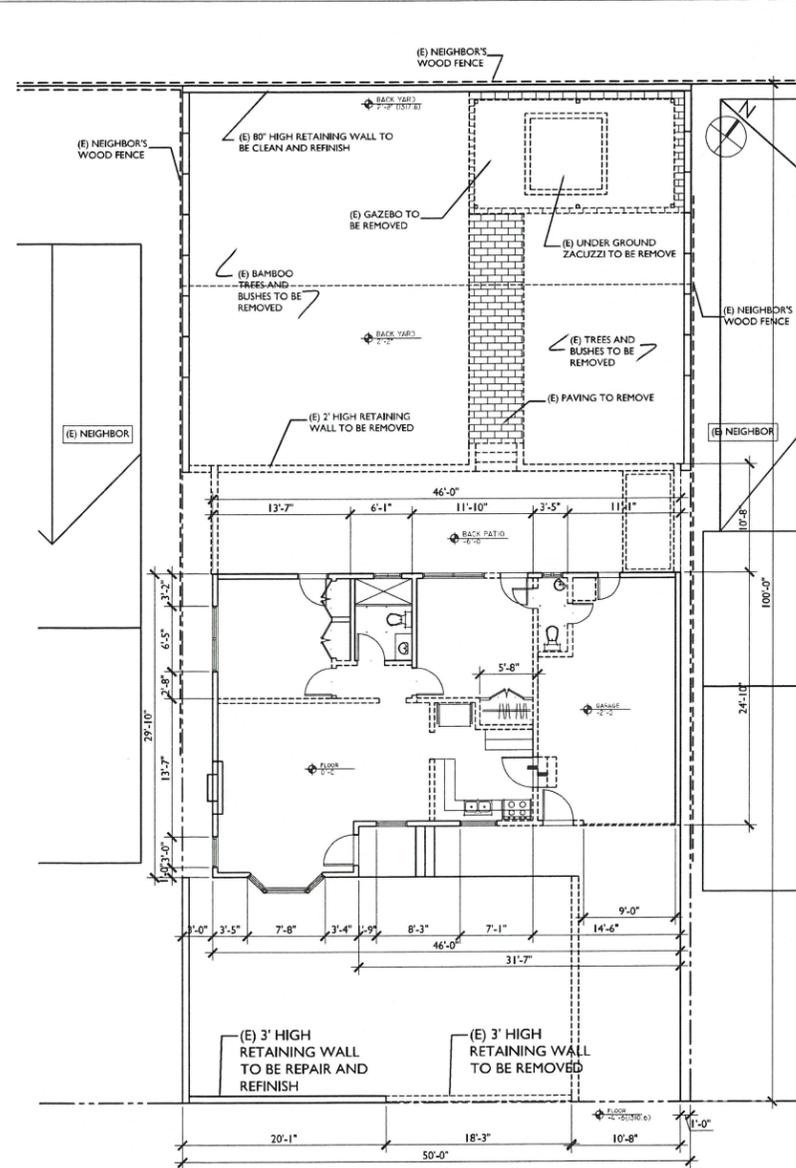
3041 HERMOSA AVE.
LA CRESCENTA, CALIFORNIA 91214

GENERAL NOTE

- Operating Information. The builder shall provide the building owner at occupancy the appropriate Certificate(s) of Compliance and a list of the features, materials, components and instructions on how to operate them efficiently. The Instructions shall be consistent with specifications set forth by the executive director. For residential buildings, such information shall, at a minimum, include information indicated on forms Certificate of Compliance (CF-IR), Mandatory Measures (MF--R), Installation Certificate (CF-6R), Insulation Certificate (IC- I), and a manual which provides all information specified in this section 10-103(b). The 2008 Building Energy Efficiency Standards for Residential and Nonresidential Buildings (CEC-400-2008-001-CMF) may be used to meet the requirement for providing this manual. Title 24, Part 1, Section 10-103(b)
- The builder shall provide to the building owner at occupancy maintenance information for all features, materials, components, and manufactured devices that required routine maintenance for efficient operation. Required routine maintenance action shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying, by title and/or publication number, the operation and maintenance manual for that particular model and type of feature, material, component, or manufactured device. For dwelling units, buildings or tenant spaces which are not individually owned or operated, or are centrally operated, such information shall be provided to the person(s) responsible for maintaining the feature, material, component, or mechanical device installed in the building. Title 24, Part 1, Section 10-103(b)2
- All systems, equipment and/or building components shall comply with the applicable manufacturer provisions and installation provision of Title 24, Part 6, Chapter 2, Sections 111 through 119.
- All appliances for which a California Standard has been established in the Appliance Efficiency Regulations shall be certified by the manufacturer as compliant with the applicable standards. (Title 24, Part 6, Chapter 2, Section 111)
- Service water-heating systems that have 5 total capacity greater than 167,000 Btu/hr, shall have separate remote heaters, heat exchangers, or boosters to supply higher temperature at outlets that require higher than service water temperature as listed in the 1995 ASHRAE Handbook. (Title 24, Part 6, Chapter 2, Section 113)
- Controls for service water-heating system shall limit the outlet temperature at public lavatories to 110F. (Title 24, Part 6, Chapter 2, Section 113)
- Unfired service water-heater storage tanks and backup tanks for solar water-heating systems shall have:
 - External insulation with an installed R-value of at least R-12, or
 - Internal and external insulation with a combined R-value of at least R-16, or
 - The heat loss of the tank surface, based on an 80F water-air temperature difference shall be less than 6.5 Btu/hr per square foot. (Title 24, Part 6, Chapter 2, Section 113)
- Any pool or spa heating system or equipment shall:
 - Have a thermal efficiency for gas-fired systems of at least 78%, when tested according to ANSI standard Z21.56-199-1.
 - Have a readily accessible on-off switch, mounted on the outside of the heater that allows shutting off the heater without adjusting the thermostat setting.
 - Have a permanent, readable, weatherproof instruction card, that gives instructions for the proper, energy efficient operation of the pool or spa.
 - Not utilize electric resistance heating or a pilot light.
 - Have at least 36 inches of pipe between the filter and heater to allow for the future addition of solar heating equipment.
 - Have a thermal insulation cover for outdoor pools or spas.
 - Have directional inlets for the pool or spa that adequately mix the pool water.
 - Have a time switch for the circulation pump that allows the pump to run in the off-peak electric demand period, and for the minimum time necessary to maintain the water in the condition required by applicable public health standards. (Title 24, Part 6, Chapter 2, Section 114)
- Space conditioning equipment shall meet the efficiency standards specified in Title 24, Part 6, Chart 2, Section 112.
- Pilot lights shall be prohibited for:
 - Fan-type central furnaces
 - Household cooking appliances
 - Pool heaters
 - Spa heaters
 except for household cooking appliances without an electrical supply voltage connection and in which each pilot consumes less than 150 Btu/hr. (Title 24, Part 6, Chapter 2, Section 115)
- Manufactured fenestration products and exterior doors shall have air infiltration rates not exceeding 0.3 cm³/ft of window area, 0.3 cm³/ft of residential door area, 0.3 cm³/ft of nonresidential single door area, and 1.0 cm³/ft of nonresidential double door area. (Title 24, Part 6, Chapter 2, Section 115)
- Fenestration products, other than products which are removed and reinstalled, shall be certified for overall U-values and overall SHGC, and shall have a temporary label which lists the certified U-value and SHGC, and certifies that applicable air infiltration requirements are met. (Title 24, Part 6, Chapter 2, Section 116)
- Field manufactured fenestration products and exterior doors, other than unframed glass doors and fire doors, shall be caulked between the fenestration products or exterior door and the building, and shall be weatherstripped. (Title 24, Part 6 Chapter 2, Section 116)
- Joints and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weatherstripped, or otherwise sealed to limit infiltration and exfiltration. (Title 24, Part 6, Chapter 2, Section 117)
- Insulation shall be certified by the manufacturer as compliant with the California Quality Standards for Insulating Material, Title 20, Chapter 4, Article 3. (Title 24, Part 6, Chapter 2, Section 118)
- Urea formaldehyde foam insulation may only be used in exterior side walls, and requires a four-mil-thick plastic polyethylene vapor barrier between the urea formaldehyde foam insulation and the interior space. (Title 24, Part 6, Chapter 2 Section 118)
- All insulating material shall be installed in compliance with the flame spread rating and smoke density requirements of Section 707 of the UBC. (Title 24, Part 6, Chapter 2, Section 118)
- If insulation is installed on an existing space conditioning duct, it shall comply with Section 604 of the UMC. (Title 24, Part 6, Chapter 2, Section 118)
- If external insulation is installed on an existing unfired water storage tank or on an existing back-up tank for a solar water-heating system, it shall have an R-value of at least R-12, or the heat loss of the tank surface based on a 30 of water-air temperature difference shall be less than 6.5 Btu per hour per square foot. (Title 24, Part 6, Chapter 2, Section 118)
- Service water-heating systems shall be equipped with automatic temperature controls capable of adjustment from the lowest to the highest acceptable temperature settings for the intended use as listed in Table 3 Chapter 45 of the 1995

(E) SITE PLAN / DEMO PLAN

SCALE : 1'-0"=1/8"

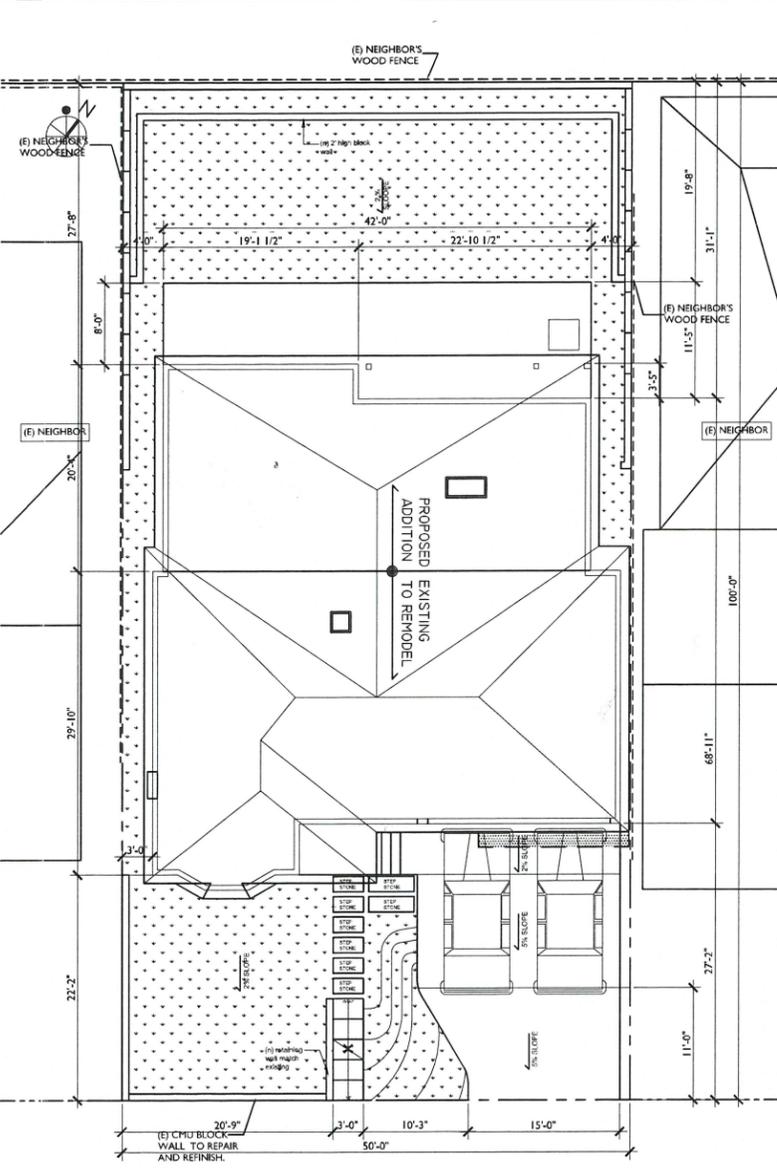


DEMO PLAN / EXISTING PLAN

SCALE = 1/8"

PROPOSED SITE PLAN

SCALE : 1'-0"=1/8"



SITE PLAN

SCALE = 1/8"

PROJECT INFORMATION

PROJECT OWNER : ANNESS LEE
3041 HERMOSA AVE., LA CRESCENTA CA 91214
PROJECT ADDRESS : 3041 HERMOSA AVE., LA CRESCENTA CA 91214
ZONING : RI-II LOW DENSITY RESIDENTIAL FAR DIST II
PARCEL LEGAL DESCRIPTION : APN #5610006040
TAX RATE AREA 04,045
TRACT#5253 LOT 28

SCOPE OF WORK

ADDITION AND REMODELING TO EXISTING 1- STORY SINGLE FAMILY HOUSE

DESIGN DATA

LOT SIZE : 5,000 SQ. FT.
EXISTING BUILDING AREA : 1,225 SF.
(E) FLOOR AREA : 905 SF.
(E) GARAGE : 320 SF.

NEW ADDITION : 772 SF.
NEW TOTAL BUILDING AREA : 1,996 SF.
NEW LIVING AREA : 1,586 SF.
NEW GARAGE AREA : 410 SF.

LOT COVERAGE - 2,000 SF. MAX (40% OF 5,000 SF. LOT)
TOTAL BUILT(COVERED) AREA = 1,996 SF.

LANDSCAPE AREA - 2,000 SF. MIN. (40 % OF 5,000 SF. LOT)
TOTAL LANDSCAPE AREA PROVIDED = 2,042 SF.

SHEET INDEX

- A - T GENERAL NOTE, PROJECT INFORMATION, SITE PLAN, EXISTING PLAN, VICINITY MAP
- A - 100 PROPOSED FLOOR PLAN, ROOF PLAN, ELEVATIONS
- A - 200 SECTIONS / SCHEDULE

VICINITY MAP



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PROJECT NAME AND ADDRESS
SINGLE FAMILY ADDITION
3041 HERMOSA AVE. LA CRESCENTA CA 91214

REVISION :

NO.	DATE	DESCRIPTION

DATE : OCT. 20, 2015
SCALE : N.T.S.
SHEET NO :

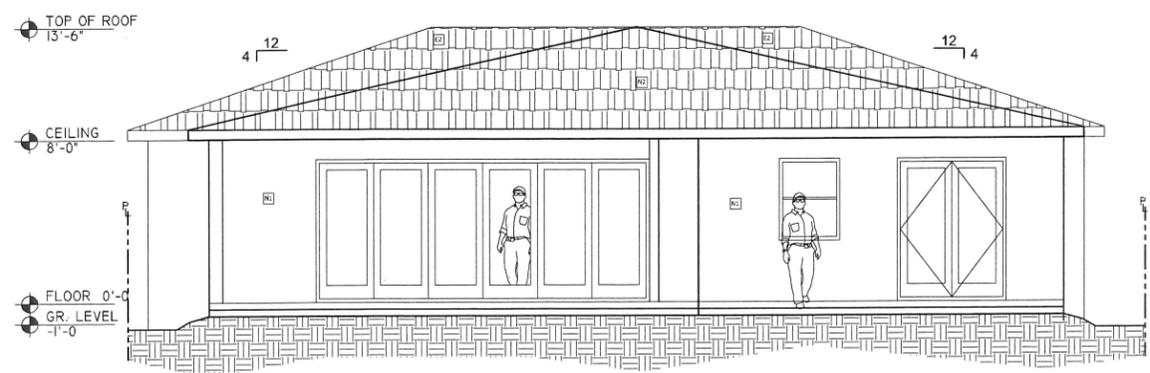
A-T
SHEET TITLE :

TITLE/SITE PLAN
/(E) PLAN/DEMO PLAN

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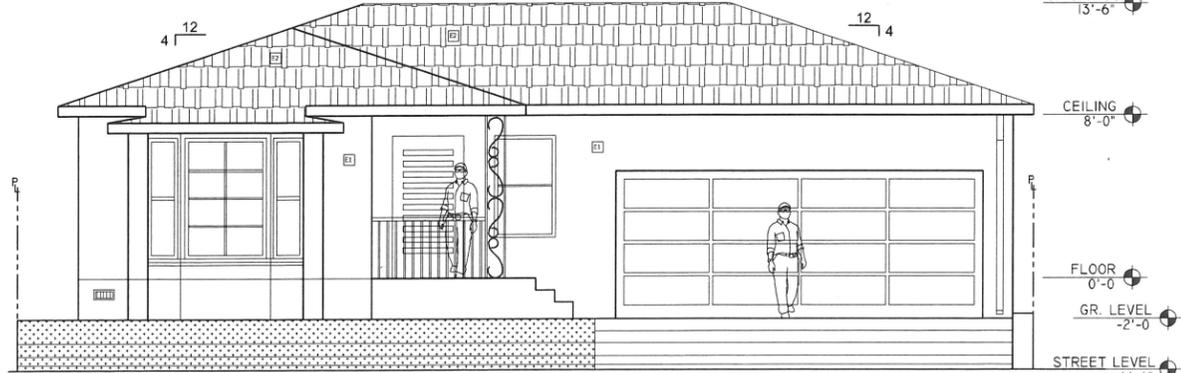
SINGLE FAMILY ADDITION
 PROJECT NAME AND ADDRESS
 3041 HERMOSA AVE. LA CRESCENTA CA 91214

REVISION:
 DATE: OCT. 20, 2015
 SCALE: N.T.S.
 SHEET NO: A-200
 SHEET TITLE: ELEVATIONS



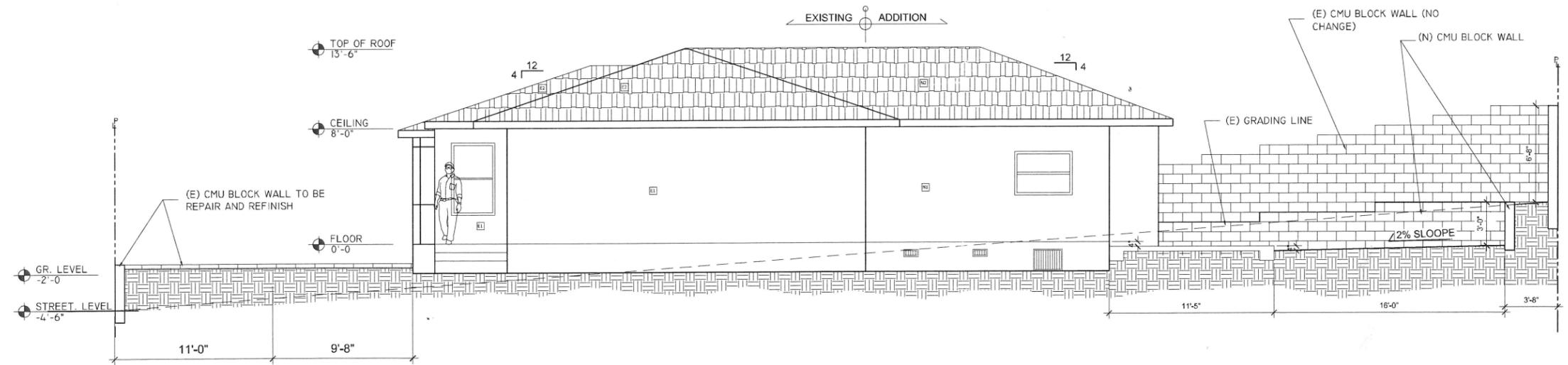
ELEVATION - NORTH

SCALE = 1/4"



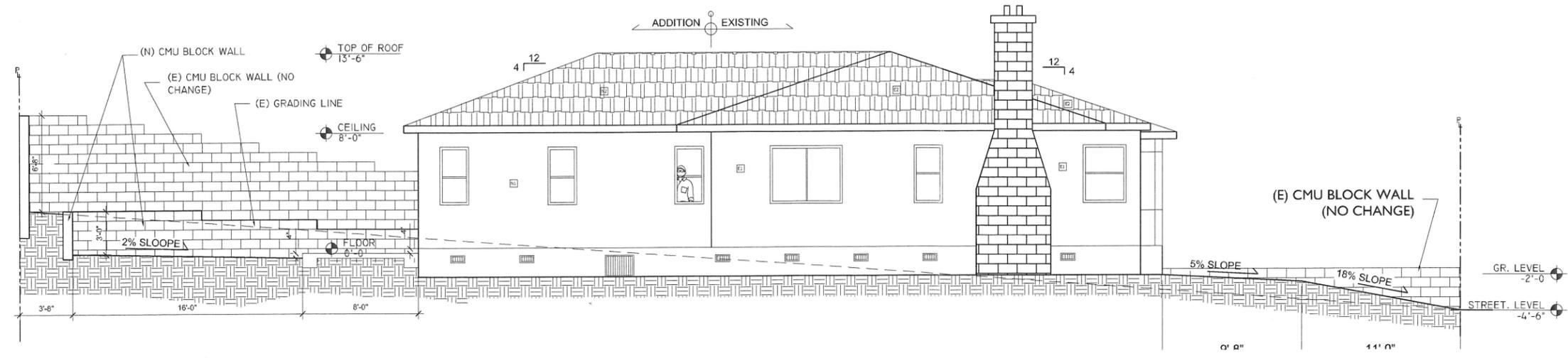
ELEVATION - SOUTH

SCALE = 1/4"



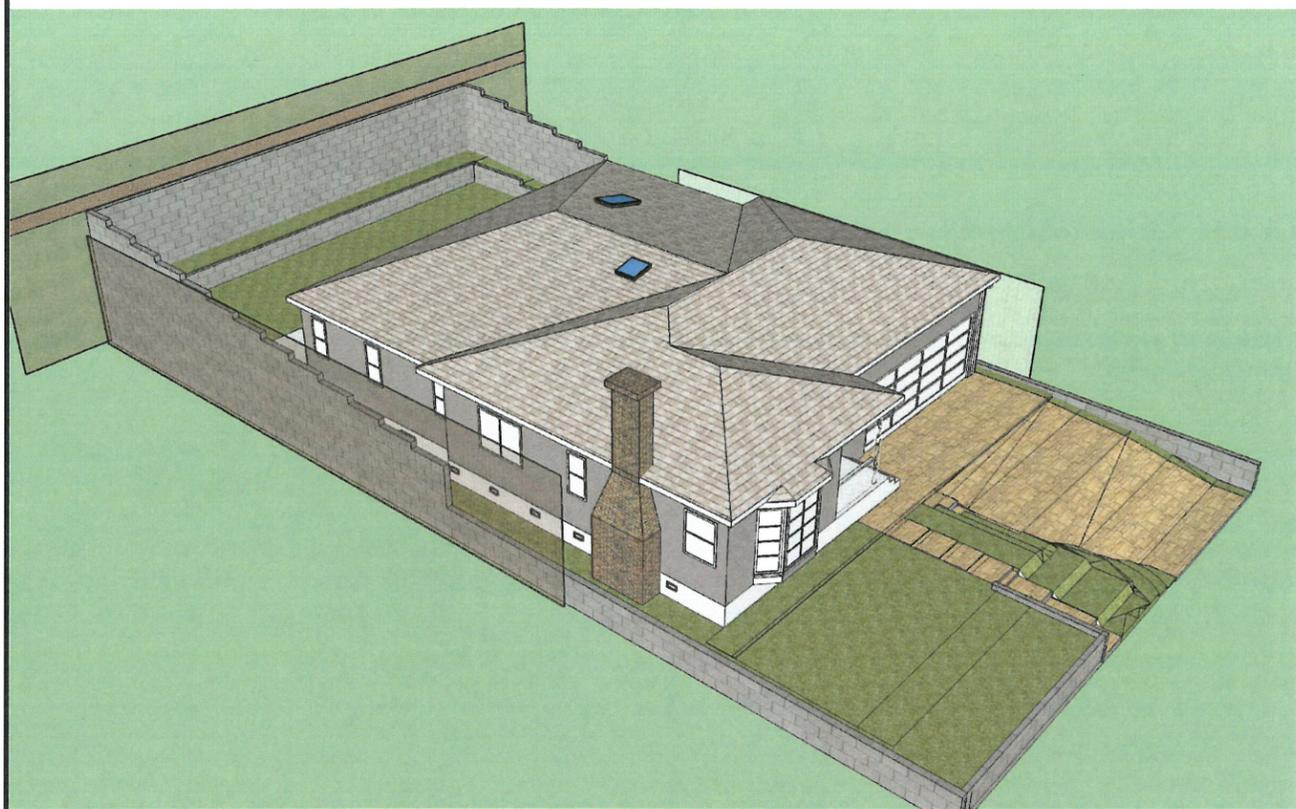
ELEVATION - EAST

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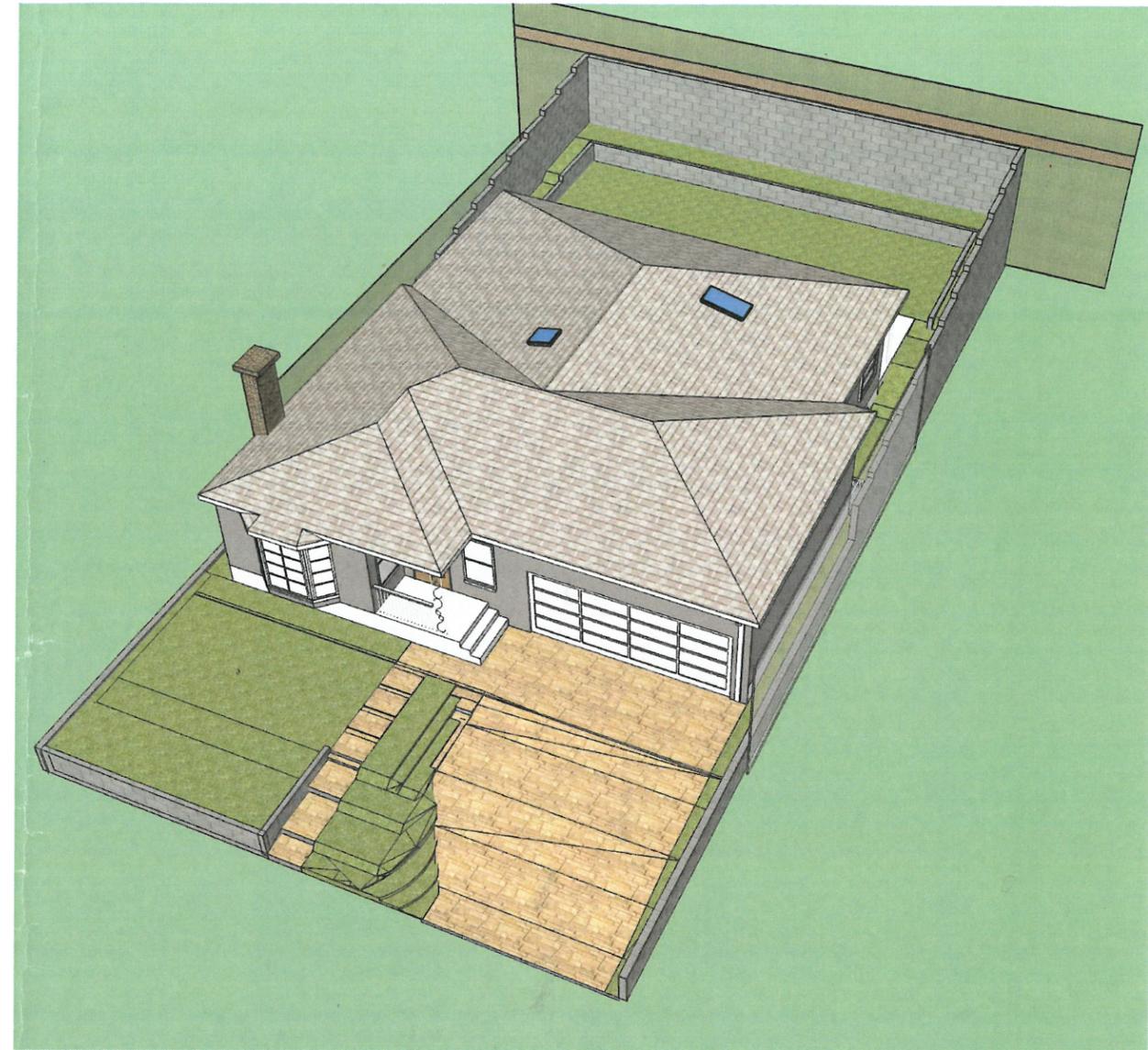


ELEVATION - WEST

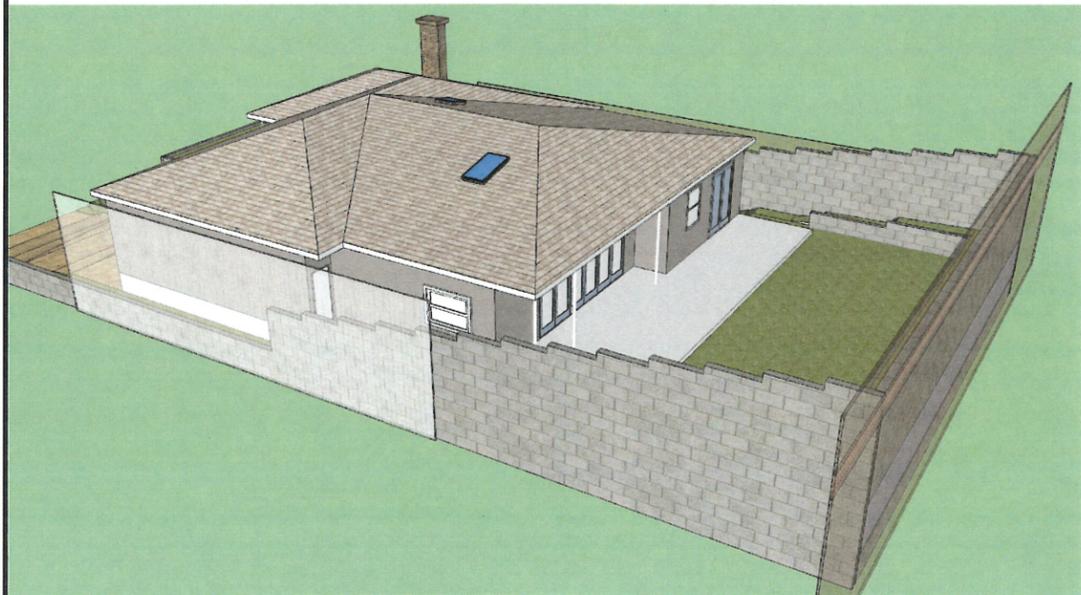
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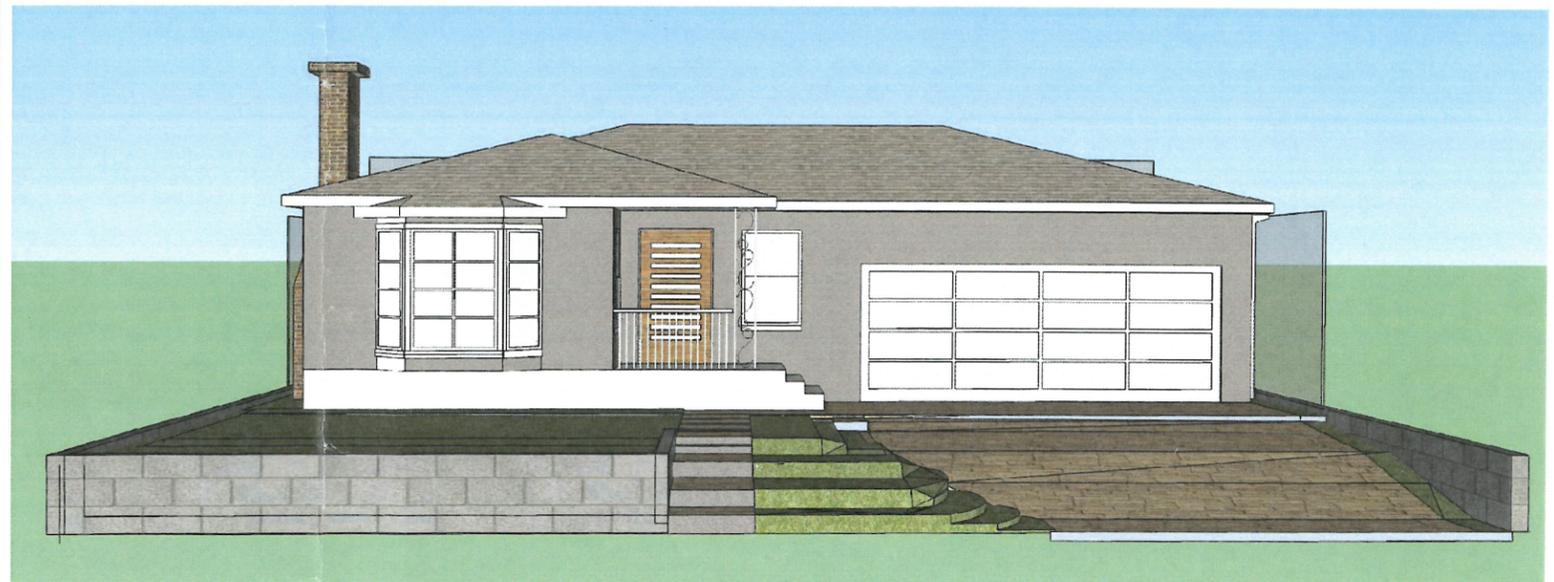
LOOKING NORTH EAST



LOOKING NORTH WEST



LOOKING SOUTH WEST



LOOKING NORTH – FRONT OF HOUSE



DESIGN . PLANNING . CONST.

1726W. VENICE BLVD.
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FAX : 323 - 744 - 8680
Info@the-h-studio.com

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PROJECT NAME
AND ADDRESS

**SINGLE FAMILY
ADDITION**

3041 HERMOSA AVE. LA CRESCENTA CA 91214

REVISION :

1	

DATE :

OCT. 20, 2015

SCALE :

N.T.S.

SHEET NO.:

A-300

SHEET TITLE:

PERSPECTIVE
RENDERING